



SUBDIVISION

- ☒ Major subdivision action
☒ Minor subdivision action
☐ Vacation
☐ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ☐ for Subdivision
☐ for Building Permit
☐ Administrative Amendment (AA)
☐ Administrative Approval (DRT, URT, etc.)
☐ IP Master Development Plan
☐ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z ZONING & PLANNING

- ☐ Annexation
☒ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
☐ Adoption of Rank 2 or 3 Plan or similar
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

- ☐ Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- ☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): ARCH+PLAN LAND USE CONSULTANTS PHONE: 980-8365

ADDRESS: P.O. BOX 25911 FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87125 E-MAIL: arch.plan@comcast.net

APPLICANT: LEIGH RYAN / GUTIERREZ RVT PHONE: _____

ADDRESS: 2134 DAVID WAY / 4300 CHINLEE AV NE FAX: _____

CITY: DELMAR / ALBUQUERQUE STATE CA / NM ZIP 90214 87110 E-MAIL: _____

Proprietary interest in site: OWNERS List all owners: _____

DESCRIPTION OF REQUEST: LOT CONSOLIDATION

ELIMINATE BUILDING ENVELOPE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☒ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 42, 43 & 44 Block: _____ Unit: _____

Subdiv/Addn/TBKA: OXBOW BLUFF

Existing Zoning: SU-3 Proposed zoning: N/A MRGCD Map No. _____

Zone Atlas page(s): G-11 UPC Code: 1-011-060-514-319-113-22

1-011-060-500-384-113-21

1-011-060-487-383-113-20

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): 1011480

1002092

CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? NO

No. of existing lots: 3 No. of proposed lots: 2 Total site area (acres): 2±

LOCATION OF PROPERTY BY STREETS: On or Near: 5000-5004-5008 CINNAMON TEAL LA NW

Between: MOURNING DOYE LA and PIO GRANDE (RIVER)

Check if project was previously reviewed by: Sketch Plat/Plan ☒ or Pre-application Review Team (PRT) ☐ Review Date: 12.20.17

SIGNATURE Derrick Archuleta DATE 1.6.18

(Print Name) DERRICK ARCHULETA Applicant: ☐ Agent: ☒

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

☐ SKETCH PLAT REVIEW AND COMMENT (DRB22)

Your attendance is required.

- ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ List any original and/or related file numbers on the cover application

☐ EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)

Your attendance is required.

- ___ Preliminary Plat reduced to 8.5" x 11"
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Copy of DRB approved infrastructure list
- ___ Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- ___ List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

☐ MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)

Your attendance is required.

- ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ___ Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- ___ Design elevations & cross sections of perimeter walls **3 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- ___ Copy of recorded SIA
- ___ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- ___ List any original and/or related file numbers on the cover application
- ___ DXF file and hard copy of final plat data for AGIS is required.



☒ MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)

Your attendance is required.

- ___ 5 Acres or more: Certificate of No Effect or Approval
- ___ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- ___ Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- ___ Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- ___ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application
- ___ Infrastructure list if required (**verify with DRB Engineer**)
- ___ DXF file and hard copy of final plat data for AGIS is required.

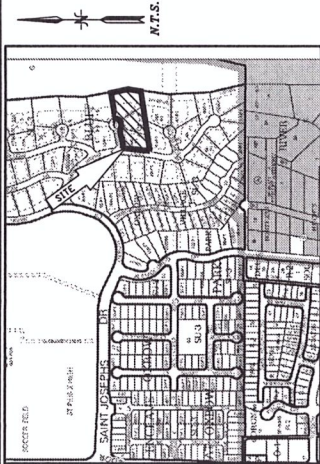
☐ AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)

Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- ___ List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year



VICINITY MAP No. G-11

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 42, 43 AND 44 INTO 2 LOTS, ELIMINATE THE BUILDING ENVELOPE ON LOT 43 AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, NO. 4 REBAR WITH CAP STAMPED P.S.#1463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 2.0142 ACRES.
- 4: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, ZONE 12N, NAD 83.
- 5: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 6: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 7: DATE OF FIELD WORK: JULY, 2017
- 8: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR DEVELOPMENT OR THE INSTALLATION OF SOLAR PANELS OR EQUIPMENT WITHIN THE AREA OF PROPOSED PLAT.
- 9: PLATS USED TO ESTABLISH BOUNDARY.

A: PLAT OF OXBOW SUBDIVISION
FILED: FEBRUARY 23, 1999 IN BOOK 99C, PAGE 32

LEGAL DESCRIPTION

LOT 42, 43 AND 44, FORTY-THREE (43) AND FORTY-FOUR (44) OF THE PLAT OF OXBOW BLUFF SUBDIVISION, ALBUQUERQUE, NEW MEXICO, COUNTY OF BERNALILLO, NEW MEXICO, PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 23, 1999 IN PLAT 80DK 99C, PAGE 32

PLAT OF
LOTS 42-A AND 44-A
OXBOW BLUFF SUBDIVISION

WITHIN

TOWN OF ASTRISCO GRANT
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2017

PROJECT NUMBER: _____
APPLICATION NUMBER: _____
UTILITY APPROVALS: _____

PUBLIC SERVICE COMPANY OF NEW MEXICO _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____

COMCAST _____ DATE _____

CITY APPROVALS:

CITY SURVEYOR _____ DATE _____

REAL PROPERTY DIVISION (CONDITIONAL) _____ DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

ABQWVA _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMATCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS _____ DAY OF _____, 2017

ANTHONY L. HARRIS, P.S. # 11463

THE SURVEY OFFICE, LLC
200 SOUTH BROADWAY, SUITE 100
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 896-8900
FAX: (505) 896-8900

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HAVE FULL AND COMPLETE AUTHORITY TO CONVEY TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

DATE _____
DATE _____
DATE _____

ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.

COUNTY OF BERNALILLO)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC

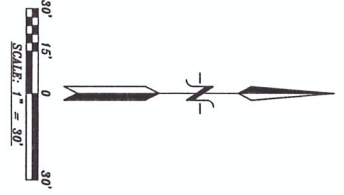
THIS _____ DAY OF _____, 20 _____

BY: _____

OWNERS NAME

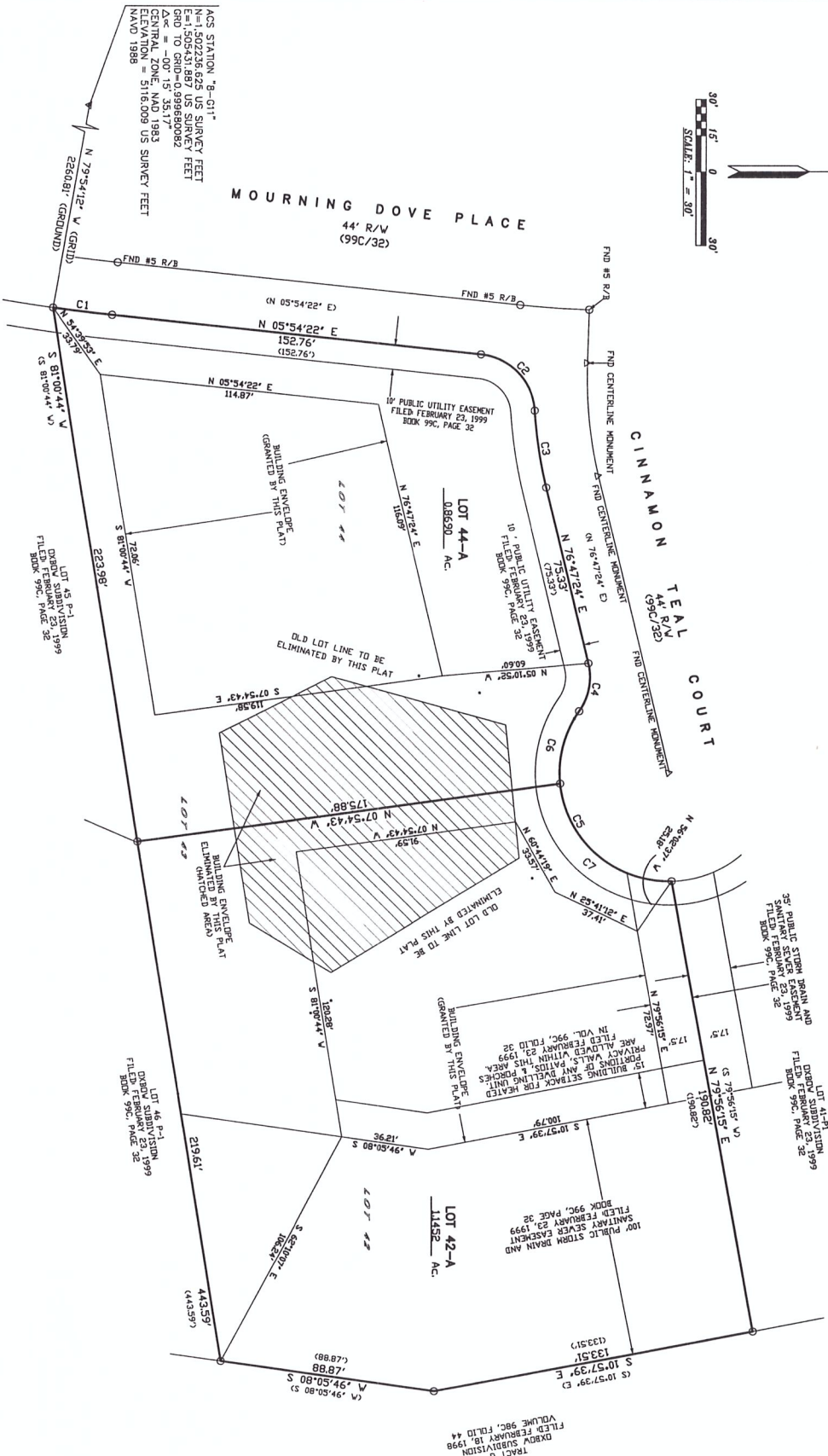
MY COMMISSION EXPIRES: _____ BY: _____ NOTARY PUBLIC

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO CO. TREASURER'S OFFICE: _____



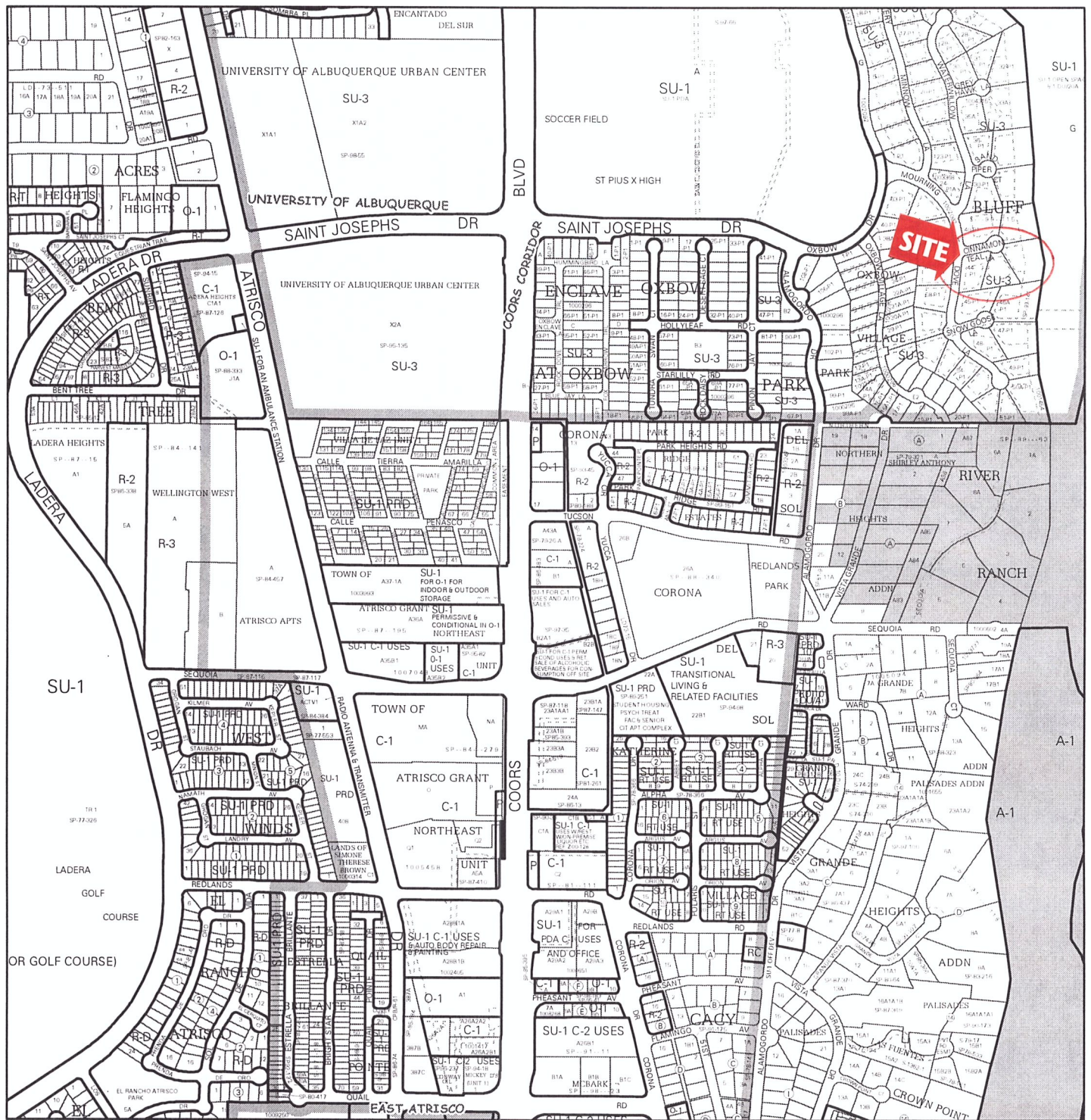
PLAT OF
LOTS 42-A AND 44-A
OXBOW BLUFF SUBDIVISION

WITHIN
TOWN OF ASTRISCO GRANT
PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2017

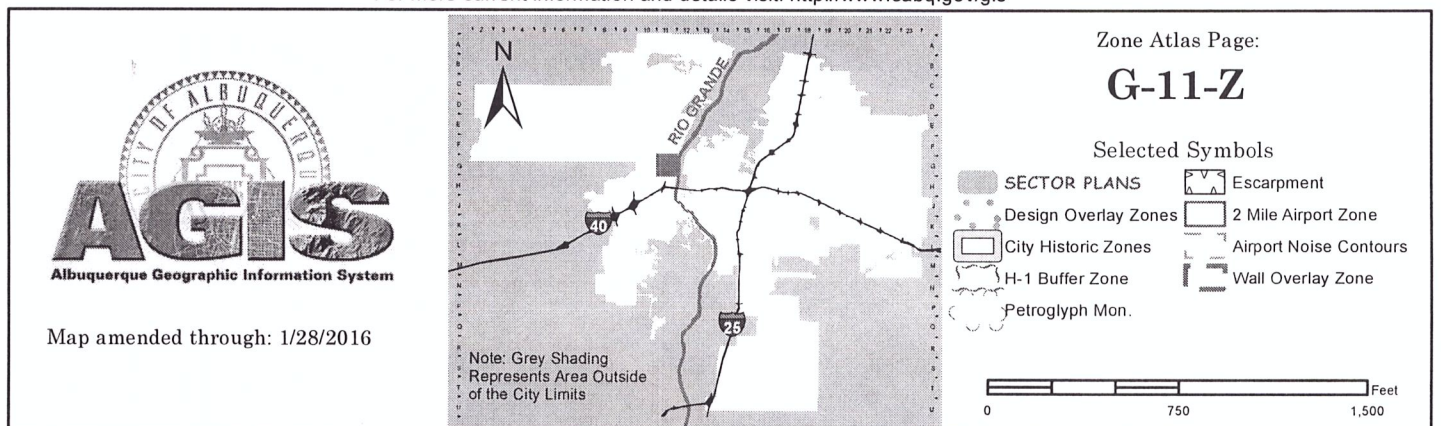


CURVE TABLE

NUMBER	BETWEEN	ANGLE	CURVE	DIRECTION	RADIUS	ARC	LENGTH	CHORD	LENGTH
C1	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C2	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C3	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C4	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C5	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C6	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C7	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C8	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C9	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C10	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C11	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C12	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C13	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C14	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C15	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C16	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C17	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C18	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C19	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C20	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C21	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C22	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C23	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C24	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
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C29	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C30	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C31	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
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C33	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C34	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C35	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C36	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C37	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C38	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
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C40	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C41	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C42	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C43	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C44	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C45	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C46	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C47	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C48	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
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C53	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C54	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C55	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
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C63	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
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C78	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
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C82	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
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C97	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C98	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C99	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		
C100	01°56'37"	N	06°52'41"	E	722.00	24.49	24.49		



For more current information and details visit: <http://www.cabq.gov/gis>



ARCH+PLAN
LAND USE CONSULTANTS
ALBUQUERQUE NM

January 15, 2018

Kym Dicome, Acting Chair
City of Albuquerque
Development Review Board
600 2nd St NW
Albuquerque NM

RE: LOTS 42 P-1, 43 P-1 AND 44 P-1, OXBOW BLUFF SUBDIVISION

Ms. Dicome and members of the Board:

I would like to request Final Plat review for a minor subdivision for the above mentioned property.

The property owner would like to consolidate three (3) existing Lots 42 P-1, 43 P-1 and 44 P-1, Oxbow Bluff Subdivision into two lots. Proposed Lot 42-A to be 1.15± acres and Lots 44-A to be 0.87± acres to also include the elimination of the building envelope in Lot 43.

The parcels are currently vacant. The underlying zone is SU-3.

The site is governed by the Area of Consistency of the Albuquerque/Bernalillo County Comprehensive Plan and the Coors Corridor Sector Plan and the University of Albuquerque Sector Plan.

Sketch plat was heard on December 20, 2017.

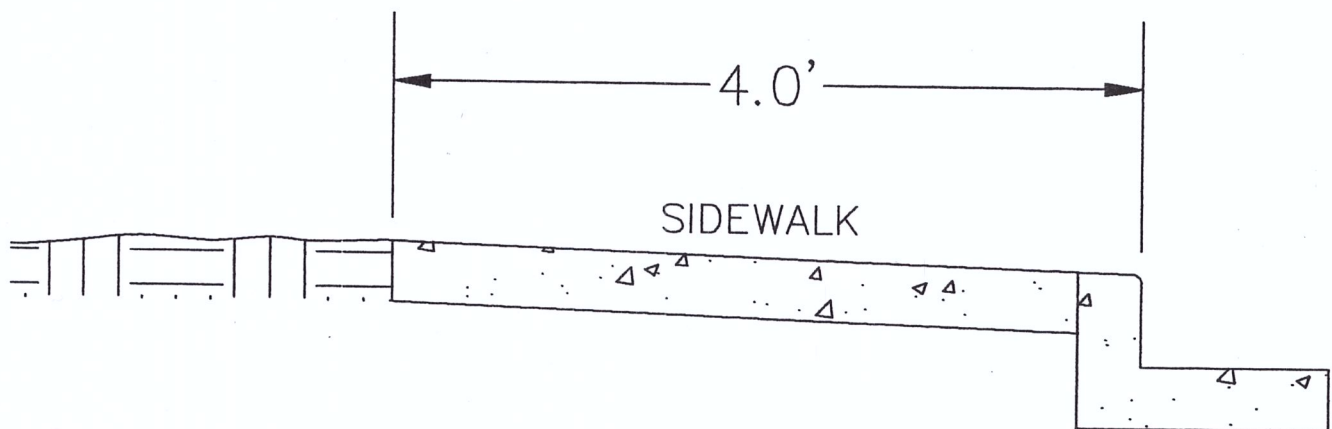
Thank you for your time and consideration of the proposed application.

Sincerely,



Derrick Archuleta, MCRP
Principal

SIDEWALK EXHIBIT



TYPICAL SIDEWALK DETAIL