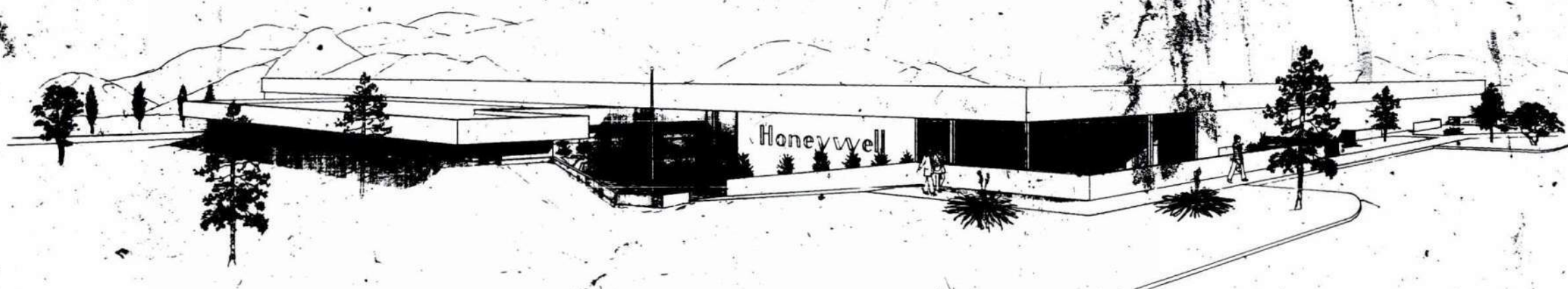


SHEET NO.	TITLE
1	INDEX TO DRAWINGS
2	SITE PLAN - BUILDING AND CHIMNEY
3	SITE PLAN - BUILDING LOCATION AND BUILDING LAYOUT
4	SITE PLAN - LANDSCAPE PLAN
5	SITE PLAN - UTILITIES, WATER, SEWER, FIRE PROTECTION
6	SITE PLAN - UTILITIES, ELECTRICAL
7	FOUNDATION PLAN
8	FLOOR PLAN - SPECIFICATION DATA
9	ROOF FRAMING PLAN
10	CONCRETE WALL PANEL LAYOUT PLAN
11	DOOR SCHEDULE, ROOM ROOM SCHEDULE, SPECIFICATION DATA
12	BUILDING ELEVATIONS, BUILDING SECTIONS
13	WALL SECTIONS
14	WALL PANEL ELEVATIONS
15	STRUCTURAL FRAMING DETAILS
16	ENLARGED TOILET PLAN, COLUMN ENCASMENT DETAILS
17	ENLARGED COURTYARD PLAN
18	WINDOW ELEVATIONS AND DETAILS
19	PLUMBING AND PIPING PLAN
20	ROOF DRAIN AND GAS PIPING PLAN
21	PLUMBING PLANS AND SCHEDULES
22	FIRE PROTECTION PLAN
23	MECHANICAL PLANS
24	DETAILS AND SCHEDULES
25	MECHANICAL DETAILS
26	LIGHTING PLAN
27	POWER PLAN
28	ELECTRICAL DETAILS, SCHEDULES AND INDEX



PERSPECTIVE VIEW FROM NORTHWEST
HONEYWELL, INC
 RESIDENT FACILITY

DESIGN PROFESSIONALS, INC.
 ARCHITECTS/ENGINEERS

ALLISON ENGINEERING, INC.
 MECHANICAL/ELECTRICAL ENGINEERS

BELLAMAH CORPORATION
 GENERAL CONTRACTORS

RECEIVED
 PLANNING DEPT. ALBUQUERQUE
 DEC 21 1979

PROJECT TITLE
HONEYWELL, INC.
 MANUFACTURING FACILITY
 ATRISCO BUSINESS PARK
 ALBUQUERQUE NEW MEXICO

COVER SHEET
 2-73-41-2
 1 of 7

DESIGN PROFESSIONALS, INC.
 ARCHITECTS/ENGINEERS

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CARMEN L. CASTILLO
 My Commission Expires

CITY OF ALBUQUERQUE

CONCEPT MASTERPLAN
TRACT 1-2 ATRISCO BUSINESS PARK
ALBUQUERQUE, NEW MEXICO
HONEYWELL FACILITY

SUMMARY

LAND COVER - 20 ACRES / 871200 sq. ft.

BUILDING

PHASE I
OFFICE, ASSEMBLY/WAREHOUSE
100,328 sq. ft.

PHASE II
ASSEMBLY/WAREHOUSE
94,080 sq. ft.

PHASE III
ASSEMBLY/WAREHOUSE
94,080 sq. ft.

TOTAL BUILDING 288,488 sq. ft.

PARKING

LOT 'A' 143 SPACES

VISITOR 18 SPACES

LOT 'B' 130 SPACES

LOT 'C' 130 SPACES

LOT 'D' 44 SPACES

TOTAL 465 SPACES

PAVING 256633 sq. ft. 5.89 acres



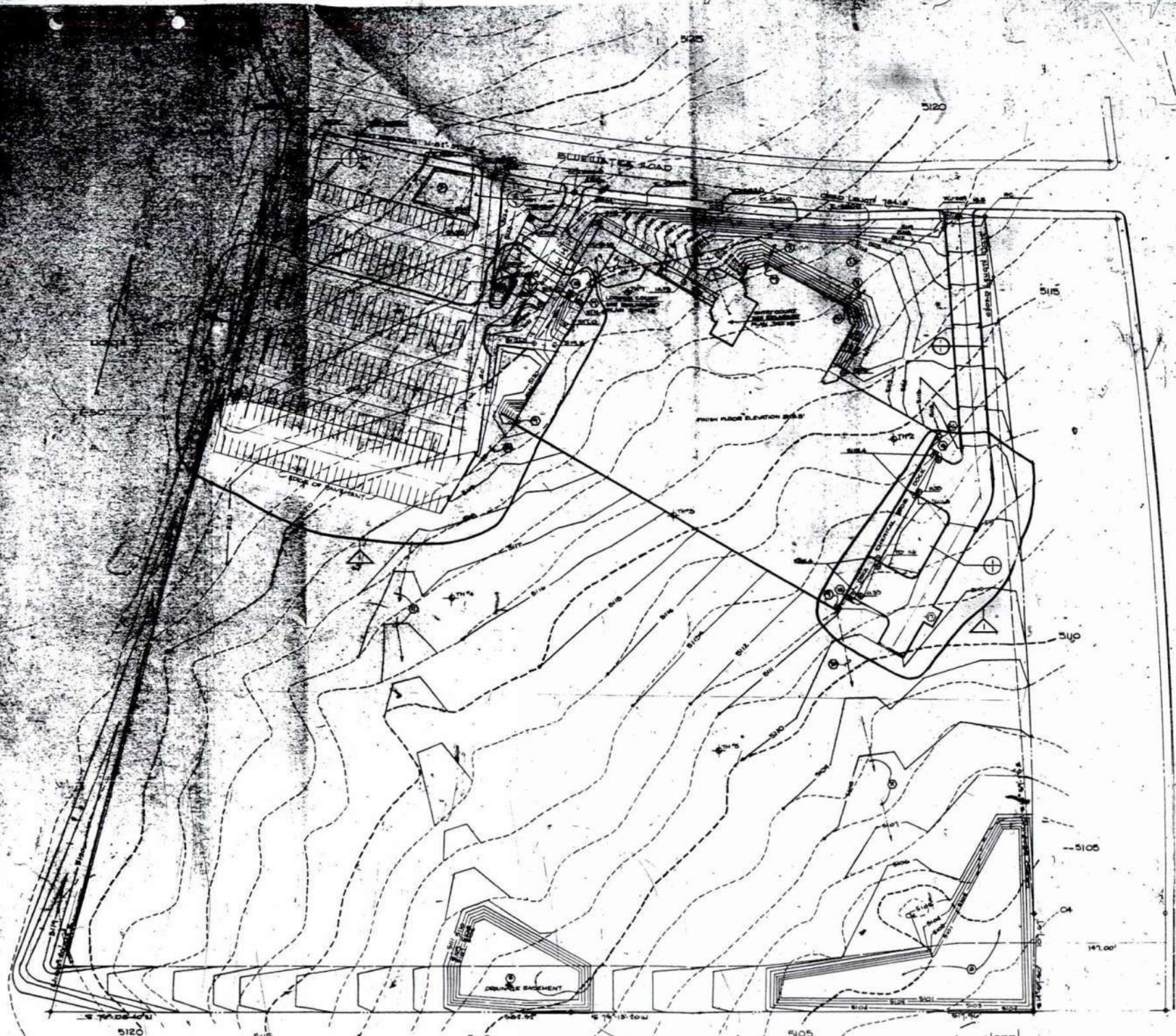
PROPOSED MASTERPLAN

DESIGN PROFESSIONALS, INC.
ALBUQUERQUE, NEW MEXICO

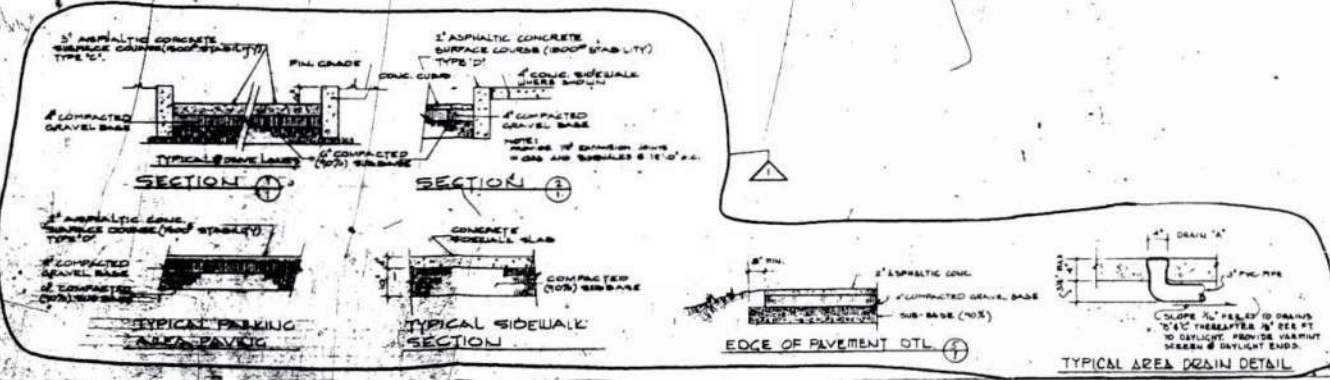


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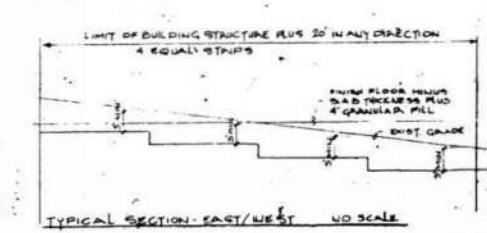
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GRADING PLAN (1"=30')



BUILDING EXCAVATION PLAN
 SOIL UNDER BUILDING WILL REQUIRE REMOVAL, SETTING AND RECONSTRUCTION, GENERALLY AS FOLLOWS:
 REMOVE MATERIAL 1' BELOW MINIMUM STRIP GRADE. FLOOD EXCAVATED AREA, COMPACT EXCAVATED SURFACES TO 90% STANDARD PROCTOR DENSITY, FILL WITH 3" MAXIMUM LAYERS AND COMPACT TO 90% STANDARD PROCTOR.
 WORK CAN PROCEED FROM BENT TO NEXT WHEN EXCAVATED MATERIAL FROM THE NEXT ADJACENT BENT HAS BEEN REMOVED & RECONSTRUCTION OPERATION SHOULD ALLOW FOR SUBSEQUENT SETTING OF FLOORING.



- NOTES:**
1. Level and clear site where improvements or any grading is noted. Dispose of material.
 2. For curb, paving and sidewalk areas, scarify and recompact material below finish subgrade as per section cuts this sheet.
 3. General site, ponds and drainage ways. Grade only, no connection required. Maintain minimum 3 to 1 side slopes.
 4. West and North area off-site diversions by others N.T.C.

LEGAL DESCRIPTION
 LAT 7° 00' 00" that parcel of land described as Tracts 1-1 and 1-2 and 1-3 and 1-4 on the plat of Unit No. 2, Atrisco Business Park, Albuquerque, New Mexico, filed in the office of the County Clerk of Bernalillo County, New Mexico on June 14, 1973 and replatted as of Aug. 30, 1979. Said plat containing 20.00 Acres.

ZONING & CODE DESIGN DATA

Uniform Building Code-1976 Edition with amendments adopted 1977 and accumulative supplements 1978.

City of Albuquerque Comprehensive Zoning Code, Article XIV, Chapter 7 of the Revised Ordinances of Albuquerque, New Mexico, 1974 by 1, 1977 Edition.

Land Use Zone	50-1
Fire Zone	2
Seismic Zone	2
Occupancy Group	B-2
Accessory Occupancy (if actual)	A-2.1
Area Separation	1 hour

Type of Construction - Type I: unlimited
 Facility to have 60 foot clear space entirely surrounding building.
 Section 506, Paragraph "b" & Table 5-C allows "unlimited" type of construction.

Allowable Area Increase - Unlimited
 Facility to be fully sprinkled with automatic fire extinguishing system and have 60 foot clear space entirely surrounding building.
 Section 506, Paragraph "b".

DESIGN LIVE LOADS

Roof Structure	20 PSF
Slab on Grade (Office area)	50 PSF
Slab on Grade (Assembly/Lounge areas)	50 PSF
Slab on Grade (Warehouse area)	125 PSF

WIND PRESSURES
 on vertical projection of building (ASCE) 21 PSF
 on wall panels (inward and outward) 20 PSF
 on roof (outward) 15 PSF

SOIL BEARING DATA
 maximum allowable pressure (Total loads) 2500 PSF
 Design Pressure (Dead load plus reduced live load) 2500 PSF

LEGEND

---	Existing Contours
---	Property Line
---	New Contours
●	Spot Elevations
---	Barrier Curb/Retaining Walls
---	Building Outline
T.C.	Top of Curb
○	Property Corner
○	Test Hole Boring Location
---	Concrete Walkways

DESIGN PROFESSIONALS, INC.
 1000 10TH AVENUE, N.E.
 ALBUQUERQUE, N.M. 87102
 407
 2-73-41-2

PROJECT TITLE:
HONEYWELL, INC.
MANUFACTURING FACILITY
ATRISCO BUSINESS PARK
ALBUQUERQUE, NEW MEXICO

SITE PLAN GRADING AND DRAINAGE
 PLANNING DEPARTMENT
 DEC 21 1979
 ALBUQUERQUE, N.M.

DESIGN PROFESSIONALS, INC.
 1000 10TH AVENUE, N.E.
 ALBUQUERQUE, N.M. 87102
 407
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REVISIONS
 NO. 1
 DATE 12/20/79
 BY [Signature]
 CHECKED [Signature]

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MASTER LANDSCAPE PLAN 1"=50'

PLANTING AREA A 1"=25'

PLANTING AREA B 1"=25'

Plant material shown herein are to be minimum at time of planting.

Plant material or orders of plant material shall be subject to inspection and approval by the City of Albuquerque. The architect shall retain the right to accept or reject each individual plant material.

Plant material and guarantee of all plant life shall begin immediately after each plant is planted. Maintenance shall be provided for a period of 60 days with a full year guarantee against plant disease and unsatisfactory growth.

Commercial fertilizer shall be 10-5-5 grade, uniform in composition, and shall be delivered to the site in unopened bags, each fully labeled, conforming to the applicable State fertilizer laws and bearing the trademark and warranty of the producer. Each sack shall show the manufacturer's statement of analysis, and shall contain the following minimum percentage of plant food: 10% available phosphoric acid and 5% available nitrogen.

Soil shall be a natural product of siltstone, sand or shale, free from rocks, stones or other foreign matter, and of such composition that the soil can be passed through a 1/2" sieve. At the Contractor's option, woodchips may be used in which case the woodchips shall be a natural product of pine bark, and shall be free from weed seeds, soil, plant diseases and insects. The soil shall be delivered to the site in unopened containers and shall be fully labeled.

For the purpose of inspection and plant identification, durable, weather-resistant tags shall be attached to the correct plant material and shall be specified in the list of required items. The tags shall be securely attached to all plants, bundles, and containers of plant material delivered at the planting site.

- PLANTING LIST:**
- 1. Gold Dust Elm, 5 gallon ball
 - 2. Ash, 5 gallon ball
 - 3. Elm, 5 gallon ball
 - 4. Elm, 5 gallon ball
 - 5. Elm, 5 gallon ball
 - 6. Elm, 5 gallon ball
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 - 49. Elm, 5 gallon ball
 - 50. Elm, 5 gallon ball



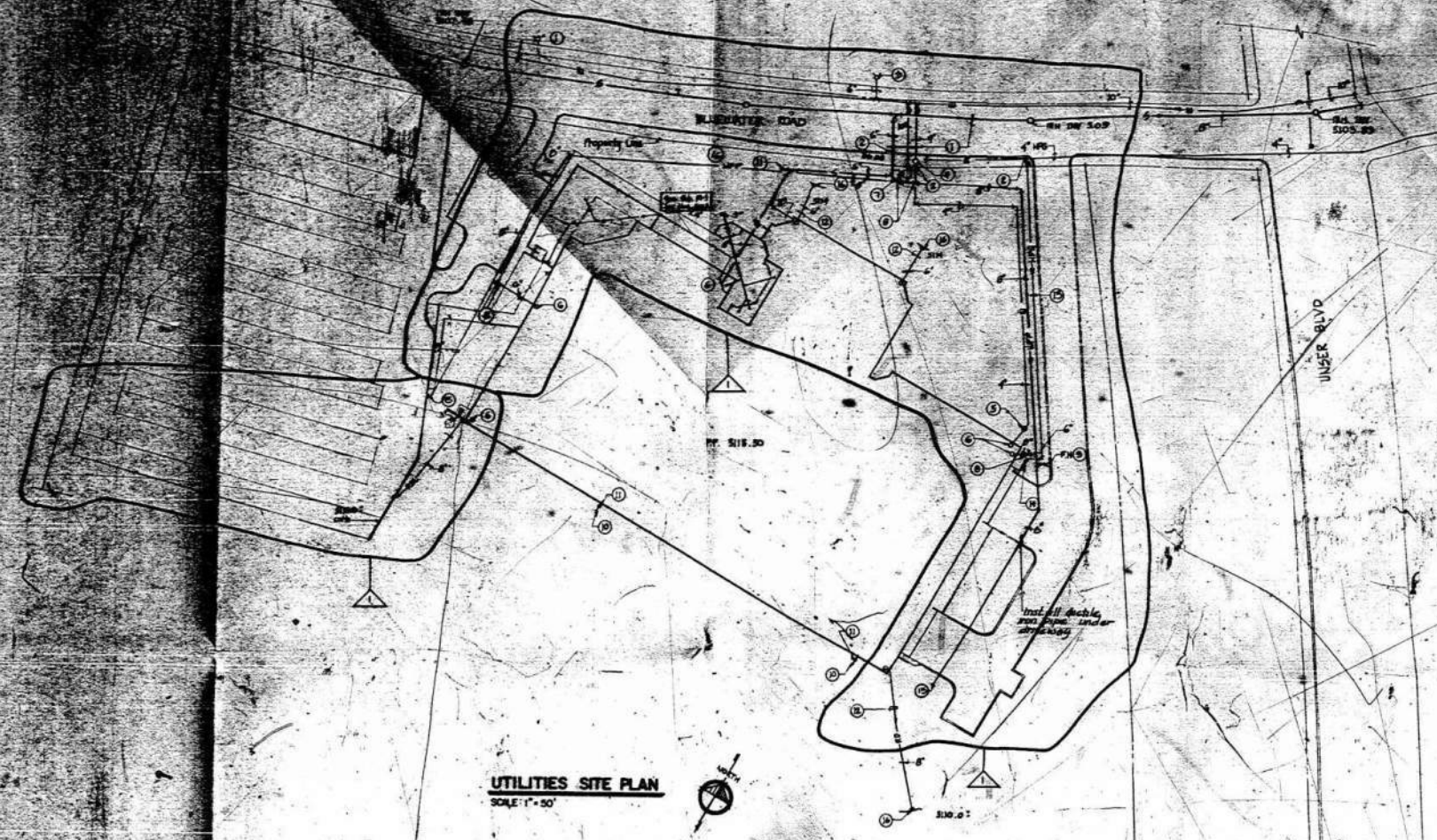
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MANUFACTURING FACILITY
ALBUQUERQUE BUSINESS PARK
ALBUQUERQUE, NEW MEXICO
84711

SITE PLAN - LANDSCAPE PLAN

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UTILITIES SITE PLAN
SCALE: 1" = 50'

1. Existing service to existing building.
2. New service to existing building.
3. Existing fire hydrant.
4. Install 2" water meter, existing box per city requirements.
5. Service stop valve, in main line with locking cover.
6. Install 1/2" scale pressure, per city requirements.
7. Fire Protection Pit with pump and pump connection.
8. Post indicator valve (electrically supervised).
9. New fire hydrant per city requirements.
10. Plug of sanitary sewer, per city requirements. Keep low as possible.
11. Element to grade. Set in 12" x 12" x 12" concrete base with beveled edges.
12. Sewer drain, extend from building to daylight in existing area (see Grading Plan).
13. Gas Vent line, sized per code of New Mexico.
14. Water regulator station. See Bldg and Gas Piping Plan.
15. Play area for future extension.
16. Concrete head wall 12" x 12" x 12" minimum. Bevel discharge and to be flush with grade. Install radiant screen.

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PLANNING DIVISION
DEC 21 1979



REVISED DEC. 20, 1977

HONEYWELL, INC.
MANUFACTURING FACILITY
ATRIUM BUSINESS PARK
ALBUQUERQUE, NEW MEXICO
PROJECT TITLE
SITE PLAN-UTILITIES, WATER,
SEWER, FIRE PROTECTION

Z-73.41-2
7/7



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