

**LLAVE ENTERPRISES, INC.  
8830 KEERAN LN. NE  
ALBUQUERQUE, NM 87122  
(505) 249-1502**

May 17, 2018

Ms. Kym E. Dicome  
DBR Chairperson  
Development Review Services Division  
Albuquerque, NM 87102  
(505) 924-3880

Re: Response to Planning Comments hearing 5.16.18

Dear Ms. Dicome:

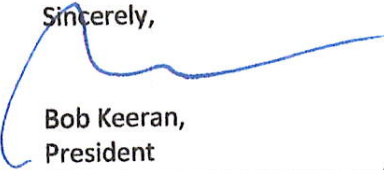
This letter is in response to your comments regarding Agenda Item #3 at the 516.18 DRB Hearing as follows:

1. I've added project number 1011598 and Application Number 18DRB-70137-70140 to the plat.
2. I've added "private" to proposed easement #6.
3. Real Property has signed the plat as I showed you at the hearing.
4. In regards to your Variance question, I'm not sure what item #5 means. When Crystal Metro was the Traffic Engineer she always required item #5. She would not approve the variance unless item #5 was included. I included item #5 based upon my previous experience because I thought that was standard operating procedure. I didn't know anything different until you brought it to my attention.
5. In regards to your Vacation question, it is once again based upon my previous experience in dealing with the City. It is, or I should say was my understanding, 1<sup>st</sup> I had to dedicate 30' of public easement to the City in fee simple (in this case the north 1/2 of Signal along the property frontage). 2<sup>nd</sup> that since the City now owned the 30', I had to request a vacation of 5' leaving a 50' street.
6. I've labeled Waiver/deferral of S/W as "Exhibit A" (see attached).
7. I've labeled Signal Ave. Proposed Cross-Section as "Exhibit B" (see attached). Previously, I used this exhibit for Signal Pointe Subdivision. Is this acceptable to you and the Traffic Engineer?
8. I've labeled Signal Village Ln. NE Proposed cross-Section as "Exhibit C" (see attached). Previously, I used this exhibit for Signal Pointe Ln, just changed the name. Is this acceptable to you and the Traffic Engineer?
9. I've labeled Ventura Proposed Cross-Section as "Exhibit D" (see attached). Is this acceptable to you and the Traffic Engineer?
10. I've labeled Site Sketch as "Exhibit E" (see attached).
11. I've labeled Drawing of Right of Way to be vacated as "Exhibit F" (see attached).
12. I've labeled Proposed Variance from Minimum DPM Standards as "Exhibit G" (see attached).
13. I've labeled Form DRWS as "Exhibit H" (see attached).
14. I've labeled Drainage Information Sheet as "Exhibit I" (see attached).

15. I've labeled the Perimeter Wall Elevation as "Exhibit J" (see attached).
16. I've not included the Pilaster Section @ Arroyo as an Exhibit per Engineering Comments bullet point 6.
17. I've included a copy of the complete letter sent to Elizabeth Meeks of the Vineyard Estates NA as "Exhibit K" (see attached).
18. I've included a copy of the complete letter sent to David Zarecki of the Vineyard Estates NA as "Exhibit L" (see attached).
19. I've included a copy of the complete letter sent to Jim Griffee of the Nor Este NA as "Exhibit M" (see attached).
20. I've included a copy of the complete letter sent to Robert Smith of the Nor Este NA as "Exhibit N" (see attached).

Please let me know if you need any additional information.

Sincerely,



**Bob Keeran,**  
**President**

Dicome planning comment response to hearing 5.16.18

SIDE WALK

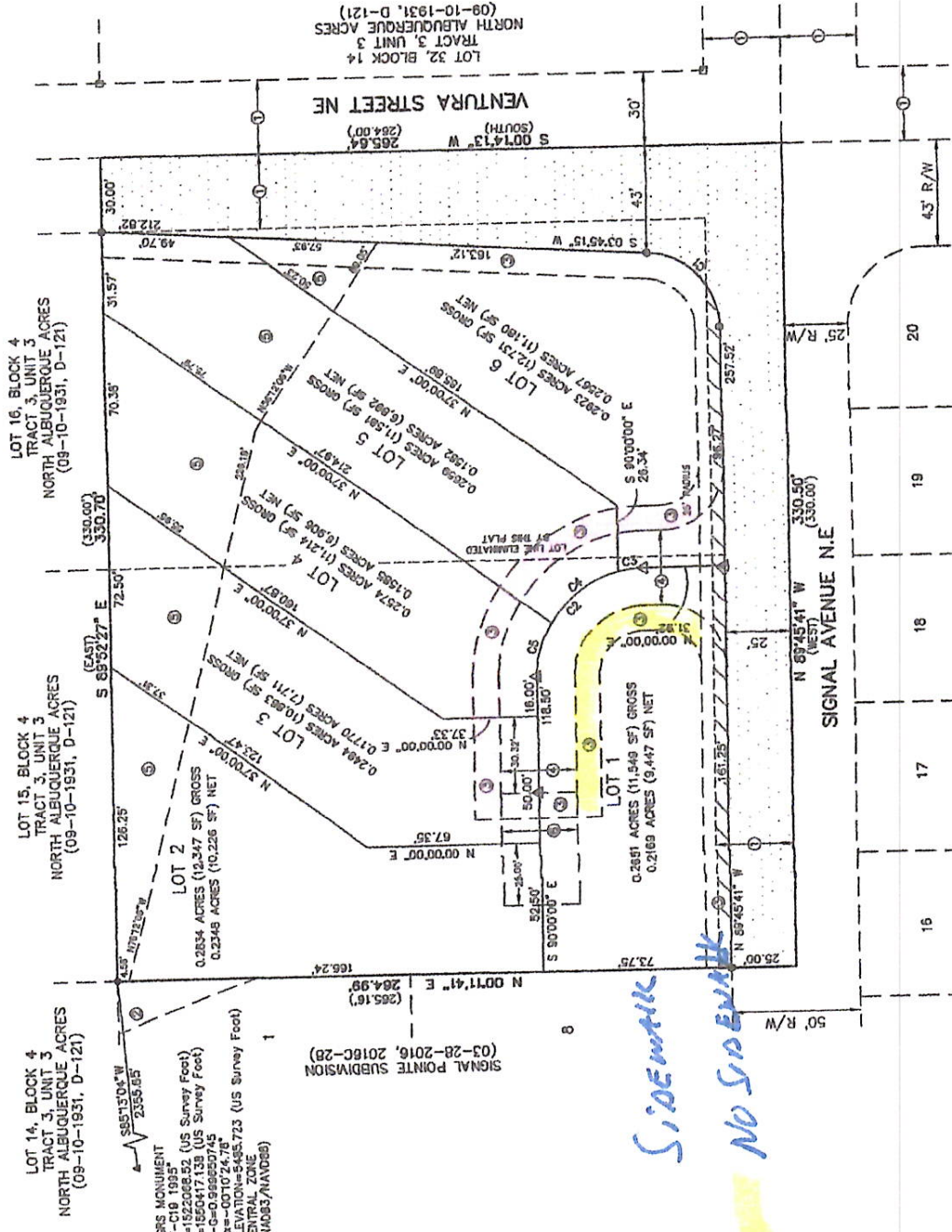
EXHIBIT 'A'

EXHIBIT 'A'

PLAT OF  
**LOT 1 THRU 6**  
**SIGNAL VILLAGE**  
 WITHIN THE  
**ELENA GRANT**  
 PROJECTED SECTION 17  
 TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 APRIL, 2018

**DESCRIPTION**  
 A tract of land situated within the Elena Gallegos Grant, projected Section 17, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, containing all of LOTS 17 AND 18, BLOCK 4, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES, and the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, in Volume D, Folio 121, and containing 2.0138 acres more or less.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	48.26	30.00	89°23'05"	S 48°52'47" W	61.17
C2	68.76	42.50	90°00'00"	N 45°00'00" W	10.10
C3	10.12	42.50	1°35'48"	N 0°48'26" W	32.84
C4	33.72	42.50	45°27'24"	N 30°22'20" W	22.62
C5	22.82	42.50	30°53'48"	N 74°33'08" W	22.62



- EASEMENTS**
- EXISTING 30' ROADWAY AND UTILITY EASEMENT (09-10-1931, D-121)
  - EXISTING COA PUBLIC DRAINAGE EASEMENT (03-28-2016, 2016C-28)
  - 10' PUE (GRANTED BY THIS PLAT)
  - 29.50' PRIVATE ACCESS, PRIVATE DRAINAGE, ABOCNIA PUBLIC WATER AND ABOCNIA PUBLIC SANITARY SEWER EASEMENT (GRANTED BY THIS PLAT) (SEE NOTE 14)
  - C.O.A. PUBLIC DRAINAGE EASEMENT TO BE MAINTAINED BY HOME OWNERS' ASSOCIATION (GRANTED BY THIS PLAT)
  - 29.50' RECIPROCAL ACCESS EASEMENT (GRANTED BY THIS PLAT) (SEE NOTE 15)

- PUBLIC STREET R/W (0.4001 ACRES) (DEDICATED BY THIS PLAT)
- ROADWAY AND UTILITY EASEMENT (0.0309 ACRES) (VACATED BY THIS PLAT)

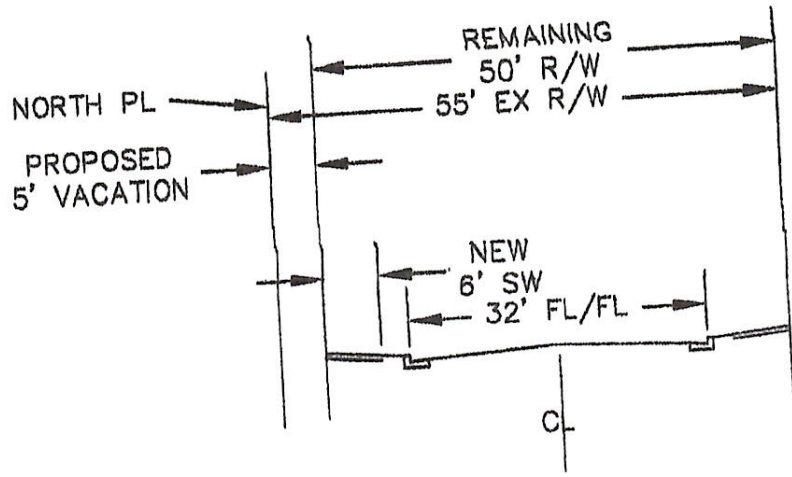
**ALDRICH LAND SURVEYING**  
 P.O. BOX 30701, ALBUQ., N.M. 87190  
 505-804-1890

Form No.	TA	Date
18-002	TA	04-04-18
2	2	2

- PROPERTY CORNERS**
- SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7719" (TOP)
  - FOUND 5/8" REBAR WITH TAG "LS 14463"
  - FOUND 1/2" REBAR
  - SET C.O.A. CENTERLINE MONUMENT "LS 7719" (TYPICAL)

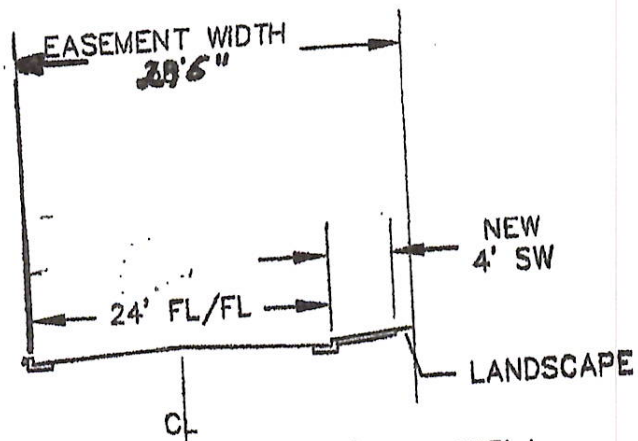
SIDEWALK  
 NO SIDEWALK

EXHIBIT "A"



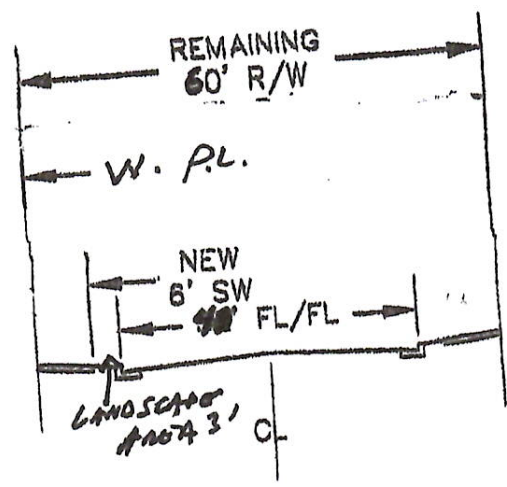
SIGNAL AVENUE, NE  
PROPOSED CROSS-SECTION

EXISTING 'C'



SIGNAL VILLAGE W.A.E NORTH/SOUTH  
PROPOSED CROSS-SECTION

EXHIBIT "D"



VENTURA AVENUE, NE  
PROPOSED CROSS-SECTION

Site sketch for zone plan state development in west

EXHIBIT A

PLAT OF  
**LOT 1 THRU 6**  
**SIGNAL VILLAGE**  
 WITHIN THE  
**ELENA GRANT**  
 PROJECTED SECTION 17  
 TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 APRIL, 2018



Scale 1" = 30'

- EASEMENTS**
- EXISTING 30' ROADWAY AND UTILITY EASEMENT (09-10-1931, D-121)
  - EXISTING COA PUBLIC DRAINAGE EASEMENT (03-28-2016, 2016C-28)
  - 10' RUE (GRANTED BY THIS PLAT)
  - 28.50' PRIVATE ACCESS, PRIVATE DRAINAGE, ABOJIMA PUBLIC WATER AND ABOJIMA PUBLIC SANITARY SEWER EASEMENT (GRANTED BY THIS PLAT) (SEE NOTE 14)
  - C.O.A. PUBLIC DRAINAGE EASEMENT TO BE MAINTAINED BY HOME OWNER'S ASSOCIATION (GRANTED BY THIS PLAT)
  - 30.50' RECREATIONAL ACCESS EASEMENT (GRANTED BY THIS PLAT) (SEE NOTE 15)

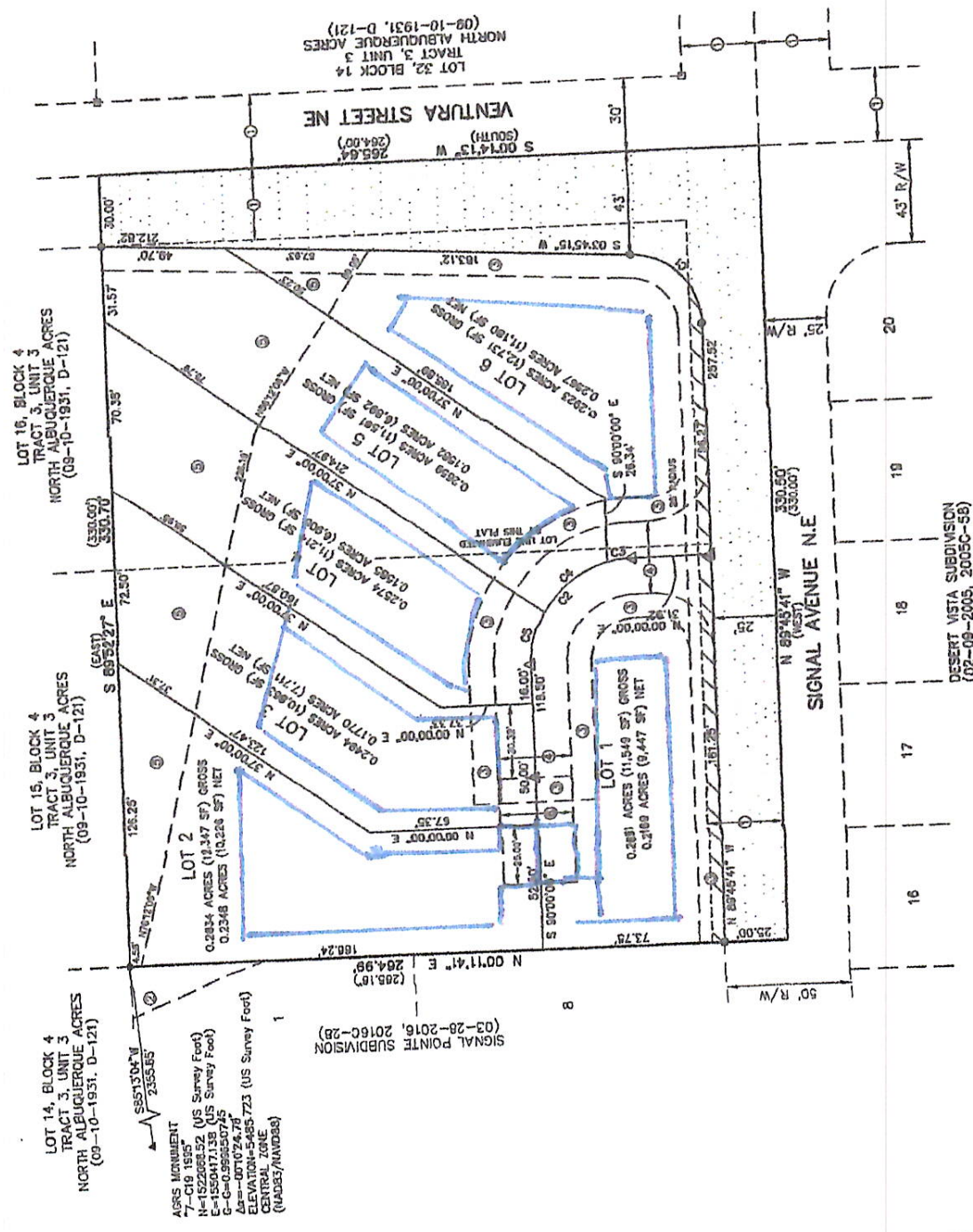
- PUBLIC STREET R/W (0.0001 ACRES) (DEDICATED BY THIS PLAT)
- ROADWAY AND UTILITY EASEMENT (0.0009 ACRES) (VACATED BY THIS PLAT)

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBUQ., N.M. 87190  
 505-864-1800

**DESCRIPTION**  
 A tract of land situated within the Elena Grantee Grant, projected Section 17, Township 11 North, Range 4 East, New Mexico Meridian, Bernalillo County, New Mexico, being all of LOTS 17 AND 18, BLOCK 4, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES, as the same is shown and described on said plat, filed for record in this office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, in Volume D, Folio 121, and containing 2,019.98 acres more or less.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	45.28'	50.00'	53.07°	S 45°59'07" W	41.11'
C2	48.78'	50.00'	50.00°	N 48°51'00" W	48.10'
C3	42.50'	50.00'	45.00°	N 42°51'00" W	42.50'
C4	35.77'	50.00'	35.77°	N 35°46'30" W	32.84'
C5	22.92'	50.00'	22.92°	N 22°52'30" W	21.44'



04-07-18 REV

Drawn By	TA	Date	04-04-18
Checked By	TA	Drawn Date	10/04/2018
File No.	18-002	Sheet	2 of 2

- PROPERTY CORNERS**
- SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7719" (TOP)
  - FOUND 5/8" REBAR WITH TAG "LS 11463"
  - FOUND 1/2" REBAR
  - △ SET C.O.A. CENTERLINE MONUMENT "LS 7719" (TYPICAL)

DESERT VISTA SUBDIVISION  
 (02-09-2005, 2005C-58)

SIGNAL AVENUE N.E.  
 50' R/W

VENTURA STREET NE  
 30' R/W

45' R/W

20

19

18

17

16

15

14

13

12

11

10

9

8

7

6

5

4

3

2

1

*Site Plan of Right of Way to be Vented*

**PLAT OF  
LOT 1 THRU 6  
SIGNAL VILLAGE  
WITHIN THE  
ELEVIA GRANT**

**PROJECTED SECTION 17  
TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2018**

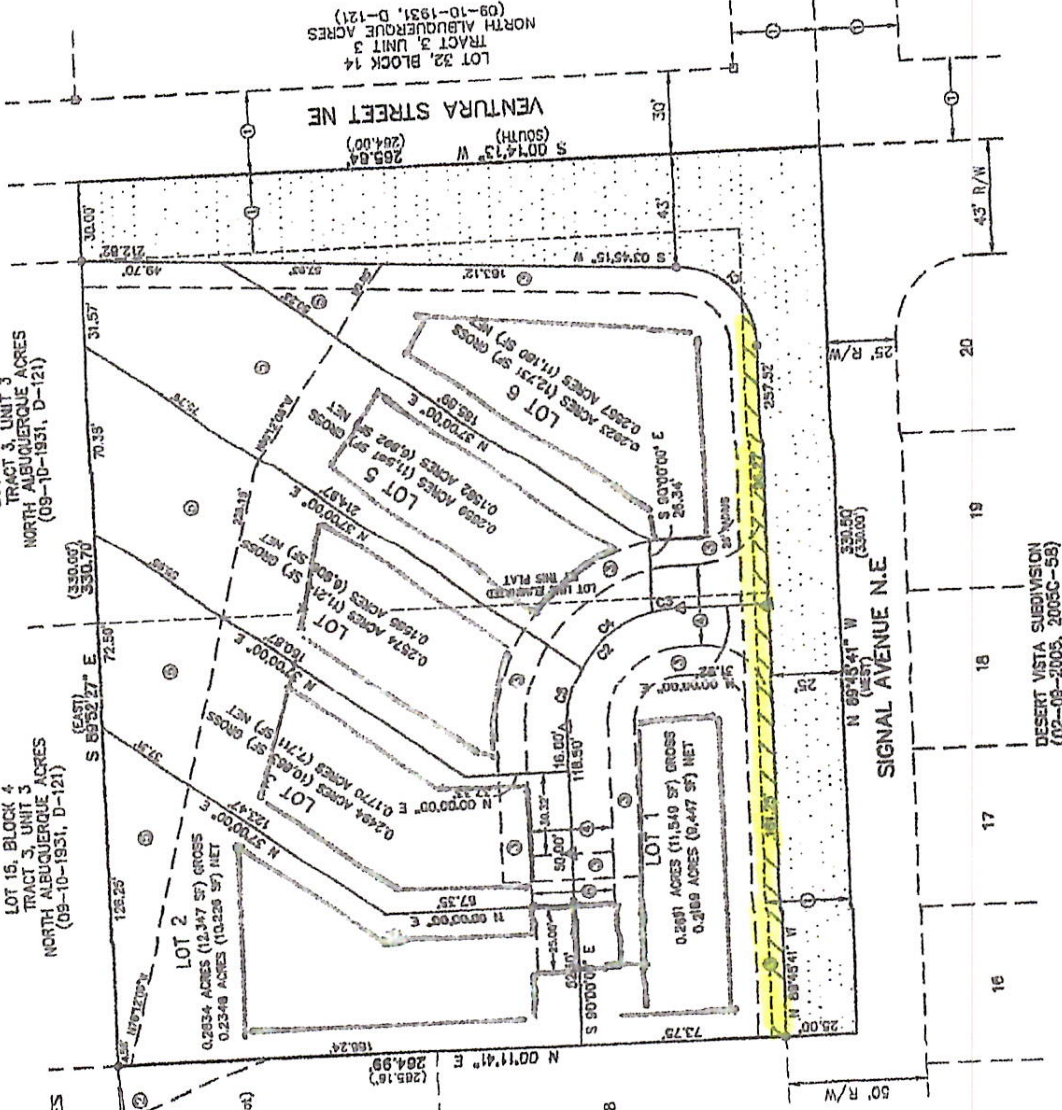
**DESCRIPTION**  
with the Elvia Grantee Grant, Projected Section 17, Township 11 North, Range 4 East, N.M.P.M., Bernalillo County, New Mexico, being a part of Lots 17 and 18, Block 4, Tract 3, Unit 3, North Albuquerque, New Mexico, as shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, in Volume D, File 121, and containing 2,065 acres more or less.

CURVE	ARC LENGTH	CHORD BEARS	CHORD LENGTH
C1	45.28	S 25°07' W	41.11
C2	66.76	N 87°00' W	10.10
C3	10.12	N 87°00' W	10.10
C4	33.77	S 87°00' W	33.84
C5	22.02	N 145°05' W	22.84

**LOT 14, BLOCK 4  
TRACT 3, UNIT 3  
NORTH ALBUQUERQUE ACRES  
(09-10-1931, D-121)**

**LOT 15, BLOCK 4  
TRACT 3, UNIT 3  
NORTH ALBUQUERQUE ACRES  
(09-10-1931, D-121)**

**LOT 16, BLOCK 4  
TRACT 3, UNIT 3  
NORTH ALBUQUERQUE ACRES  
(09-10-1931, D-121)**



**ALDRICH LAND SURVEYING**  
P.O. BOX 30701, ALBU, N.M. 87190  
505-804-1800

Drawn By	TA	Date
Checked By <th>TA</th> <th>Date</th>	TA	Date
App. No.	18-002	2 of 2

*EXHIBIT "F"*



*24' c-c*  
*32' c-c*  
 Minimum 10' from Signal Avenue N.E.

CURVE	ARC LENGTH	RADIUS	BETA ANGLE	CHORD BEARINGS	CHORD LENGTH
C1	45.26	230.00	57.29°	S 89°52'27" E	41.11
C2	95.76	42.50	50°00'00"	N 37°00'00" E	10.10
C3	10.72	42.50	15°25'45"	N 74°35'03" W	2.84
C4	55.72	42.50	87°27'24"	N 74°35'03" W	24.64
C5	22.52	42.50	37°52'45"	N 74°35'03" W	24.64

LOT 14, BLOCK 4  
 TRACT 3, UNIT 3  
 NORTH ALBUQUERQUE ACRES  
 (09-10-1931, D-121)

LOT 2  
 0.2834 ACRES (12,397 SF) GROSS  
 0.2348 ACRES (10,226 SF) NET

LOT 3  
 0.2482 ACRES (10,800 SF) GROSS  
 0.1770 ACRES (7,711 SF) NET

LOT 4  
 0.2572 ACRES (11,207 SF) GROSS  
 0.1807 ACRES (7,987 SF) NET

LOT 5  
 0.2539 ACRES (11,092 SF) GROSS  
 0.1892 ACRES (8,692 SF) NET

LOT 6  
 0.2523 ACRES (10,721 SF) GROSS  
 0.2057 ACRES (9,180 SF) NET

LOT 1  
 0.2681 ACRES (11,548 SF) GROSS  
 0.2169 ACRES (9,447 SF) NET

LOT 15, BLOCK 4  
 TRACT 3, UNIT 3  
 NORTH ALBUQUERQUE ACRES  
 (09-10-1931, D-121)

LOT 16, BLOCK 4  
 TRACT 3, UNIT 3  
 NORTH ALBUQUERQUE ACRES  
 (09-10-1931, D-121)

LOT 32, BLOCK 4  
 TRACT 3, UNIT 3  
 NORTH ALBUQUERQUE ACRES  
 (09-10-1931, D-121)

DESCRIPTION  
 within the Block 4 area, within the Block 4 area, projected section 17, Township 11 North, Range 4 East, Meridian 17 and 18, Block 4, Tract 3, Unit 3, North Albuquerque Acres, as the same were shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico on September 16, 1931, in Volume D, Page 121, and containing 2.0356 acres more or less.

AGRS MONUMENT  
 7-CR 1652 (US Survey Foot)  
 1-1822471138 (US Survey Foot)  
 C-150-895650745  
 Area-0010724.76  
 ELEVATION-5485.723 (US Survey Foot)  
 CENTRAL ZONE  
 (RADIOS/NAVD83)

SIGNAL POINT SUBDIVISION  
 (03-28-2016, 2016C-28)  
 1  
 264.99  
 (205.16)  
 N 001°14'1" E

VENTURA STREET NE  
 269.64  
 (264.00)  
 S 001°14'13" W

SIGNAL AVENUE N.E.  
 330.50  
 (330.00)  
 N 89°43'41" W

PROPERTY CORNERS  
 ○ SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7716" (TYP)  
 ● FOUND 5/8" REBAR WITH TAG "LS 11465"  
 □ FOUND 1/2" REBAR  
 △ SET C.O.A. CENTERLINE MONUMENT "LS 7716" (TYPICAL)

FLAT OF  
 LOT 1 THRU 6  
 SIGNAL VILLAGE  
 WITHIN THE  
 ELENA GRANT  
 PROJECTED SECTION 17  
 TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 APRIL, 2018

Scale 1" = 30'



EASEMENTS  
 ① EXISTING 30' ROADWAY AND UTILITY EASEMENT (09-10-1931, D-121)  
 ② EXISTING COA PUBLIC DRAINAGE EASEMENT (03-28-2016, 2016C-28)  
 ③ 10' FUE (GRANTED BY THIS PLAT)  
 ④ 28.50' PRIVATE ACCESS, PRIVATE DRAINAGE, AGRICOLA PUBLIC WATER AND AGRICOLA PUBLIC SANITARY SEWER EASEMENT (GRANTED BY THIS PLAT) (SEE NOTE 14)  
 ⑤ C.O.A. PUBLIC DRAINAGE EASEMENT TO BE MAINTAINED BY HOME OWNERS ASSOCIATION (GRANTED BY THIS PLAT)  
 ⑥ 28.50' RECREATIONAL ACCESS EASEMENT (GRANTED BY THIS PLAT) (SEE NOTE 15)

PUBLIC STREET R/W (0.4001 ACRES) (DECATED BY THIS PLAT)  
 ROADWAY AND UTILITY EASEMENT (0.0308 ACRES) (VACATED BY THIS PLAT)

DESERT VISTA SUBDIVISION  
 (02-08-2005, 2005C-55)

ADIRCH LAND SURVEYING  
 P.O. BOX 30701, ALBU, N.M. 87180  
 505-264-1830

Drawn By	TR	Date	01-01-18
Checked By <td>TA</td> <td>Drawing Title</td> <td>SEALOFF-LENS</td>	TA	Drawing Title	SEALOFF-LENS
4th Rev	18-002	Sheets	2 of 2

04-07-18 REV

Exhibit "H"

**FORM DRWS: DRAINAGE REPORT / WATER & SANITARY SEWER AVAILABILITY**  
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION  
FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

**PROJECT NAME:** Signal Village

**AGIS MAP #** \_\_\_\_\_

**LEGAL DESCRIPTIONS:** Lots 17 & 18, Block 4, Tract c Unit 3, NAA

✓ **DRAINAGE REPORT**

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2<sup>nd</sup> Floor Plaza del Sol) on April 20, 2018 (date).

Dave Thompson/Bob Keeran  
Applicant/Agent

April 20, 2018  
Date

[Signature]  
Hydrology Division Representative

4/20/18  
Date

✓ **WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2<sup>nd</sup> floor, Plaza del Sol) on April 20, 2018 (date).

Dave Thompson/Bob Keeran  
Applicant/Agent

April 20, 2018  
Date

[Signature]  
Utilities Division Representative

4-20-18  
Date

**PROJECT #**

1011598

EXHIBIT "I"

DRAINAGE INFORMATION SHEET  
(REV. 1/28/2003rd)

PROJECT TITLE: SIGNAL VILLAGE SUBDIVISION ZONE MAP/DRG. FILE #: C-20  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 17 & 18, BLOCK 4, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Thompson Engineering Consultants, Inc.  
ADDRESS: P.O. Box 65760  
CITY, STATE: Albuquerque, NM

CONTACT: David Thompson  
PHONE: 271-2199  
ZIP CODE: 87193

OWNER: Llave Enterprises, Inc.  
ADDRESS: 8830 Keeran Lane NE  
CITY, STATE: Albuquerque, NM

CONTACT: Bob Keeran  
PHONE: 249-1502  
ZIP CODE: 87122

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Aldrich Land Surveying  
ADDRESS: P.O. Box 30701  
CITY, STATE: Albuquerque, NM

CONTACT: Tim Aldrich  
PHONE: 884-1990  
ZIP CODE: 87190

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, REQUIRES TCL or equal
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERTIFICATION (TCL)
- ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER


CHECK TYPE OF APPROVAL SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

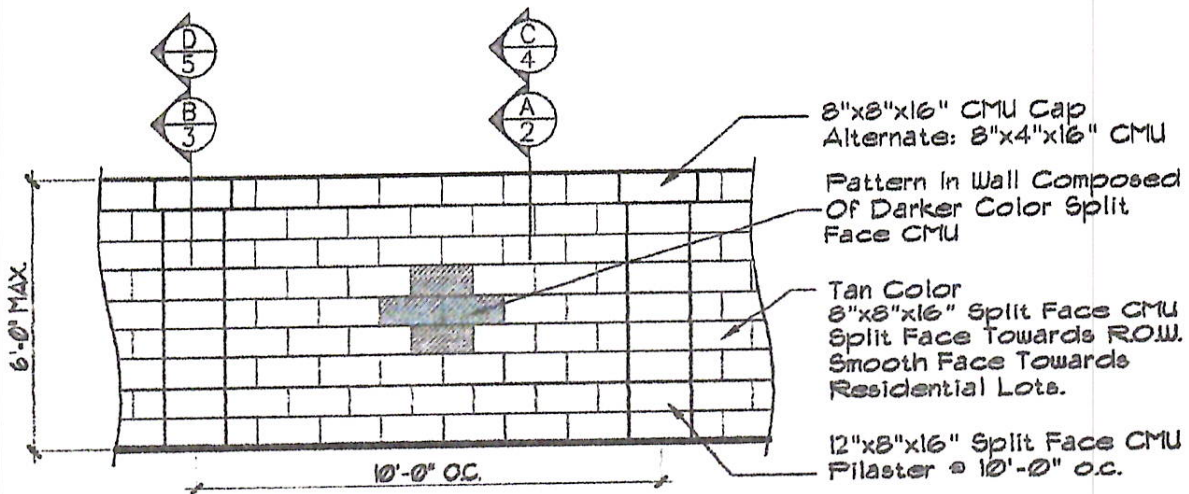
DATE SUBMITTED: April 20, 2018

BY: 

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

EXHIBIT "J"



### Perimeter Wall Elevation

1/4" = 1'-0"

DRB Project # 1010010

3,000  
psi Conc.  
Thru-Out

*EXHIBIT "K"*

**LLAVE ENTERPRISES, INC.  
8830 Keeran Ln. NE  
Albuquerque, NM 87122  
(505) 249-1502**

*Vineyard Estates NA*

April 20, 2018

*ATTN:*

Subject: Request for a Preliminary Plat of Lots 17 & 18, Blk. 4, U. 3, Tr. 3, NAA, including a request for a 5' Vacation of Public Right-of-Way in Signal Ave., a Sidewalk Variance within the subdivision and a request for a Design Variance from minimum DPM Standards.

*ELIZABETH MEELS  
830 MENAOCIND DRIVE NE  
AB NM 87122*

Ladies and Gentlemen:

The purpose of this submittal is to obtain the approval of an application for preliminary plat aka the Re-plat of Lots 17 & 18, Blk. 4, U.3, Tr. 3, NAA into a six lot subdivision to be known as Signal Village. In addition, this is a request for the Vacation of Public Right-of-Way, Sidewalk Variance and a Design Variance from minimum DPM Standards. Copies of the following are attached for your review and approval:

1. The proposed Preliminary Plat including language specifically allowing for a 6" Public Water line and an 8" Sewer line to be constructed in the Private Access Easement to be known as Signal Village Ln. NE, in addition to calling out the Beneficiaries per Item #14, page 1 of 2, 5' Vacation of Signal shown on plat after dedication of 30' of Signal.
2. Document which created the public easement.
3. Zone Atlas page C-20 with the property outlined.
4. Drawing of the Sidewalk variance. We're asking for a 4' wide sidewalk to be built only on the north side of Signal Village Ln. NE against the back of the curb without a landscape buffer.
5. Drawing of the proposed 50' cross section of Signal Ave.
6. Drawing of the proposed 29.5' cross section of Signal Village Ln. NE.
7. Site Sketch and drawing of the open space requirement showing how the RD zone open space requirement of 2,400 sq. ft. is being met (six copies)
8. Drainage form & Water & Sewer Availability Statement
9. Proposed Infrastructure List.
10. Design elevation and cross section of perimeter wall.
11. Office of Neighborhood Coordination inquiry response, notifying letter & certified mail receipts.

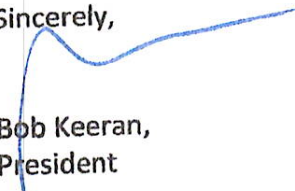
Pursuant to Section 14-14-6-1 (A) we're asking for an approval of a blanket variance for the subdivision because it encourages flexibility and ingenuity in design of the subdivision due to difficulty resulting from strict compliance with the minimum standards as follows:

1. The Variance will not be injurious to the public safety, health or welfare, or to adjacent property, the neighborhood or the community; and

2. The variances will not conflict significantly with the goals and provisions of any city, county, or AMAFCA adopted plan or policy, the applicable zoning ordinance, or any other city code or ordinance; and
3. The variance will not permit, encourage or make possible undesired development in the 100-year Flood Plain; and
4. The variances will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements; and
5. One of more bases listed in Section 14-14-6-1 applies.
- 6.

Thanks for your cooperation in this matter and look forward to your approval. If you have any questions, please don't hesitate to call me @ 505.249.1502.

Sincerely,



**Bob Keeran,  
President**

Signal Village Request 4.20.2018

EXHIBIT 2<sup>4</sup>

**LLAVE ENTERPRISES, INC.**  
**8830 Keeran Ln. NE**  
**Albuquerque, NM 87122**  
**(505) 249-1502**

*Vineyard Estates NA*

April 20, 2018

*ATTN:*

Subject: Request for a Preliminary Plat of Lots 17 & 18, Blk. 4, U. 3, Tr. 3, NAA, including a request for a 5' Vacation of Public Right-of-Way in Signal Ave., a Sidewalk Variance within the subdivision and a request for a Design Variance from minimum DPM Standards.

Ladies and Gentlemen:

*David Emzeli  
8405 VINTAGE DRIVE NE  
APT. NM 87122*

The purpose of this submittal is to obtain the approval of an application for preliminary plat aka the Re-plat of Lots 17 & 18, Blk. 4, U.3, Tr. 3, NAA into a six lot subdivision to be known as Signal Village. In addition, this is a request for the Vacation of Public Right-of-Way, Sidewalk Variance and a Design Variance from minimum DPM Standards. Copies of the following are attached for your review and approval:

1. The proposed Preliminary Plat including language specifically allowing for a 6" Public Water line and an 8" Sewer line to be constructed in the Private Access Easement to be known as Signal Village Ln. NE, in addition to calling out the Beneficiaries per Item #14, page 1 of 2, 5' Vacation of Signal shown on plat after dedication of 30' of Signal.
2. Document which created the public easement.
3. Zone Atlas page C-20 with the property outlined.
4. Drawing of the Sidewalk variance. We're asking for a 4' wide sidewalk to be built only on the north side of Signal Village Ln. NE against the back of the curb without a landscape buffer.
5. Drawing of the proposed 50' cross section of Signal Ave.
6. Drawing of the proposed 29.5' cross section of Signal Village Ln. NE.
7. Site Sketch and drawing of the open space requirement showing how the RD zone open space requirement of 2,400 sq. ft. is being met (six copies)
8. Drainage form & Water & Sewer Availability Statement
9. Proposed Infrastructure List.
10. Design elevation and cross section of perimeter wall.
11. Office of Neighborhood Coordination inquiry response, notifying letter & certified mail receipts.

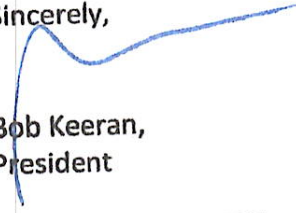
Pursuant to Section 14-14-6-1 (A) we're asking for an approval of a blanket variance for the subdivision because it encourages flexibility and ingenuity in design of the subdivision due to difficulty resulting from strict compliance with the minimum standards as follows:

1. The Variance will not be injurious to the public safety, health or welfare, or to adjacent property, the neighborhood or the community; and

2. The variances will not conflict significantly with the goals and provisions of any city, county, or AMAFCA adopted plan or policy, the applicable zoning ordinance, or any other city code or ordinance; and
3. The variance will not permit, encourage or make possible undesired development in the 100-year Flood Plain; and
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5. One of more bases listed in Section 14-14-6-1 applies.
- 6.

Thanks for your cooperation in this matter and look forward to your approval. If you have any questions, please don't hesitate to call me @ 505.249.1502.

Sincerely,



**Bob Keeran,  
President**

Signal Village Request 4.20.2018



EXHIBIT "M"

LLAVE ENTERPRISES, INC.  
8830 Keeran Ln. NE  
Albuquerque, NM 87122  
(505) 249-1502

NOV ESTE NK  
ATTN:

April 20, 2018

Subject: Request for a Preliminary Plat of Lots 17 & 18, Blk. 4, U. 3, Tr. 3, NAA, including a request for a 5' Vacation of Public Right-of-Way in Signal Ave., a Sidewalk Variance within the subdivision and a request for a Design Variance from minimum DPM Standards.

Ladies and Gentlemen:

JIM GRIFFEE  
PO BOX 94115  
ALB NM 87199

The purpose of this submittal is to obtain the approval of an application for preliminary plat aka the Re-plat of Lots 17 & 18, Blk. 4, U.3, Tr. 3, NAA into a six lot subdivision to be known as Signal Village. In addition, this is a request for the Vacation of Public Right-of-Way, Sidewalk Variance and a Design Variance from minimum DPM Standards. Copies of the following are attached for your review and approval:

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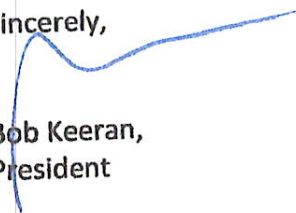
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5. One of more bases listed in Section 14-14-6-1 applies.
- 6.

Thanks for your cooperation in this matter and look forward to your approval. If you have any questions, please don't hesitate to call me @ 505.249.1502.

Sincerely,



**Bob Keeran,  
President**

Signal Village Request 4.20.2018

EXHIBIT "N"

LLAVE ENTERPRISES, INC.  
8830 Keeran Ln. NE  
Albuquerque, NM 87122  
(505) 249-1502

NOR ESTE MA  
ATTN:

April 20, 2018

Subject: Request for a Preliminary Plat of Lots 17 & 18, Blk. 4, U. 3, Tr. 3, NAA, including a request for a 5' Vacation of Public Right-of-Way in Signal Ave., a Sidewalk Variance within the subdivision and a request for a Design Variance from minimum DPM Standards.

Ladies and Gentlemen:

Rosen + Sudd  
8916 Olive Street NE  
Albuquerque NM 87113

The purpose of this submittal is to obtain the approval of an application for preliminary plat aka the Re-plat of Lots 17 & 18, Blk. 4, U.3, Tr. 3, NAA into a six lot subdivision to be known as Signal Village. In addition, this is a request for the Vacation of Public Right-of-Way, Sidewalk Variance and a Design Variance from minimum DPM Standards. Copies of the following are attached for your review and approval:

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- 6.

Thanks for your cooperation in this matter and look forward to your approval. If you have any questions, please don't hesitate to call me @ 505.249.1502.

Sincerely,



**Bob Keeran,  
President**

Signal Village Request 4.20.2018

Current DRC Project Number: \_\_\_\_\_  
 Date Submitted: 6/13/18  
 Date Site Plan Approved: \_\_\_\_\_  
 Date Preliminary Plat Expires: \_\_\_\_\_  
 Date Preliminary Plat Expires: \_\_\_\_\_  
 DRB Project No.: 1011598  
 IRB Application No.: 18-DRB-70137-70140

**FIGURE 12**  
**INFRASTRUCTURE LIST**  
 (Rev. 2-16-18)  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Signal Village Subdivision  
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN  
 Lots 17 & 18, Block 4, Tract 3, Unit 3, NAA  
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		STD	Curb & Gutter North Side of Street	Signal Ave.	W. PL Lot 18	E. PL Lot 17	/	/	/
		6' Wide	PCC Concrete Sidewalk North Side of Street	Signal Ave	W. PL Lot 18	E. PL Lot 17	/	/	/
		16' Face to Crown	Permanent Asphalt Pavement North Side of Street	Signal Ave	W. PL Lot 18	E. PL Lot 17	/	/	/
		24'	Private Roadway with Roll Curb & Gutter	Signal Village Ln. AKA Private Access Easement	Signal Ave.	W. Roll Curb Signal Village Ln.	/	/	/
		4' Wide	Sidewalk @ back of curb North Side of Signal Village Ln. only	Signal Village Ln. AKA Private Access Easement	Signal Ave.	W. Roll Curb Signal Village Ln.	/	/	/
		8"	Water Line	Signal Ave.	Existing 8" WL W. PL Lot 18	E. PL Lot 17 & new 12" line in Ventura	/	/	/
		4"	150' Water Line	Signal Village Ln. AKA Private Access Easement	Signal	W. Roll Curb Signal Village Ln.	/	/	/
		8"	150' Sanitary Sewer	Signal Village Ln. AKA Private Access Ventura	Signal	W. Roll Curb Signal Village Ln.	/	/	/
		12"	Water Line	AKA Private Access Ventura	existing 12" WL in Signal	E. PL Lot 17	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	Private P.E.	City Crst Engineer
		STD	Curb & Gutter west side of Street	Ventura	E PL Lot 17	N. PL Lot 17	/	/	/
		6' wide	PCC Concrete Sidewalk	Ventura	E PL Lot 17	N. PL Lot 17	/	/	/
		20' face to crown	Permanent Asphalt pavement	Ventura	E PL Lot 17	N. PL Lot 17	/	/	/
		LOMR	LOMR	La Cueva Arroyo	W. PL Lot 18	E. PL Lot 17	/	/	/
		Item	Engineer's Certification of the private G&D required prior to release of financial guarantees				/	/	/
		Item	Private scour protection including Agreement and Covenant				/	/	/
		Additional Items	May be required after the G&D is approved by hydrology including but not limited to a dip section on Ventura				/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		Approval of Creditable Items:	City User Dept. Signature	Date
							Inspector	City Cnst Engineer			
							/	/	/		
							/	/	/		

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1

2

3

**AGENT / OWNER** \_\_\_\_\_ **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**Bob Keeran**  
NAME (print)

\_\_\_\_\_ DRB CHAIR - date \_\_\_\_\_ PARKS & RECREATION - date \_\_\_\_\_

**Llave Enterprises, Inc.**  
FIRM

\_\_\_\_\_ TRANSPORTATION DEVELOPMENT - date \_\_\_\_\_ AMAFCA - date \_\_\_\_\_

SIGNATURE - date \_\_\_\_\_

\_\_\_\_\_ UTILITY DEVELOPMENT - date \_\_\_\_\_ CODE ENFORCEMENT - date \_\_\_\_\_

CITY ENGINEER - date \_\_\_\_\_ - date \_\_\_\_\_

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

# Fw: DRB Project No 2011598

**Robert Keeran**

Sat 5/19/2018 8:25 AM

To: jertsgaard@abcwua.org <jertsgaard@abcwua.org>;

1 attachment (2 MB)

Signal Village 5.16.18 followup.PDF;

---

**From:** Robert Keeran <llavehomes@hotmail.com>  
**Sent:** Saturday, May 19, 2018 8:00 AM  
**To:** jertsgaaard@abcwua.org  
**Subject:** DRB Project No 2011598

Jon,

Per your request, I've attached a copy of the Fire Marshall's approval of Signal Village and a copy of the plat showing the Fire Hydrant on Signal allowing us to reduce the pipe in Signal Village Ln to a 4" line per your suggestion. In addition, I've attached a revised copy of the infrastructure list for your review. Please let me know if there is any other information you require at your earliest convenience so I can chase it down prior to the June 13, 2018 hearing.

Bob Keeran  
505.249.1502



Virus-free. [www.avast.com](http://www.avast.com)



**FLAT OF  
LOT 1 THRU 6  
SIGNAL VILLAGE  
WITHIN THE  
ELENA GRANT  
PROJECTED SECTION 17  
TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2018**

PROJECT NUMBER: \_\_\_\_\_  
Application Number: \_\_\_\_\_  
PLAT APPROVAL  
Utility Approval: \_\_\_\_\_

Public Service Company of New Mexico \_\_\_\_\_ Date  
New Mexico Gas Company \_\_\_\_\_ Date  
Quest Corporation dba CenturyLink QX \_\_\_\_\_ Date  
Comcast \_\_\_\_\_ Date  
City Approvals: \_\_\_\_\_ Date  
City Surveyor \_\_\_\_\_ Date  
Read Property Division \_\_\_\_\_ Date  
Traffic Engineering, Transportation Division \_\_\_\_\_ Date  
Albuquerque-Bernalillo County Water Utility Authority \_\_\_\_\_ Date  
Parks and Recreation Department \_\_\_\_\_ Date  
AUNACA \_\_\_\_\_ Date  
City Engineer/Hydrology \_\_\_\_\_ Date  
Code Enforcement \_\_\_\_\_ Date  
Solid Waste Management \_\_\_\_\_ Date  
DRB Chairperson, Planning Department \_\_\_\_\_ Date

**SOLAR NOTE**  
No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lot or parcels within the area of this plat.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:  
1. Public Service Company of New Mexico (PNU) for the installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.  
2. New Mexico Gas Company (NMGCO) for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.  
3. Quest Communications d/b/a Century Link (QUEST) for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground polelines and enclosures.  
4. Comcast for the installation, maintenance, and service of such lines, cables and other related equipment and facilities reasonably necessary to provide Cable TV services.  
Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said right-of-way and easement, with the right and privilege of going upon, over and across adjoining lands of greater for the purposes set forth herein and with the right to utilize the right-of-way and easement to extend services to customers of greater, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of poles, decking, or any structures adjacent to or near easements shown on this plat.  
Easements for electric transformers/switchgear, as indicated on the plat, shall extend ten (10) feet in front of transformer/switchgear and shall be five (5) feet on each side.

**DISCLAIMER**

In approving this plat, FNM, NMGCO, QUEST and COMCAST do not conduct a title search of the properties shown herein. Consequently, FNM, NMGCO, QUEST and COMCAST do not make or release any easement or easement rights which may have been granted by prior plat, register or other document and which are shown on this plat.

**FREE CONSENT AND DEDICATION**

The subdivision hereon described is with the free consent of the proprietor(s) thereof, Said owner(s) and/or proprietor(s) do hereby consent to the creation of Lots 1 thru 6 as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby dedicate all public right-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that the subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indisputable title in fee simple to the land subdivided.

Owner: Llave Enterprises, Inc., a New Mexico corporation

Date \_\_\_\_\_

Robert Keenan, President

STATE OF NEW MEXICO }  
BERNALILLO COUNTY }

On this \_\_\_\_\_ day of \_\_\_\_\_, 2018, this instrument was acknowledged before me by Robert Keenan, President of Llave Enterprises, Inc., a New Mexico corporation, on behalf of said corporation.

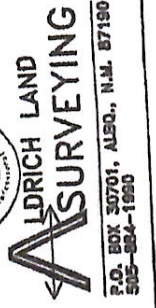
Notary Public



5/10/18

TORNADO BOUND  
ONLY

Timothy Aldrich, P.S. No. 7719  
Date 04/07/2018



Drawn By	TA	Date	04-04-18
Checked By	TA	Drawing Scale	AS SHOWN
Job No.	TE-028	Sheet	1 of 2



**LOCATION MAP**

**PURPOSE OF PLAT**

- To create Lots 1 thru 6 as shown hereon.
- To grant easements as shown hereon.

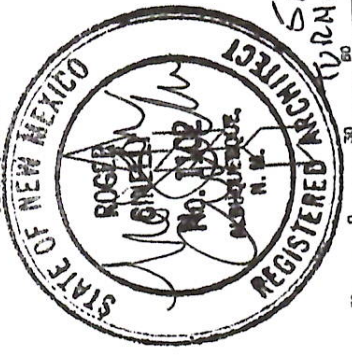
**SUBDIVISION DATA**

- DOB Case No.:
- Project No.:
- Zone Area Index No.: C-20-2
- Total Number of Lots created: 6
- Total Number of existing Lots: 2
- Total Number of Tracts created: 0
- Gross Subdivision Acreage: 2.0139 Acres

**NOTES**

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parentheses are record encumbrances.
- Beats of boundary is from the plot of record entitled: "NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3", (09-10-1931, D-121)  
"DESERT VISTA SUBDIVISION", (02-09-2008, 2008C-55)  
"SIGNAL PONTE SUBDIVISION", (03-28-2016, 2016C-28)  
all being records of Bernalillo County, New Mexico.
- Field Survey: February, 2017.
- Title Report(s): None provided.
- Address of Property: Signal Avenue NE.
- City of Albuquerque, New Mexico Zone: R-0
- 100 Year Flood Zone Designation: ZONE A0 & X, Panel 141 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 28, 2008. Revised by LOMR effective November 6, 2012.
- Unless shown otherwise all points are set 1/2" rebar with cap or PR nail with tag "LS 7719".
- Manholes will be offset at all points of curvature, points of tangency, street intersections and at other angle points to clear use of centeline monumentation.
- City of Albuquerque Standard Centeline Monuments will be installed at all points indicated thus "Z", PS # 7719.  
= 4,546 SF  
= 13,378 SF  
Area of Public Drainage Easement = 52,552 SF  
Area of Lots less Areas & Drainage Easement = 17,427 SF  
Area of Public Right-of-Way Dedication = 87,713 SF (2.0135 Acres)  
Area Total Gross Subdivision
- All interior streets are private and are for private access and public drainage. They are for the joint use and benefit of Lots 1-6 and shall be maintained by the Home Owner's Association.
- A redwood access easement is granted on Lots 1, 2 & 3 for the shared driveway for the benefit of said lots and to be maintained by the center of said lots.
- Open space of 2400 square feet or more per dwelling shall be preserved on each lot per the provisions of Section 14-16-3-6(o)(3).

**PLAT OF  
LOT 1 THRU 6  
SIGNAL VILLAGE  
WITHIN THE  
ELENA GRANT  
PROJECTED SECTION 17  
TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL 2018**

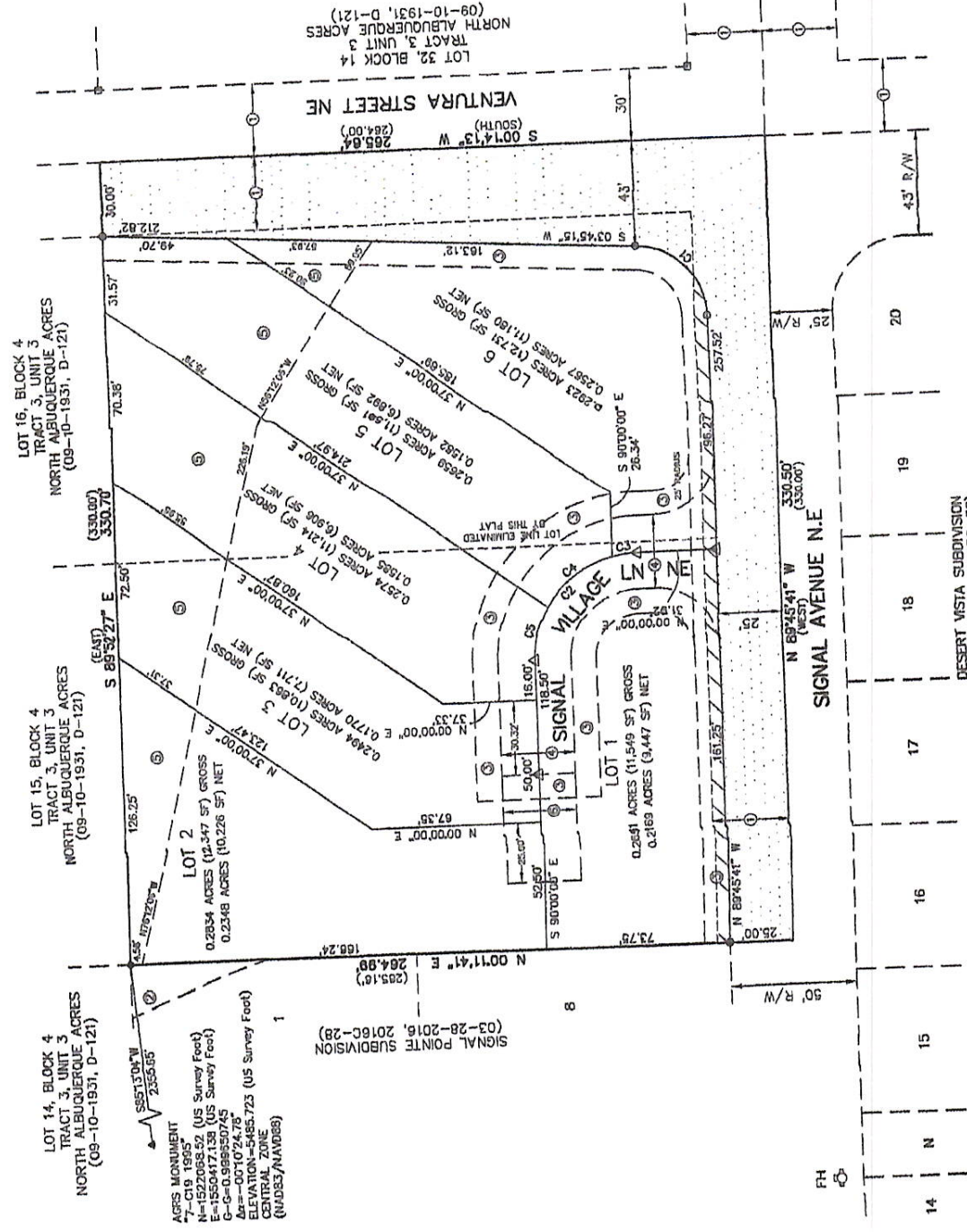


Scale 1" = 30'

*5/10/18  
TURN AROUND  
ONLY*

**DESCRIPTION**  
A tract of land situated within the Elena Gallegos Grant, projected Section 17, Township 11 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being all of LOTS 17 AND 18, BLOCK 4, TRACT 3, UNIT 3, NORTH ALBUQUERQUE DESERT VISTA SUBDIVISION, as shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931, in Volume D, Page 121, and containing 2.0135 acres more or less.

CURVE	ARC LENGTH	RADIUS	DETA ANGLE	CHORD BEARING	CHORD LENGTH
C1	45.28'	30.00'	87.07°	S 65°59'47" W	41.11'
C2	66.76'	42.50'	89.00°	N 60°00'00" W	60.10'
C3	10.12'	42.50'	13.97°	N 6°48'24" W	10.10'
C4	53.72'	42.50'	57.74°	N 52°22'30" W	52.84'
C5	22.92'	42.50'	35.54°	N 74°53'05" W	22.64'



- EASEMENTS**
- EXISTING 30' ROADWAY AND UTILITY EASEMENT (09-10-1931, D-121)
  - EXISTING COA PUBLIC DRAINAGE EASEMENT (03-28-2016, 2016C-28)
  - 10' PUE (GRANTED BY THIS PLAT)
  - 20.50' PRIVATE ACCESS, PRIVATE DRAINAGE, ABOVIA PUBLIC WATER AND ABOVIA PUBLIC SANITARY SEWER EASEMENT (GRANTED BY THIS PLAT) (SEE NOTE 14)
  - C.O.A. PUBLIC DRAINAGE EASEMENT TO BE MAINTAINED BY HOME OWNER'S ASSOCIATION (GRANTED BY THIS PLAT)
  - 29.50' RECIPROCAL ACCESS EASEMENT (GRANTED BY THIS PLAT) (SEE NOTE 15)

- PUBLIC STREET R/W (0.4008 ACRES) (DEDICATED BY THIS PLAT)
- ROADWAY AND UTILITY EASEMENT (0.0309 ACRES) (VACATED BY THIS PLAT)

**ALDRICH LAND SURVEYING**  
P.O. BOX 30701, ALBU., N.M. 87150  
505-864-1990

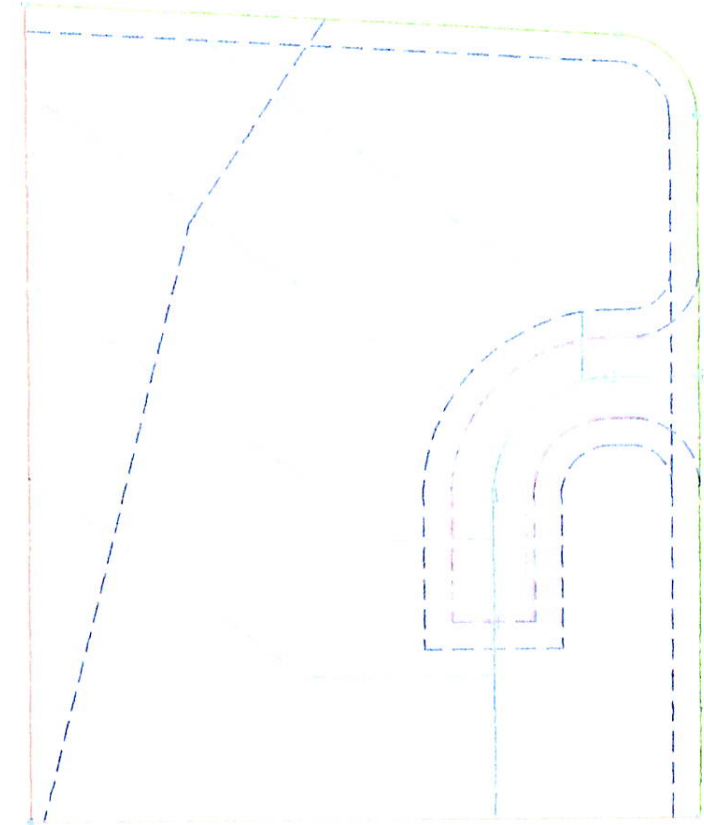
Date By	TA	Scale	04-15-18 rev
Checked By	TA	Drawing Name	04-07-18 rev
Job No.	18-002	Sheet	2 of 2

- PROPERTY CORNERS**
- SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7719" (TYP.)
  - FOUND 5/8" REBAR WITH TAG "LS 11463"
  - FOUND 1/2" REBAR
  - SET C.O.A. CENTERLINE MONUMENT "LS 7719" (TYPICAL)

EXHIBIT FOR  
SIGNAL VILLAGE LANE  
WITHIN THE

ELEVA GRANT  
PROJECTED SECTION 17  
TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.  
CITY OF ALEBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2018

SIGNAL VILLAGE LANE 4' 4.0' 10' 3'



VERBENA FIELD



5/10/18  
FUNAROUNA  
ONLY



P.O. BOX 30701, ALBUQ., N.M. 87160  
505-884-1890

**HYDRANT AND FIRE ACCESS**  
ALEBUQUERQUE FIRE MARSHAL'S OFFICE  
PLANS CHECKING DIVISION  
CONSTRUCTION TYPE \_\_\_\_\_  
DATE \_\_\_\_\_  
**APPROVED / DISAPPROVED**  
Lance Lawert 5/10/18  
MANAGER OF HYDRANTS

Hydrant Only  
Access



CITY/COUNTY REVIEW

DEPARTMENT	DATE
WASTEWATER DEPT. DIV.	
PLANNING DIV.	
ENGINEERING DIV.	
CONSTRUCTION DIV.	
OPERATIONS DIV.	
UTILITY DIV.	
STREETS	
TRAFFIC	

FOR CITY/COUNTY USE ONLY

SIGNAL VILLAGE

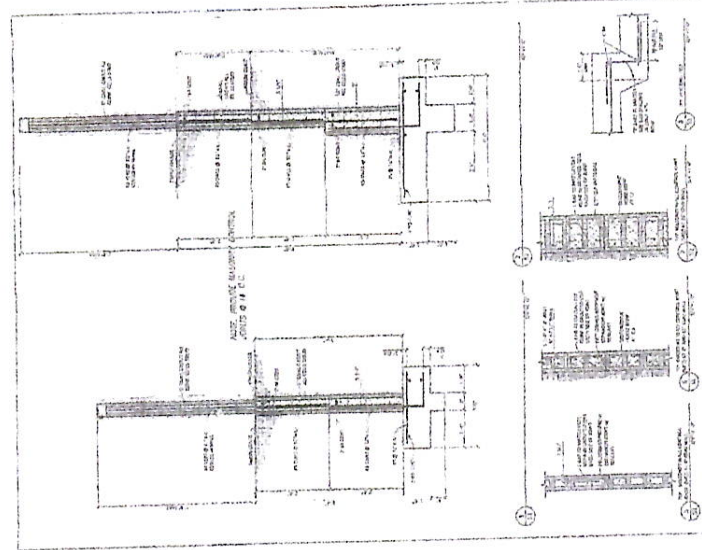
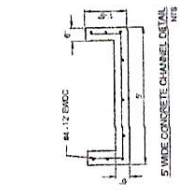
MISCELLANEOUS DETAILS



NO.	REVISION	BY	DATE

PROJECT	
DATE	
CHECKED BY	
DESIGNED BY	
FILE	
VERT. SCALE	
HORIZ. SCALE	

**Tomson Engineering**  
 7000 GARDEN ROAD, SUITE 200  
 FARMINGTON, MA 01103  
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 FAX: (508) 971-9198  
 WWW.TOMSON-ENG.COM



REINFORCED CONCRETE MASONRY / SCOUR WALL