

# Grading/Drainage Plan

## Existing Conditions

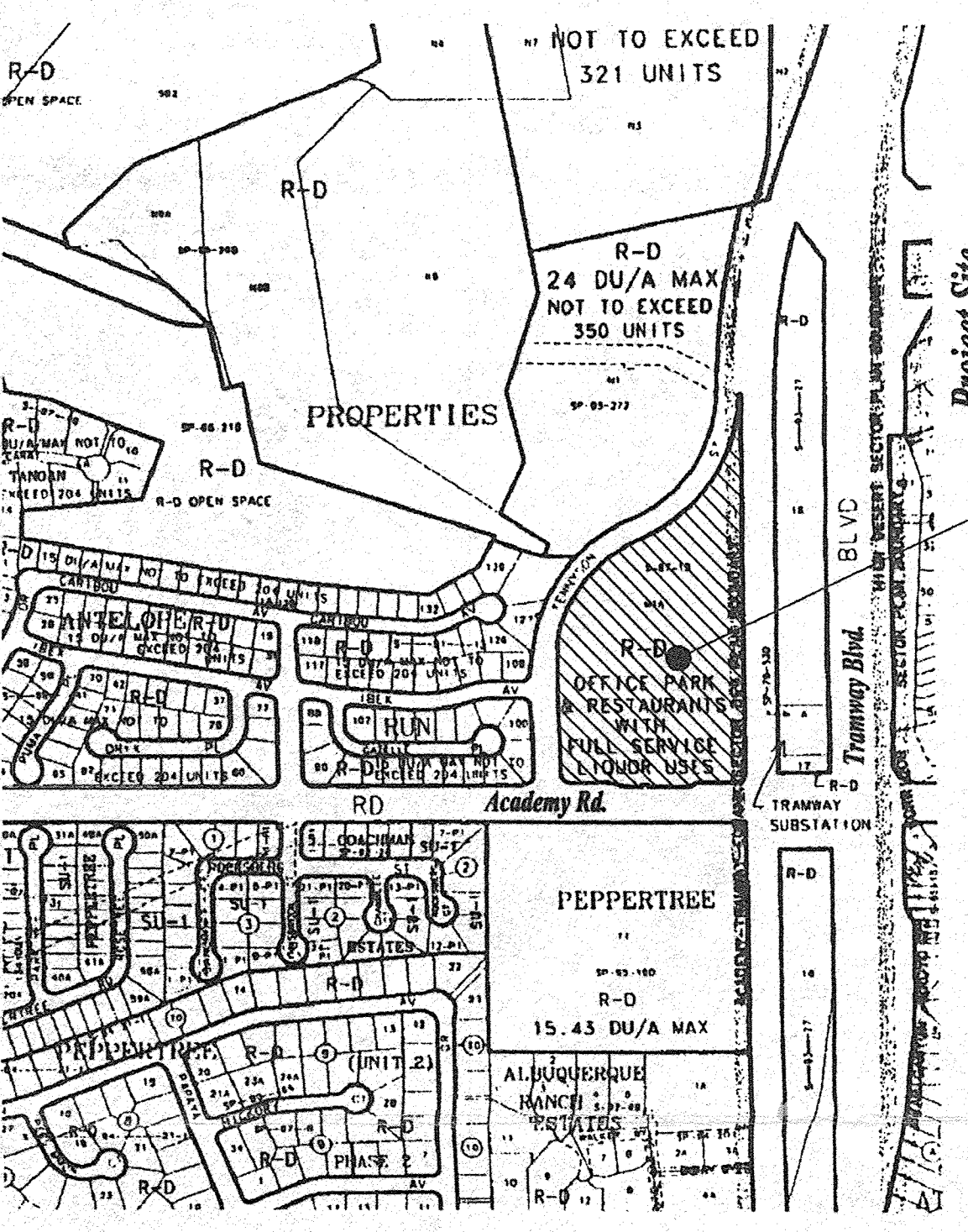
The site is largely developed in its existing condition. A major grocery store, Lucky Seven, has been constructed on the property and all the major parking area is constructed. Four pad sites for future development have been graded but remain undeveloped at this time. In accordance with an approved plan on file with City Hydrology, the site splits its storm runoff flows in two locations. The southwest corner of the property generates approximately 10 cfs and discharges it through sidewalk culverts to Academy Road and Tennyson Street. The bulk of the site, however, discharges approximately 65 cfs to an on-site storm drain system which then discharges to a major 96" storm drain in Tennyson. This 96" storm drain then discharges to the Pino Dam located north of the site. A portion of the 65 cfs discharged from the site in off-site flows of approximately 28 cfs to be generated by future development anticipated in the area immediately to the east of the project site.

The above describes the overall retail center drainage conditions. The immediate site of the retail and office building proposed under this planning submission lies within the drainage basin of the overall site that discharges to the 96" storm drain in Tennyson Street. This flow is permitted to be free discharge and largely drains to existing on-site storm drainage systems.

Proposed Conditions  
Under proposed conditions, the site will continue to discharge in a manner consistent with the approved Master Drainage Plan for the overall retail center. Site changes in various areas and land uses are proposed, no significant increase or decrease in the generated storm runoff will occur.

## Utility Plan

When the proposed site of development with a master-planned retail center, existing utilities have been provided within the site boundaries. The proposed site of development is located in an area where utilities are constructed with the original Lucky Seven store construction may be necessary but can be accomplished with ease.



**Project Site**  
**Vicinity Map E-22-Z**  
1" = 500'-0" ±

architecture  
interiors  
planning  
engineering

**Dekker Perich Sabatini**

6801 Jefferson NE  
Suite 100  
Albuquerque, NM 87109  
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fax 505 761-4222  
dps@6801jeff.com

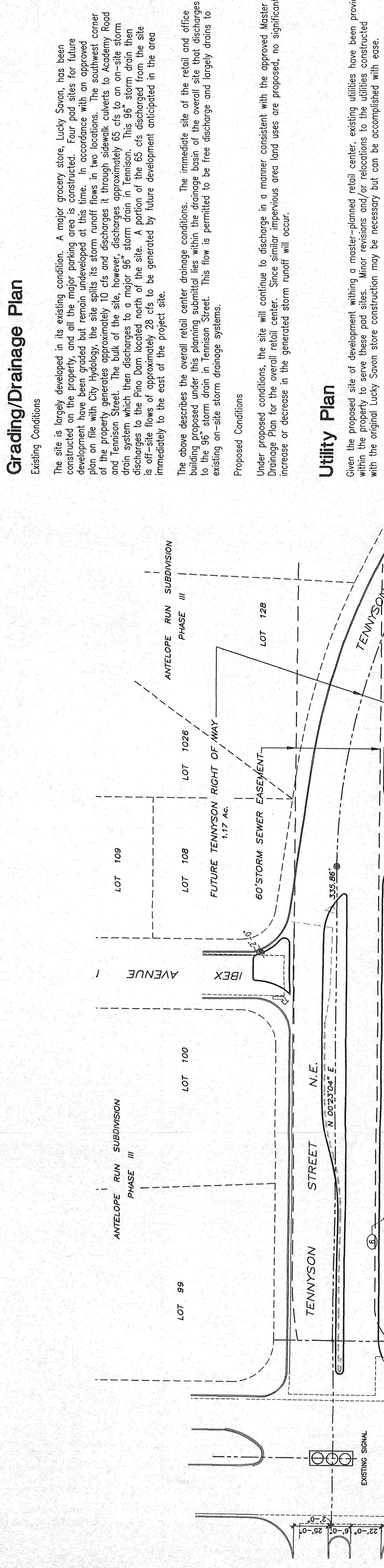
architect

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

DRB-96-525

Infill Retail Development  
At Academy and Tramway

Albuquerque, New Mexico



**Project Data:**  
Existing Zoning: SJ-1 For C-1 Permissive Uses (Excluding Drive-up Windows Except at Banks) Including Package Liquor Sales within 500 feet of a Residential Zone.

**Building Data:**  
108,985 sf Total  
Grocery Store (Existing) 65,165 sf  
Retail Building 9,440 sf  
Mini-Storage 22,254 sf  
Retail Pod A 7,126 sf  
Retail Pod B 5,000 sf  
Fire: 100,000 sf  
Flood: 32,528 sf +/- (9.93 Acres) Excludes Tramway Blvd. ROW

**Required Parking:** Retail: 97,455 sf/200  
Mini-Storage: 15% Reduction for Transit Stop

**Parking Provided:**  
Required Accessible Spaces: 433 Spaces  
378 Spaces  
433 Spaces  
12 Spaces  
12 Spaces  
2 Spaces  
2 Spaces  
22 Spaces

**Van Accessible Provided:** 1 per 20 Parking Spaces

**Required Bicycle Spaces:** 15% Net Lot Area

**Provided Landscaping:** 26% Net Lot Area

## Site Lighting Legend

- 15'-0" POLE WITH SINGLE 15' CUT-OFF, FORWARD THROW, 250W HPS FEATURE
- 15'-0" POLE WITH DOUBLE 15' CUT-OFF, FORWARD THROW, 250W HPS FEATURE
- 15'-0" POLE WITH TRIPLE 15' CUT-OFF, FORWARD THROW, 250W HPS FEATURE
- 15'-0" POLE WITH QUADRUPE 15' CUT-OFF, FORWARD THROW, 250W HPS FEATURE
- 15'-0" POLE WITH QUADRUPE 15' CUT-OFF, FORWARD THROW, 250W HPS FEATURE
- 15'-0" POLE WITH QUADRUPE 15' CUT-OFF, FORWARD THROW, 250W HPS FEATURE
- 15'-0" POLE WITH QUADRUPE 15' CUT-OFF, FORWARD THROW, 250W HPS FEATURE

## Site Legend

- INDICATES SITE ACCESSIBLE ROUTE
- INDICATES 6'-0" WIDE SIDEWALK
- INDICATES SPECIAL PAVING (ASPH/CONC) SIDEWALK
- PAVING AS ANTIDEPRESSURE SIDEWALK ON WEST SIDE OF TRAMWAY

## General Notes:

- Only Retail Pod A and the Retail Building adjacent to the existing Grocery Store differ from the previously approved Site Development Plan.
- Areas of proposed change are circled with a bubble shown thus: [circled area]
- If use of mini-storage changes, parking must be recalculated and site plan amended.
- The hours of operation of the Mini-Storage shall be the same as those previously established for the existing Grocery store.

## Keyed Notes:

- EXISTING PARKING AND DRIVE AISLES
- EXISTING SERVICE AREA, TYP.
- EXISTING SITE LIGHTING, TYP.
- EXISTING SLUMP BLOCK COMPACTOR
- EXISTING STORM BLOCK SCREEN WALL
- EXISTING SIDEWALK WITH TEXTURED CONCRETE PAVING, TYP.
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PARKING
- PROPOSED SLUMP BLOCK TRASH DUMPSTER ENCLOSURE, RE. 10 SHEET 5.
- PROPOSED BUILDING
- NOT USED
- PROPOSED AFTER HOURS DROP BOX
- PROPOSED REFLECTOR LIGHT FIXTURE
- PROPOSED SLUMP BLOCK SCREEN WALL
- EXISTING BIKE RACK
- PROPOSED BIKE RACK, RE. DETAIL 11 SHEET 5.
- EXISTING HANDICAP ACCESSIBLE SIDEWALK RAMP
- PROPOSED HANDICAP ACCESSIBLE SIDEWALK RAMP
- MONUMENT SIGN PREVIOUSLY APPROVED, REFER DETAIL 12 SHEET 5.
- PROPOSED SIGNAGE (SEE GENERAL NOTES SHEETS 23 TO 24)
- REDUCE AISLE WIDTH FROM 28 TO 24
- NEW 4' WIDE PEDESTRIAN PATH WITH SHADE TREES AT 18' OC
- NEW PARKING SPACES TO ACCOMMODATE NEW PEDESTRIAN PATH WITH TREES

**Case Number: Z-96-38-2 DRB 96-525**

THIS PLAN IS CONSIDERED WITH THE SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AUGUST 19, 1999 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

REVISORS	DATE
Michael Deane	9-8-99
DESIGN AND DEVELOPMENT, CP	9-8-99
Public Works Utility Division	9-13-99
CITY ENGINEER, ENGINEERING DIVISION / MAJOR	9-13-99
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL	9-8-99
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	9-13-99

## Index To Drawings:

- Sheet 1 of 5 Site Development Plan For Building Permit
- Sheet 2 of 5 Conceptual Landscaping Plan
- Sheet 3 of 5 Building Elevations, Retail/Office Building
- Sheet 4 of 5 Building Elevations, Retail/Office Building
- Sheet 5 of 5 Building Elevations, Retail Pads 'A' And 'B'

### PLANT LIST

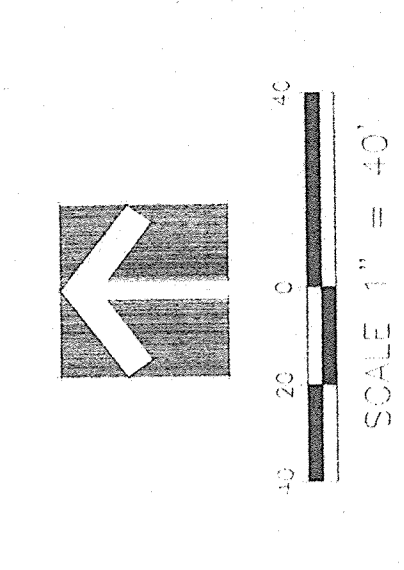
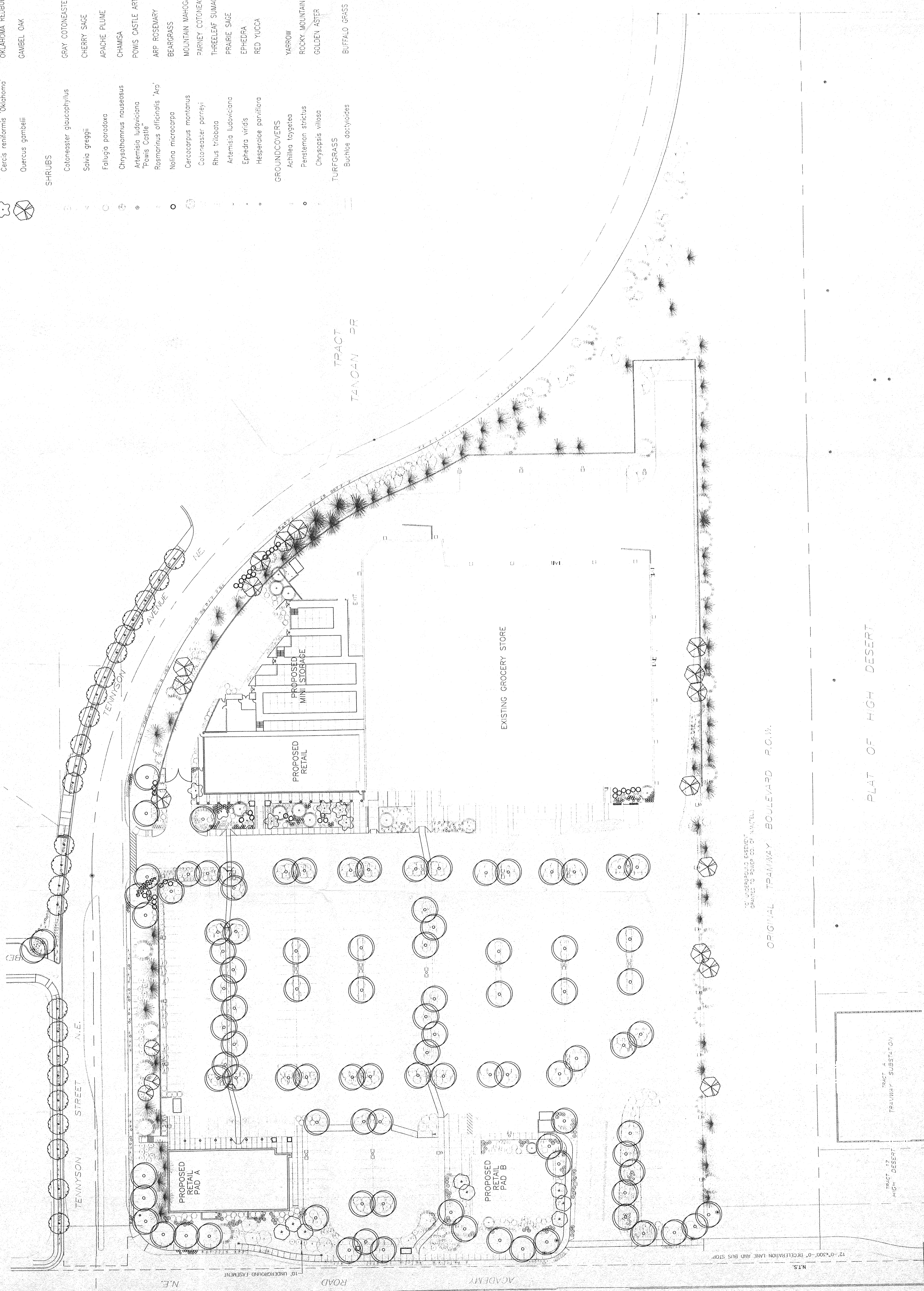
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	<i>Quercus emoryi</i> <i>Quercus</i>	EMORY OAK	2" CAL	24" BOX MULTI-TRUNK
	<i>Quercus texana</i> "Buckley"	TEXAS RED OAK	2" CAL	24" BOX
	<i>Chilopsis linearis</i>	DESERT WILLOW	6' MIN. HT.	24" BOX
	<i>Forestiera neomexicana</i>	NEW MEXICO OLIVE	6' MIN. HT.	20 GAL.
	<i>Pinus sylvestris</i>	SCOTCH PINE	11' TO 12' HT	B & B (HALF AT 7' HT./ HALF AT 8' HT.)
	<i>Pinus sylvestris</i>	SCOTCH PINE	7' TO 8' HT.	B & B
	<i>Pinus edulis</i>	PINON PINE	6' TO 7' HT	B & B (HALF AT 6' HT./ HALF AT 7' HT.)
	<i>Pinus edulis</i>	PINON PINE	7' HT. MIN.	B & B CHARGATER
	<i>Cercis reniformis</i> "Oklahoma"	OKLAHOMA REDBUD	1 1/2" CAL	20 GAL.
	<i>Quercus gambelii</i>	GAMBEL OAK	6' HT	CONTAINER/CUMP MULTI-TRUNK
	<i>Cotoneaster glaucophyllus</i>	GRAY COTONEASTER	5 GAL	CONTAINER
	<i>Savia greggii</i>	CHERRY SAGE	1 GAL	CONTAINER
	<i>Fallugia parviflora</i>	APACHE PLUME	5 GAL	CONTAINER
	<i>Chrysothamnus nauseosus</i>	CHAMISA	5 GAL	CONTAINER
	<i>Asteriscus ludoviciana</i>	PONIS CASTLE ARTEMISIA	1 GAL	CONTAINER
	<i>Pinus Castle</i>	ARP ROSEMARY	1 GAL	CONTAINER
	<i>Rosmarinus officinalis 'Ara'</i>	BEARGRASS	5 GAL	CONTAINER
	<i>Nolina microcarpa</i>	MOUNTAIN MAHOGANY	5 GAL	CONTAINER
	<i>Cercocarpus montanus</i>	PARNEY COTONEASTER	5 GAL	CONTAINER
	<i>Rhus trilobata</i>	THREELAF SUMAC	5 GAL	CONTAINER
	<i>Artemisia ludoviciana</i>	PRARIE SAGE	1 GAL	CONTAINER
	<i>Ephedra viridis</i>	EPHEDRA	5 GAL	CONTAINER
	<i>Hesperaloe parviflora</i>	RED YUCCA	5 GAL	CONTAINER
	<i>Achillea toytatea</i>	YARROW	1 GAL	CONTAINER
	<i>Penstemon strictus</i>	ROCKY MOUNTAIN PENSTEMON	1 GAL	CONTAINER
	<i>Chrysopsis villosa</i>	GOLDEN ASTER	1 GAL	CONTAINER
	<i>Buchloe obovatoidea</i>	BUFFALO GRASS		

### LANDSCAPING NOTES

- ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF 1 1/2" SANTA FE BROWN GRAVEL. ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5 28 MIL. FILTER FABRIC OR APPROVED EQUAL.
- TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.
- RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS.
- TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.
- AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.
- LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.

### LANDSCAPE AREA

TOTAL SITE AREA	432,528 SF
BUILDING AREA	97,521 SF
NET SITE AREA	335,007 SF
LANDSCAPE AREA REQUIRED (13%)	50,251 SF
LANDSCAPE AREA PROVIDED (32%)	103,857 SF



REVISIONS

NO.	DATE	DESCRIPTION
1	4/29/99	ISSUED FOR PERMITS
2	9/2/05	REVISED FOR PERMITS

DATE: 4/29/99  
PROJECT NO.: 96205  
DRAWING NAME: 8205E-01.DWG

**Finish Selections**

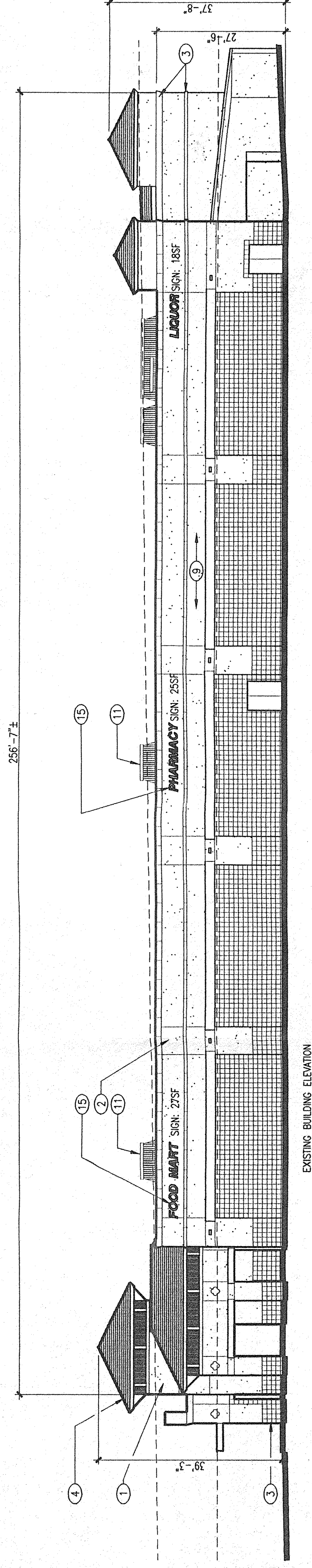
- CUT STONE: OFF-WHITE TO MATCH EXISTING
- STUCCO #1 (TOWERS AND ENTRY PORTICOS): BROWN, MATCH EXISTING
- STUCCO #2 (FIELD): TAN, MATCH EXISTING
- ROOF TILE: RUST, MATCH EXISTING
- SUMP BLOCK WALLS: TO MATCH EXISTING WALLS OF NEIGHBORHOOD TO THE WEST OF THE SITE.

**Keyed Notes**

1. STUCCO #1
2. STUCCO #2
3. CUT STONE
4. ROOF TILE
5. NOT USED
6. ALUMINUM STOREFRONT WITH CLEAR GLAZING, TYPICAL
7. CMU SCREEN WALL WITH STUCCO #2
8. SOLID WOOD STRUCTURE
9. EXISTING GROCERY STORE
10. CMU SCREEN WALL ALONG TENNYSON RD.
11. ROOFTOP MECHANICAL EQUIPMENT SCREEN
12. STEEL TUBE TRELLIS - PT4
13. BUILDING SIGNAGE
14. EXPOSED STEEL BEAM - PT3
15. INTERNALLY LIGHTED TENANT SIGNAGE, 24" HIGH.
16. WOOD CLAD STEEL GATE
17. OVERHEAD DOOR SECURITY LIGHTING - SEE SHEET 1
18. PRIVATE YARD SCREEN WALL TO MATCH BUILDING WALLS
19. PRIVATE YARD SCREEN WALL TO MATCH BUILDING WALLS
20. CMU SCREEN WALL, STUCCO COLOR 1

**Notes**

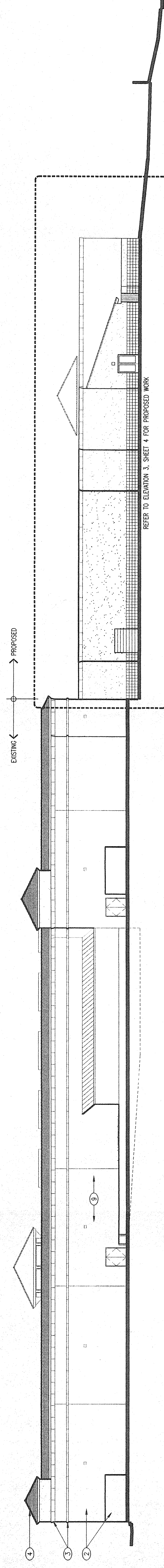
1. FINISHES AND ARCHITECTURAL ELEMENTS FOR ALL BUILDINGS ON THE SITE SHALL BE AS SHOWN ON THESE ELEVATIONS.
2. ROOF BALLAST AGGREGATE SHALL MATCH THE SURROUNDING NATIVE SOILS IN COLOR AND REFLECTANCE.
3. ROOFTOP MECHANICAL EQUIPMENT SHALL BE PAINTED TO MATCH THE PREDOMINANT COLOR OF THE ROOF BALLAST AGGREGATE.
4. THE BASE FLASHING AT THE ROOF EDGES AND AROUND EQUIPMENT CURBS SHALL MATCH THE PREDOMINANT COLOR OF THE BALLAST AGGREGATE.
5. SIGNAGE FOR ALL NEW BUILDINGS SHALL CONSIST OF INDIVIDUAL LETTERS, 24" HIGH MAXIMUM. LOCATION OF SIGNAGE ON EACH BUILDING FACE IS TO BE DETERMINED BY THE ARCHITECT. SIGNAGE SHALL BE METAL EDGED PLASTIC LETTERS. LETTERS SHALL BE INDIVIDUAL LETTERS, BOX SIGNS AND RACEWAYS WILL NOT BE PERMITTED.
6. ALL ROOF TOP MOUNTED HVAC EQUIPMENT WILL BE SCREENED WITH AN ENCLOSURE WHICH MATCHES THE EXTERIOR WALLS IN COLOR, MATERIAL AND TEXTURE AND IS AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT IT SCREENS.



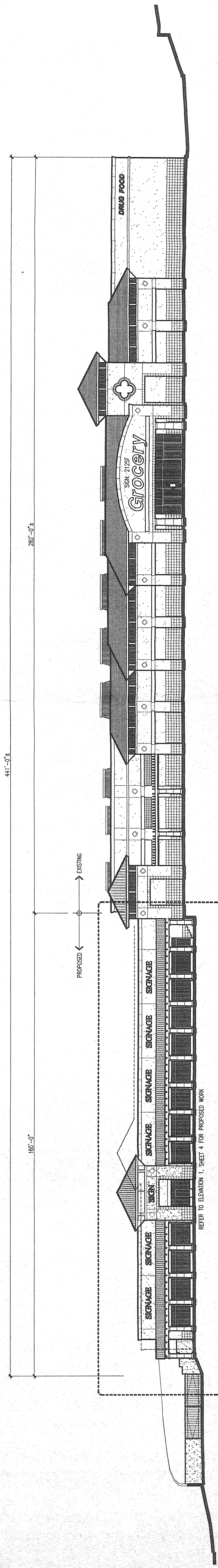
**4** Grocery - East Elevation  
1/16" = 1'-0"

**3** Existing Site Section @ Tennyson  
1/16" = 1'-0"

**Infill Retail Development  
At Academy and Tramway  
Albuquerque, New Mexico**



**2** Grocery/Retail/Office - North Elevation  
1/16" = 1'-0"



**1** Grocery/Retail/Office - South Elevation  
1/16" = 1'-0"

**revisions**

- ▽
- ▽
- ▽
- ▽
- ▽
- ▽
- ▽
- ▽

DATE	DESCRIPTION
08/27/1998	ISSUE
09/01/99	REVISED BY
08/06/05	PROJECT NO.
	DRAWING NAME

Retail/Office  
Exterior  
Building Elevations  
DRB SUBMITTAL

architect

**PRELIMINARY  
NOT FOR CONSTRUCTION**

engineer

project

**Finish Selections**

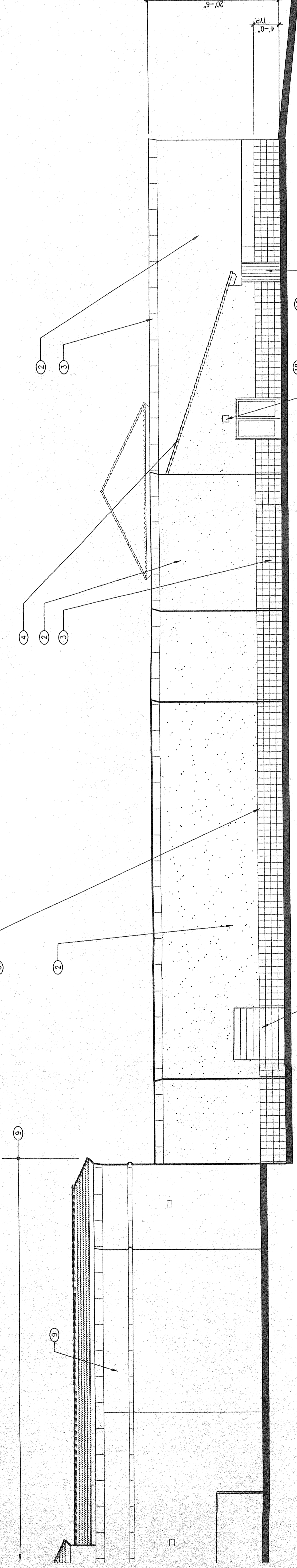
- CUT STONE: OFF-WHITE TO MATCH EXISTING
- STUCCO #1 (TOWERS AND ENTRY PORTICOS): BROWN, MATCH EXISTING
- STUCCO #2 (FIELD): TAN, MATCH EXISTING
- ROOF: BLACK W/SLIP TO MATCH EXISTING WALLS OF NEIGHBORHOOD TO THE WEST OF THE SITE.
- PT1 - WOOD STAIN (MEDIUM BROWN)
- PT2 - OFF-WHITE; SOFFITS
- PT3 - MOSS GREEN; FASCIAS, ALUM. STOREFRONT
- PT4 - RUST; TRELIS, MISCELLANEOUS TRIM

**Notes**

1. FINISHES AND ARCHITECTURAL ELEMENTS FOR ALL BUILDINGS ON THE SITE SHALL BE AS SHOWN ON THESE ELEVATIONS. MATCH THE SURROUNDING NATIVE SOILS IN COLOR AND REFLECTANCE.
2. ROOF SCREENS AND ROOF TOP EQUIPMENT SHALL BE PAINTED TO MATCH THE PREDOMINANT COLOR OF THE ROOF BALLAST AGGREGATE. THE BASE FLASHING AT THE ROOF EDGES AND AROUND EQUIPMENT CURBS SHALL MATCH THE PREDOMINANT COLOR OF THE BALLAST AGGREGATE. SIGNAGE LETTERS 24" HIGH MAXIMUM. LOCATION OF SIGNAGE ON EACH BUILDING FACE IS OPTIONAL. SIGNAGE CONSTRUCTION SHALL BE METAL EDGED, PLASTIC FACED, INTERNALLY LIGHTED, INDIVIDUAL LETTERS. BOX SIGNS AND RACEWAYS WILL NOT BE PERMITTED.
3. ALL ROOF TOP MOUNTED HVAC EQUIPMENT WILL BE SCREENED WITH AN ENCLOSURE WHICH HIDES THE EXTERIOR WALLS OF THE ROOF. MAINTENANCE ACCESS SHALL BE AT LEAST AS HIGH AS THE TOP OF THE EQUIPMENT IT SCREENS.

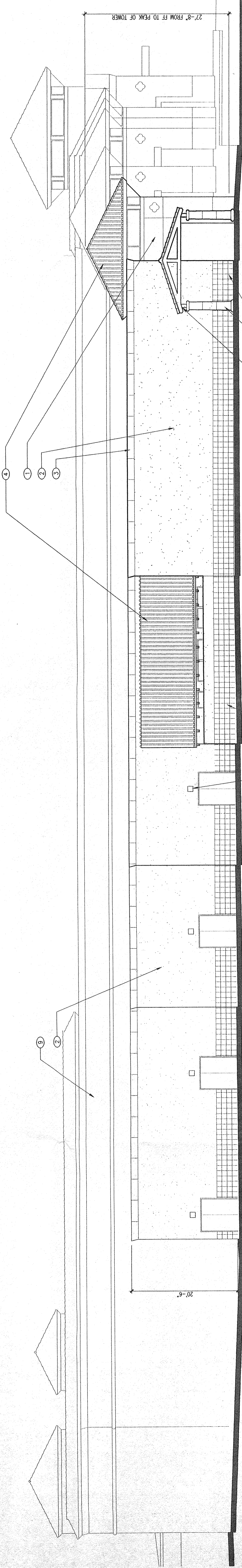
**Keyed Notes**

1. STUCCO #1
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5. NOT USED
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7. CMU SCREEN WALL WITH STUCCO #2
8. EXISTING GROCERY STORE
9. EXISTING CROCKERY STORE
10. EXISTING SLUMP BLOCK SCREEN WALL ALONG TENNYN SON RD.
11. ROOFTOP MECHANICAL EQUIPMENT SCREEN
12. STEEL TUBE TRELIS - PT4
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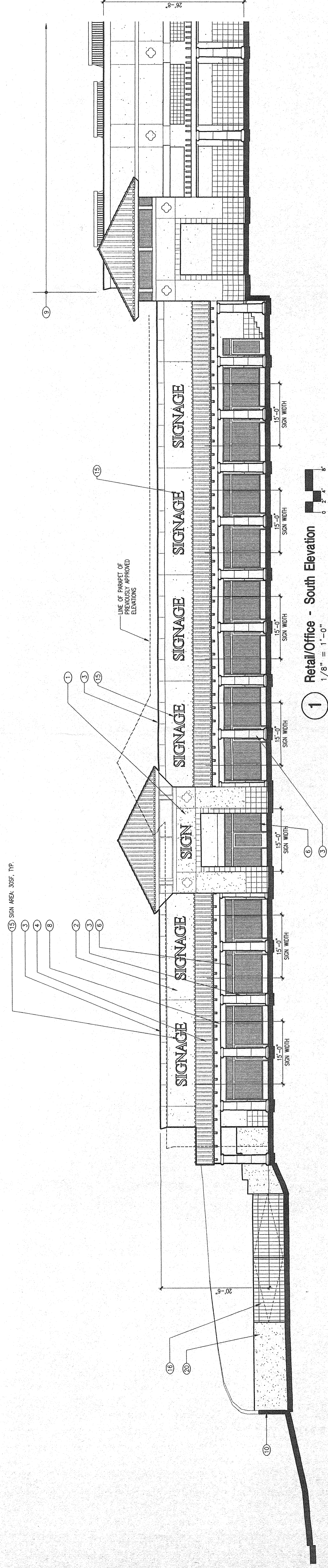


**3** Retail/Office - North Elevation  
1/8" = 1'-0"

**Infill Retail Development  
At Academy and Tramway  
Albuquerque, New Mexico**



**2** Retail/Office - West Elevation  
1/8" = 1'-0"



**1** Retail/Office - South Elevation  
1/8" = 1'-0"

DATE	6/13/89
PROJECT NO.	66065
DRAWING NAME	Retail/Office Exterior Building Elevations DRB SIMMITAL
DESIGNED BY	CRG
CHECKED BY	CRG
DATE	6/13/89
DRAWING NO.	66065

### Finish Selections

CUT STONE: OFF-WHITE TO MATCH EXISTING  
STUCCO #1 (TOWERS AND ENTRY PORTICOS):  
BROWN, MATCH EXISTING  
STUCCO #2 (FIELD SIGNAGE):  
OFF-WHITE TO MATCH EXISTING  
ROOF TILE: RUST, MATCH EXISTING  
SLUMP BLOCK WALLS: TO MATCH EXISTING WALLS OF  
NEIGHBORHOOD TO THE WEST OF THE SITE.

PT1 - WOOD STAIN (MEDIUM BROWN)  
PT2 - OFF-WHITE; SOFFITS  
PT3 - MOSS GREEN; FASCIAS, ALUM. STOREFRONT  
PT4 - RUST; TRELLIS, MISCELLANEOUS TRIM

### Notes

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- ALL ROOF TOP EQUIPMENT SHALL BE SCREENED WITH A SCREENING MATERIAL THAT MATCHES THE EXTERIOR WALLS IN COLOR, MATERIAL AND TEXTURE AND IS AT LEAST AS HIGH AS THE EQUIPMENT IT SCREENS.

### Keyed Notes

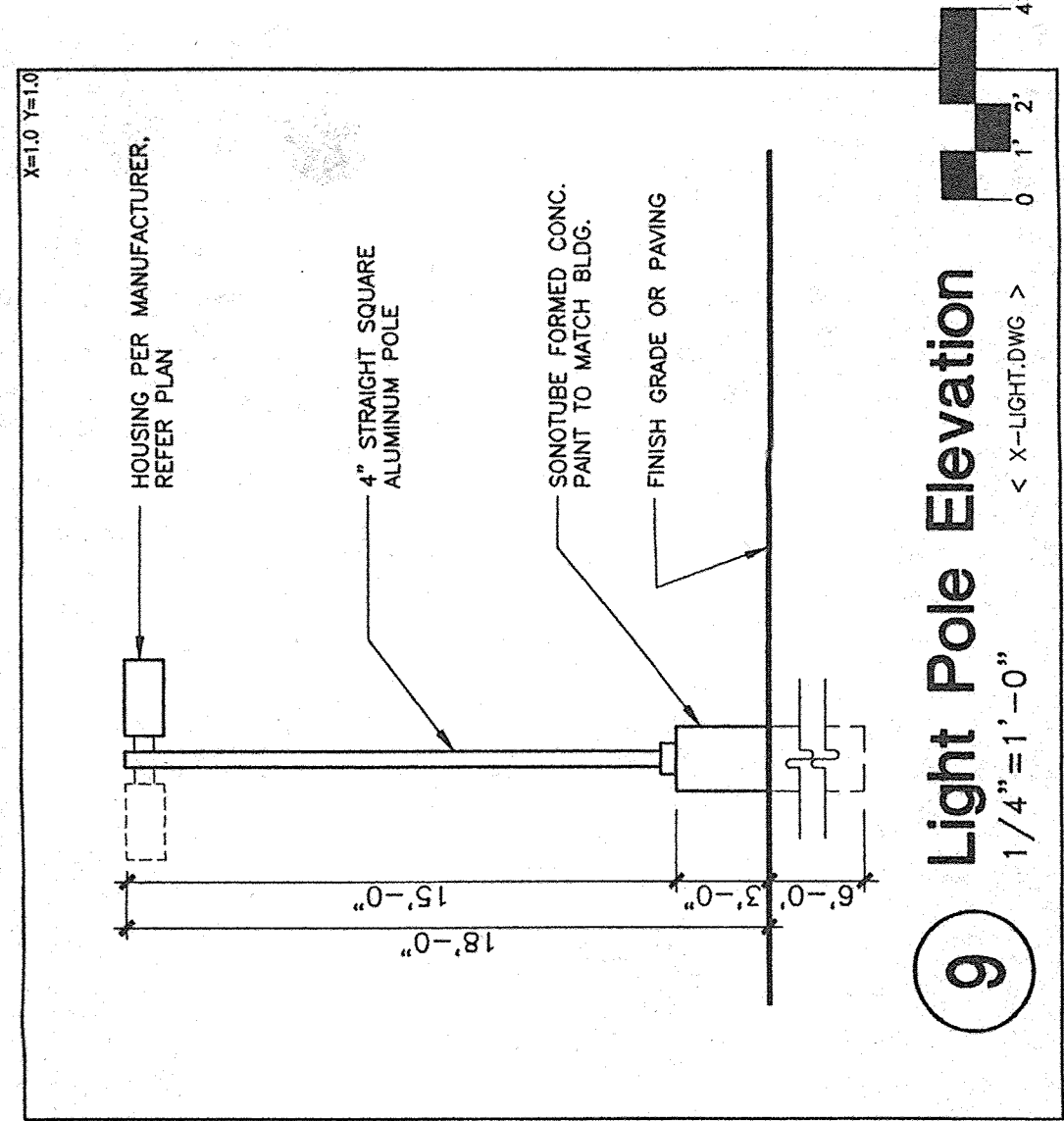
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- STEEL TUBE TRELLIS - PT4
- BUILDING SIGNAGE
- EXPOSED STEEL BEAM - PT3
- INTERNALLY LIGHTED TENANT SIGNAGE, 24" HIGH.
- WOOD CLAD STEEL GATE
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- CMU SCREEN WALL, STUCCO COLOR 1

### Infill Retail Development At Academy and Tramway

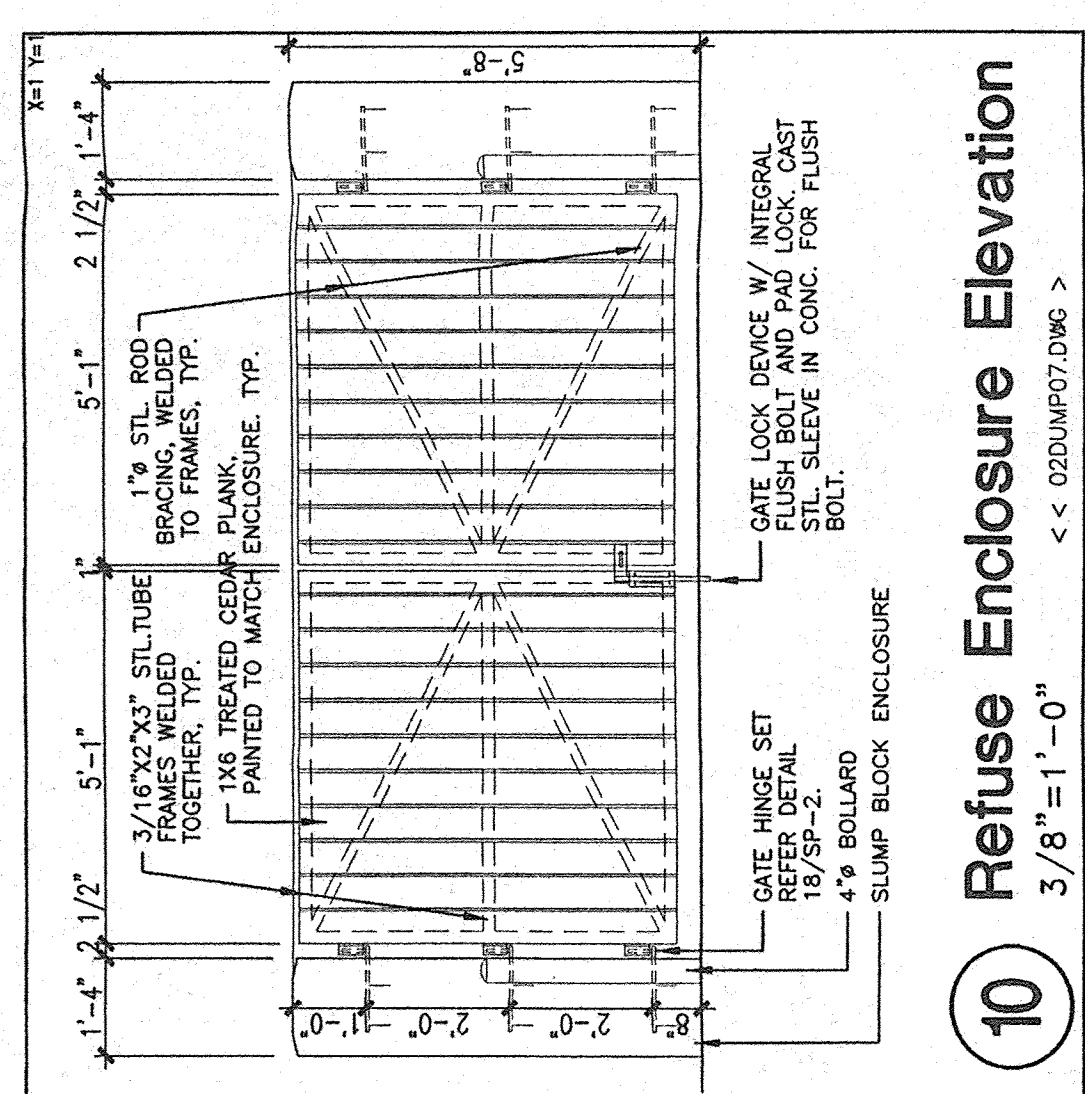
### General Notes

- THE ELEVATIONS FOR PAD 'B' ARE UNCHANGED FROM THOSE SUBMITTED WITH THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN.

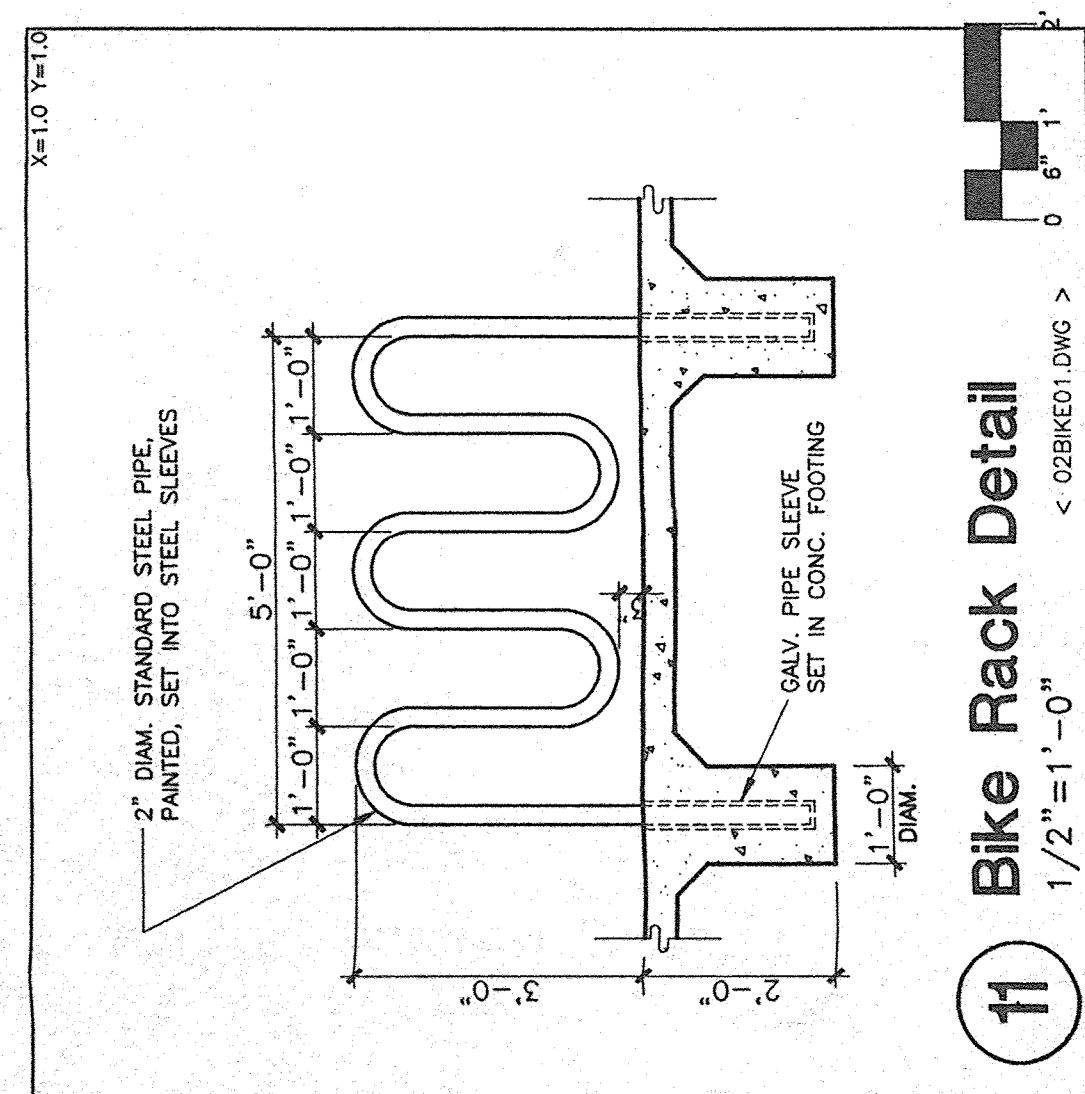
Albuquerque, New Mexico



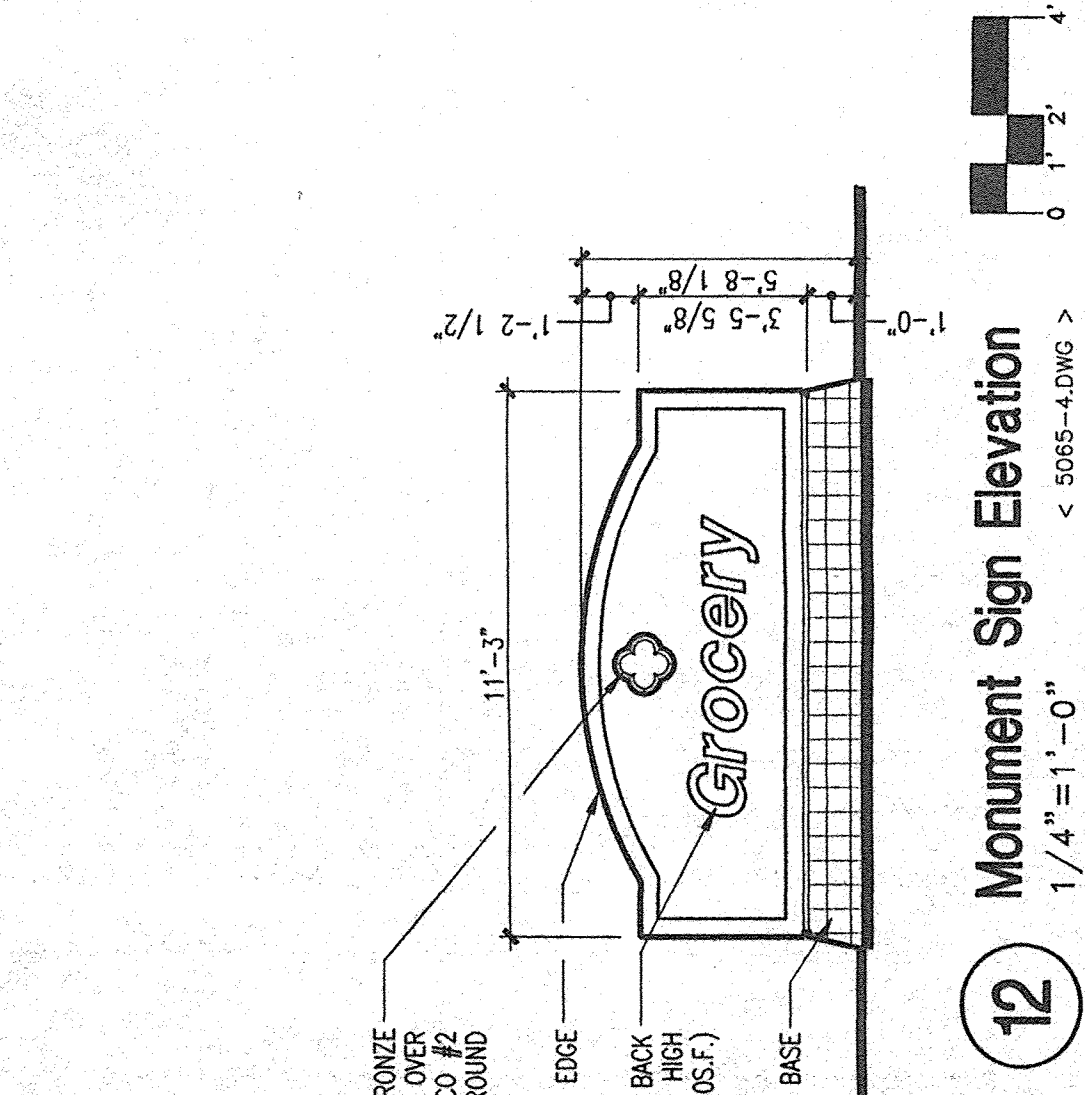
9 Light Pole Elevation  
1/4" = 1'-0"  
X-LIGHT.DWG



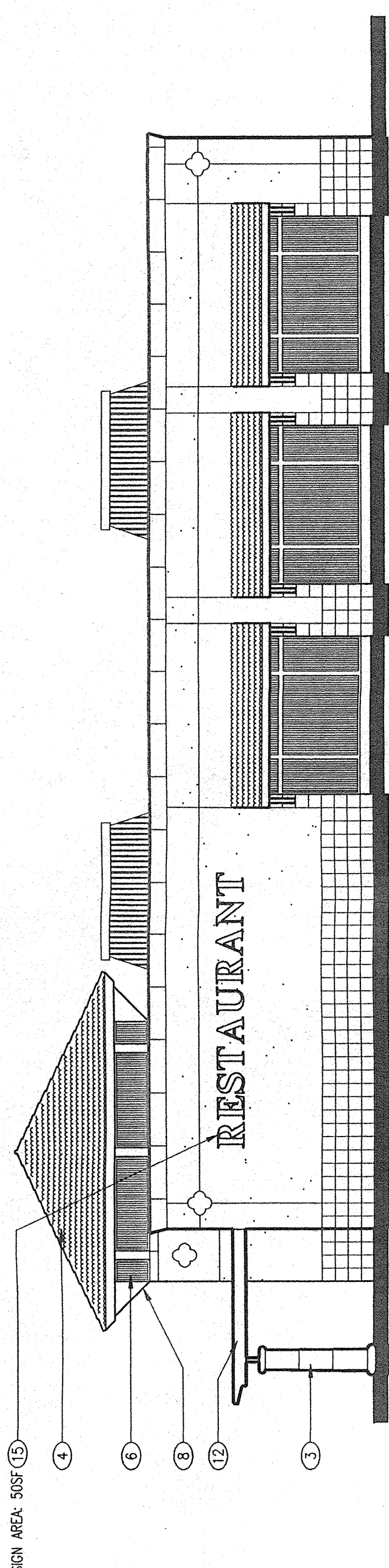
10 Refuse Enclosure Elevation  
3/8" = 1'-0"  
G-ENCLOSURE.DWG



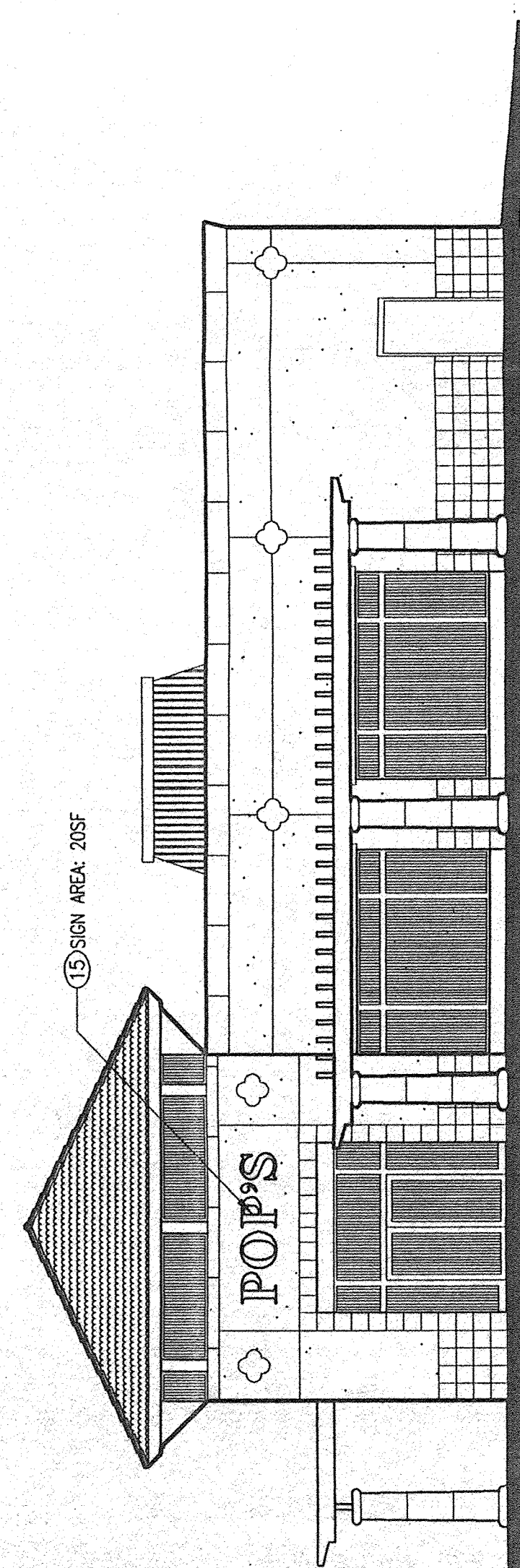
11 Bike Rack Detail  
1/2" = 1'-0"  
G-BIKE.DWG



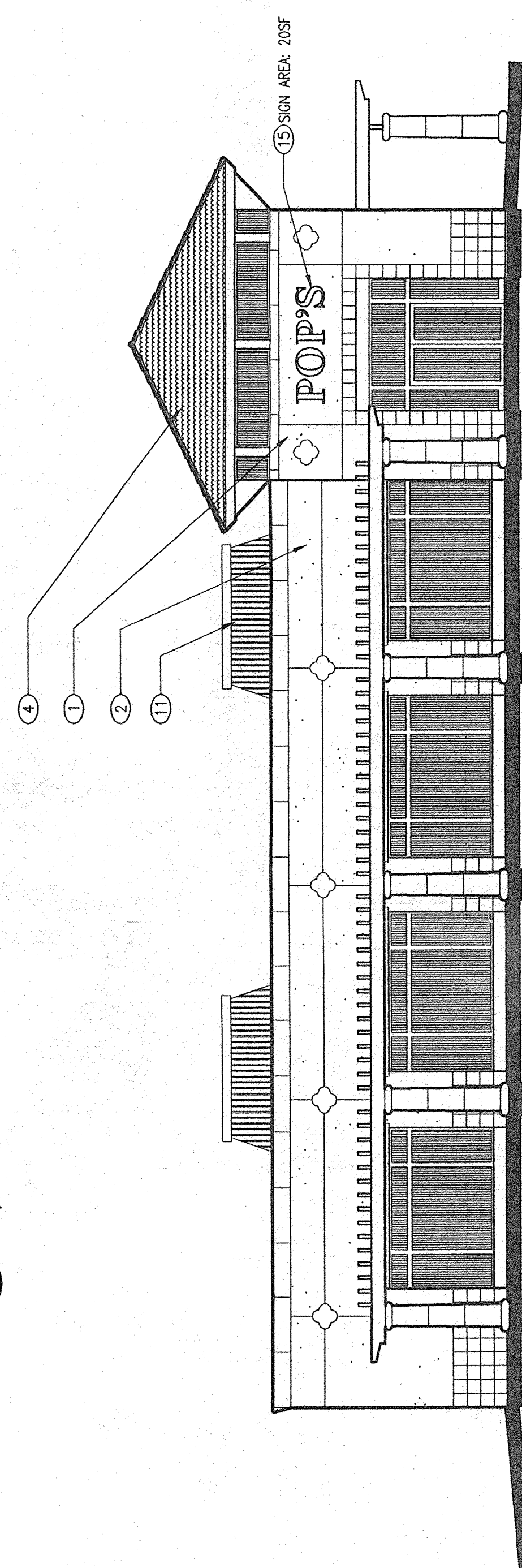
12 Monument Sign Elevation  
1/4" = 1'-0"  
S06B-LONG



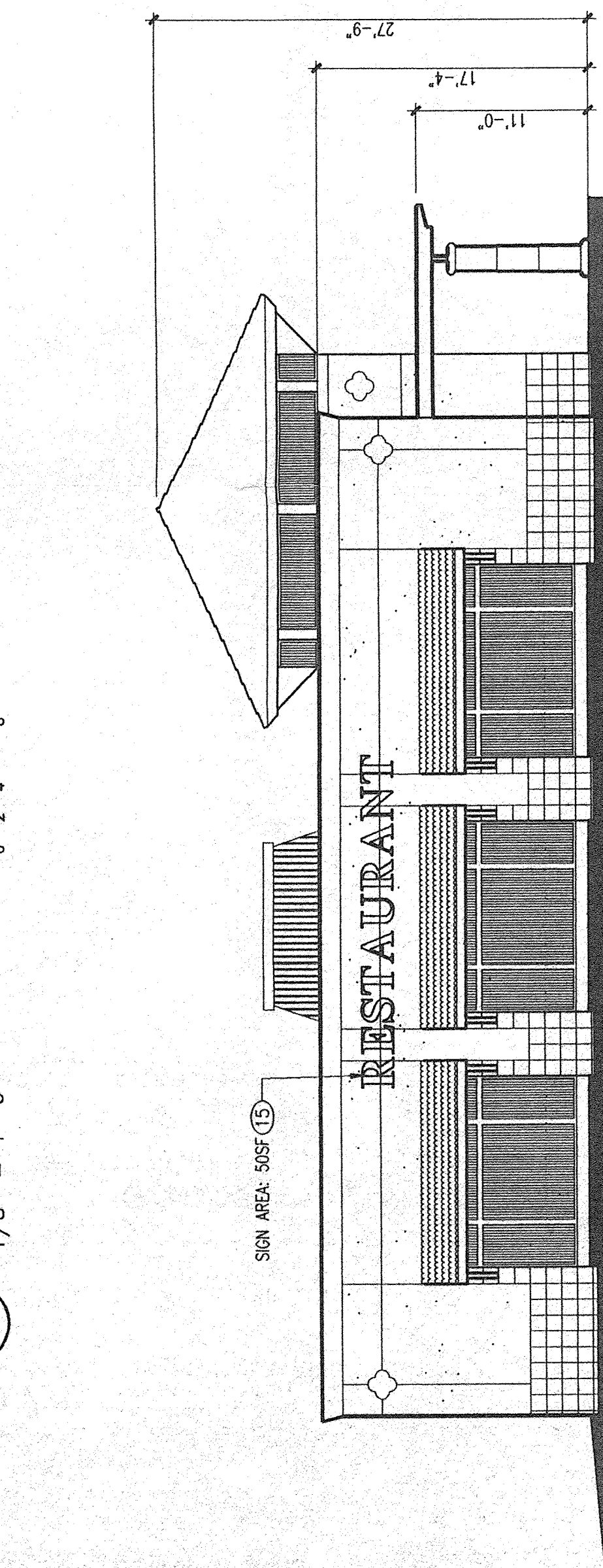
7 Pad B - South Elevation  
1/8" = 1'-0"



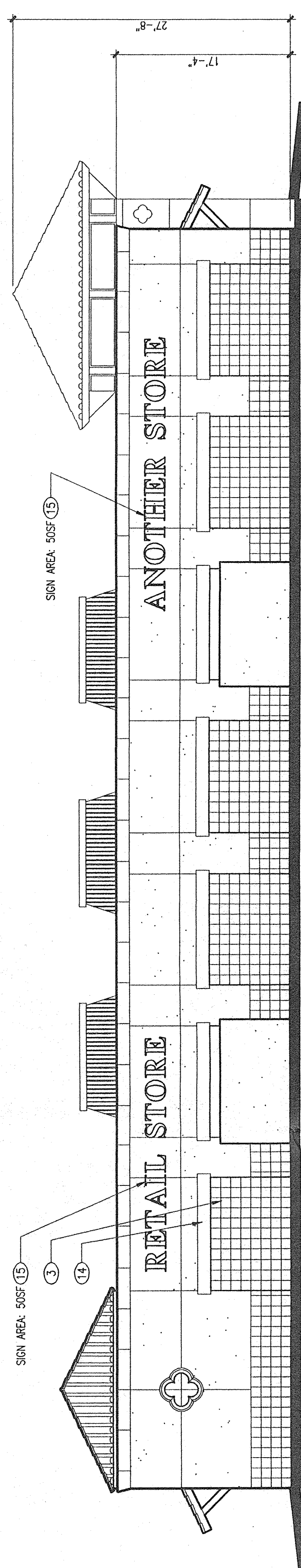
8 Pad B - West Elevation  
1/8" = 1'-0"



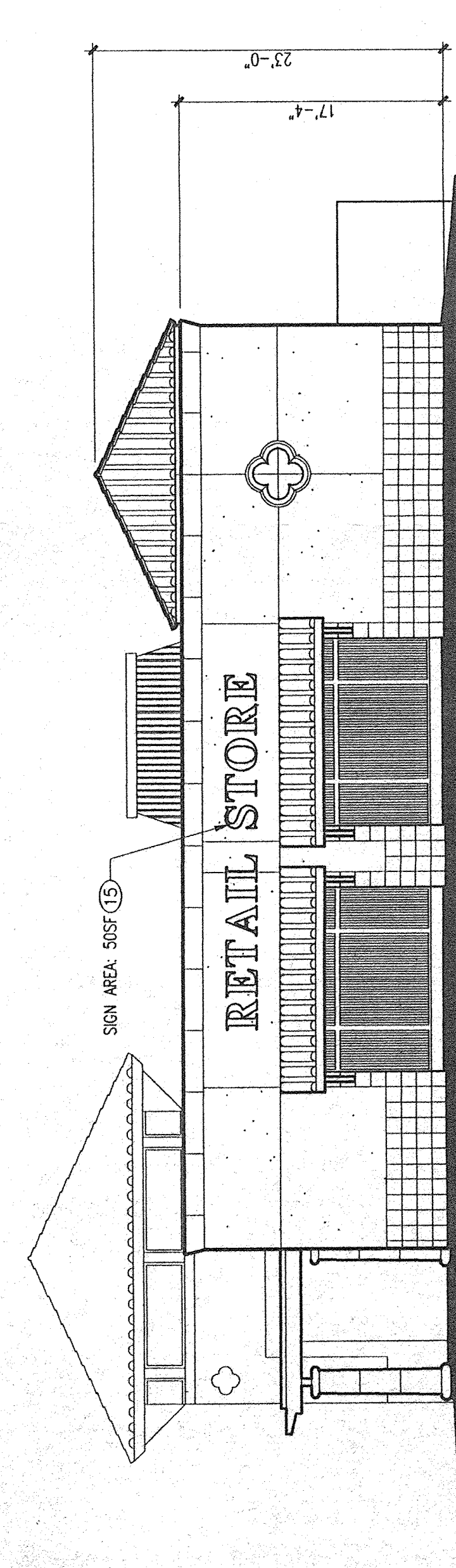
5 Pad B - North Elevation  
1/8" = 1'-0"



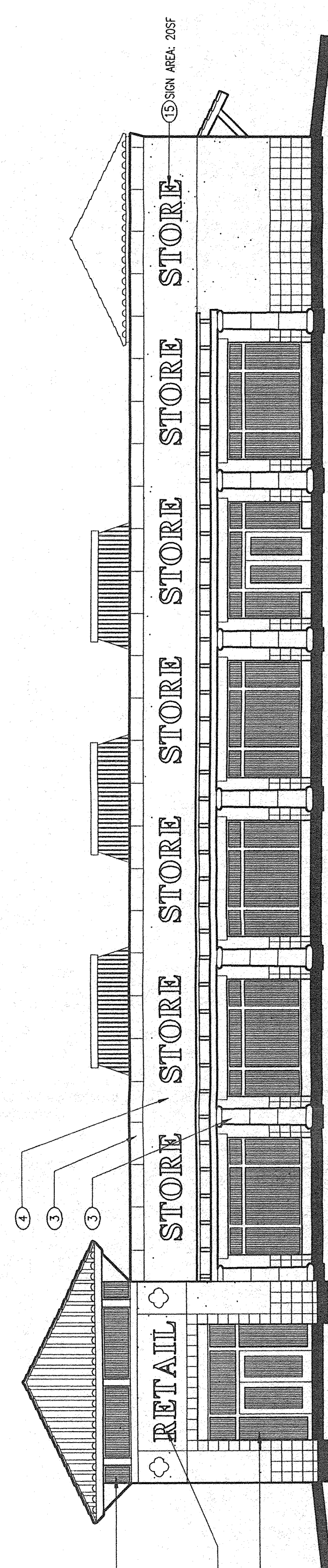
6 Pad B - East Elevation  
1/8" = 1'-0"



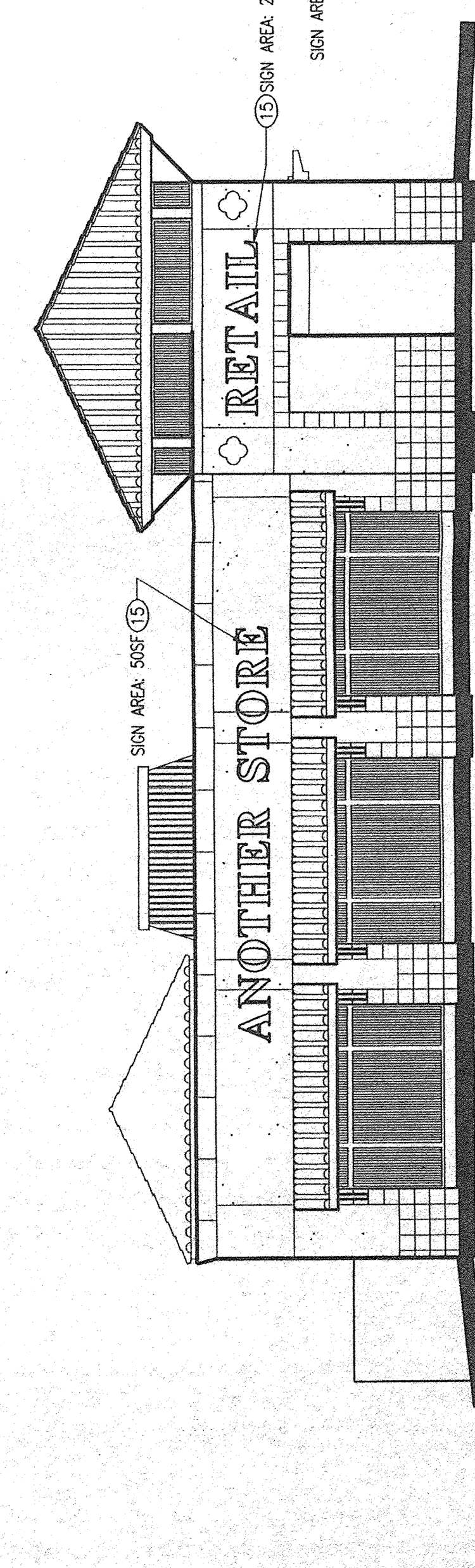
3 Pad A - South Elevation  
1/8" = 1'-0"



4 Pad A - West Elevation  
1/8" = 1'-0"



1 Pad A - North Elevation  
1/8" = 1'-0"



2 Pad A - East Elevation  
1/8" = 1'-0"

created by	CRG
checked by	CRG
date	8/23/08
project no.	96065

Pad Site  
Exterior Building  
Elevations  
DRB SUBMITTAL