

original

D.R.B. Case No. 99-52

D.R.C. Project No. _____

Date Submitted _____

SITE PLAN FOR BP

Prelim. Plat Approved 4-13-99

Prelim. Plat Expires _____

△ 4/2/09

Figure 12

EXHIBIT "A"
To Subdivision Improvements Agreement
DEVELOPMENT REVIEW BOARD (DRB) REQUIRED INFRASTRUCTURE LISTING
for COLE BUILDING
(Site ~~Plat~~ *Plan*)

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development. This summary is not necessarily a complete listing. During the design process, if the City determines that appurtenant items have not been included in the summary, those items will be included in the listing and related financial guarantee, if the items normally are the Subdivider responsibility. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility are the responsibility of the Subdivider and will be included in the financial guarantee provided to the City.

<u>Size</u>	<u>Type Improvement</u>	<u>Location</u>	<u>From</u>	<u>To</u>
PAVEMENT				
20'	Res Pvmt (N side)	Eagle Rock Ave	East Prop. Line	West Prop. Line
4'	Temp.,if required			
4'	Sidewalk (N side)			
	Std C & G (N side)			
STORM DRAIN				
30"	Storm Drain & Appurtenances	Eagle Rock Ave	East Prop. Line	West Prop. Line

- ~~1. An "Agreement and Covenant" between Lot 12 and Lot 21 will be executed for cross lot drainage from Lot 21 through Lot 12.~~
2. Storm Drain to include manholes, inlets and rip rap as necessary.
- ~~3. Engineer's Certification for Grading and Drainage per DPM including Perimeter Walls as shown on the Grading Plan for Release of SIA and Financial Guarantees.~~
4. Water infrastructure to include valves, fittings, valve boxes and fire hydrants.
5. Sanitary sewer to include manholes and service connections.
- ~~6. A PUBLIC DRAINAGE EASEMENT IS REQUIRED FOR THE EXISTING POND @ CITY CONVENIENCE CENTER. *△ deleted*~~

Prepared By: *Diane Hoelzer* *4-13-99*


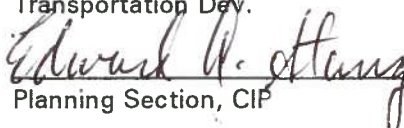
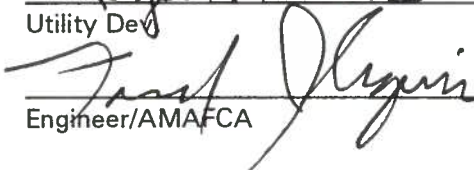

Print Name: Diane Hoelzer, PE

Firm: Mark Goodwin & Associates, PA


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SITING
 FOR B.P.

Development Review Board Member Approvals

	<u>4-13-99</u>	<u>Roger A Green</u>	<u>4/13/99</u>
Transportation Dev.	Date	Utility Dev.	Date
	<u>4-13-99</u>		<u>4-13-99</u>
Planning Section, CIP	Date	Engineer/AMA/FCA	Date
	<u>4/13/99</u>	_____	_____
DRB Chairman	Date	NMUI	Date

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	AGENT OWNER	User	DRC Chair
	<u>4/2/09</u>	<u>Scott Cole</u>	<u>Bral Birk</u>