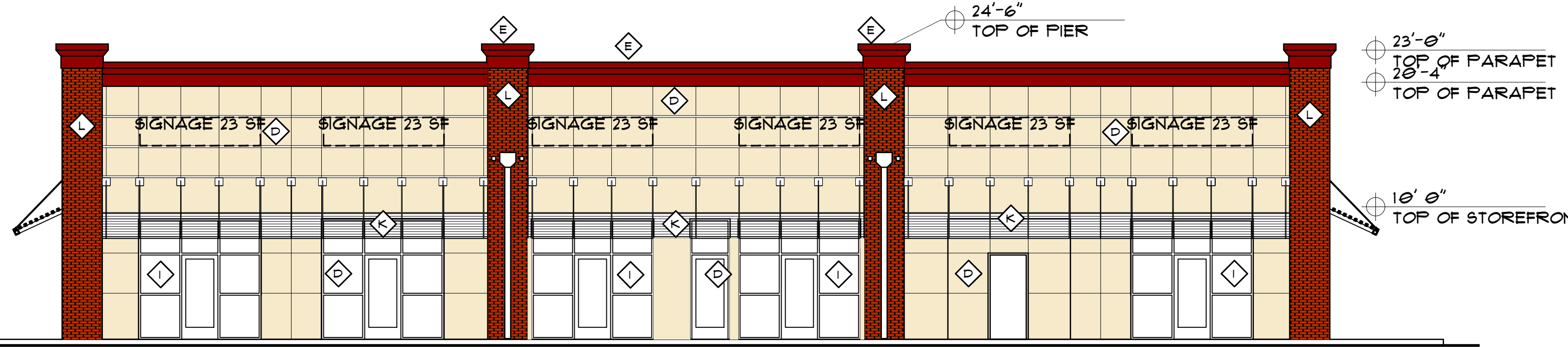
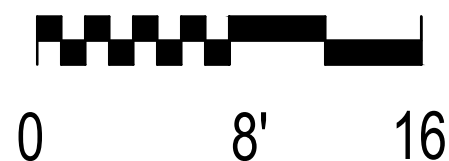


NORTH ELEVATION

SIGNAGE: 138 SF OF 2206 SF FACADE = 6.03%

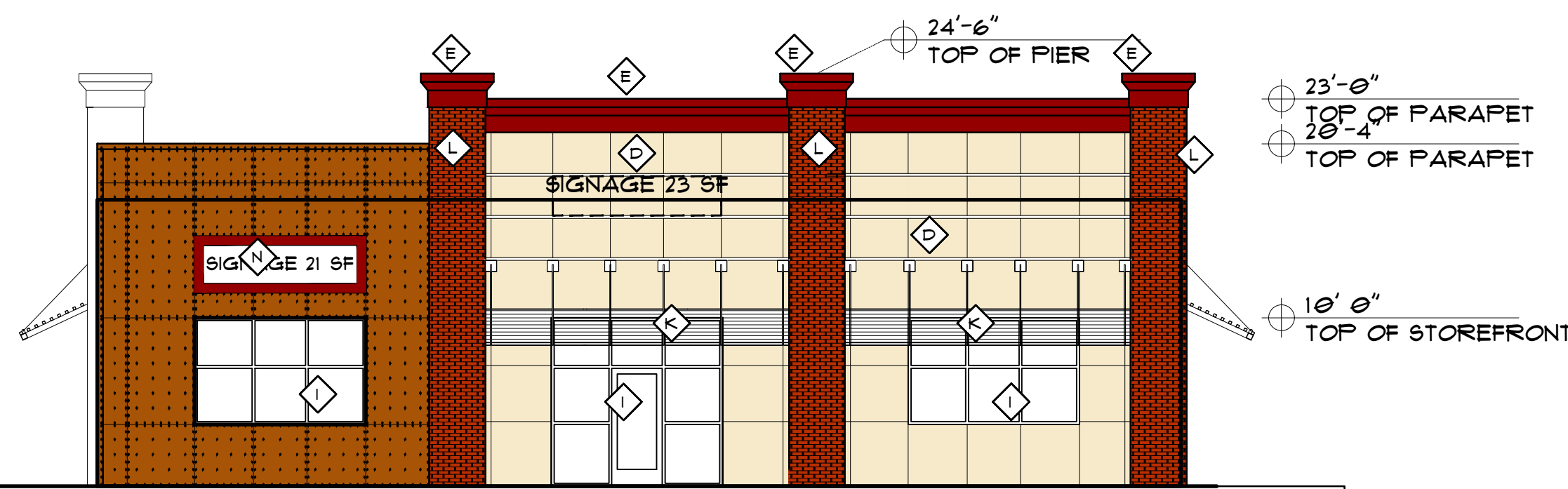
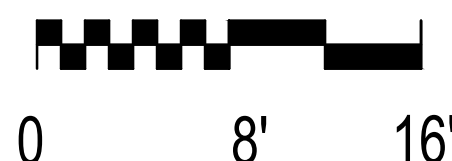
1/8" = 1' - 0"



SOUTH ELEVATION

SIGNAGE: 138 SF OF 2405 SF FACADE = 5.74%

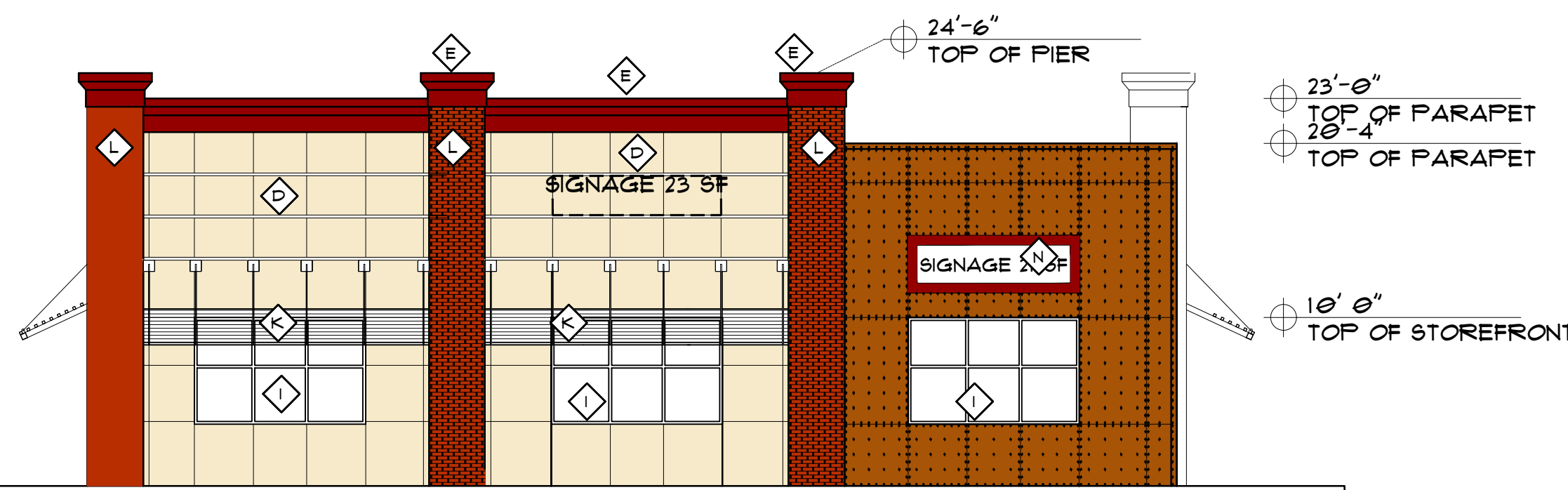
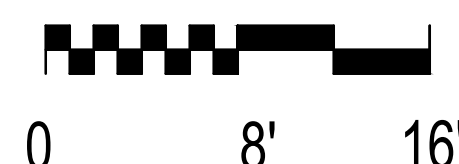
1/8" = 1' - 0"



WEST ELEVATION

SIGNAGE: 23 SF OF 1425 SF FACADE = 1.61%

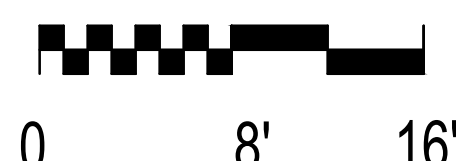
1/8" = 1' - 0"



EAST ELEVATION

SIGNAGE: 23 SF OF 1425 SF FACADE = 1.61%

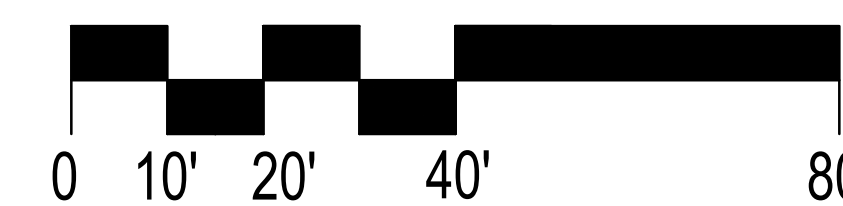
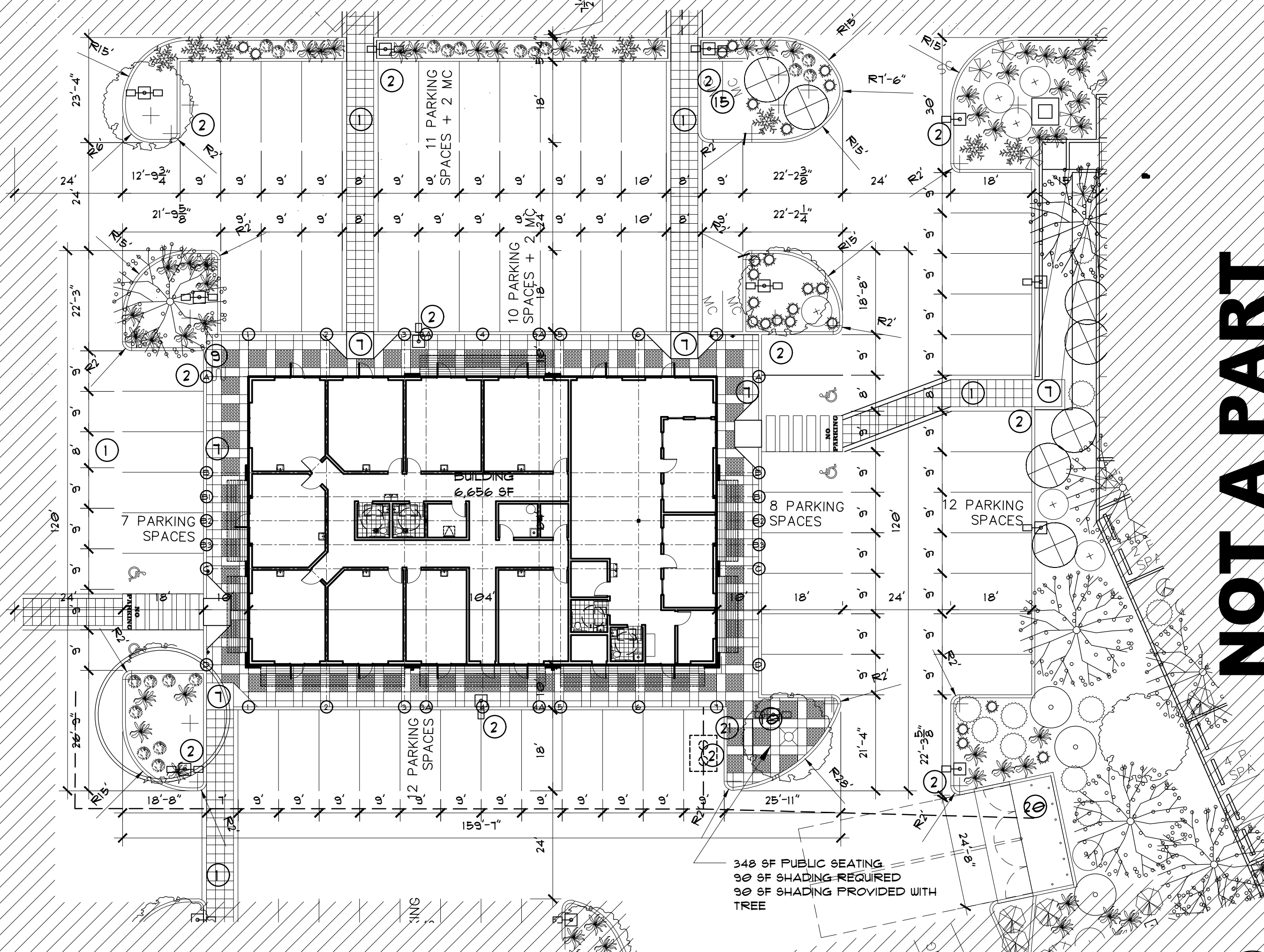
1/8" = 1' - 0"



KEYED NOTES

- 1 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- 2 PROPOSED LIGHT POLE LOCATION RE: 3/A1.5 FOR POLE DETAIL
- 3 EXISTING 6' SIDEWALK
- 4 PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN)
- 5 NOT USED
- 6 NOT USED
- 7 HANDICAP RAMP PER COA DWG #2441
- 8 INDICATES EXISTING 6' HIGH CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA COLOR OF WALL FACING COMMERCIAL DEVELOPMENT SHALL BE TAN IN COLOR
- 9 INDICATES BIKE RACK LOCATION (9 BIKE CAPACITY)
- 10 OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) W/ 8' LONG X 3' WIDE BENCH SHADED BY TRELLIS AND LANDSCAPING
- 11 PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A3.0 FOR DETAIL

SITE PLAN



- 12 INDICATES SMALL CAR PARKING SPACE (9' X 15'-6" TYP.)
- 13 PROPOSED 30' LANDSCAPE BUFFER W/ 8' PEDESTRIAN PATHWAY
- 14 INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- 15 INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
- 16 20' WATER UTILITY EASEMENT
- 17 INDICATES SIGN TYPE B.
- 18 HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED W/ SUPPLEMENTAL WATER HARVESTING SYSTEM
- 19 INDICATES DUMPSTER LOCATION RE: DETAIL 2/A1.5 INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- 20 INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
- 21 INDICATES 18" HIGH BENCH LOCATION

KEYED COLOR / MATERIAL SCHEDULE
(FROM DESIGN STANDARDS)

A	WALL FINISH COLOR	BENJAMIN MOORE #1032 (DARK TAN)	NOT USED	D	SIGNAGE	MATCH STUCCO COLOR D PROVIDE PLYWOOD BACKING FOR SIGN
B	WALL FINISH COLOR	BENJAMIN MOORE #951 (LIGHT TAN)	NOT USED	E	STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
C	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)	NOT USED	F	ROOF FINISH MATERIAL	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
D	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEN SW 6148 (LIGHT TAN COLOR)	STUCCO	G	AWNING & FRAMING	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL - SILVER GALVALUME OVER AWNING FRAME (SEE STRUCT.) FRAME TO BE COLOR E - RED CENT
E	WALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)	STUCCO	H	BRICK	RED BRICK FACE BLOCK COLOR BY OWNER
F	WALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)	NOT USED	I	AWNING FABRIC/SUNBRELLA	HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN)
G	WALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6436 (BLUE COLOR)	NOT USED	J	CORTEN STEEL	CORTEN RUSTED STEEL

NOT A PART

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



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AA

**McMAHON MARKET PLACE
NEW SHELL OFFICE BUILDING**
5760 McMAHON BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN & ELEVATIONS
SITE PLAN FOR BUILDING PERMIT

LOT 9b

DATE: 18 MAR 2022
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

NO.	REVISIONS

SHEET NO:
A2.3
6 OF 10