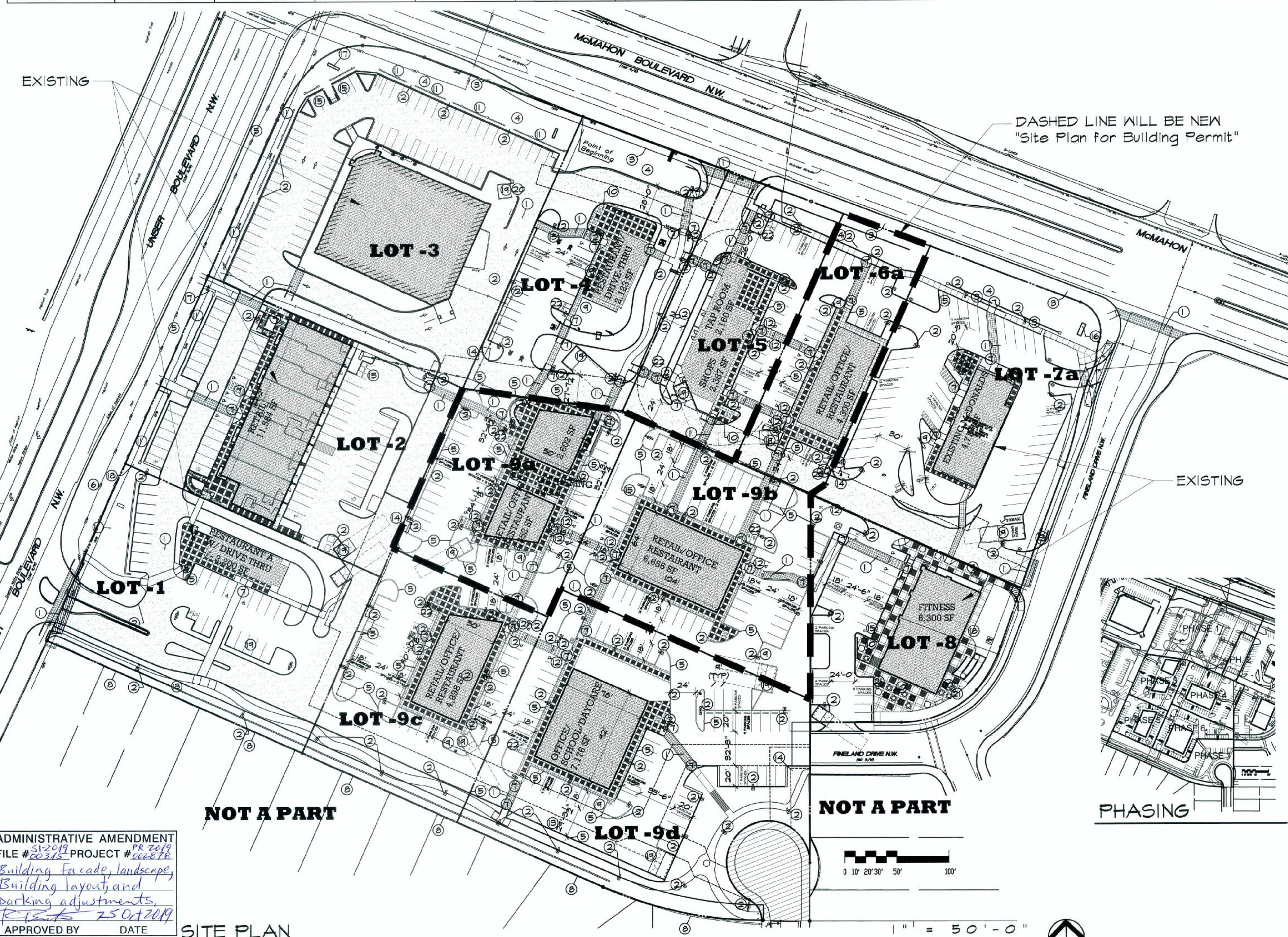
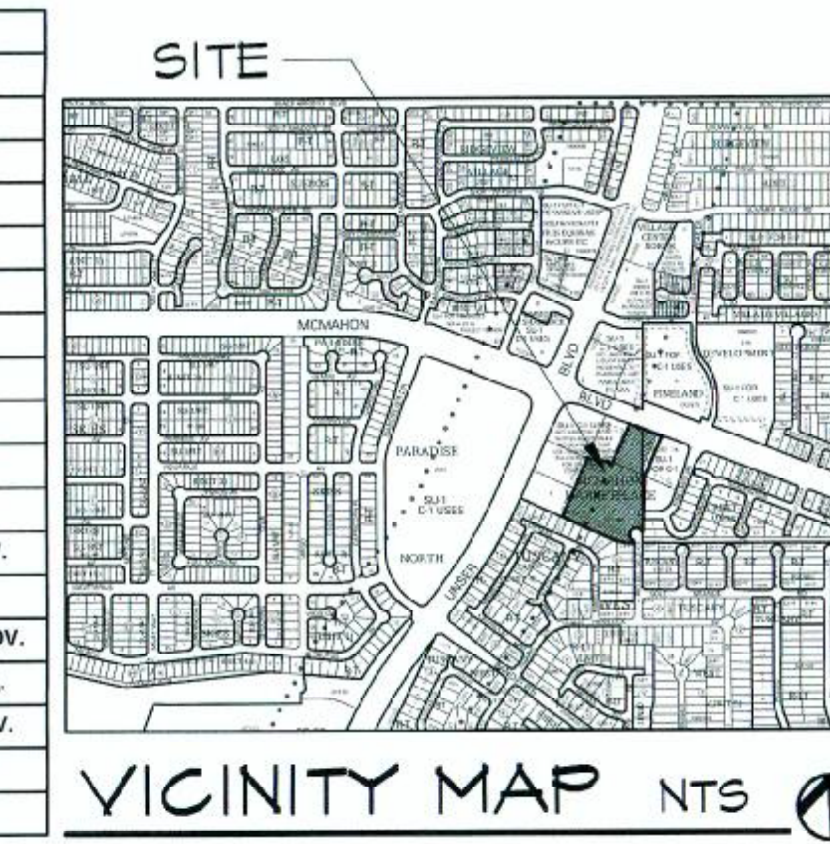


LEGAL DESCRIPTION	LOT-1	LOT-2	LOT-3	LOT-4	LOT-5	LOT-6a	LOT-7a	LOT-8	LOT-9a	LOT-9b	LOT-9c	LOT-9d	TOTAL
TRACT NUMBER	AREA = 1.14 AC	AREA = 1.21 AC	AREA = 1.66 AC	AREA = 0.92 AC	AREA = 0.69 AC	AREA = 0.53 AC	AREA = 1.23 AC	AREA = 0.72 AC	AREA = 0.71 AC	AREA = 0.23 AC	AREA = 0.81 AC	AREA = 1.55 AC	
TOTAL ACREAGE	AREA = 1.14 AC	AREA = 1.21 AC	AREA = 1.66 AC	AREA = 0.92 AC	AREA = 0.69 AC	AREA = 0.53 AC	AREA = 1.23 AC	AREA = 0.72 AC	AREA = 0.71 AC	AREA = 0.23 AC	AREA = 0.81 AC	AREA = 1.55 AC	
EXISTING ZONING													
PROPOSED ZONING													
BLDS. SIZE / REQ. DINING SEATS	3,000 SF / 100 SEATS	11,584 SF / NA	16,031 SF / NA	2,123 SF / 52 SEATS	4,547 SF / 80 SEATS & 1/200	4,300 SF / NA	4,715 SF / 120 SEATS	6,300 SF / 106 OL @ 1/3	4,955 SF / NA	6,656 SF / NA	4,898 SF / NA	7,176 SF / NA	
FAR	0.0600	0.2197	0.2220	0.0531	0.1516	0.1853	0.0879	0.2007	0.1596	0.6574	0.1396	0.1066	
PROPOSED # OF STRUCTURES	1	1	1	1	1	1	1	1	2	1	1	1	
PROPOSED USE	RESTAURANT W/ DRIVE THRU	SHOPS/RETAIL-FOOD-OFFICE	DRUG STORE	RESTAURANT W/ DRIVE THRU	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	RESTAURANT W/ DRIVE THRU	FITNESS CENTER W/ 1 TENANT	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	SHOPS/RETAIL-FOOD-OFFICE	OFFICE/SCHOOL/DAYCARE	
TOTAL PARKING PROVIDED	37 SPACES	57 SPACES	70 SPACES	20 SPACES	19 SPACES	27 SPACES	33 SPACES	27 SPACES	42 SPACES	60 SPACES	42 SPACES	63 SPACES	497 SPACES PROV.
TOTAL PARKING REQ. (INC. EMPL)	30 SPACES (1 PER 4 SEATS)	58 SPACES	75 SPACES	13 SPACES (1 PER 4 SEATS)	32 SPACES	22 SPACES	30 SPACES (1 PER 4 SEATS)	36 SPACES	25 SPACES	33 SPACES	24 SPACES	16 SPACES (2 1/1,500 SF)	395 SPACES REQ.
DIFFERENCE (-2)	+7 SPACES	-1 SPACES	-5 SPACES	+7 SPACES	-13 SPACES	+5 SPACES	-9 SPACES	-9 SPACES	17 SPACES	27 SPACES	18 SPACES	+47 SPACES	+102 SPACES
HC PROVIDED	2 HC (INC. 2 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 2 VAN ACCESSIBLE)	1 HC (INC. VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	3 HC (INC. 3 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	3 HC (INC. 3 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	35 HC SPACES PROV.
HC REQUIRED	2 HC SPACES	4 HC SPACES	4 HC SPACES	1 HC SPACES	2 HC SPACES	1 HC SPACES	2 HC SPACES	3 HC SPACES	1 HC SPACES	2 HC SPACES	1 HC SPACES	3 HC SPACES	26 HC SPACES REQ.
BIKE SPACES PROVIDED	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	9 BIKE SPACES	5 BIKE SPACES	3 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	5 BIKE SPACES	62 BIKE SPACES PROV.
BIKE SPACES REQUIRED	2 BIKE SPACES	3 BIKE SPACES	4 BIKE SPACES	1 BIKE SPACES	2 BIKE SPACES	2 BIKE SPACES	2 BIKE SPACES	2 BIKE SPACES	2 BIKE SPACES	2 BIKE SPACES	2 BIKE SPACES	1 BIKE SPACES	25 BIKE SPACES REQ.
MOTORCYCLE SPACES PROVIDED	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	4 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	78 MC SPACES PROV.
MOTORCYCLE SPACES REQUIRED	1 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	1 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	1 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	1 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	1 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	21 MC SPACES REQ.
MAX. BUILDING HEIGHT	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	



PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

- KEYED NOTES
- 1) 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
 - 2) PROPOSED LIGHT POLE LOCATION RE: 3/A1.5 FOR POLE DETAIL
 - 3) EXISTING 6' SIDEWALK
 - 4) PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN)
 - 5) CONCRETE CURB
 - 6) CONCRETE SIDEWALK, MAX. 2% CROSS SLOPE
 - 7) HANDICAP RAMP PER COA DMS @2441
 - 8) INDICATES EXISTING 6' HIGH CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT GRADE OF R. ZONE AREA COLOR OF WALL FACING COMMERCIAL DEVELOPMENT SHALL BE TAN IN COLOR
 - 9) INDICATES BIKE RACK LOCATION (9 BIKE CAPACITY)
 - 10) OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) W/ 8' LONG X 3' WIDE BENCH SHADED BY TRELLIS AND LANDSCAPING
 - 11) PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A3.0 FOR DETAIL
 - 12) INDICATES ADA PARKING SPACE W/SIGNAGE, SEE A1.5
 - 13) PROPOSED 30' LANDSCAPE BUFFER W/ 8' PEDESTRIAN PATHWAY
 - 14) INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
 - 15) INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
 - 16) NOT IN USE
 - 17) INDICATES SIGN TYPE B.
 - 18) HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED W/ SUPPLEMENTAL WATER HARVESTING SYSTEM
 - 19) INDICATES DUMPSTER LOCATION RE: DETAIL 2/A1.5 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
 - 20) INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
 - 21) INDICATES 18" HIGH BENCH LOCATION
 - 22) INDICATES MOTORCYCLE SPACE W/SIGNAGE - SEE SHEET A1.5

ADMINISTRATIVE AMENDMENT
FILE # 20315 PROJECT # 2019-000878
Building Facade, Landscaping,
Building layout and
parking adjustments.
R. L. Smith 25 Oct 2019
APPROVED BY _____ DATE _____

SITE PLAN

MARTIN FM GRUMMER
ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87102
(505) 265-2007

PETERSON
PROPERTIES

AA

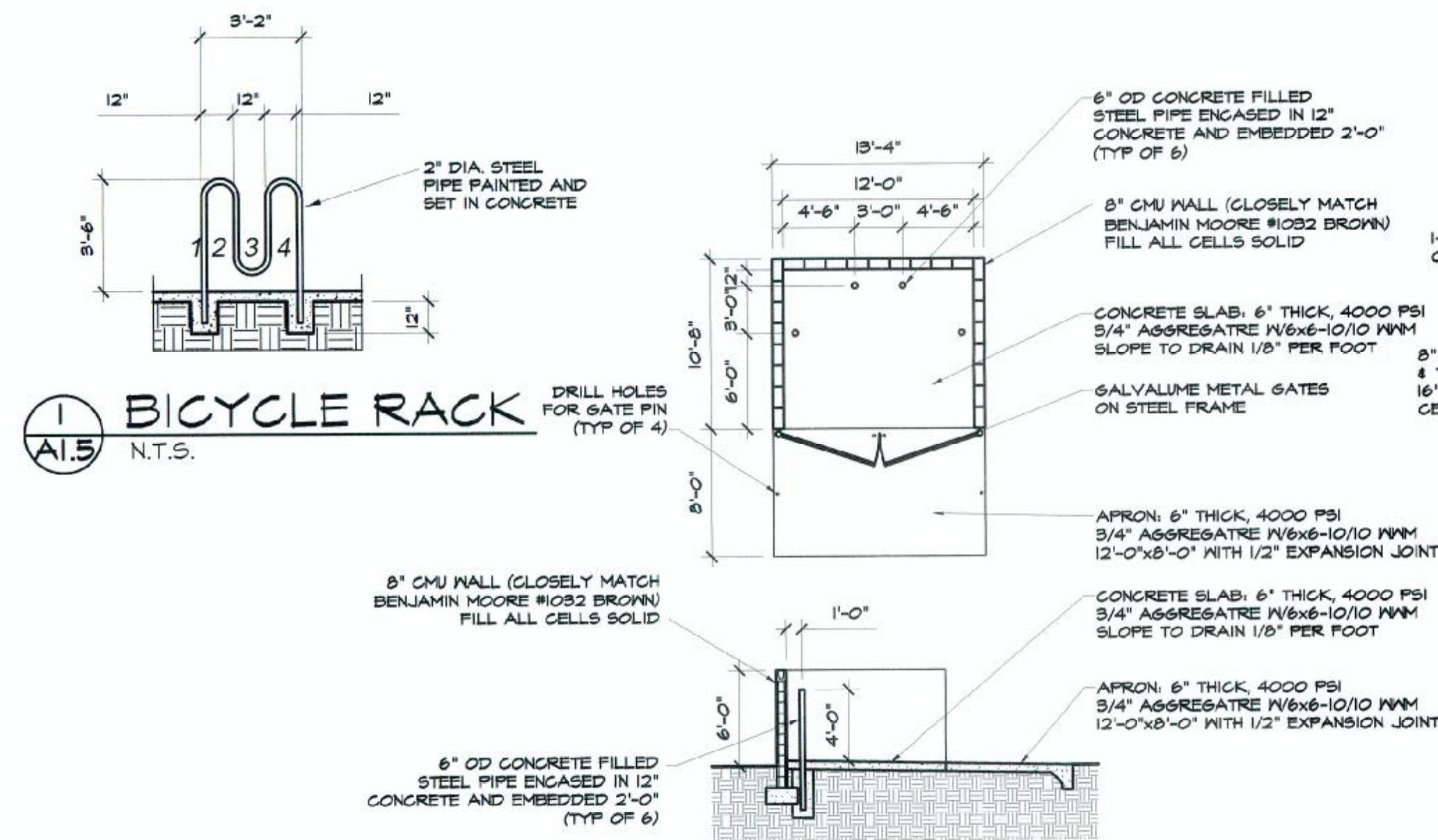
McMAHON MARKET PLACE
NEW SHELL BUILDING
5710 McMAHON BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN FOR BUILDING PERMIT
SITE PLAN

DATE: 27 SEP 2019
DRAWN BY: MFMG
CHECKED BY: _____
VERIFIED BY: _____

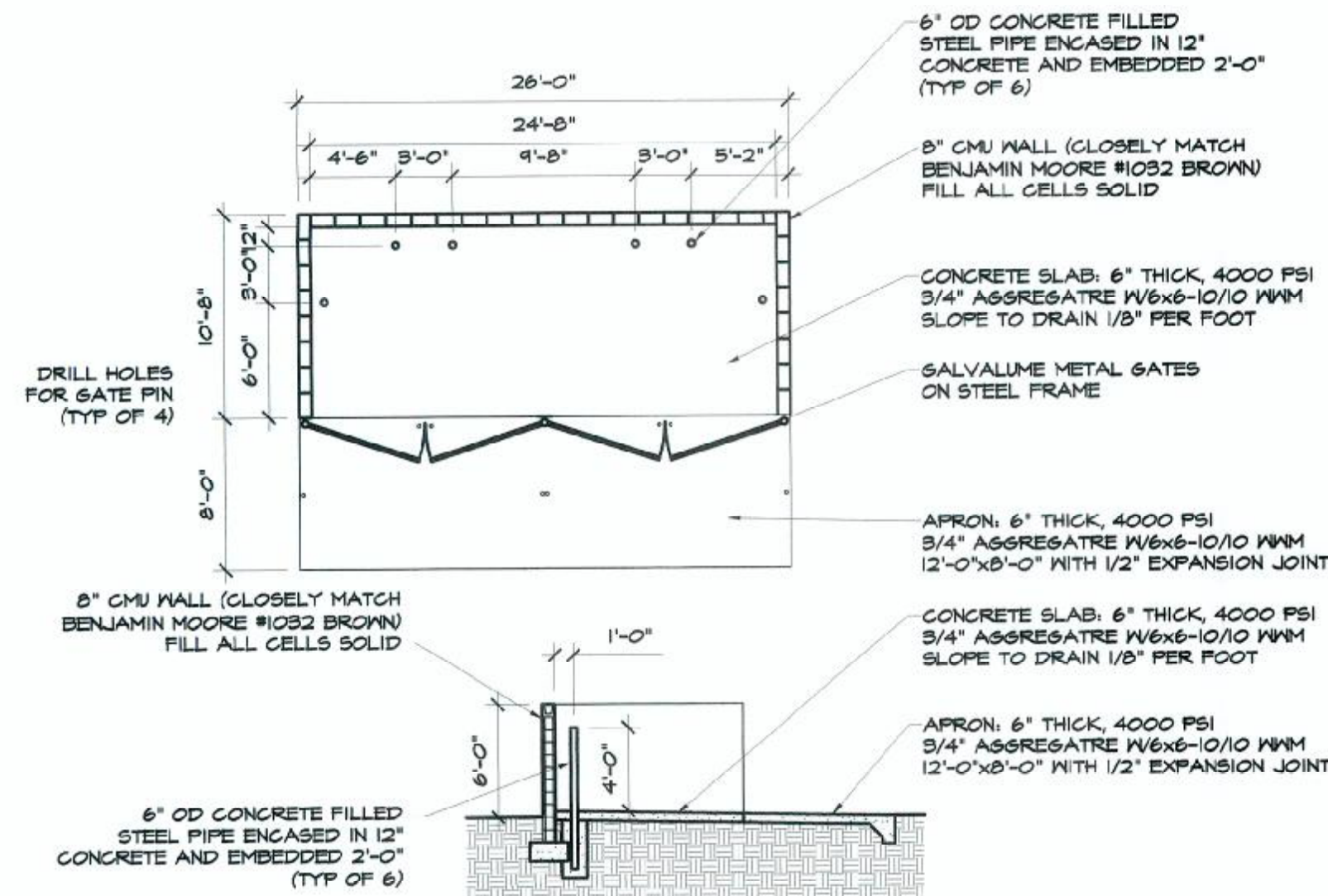
REVISIONS

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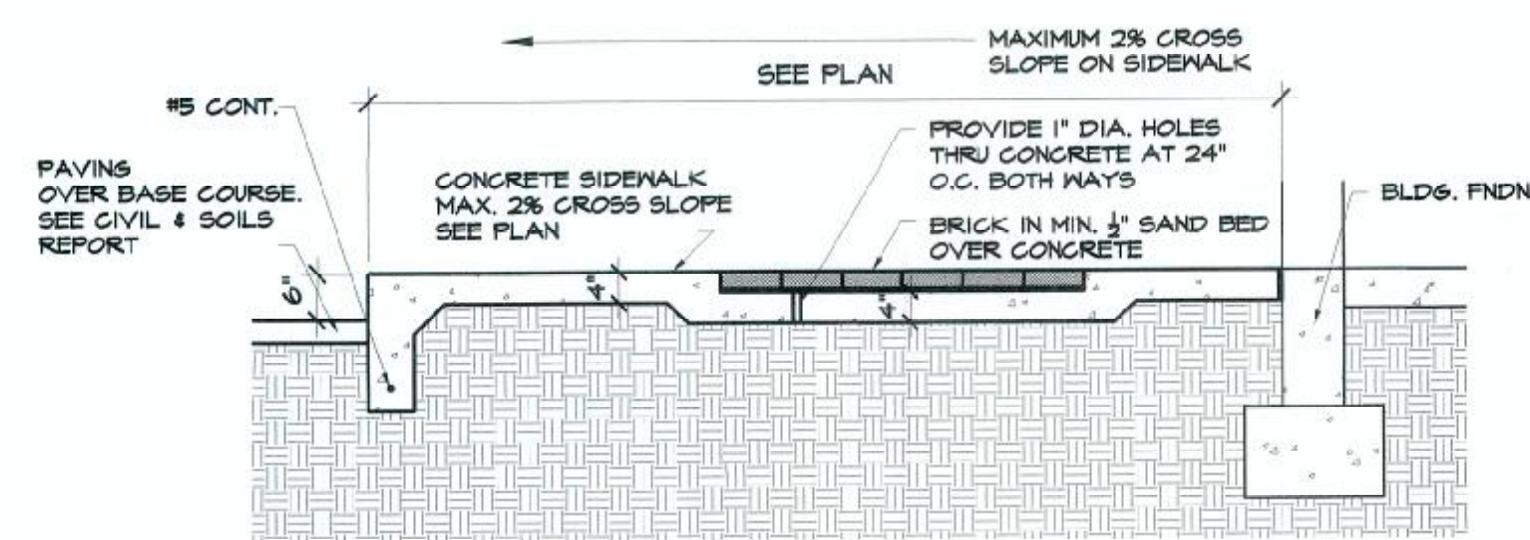
SHEET NO:
A1.1
1 OF 10



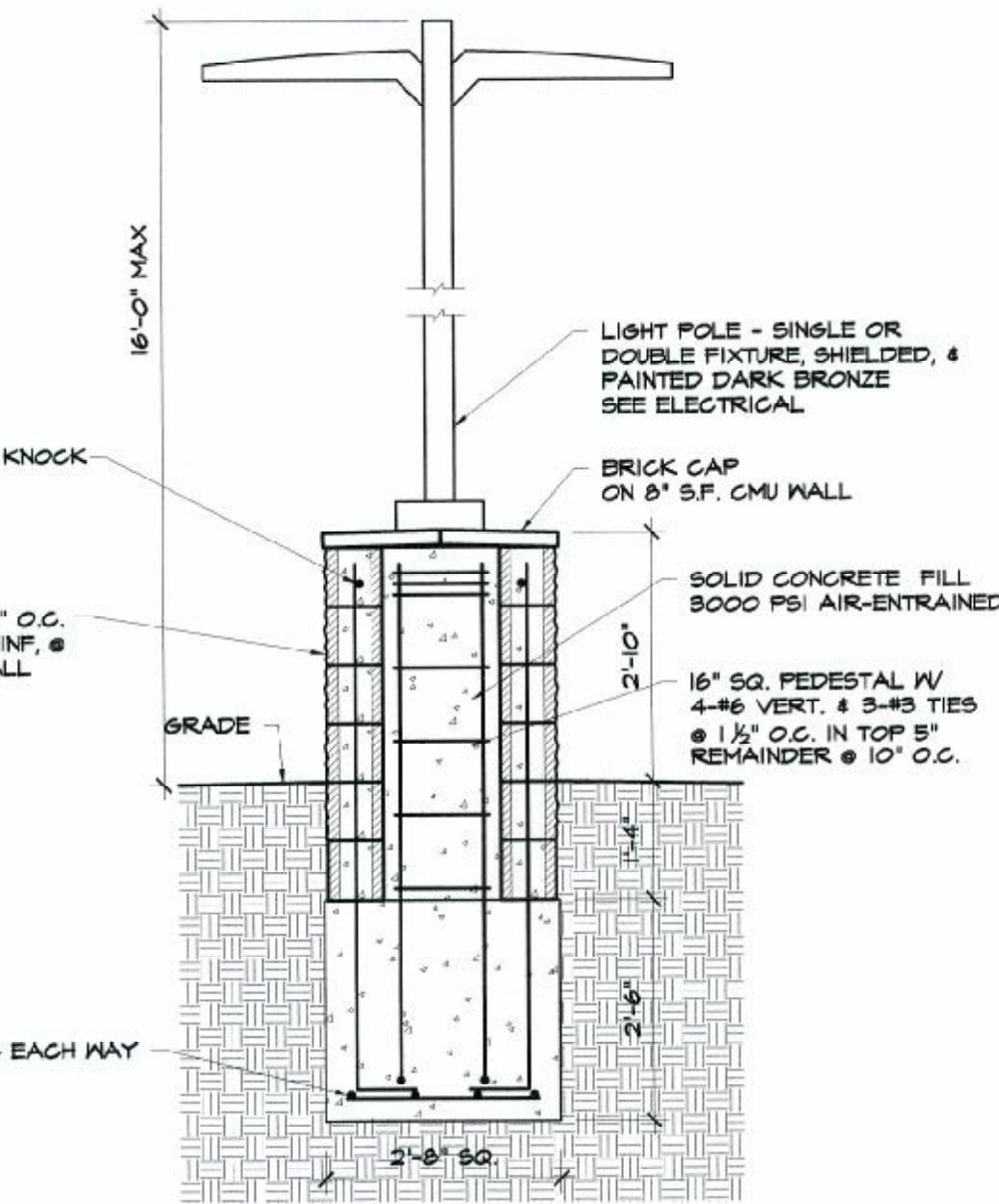
2 REFUSE ENCLOSURE
A1.5 N.T.S.



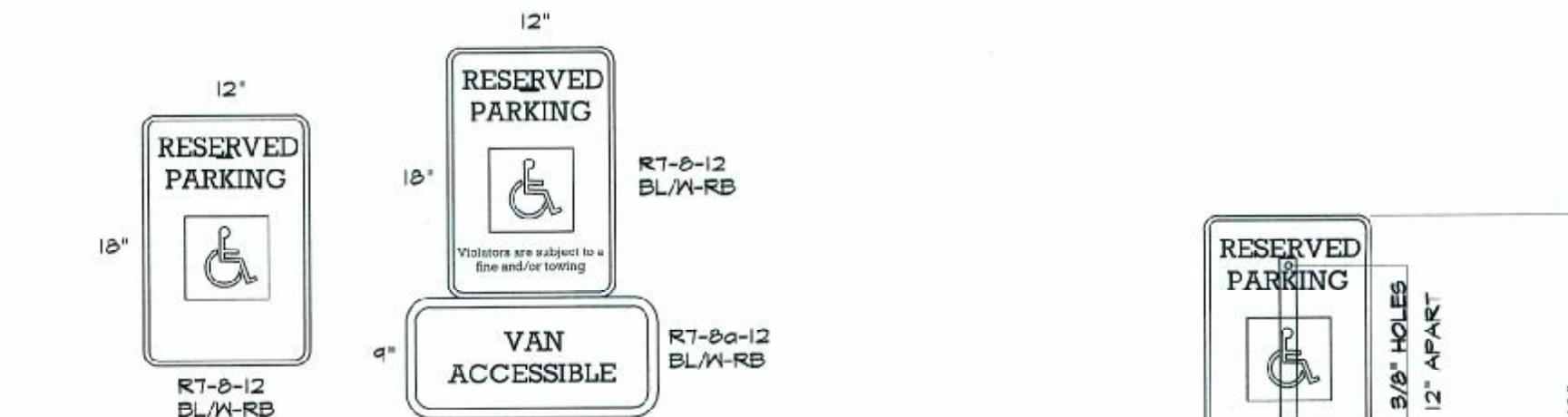
3 REFUSE ENCLOSURE
A1.5 N.T.S.



4 SIDEWALK / BRICK DETAIL
A1.5 1/2"=1'-0"

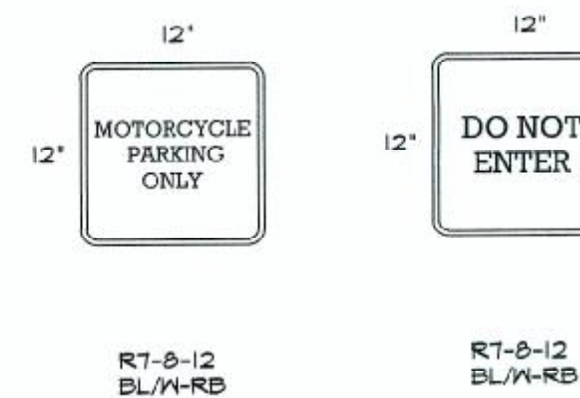


3 LIGHT POLE BASE
A1.5 1/2"=1'-0"



4 HANDICAP PARKING SIGNS
A1.5 N.T.S.

5 SECTION A-A
A1.5 N.T.S.



7 SIGN MOUNTING DETAIL
A1.5 N.T.S.

6 SIGN MOUNTING DETAIL
A1.5 N.T.S.

NOTE: LETTERING SHALL BE FHWA SERIES "B" ALPHABET

MOUNTING OPTIONS

A) FLEXIBLE P.E. POST WITH SURFACE MOUNT BASE - EPOXY TO PAVEMENT SURFACE

B) PERFORATED GALVANIZED TUBING INSTALL IN LANDSCAPE AREAS ONLY

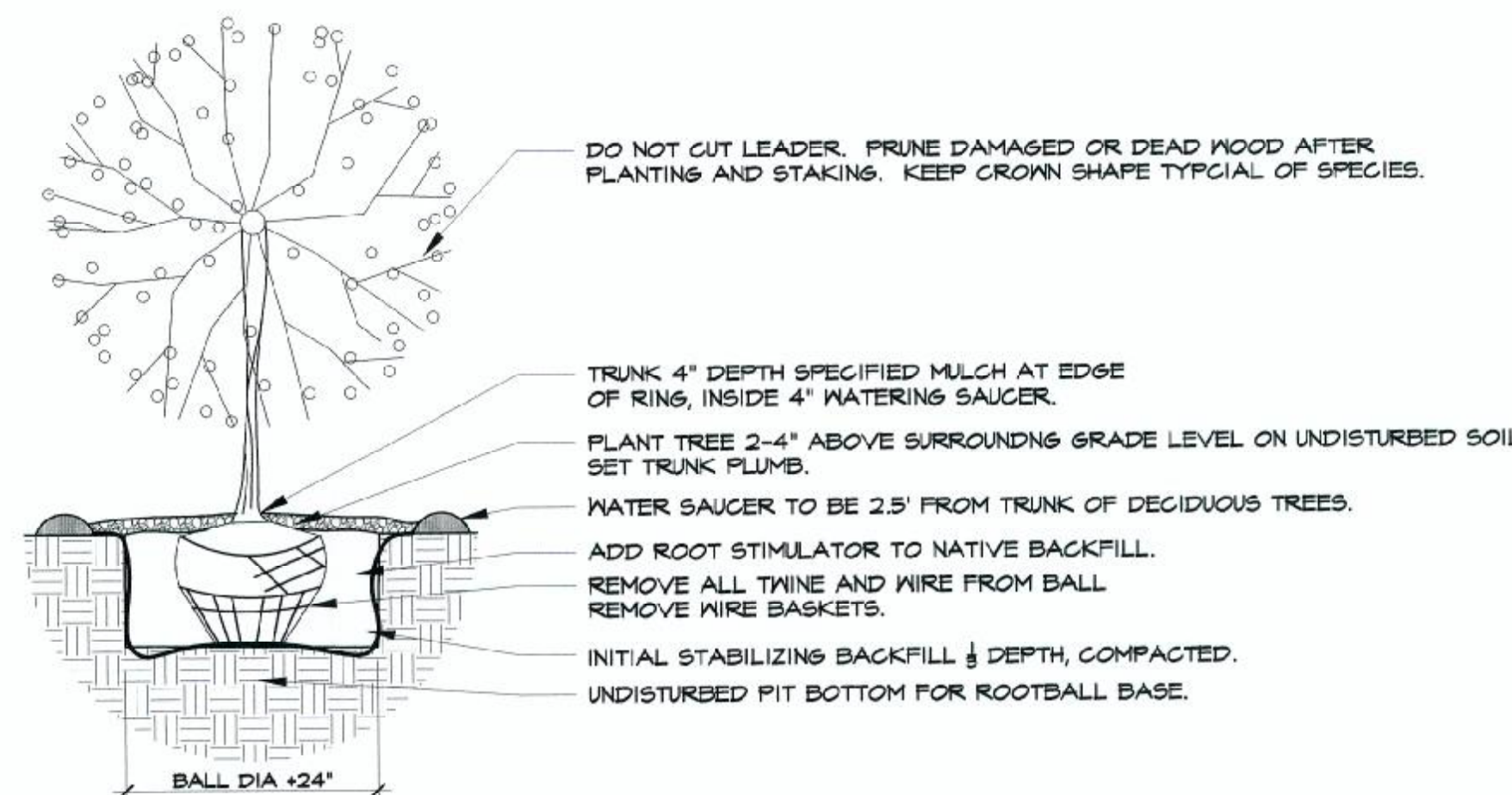
BLACK BORDERS AND TEXT, ON WHITE OR REFLECTIVE BACKGROUND (TYP)

BOTTOM OF SIGN SHALL NOT BE LESS THAN 4'-0" ABOVE FINISH SURFACE

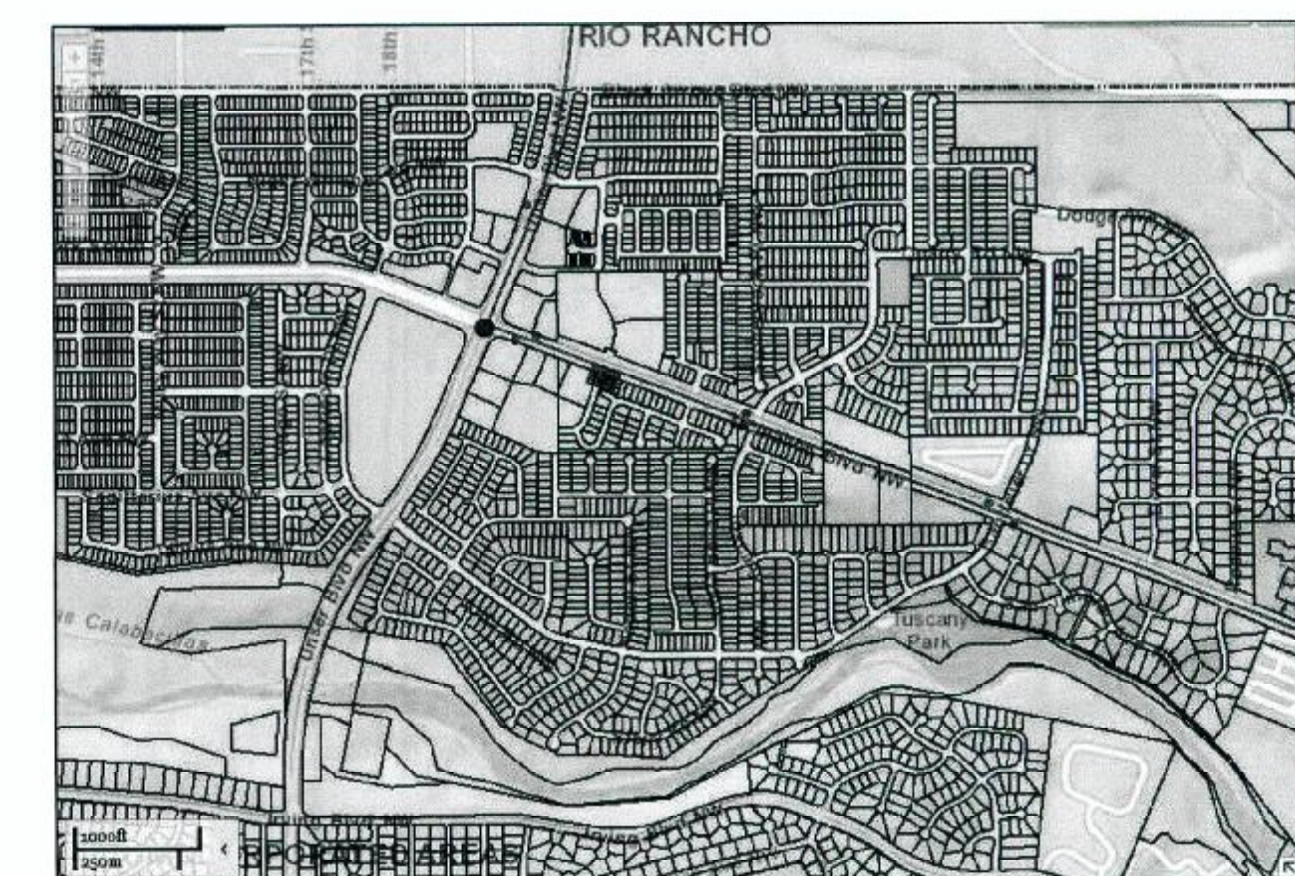
NOTE: THE ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-14.13 NMSA 21918)

NO PARKING

7a ADA ACCESS AISLE DTL.
A1.5 N.T.S.

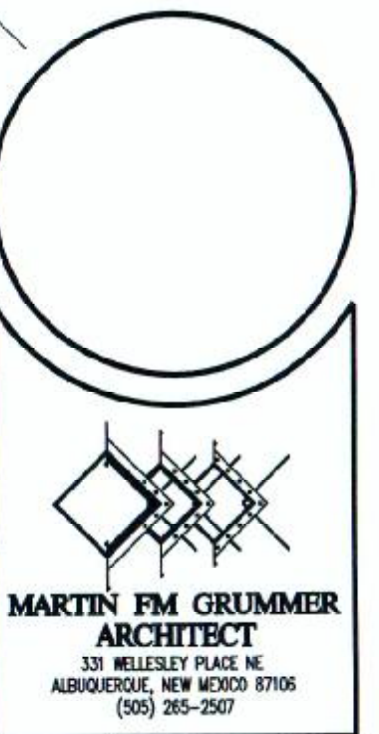


9 TREE PLANTING DETAIL
A1.5 N.T.S.



10 BUS ROUTE PLAN
A1.5 N.T.S.

ALL DIMENSIONS ARE TO BE FIELD VERIFIED IF THERE ARE DISCREPANCIES. PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



McMAHON MARKET PLACE
NEW SHELL BUILDING
5710 McMAHON BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN FOR BUILDING PERMIT
SITE DETAILS

DATE: 12 SEP 2019
DRAWN BY: MFMS
CHECKED BY:
VERIFIED BY:

REVISIONS

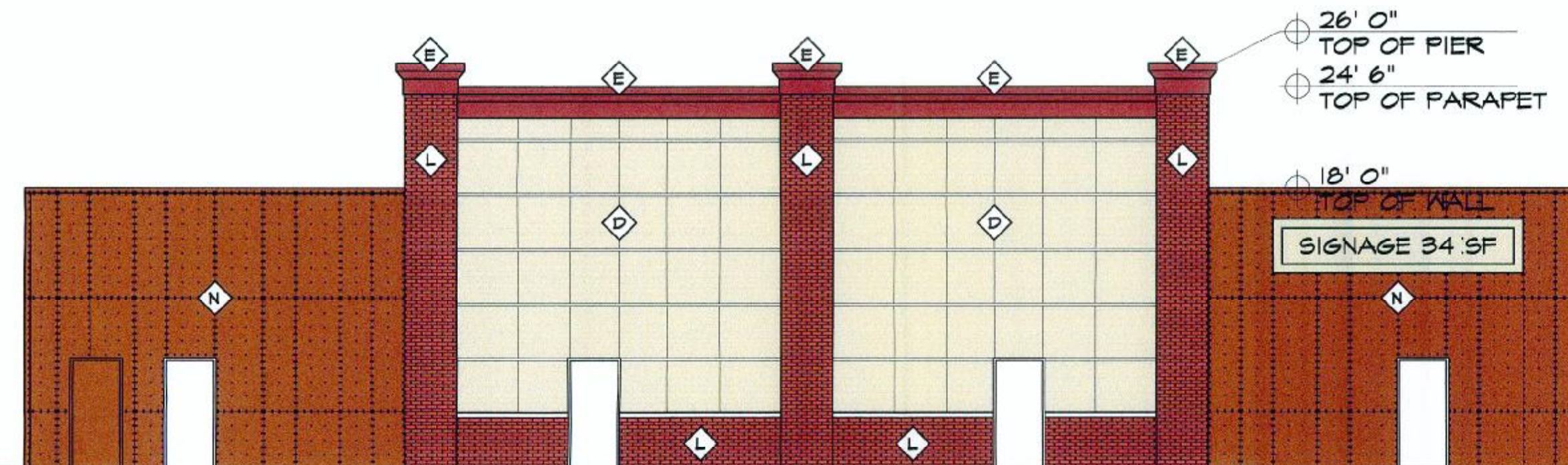
SHEET NO:
A1.5
3 OF 10



NORTH ELEVATION

SIGNAGE: 43 SF OF 774 SF FACADE = 5.56%

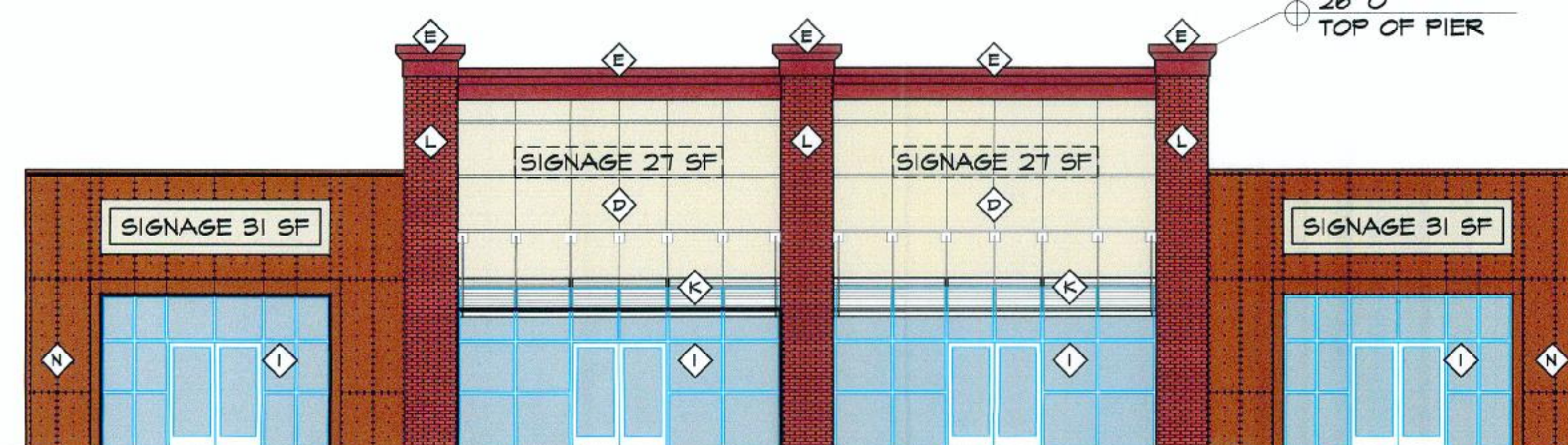
1/8" = 1' - 0"



EAST ELEVATION

SIGNAGE: 34 SF OF 2127 SF FACADE = 1.59%

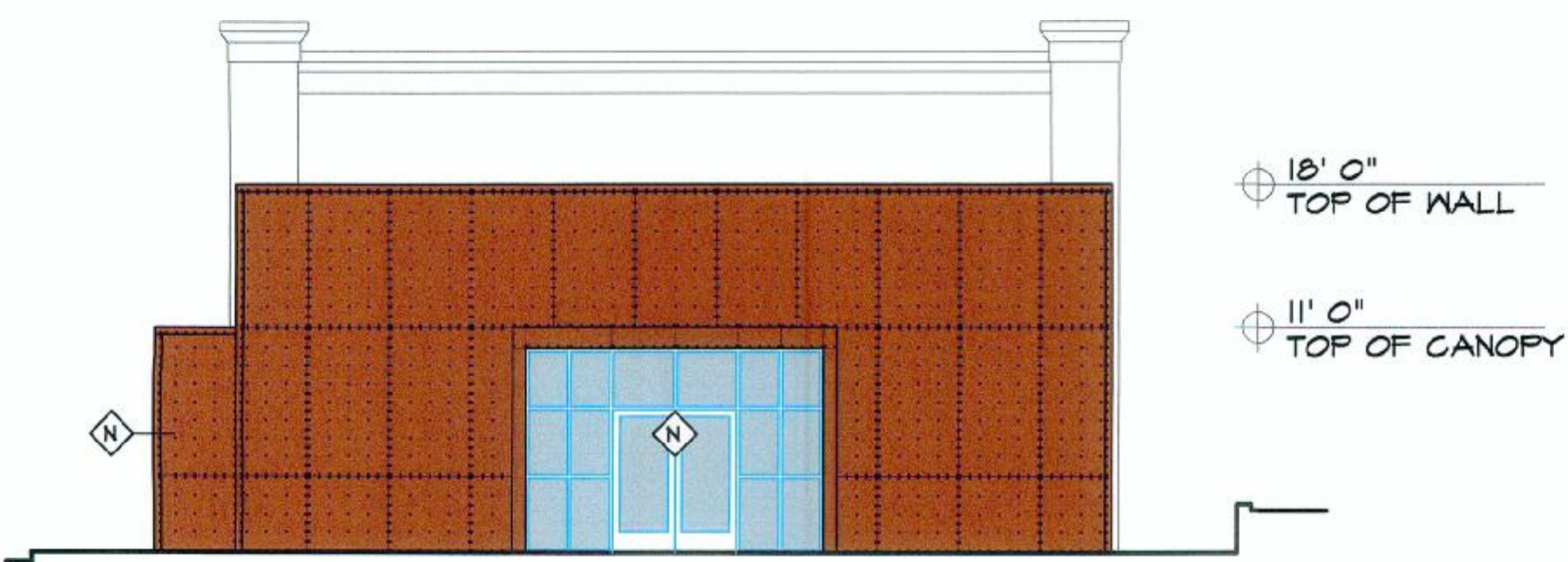
1/8" = 1' - 0"



WEST ELEVATION

SIGNAGE: 116 SF OF 2,127 SF FACADE = 5.45%

1/8" = 1' - 0"



SOUTH ELEVATION

1/8" = 1' - 0"



KEYED NOTES

1. 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
2. PROPOSED LIGHT POLE LOCATION RE: 3/A1.5 FOR POLE DETAIL
3. EXISTING 6" SIDEWALK
4. PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN)
5. 6" CONCRETE CURB
6. CONCRETE SIDEWALK, MAX. 2% CROSS SLOPE
7. HANDICAP RAMP PER COA DMS #2441
8. INDICATES EXISTING 6' HIGH CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA. COLOR OF WALL FACING COMMERCIAL DEVELOPMENT SHALL BE TAN IN COLOR
9. INDICATES BIKE RACK LOCATION (9 BIKE CAPACITY)
10. OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) W/ 8' LONG X 3' WIDE BENCH SHADED BY TRELLIS AND LANDSCAPING
11. PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A3.0 FOR DETAIL
12. INDICATES ADA PARKING SPACE W/SIGNAGE, SEE A1.5
13. PROPOSED 30' LANDSCAPE BUFFER W/ 6' PEDESTRIAN PATHWAY
14. INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
15. INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
16. 20' WATER UTILITY EASEMENT
17. INDICATES SIGN TYPE B.
18. HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED W/ SUPPLEMENTAL WATER HARVESTING SYSTEM
19. INDICATES DUMPSTER LOCATION RE: DETAIL 2/A1.5 - INCLUDING SANITARY DRAIN FOR FOOD SERVICES. NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
20. INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
21. INDICATES 18" HIGH BENCH LOCATION
22. INDICATES MOTORCYCLE SPACE W/SIGNAGE - SEE A1.5

24' 6" TOP OF PARAPET

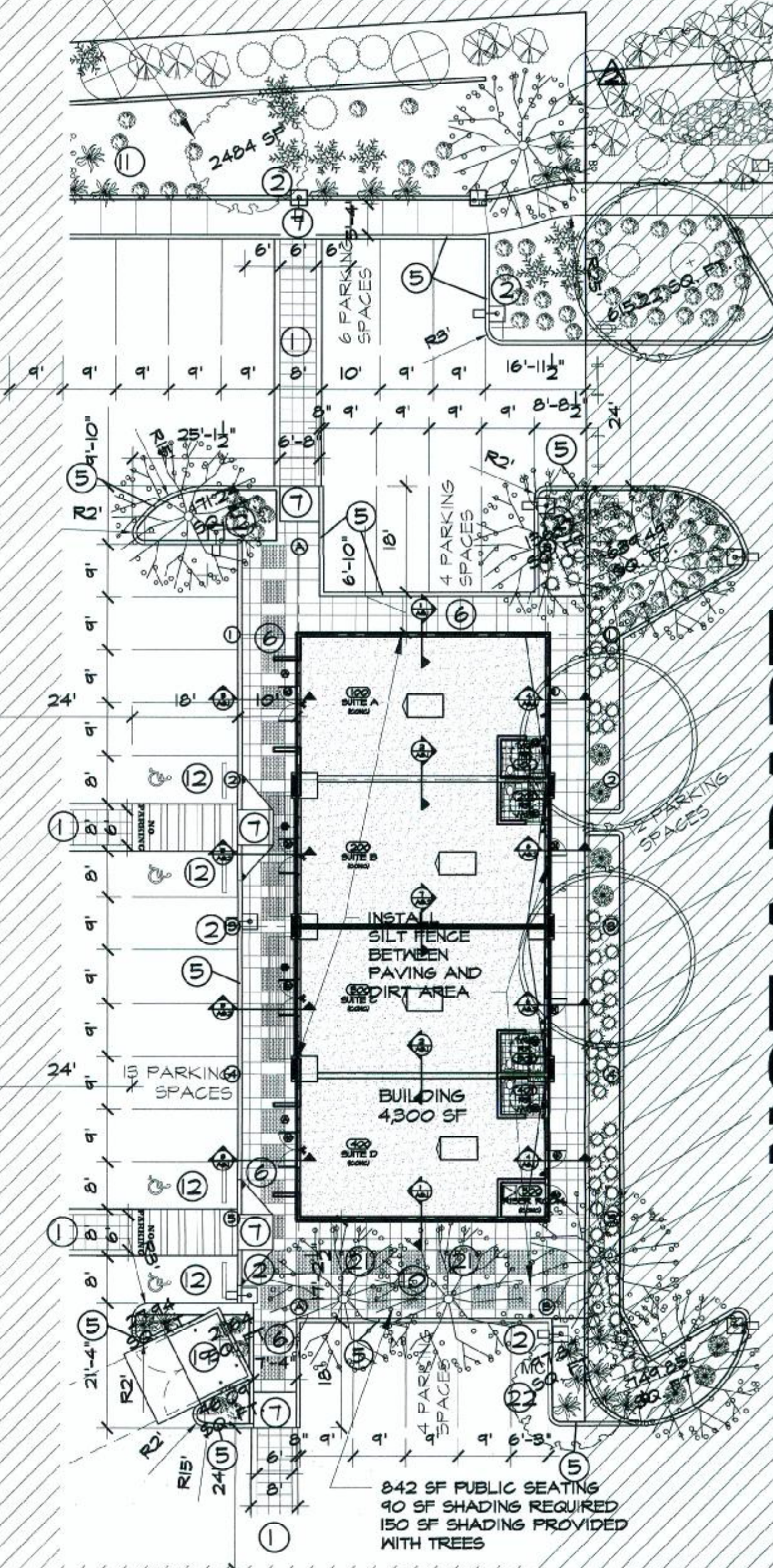
18' 0" TOP OF WALL

10' 0" TOP OF STOREFRONT

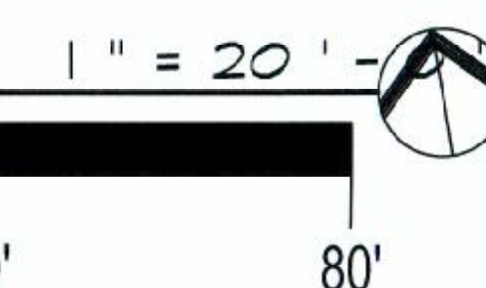
KEYED COLOR / MATERIAL SCHEDULE (FROM DESIGN STANDARDS)

A. WALL FINISH COLOR	BENJAMIN MOORE #1032 (DARK TAN)	NOT USED	H. SIGNAGE	MATCH STUCCO COLOR D. PROVIDE PLYWOOD BACKING FOR SIGN
B. WALL FINISH COLOR	BENJAMIN MOORE #191 (LIGHT TAN)	NOT USED	I. STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
C. WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)	NOT USED	J. ROOF FINISH MATERIAL	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
D. WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT TAN COLOR)	STUCCO	K. AWNING & FRAMING	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL - SILVER GALVALUME OVER AWNING FRAME (SEE STRUCT.) FRAME TO BE COLOR E - RED CENT
E. WALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)	STUCCO	L. BRICK	RED BRICK FACE BLOCK COLOR BY OWNER
F. WALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)	NOT USED	M. AWNING FABRIC	SUNBRELLA HEMLOCK TWEED #4605 AWNING FABRIC (DARK GREEN) NOT USED
G. WALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)	NOT USED	N. CORTEN STEEL	CORTEN RUSTED STEEL

LANDSCAPING AND PAVING CONSTRUCTED UNDER PERMIT #BP-2017-24856 FOR LOT 6a1



SITE PLAN



MARTIN F.M. GRUMMER
ARCHITECT
131 WILSON PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507



AA

McMAHON MARKET PLACE
NEW SHELL BUILDING
5710 McMAHON BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN & ELEVATION
SITE PLAN FOR BUILDING PERMIT

LOT
6a1

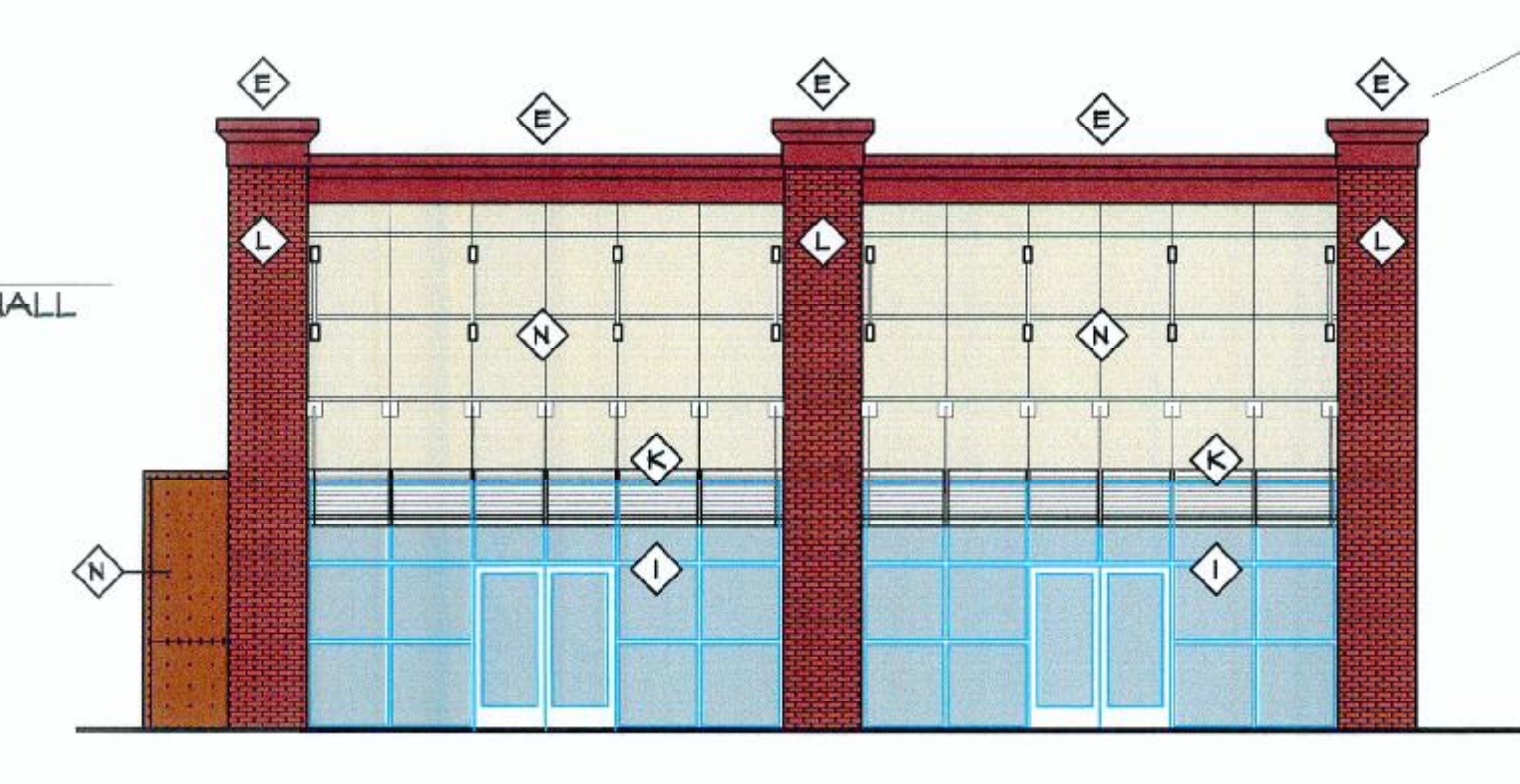
DATE: 12 SEP 2019
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS

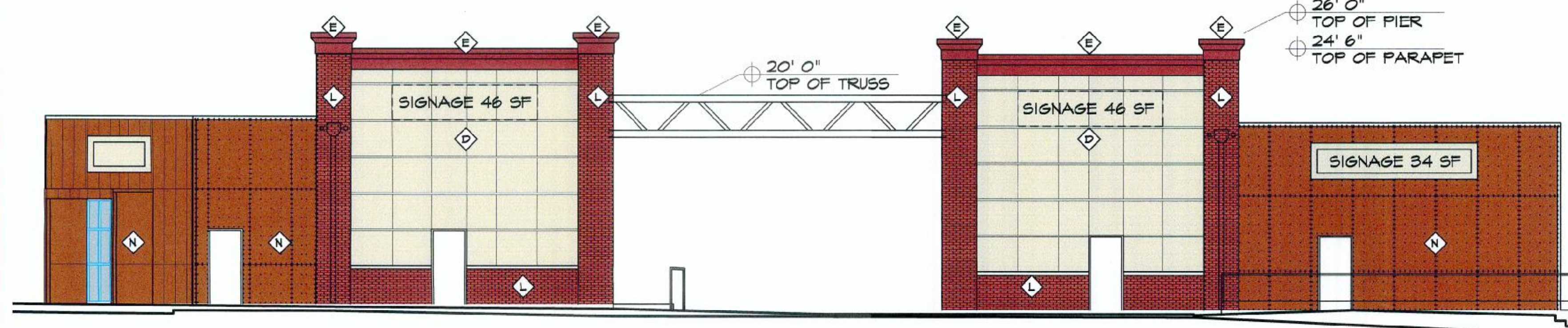
SHEET NO:
A2.1
4 OF 10



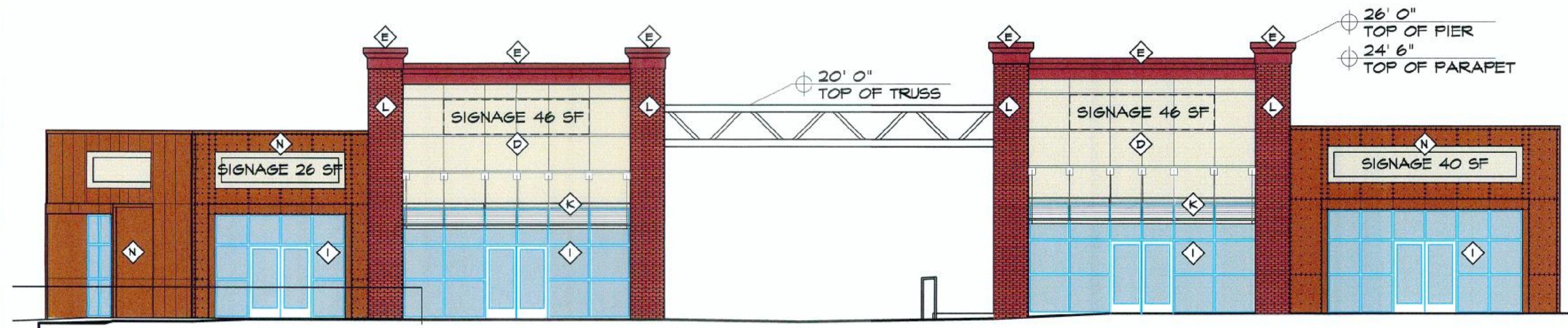
NORTH ELEVATION
SIGNAGE: 47 SF OF 935 SF FACADE = 5.03%
1/8" = 1' - 0"
0 8' 16'



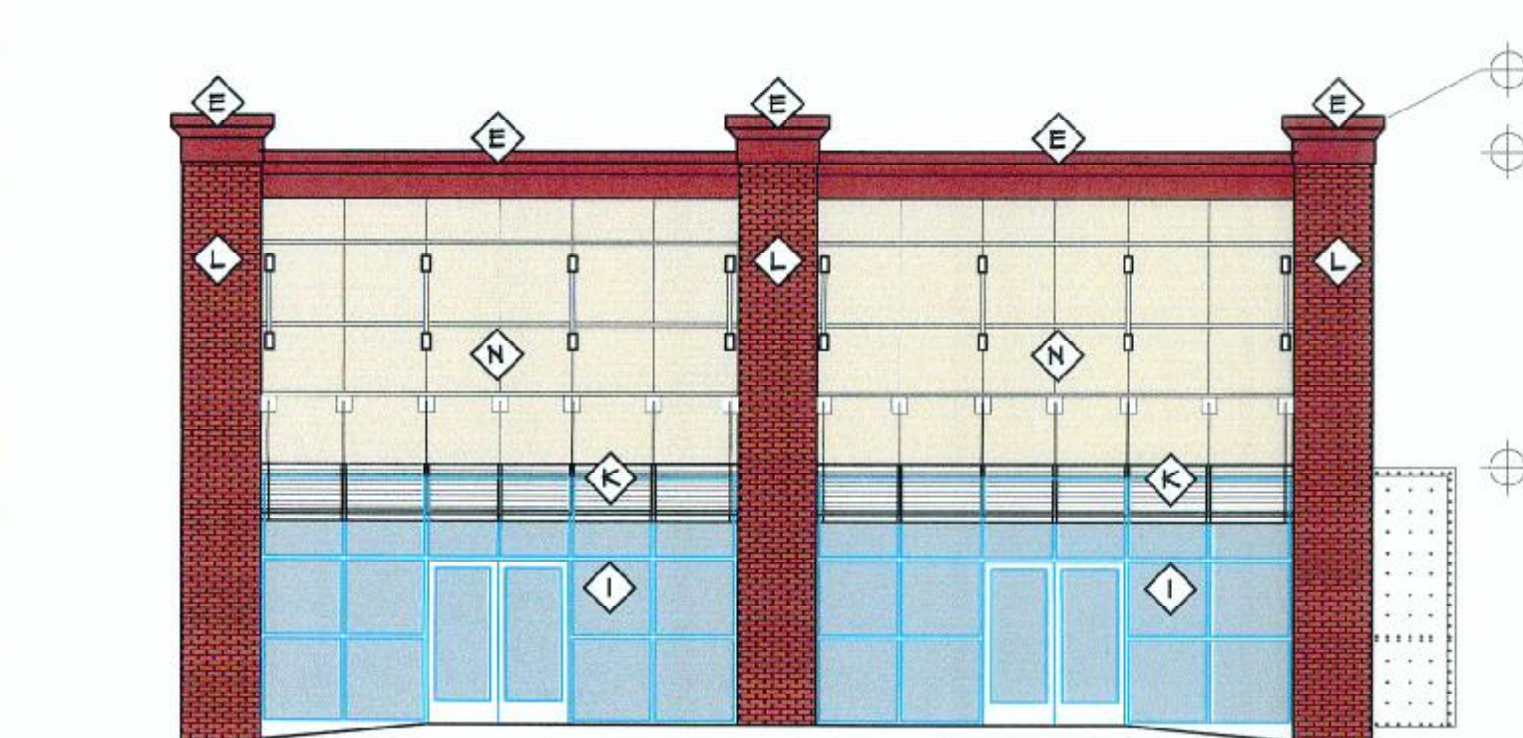
SOUTH ELEVATION
1/8" = 1' - 0"
0 8' 16'



EAST ELEVATION
SIGNAGE: 46 SF OF 897 SF FACADE = 5.13%
1/8" = 1' - 0"
0 8' 16'



WEST ELEVATION
SIGNAGE: 72 SF OF 989 SF FACADE = 7.28%
1/8" = 1' - 0"
0 8' 16'

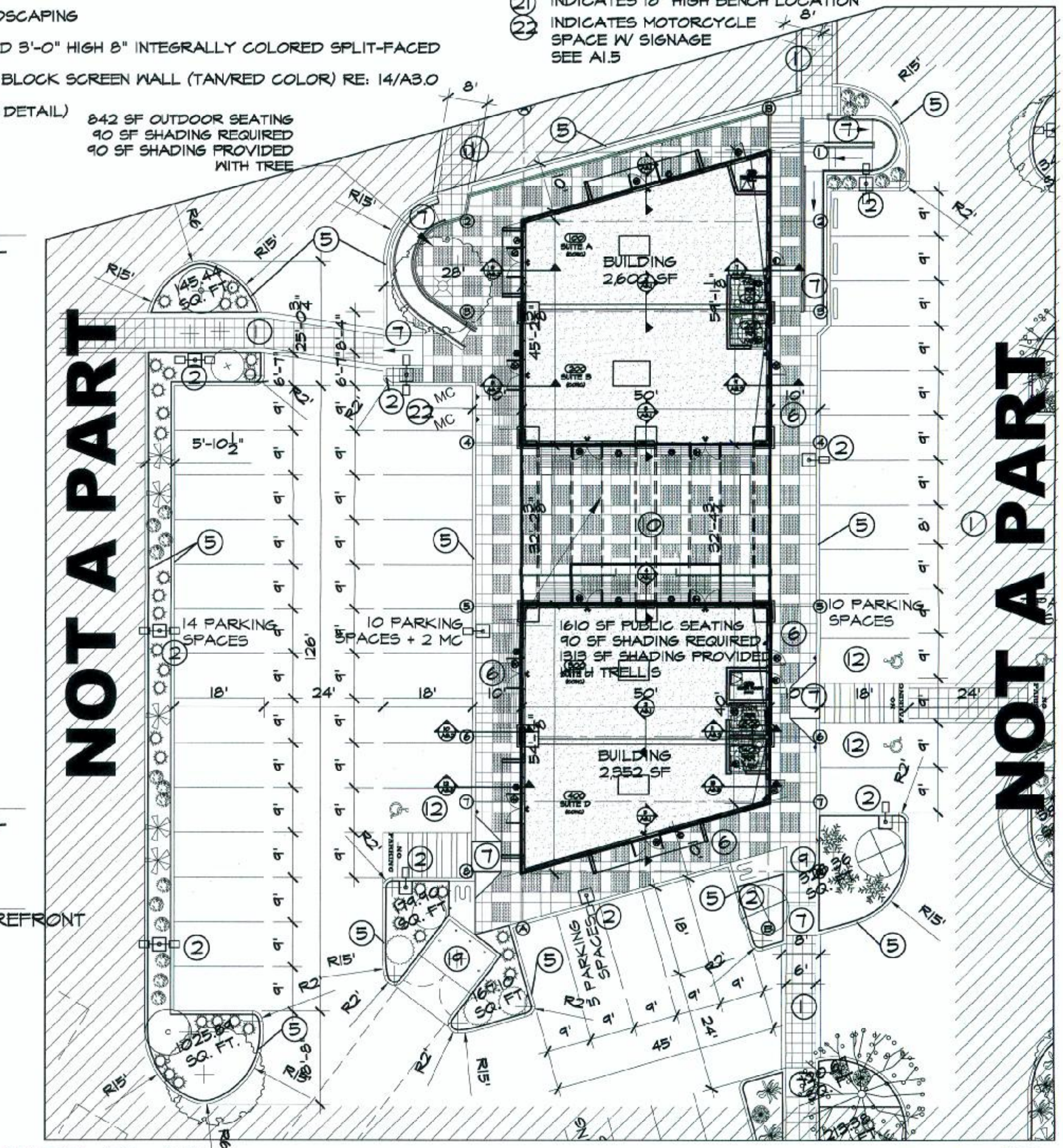


NORTH ELEVATION
1/8" = 1' - 0"
0 8' 16'



SOUTH ELEVATION
SIGNAGE: 47 SF OF 935 SF FACADE = 5.03%
1/8" = 1' - 0"
0 8' 16'

- KEYED NOTES**
- 1 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
 - 2 PROPOSED LIGHT POLE LOCATION RE: 3/A1.5 FOR POLE DETAIL
 - 3 EXISTING 6' SIDEWALK
 - 4 PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN)
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 - 6 CONCRETE SIDEWALK, MAX. 2% CROSS SLOPE
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 - 9 INDICATES BIKE RACK LOCATION (9 BIKE CAPACITY)
 - 10 OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) W/ 8' LONG X 5' WIDE BENCH SHADED BY TRELLIS AND LANDSCAPING
 - 11 PROPOSED 8'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A3.0 FOR DETAIL
 - 12 INDICATES ADA PARKING SPACE W/ SIGNAGE, SEE A1.5
 - 13 PROPOSED 30' LANDSCAPE BUFFER W/ 8' PEDESTRIAN PATHWAY
 - 14 INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
 - 15 INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
 - 16 20' WATER UTILITY EASEMENT
 - 17 INDICATES SIGN TYPE B.
 - 18 HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED W/ SUPPLEMENTAL WATER HARVESTING SYSTEM
 - 19 INDICATES DUMPSTER LOCATION RE: DETAIL 2/A1.5 - INCLUDING SANITARY DRAIN FOR FOOD SERVICES. NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
 - 20 INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
 - 21 INDICATES 18" HIGH BENCH LOCATION
 - 22 INDICATES MOTORCYCLE SPACE W/ SIGNAGE SEE A1.5



SITE PLAN
1" = 20' - 0"

KEYED COLOR / MATERIAL SCHEDULE				(FROM DESIGN STANDARDS)	
A	WALL FINISH COLOR	BENJAMIN MOORE #1032 (DARK TAN)	NOT USED	H	SIGNAGE
B	WALL FINISH COLOR	BENJAMIN MOORE #951 (LIGHT TAN)	NOT USED	I	STOREFRONT
C	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143 (TAN COLOR)	NOT USED	J	ROOF FINISH MATERIAL
D	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEIN SW 6143 (LIGHT TAN COLOR)	STUCCO	K	AWNING & FRAMING
E	WALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6341 (TERRA-COTTA RED)	STUCCO	L	BRICK
F	WALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7018 (GREY COLOR)	NOT USED	M	AWNINGS FABRIC
G	WALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6496 (BLUE COLOR)	NOT USED	N	CORTEN STEEL
					MATCH STUCCO COLOR D PROVIDE PLYWOOD BACKING FOR SIGN
					CLEAR ANODIZED ALUMINUM (SILVER COLOR)
					SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
					SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL - SILVER GALVALUME OVER AWNING FRAME (SEE STRUCT.) FRAME TO BE COLOR E - RED CENT
					RED BRICK FACE BLOCK COLOR BY OWNER
					SUNBRELLA HEMLOCK TWEEED #4605 AWNINGS FABRIC (DARK GREEN) NOT USED
					CORTEN RUSTED STEEL

STATE OF NEW MEXICO
REGISTERED ARCHITECT
MARTIN F.M. GRUMMER
No. 002044
12 SEP 2019

MARTIN F.M. GRUMMER
ARCHITECT
30 WILKLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507

PETERSON PROPERTIES

AA

McMAHON MARKET PLACE
NEW SHELL BUILDING
5750 McMAHON BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN & ELEVATIONS
SITE PLAN FOR BUILDING PERMIT

LOT 9a

DATE: 12 SEP 2019
DRAWN BY: MFMS
CHECKED BY:
VERIFIED BY:

REVISIONS
1 3 OCT 2019

SHEET NO:
A2.2
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