



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Huning Castle Apartments, LLC		Phone:
Address: PO Box 3507		Email:
City: Albuquerque	State: NM	Zip: 87190-3507
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 8th Street NW		Email: cp@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner	List all owners:	

BRIEF DESCRIPTION OF REQUEST

Add canopies over 34 existing parking spaces and eliminate one parking space to provide secured bicycle storage.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Lot 1-A	Block: Block 1	Unit:
Subdivision/Addition: Huning Castle Addition	MRGCD Map No.:	UPC Code: 101305830007240704
Zone Atlas Page(s): J-13	Existing Zoning: MX-M	Proposed Zoning: No Change
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 2.6982 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 1500 Central Ave SW Between: 15th Street SW and: Laguna Blvd SW

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-96-65 and Project #1000434

Signature:	Date: 10/19/20
Printed Name: James K. Strozier, FAICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
SI-2020-01163	AA	
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project # PR-2020-004594

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☒ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - ☐ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
 - ☐ Copy of the Official Notice of Decision associated with the prior approval
 - ☐ Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☒ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
 - ☒ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
 - ☒ Copy of the Official Notice of Decision associated with the prior approval
 - ☒ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.

Signature: 
Printed Name: James K. Strozier, FAICP

Date: 10/19/20

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

PR-2020-004594

SI-2020-01163

Staff Signature:

Date:



Thomas F. Keleher
Attorney/Mediator
P.O. Box 3507
Albuquerque, New Mexico 87190
September 14, 2020

Mr. Russell Brito, Manager
Urban Design & Development Division
Planning Department
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Dear Mr. Brito,

The purpose of this letter is to authorize Consensus Planning, Inc. to act as the agent for Huning Castle Apartments, LLC for a minor amendment request to add covered parking and additional bicycle parking at the Huning Castle apartment complex located at 1500 Central Avenue SW between 15th Street and Laguna Boulevard. The legal description is below:

- Lot 1-A, Block 1, Huning Castle Addition containing 2.6982 acres

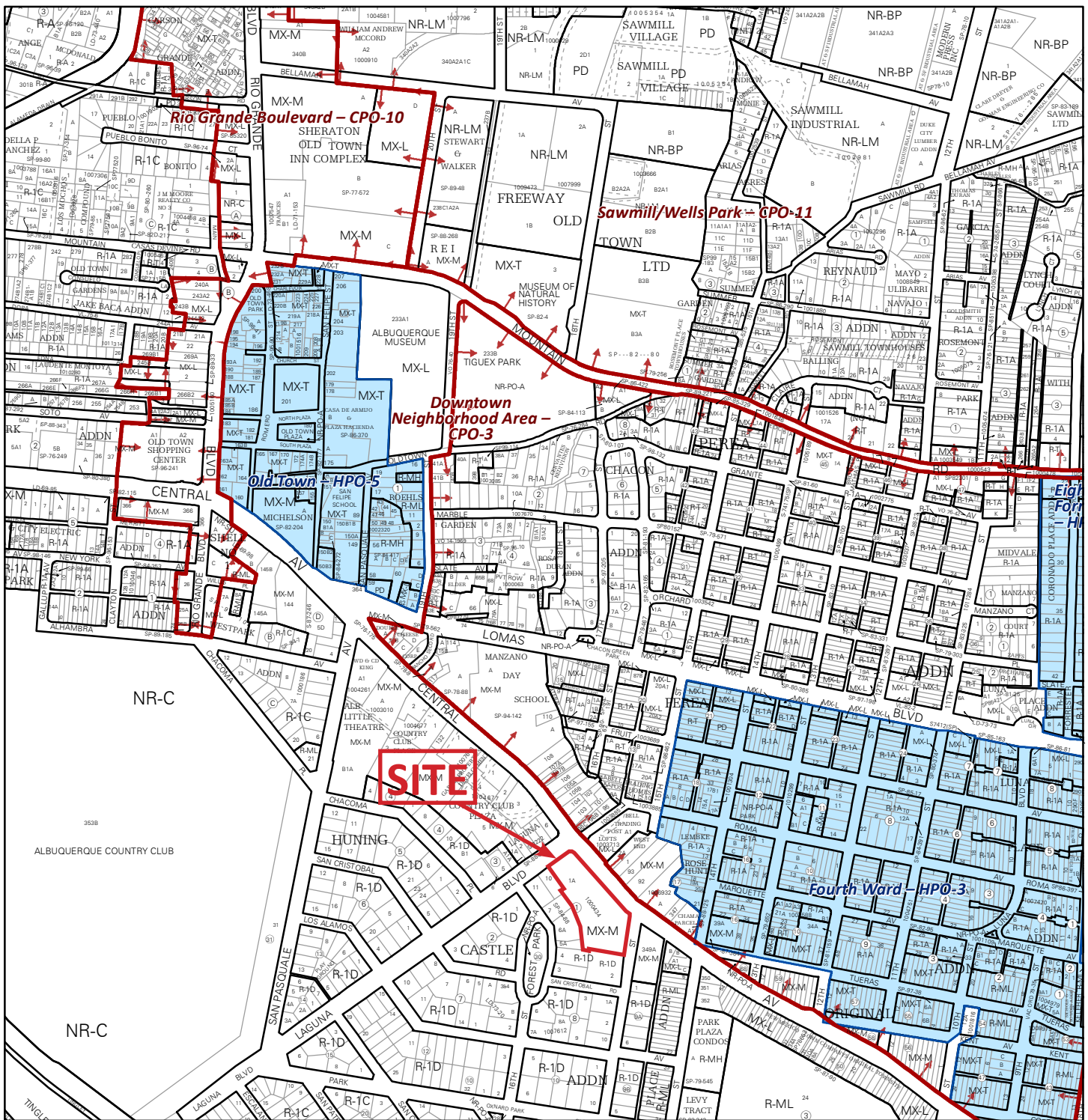
Huning Castle Apartments, LLC is the owner of the property. I am the managing member of Huning Castle Apartments, LLC.

Thank you for your consideration.

Sincerely,

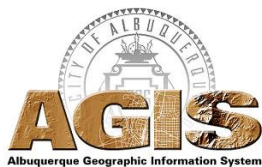


Thomas F. Keleher

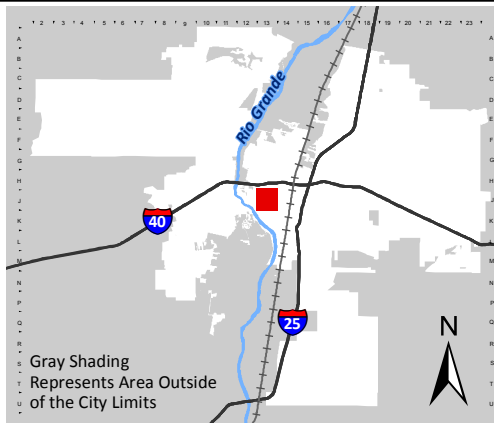


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
J-13-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



October 19, 2020

Mr. James Aranda
Deputy Director and Zoning Enforcement Officer
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Re: Minor Amendment for the Huning Castle Apartments

Dear Mr. Aranda:

The purpose of this letter is to explain our request for a minor amendment to the approved Site Development Plan for the Huning Castle Apartments located at 1500 Central Avenue SW. The purpose of the amendment is to allow for the addition of parking canopies and additional bicycle parking within the existing parking lot at the rear of the property. The subject property is legally described as Lot 1-A, Block 1, Huning Castle Addition and zoned MX-M (Previously Commercial/Low Density Apartments [CLD] within the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan).

The original Site Development Plan was approved by the Environmental Planning Commission (EPC) on May 15, 2003 as an amendment to a prior EPC action in 1996. Per the EPC approval, 108 parking spaces were required, and 119 total parking spaces were provided with a 15-foot minimum landscape buffer between the parking and the south property line.

This Minor Amendment request proposes the following:

- Add canopies along the western section of existing parking spaces covering 34 of the original 119 parking spaces. The area of sheltered parking is identified on the revised site plan (Sheet A001) and an elevation detail is added to the site details and exhibits (Sheet A008).
- Eliminate one parking space at the southernmost end of the sheltered parking in order to convert it to secured bicycle storage.

The Applicant believes these minor changes will add to the site amenities that make the apartment complex an attractive living environment while continuing to respect and buffer the adjacent R-1 properties. The canopies will likely reduce noise impacts to the adjacent residential neighbors and add an additional buffer element between those neighbors and the multi-family development. The addition of secure bicycle parking recognizes that more residents are relying on bicycles as a form of transportation based on the Downtown location and improvements to the surrounding bicycle infrastructure.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

The minor amendment is justified and meets the IDO Criteria required in Section 14-16-6-4(Y)(1)(a) as follows (responses are in italics):

6-4(Y)(1)(a) Minor amendments may be granted by the ZEO that meet the following requirements:

1. The existing site development plan specifies the requirements in place at



the time of approval, and the requested change still meets the original requirement.

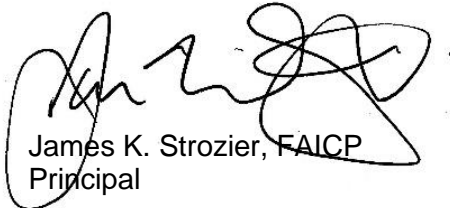
Applicant Response: *The approved Site Development Plan specifies the required parking for the site under the former Comprehensive Zoning Code and EPC approval of 108 spaces with 119 provided. The requested changes only eliminate one of these spaces and adds canopies over 34 of the existing spaces, which will remain. The proposed covered/sheltered parking will not encroach into the 15-foot landscaped buffer between the parking and neighboring single-family residential, which was a condition of the 1996 EPC site plan approval.*

2. The requested change is within the thresholds for Administrative Amendments established in Table 6-4-5, cumulative of prior deviations or administrative amendments.

Applicant Response: *The requested change in the number of parking spaces (1) from what was approved by the original decision-making body is only ~0.9% of the parking provided, which is well within the thresholds for Administrative Amendments established in Table 6-4-5. The covered parking does not affect any dimensional standards or location of existing parking spaces, and no changes are proposed to the existing landscape buffer that was identified as an important site feature via an EPC condition of approval in 1996.*

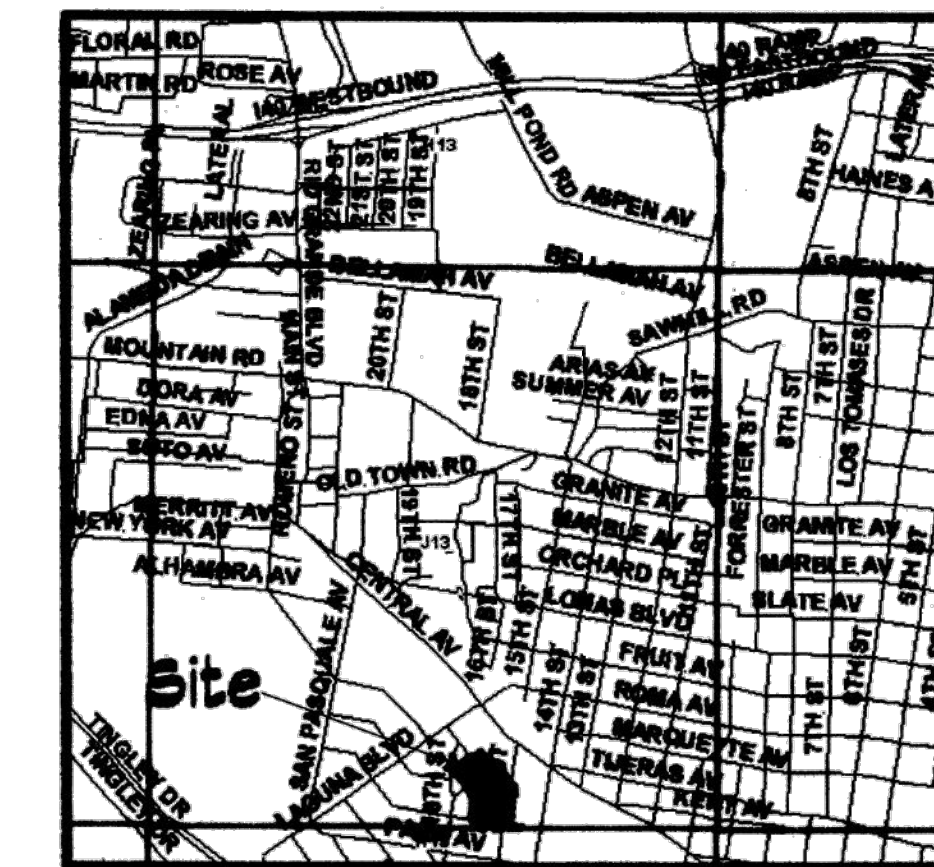
Based on the responses above and the attached revised Site Plan, we respectfully request approval of this amendment. Please do not hesitate to contact me with any questions or if you need additional information. Thank you for your consideration of this request.

Sincerely,



James K. Strozier, FAICP
Principal

**Vicinity Map
J-13-Z**



Summary of Request

RE-SUBMISSION AND AGREEMENT TO CONFORM TO THE CONDITIONS OF THE FOLLOWING PRIOR APPROVALS:

ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT (FILE #2-AH-107) APPROVED ON 4/10/94 TO THE APPROVED SITE DEVELOPMENT PLAN (CASE #2-46-88) APPROVED BY THE EPC ON 6/20/95.

CONDITIONS OF ORIGINAL EPC APPROVAL:

- COMMENTS OF THE TRANSPORTATION DIVISION, TRANSIT DEPARTMENT AND THE ENVIRONMENTAL HEALTH DEPARTMENT MUST BE ADDRESSED, PARTICULARLY:
 - ELIMINATE VEHICULAR ACCESS FROM CENTRAL AVENUE, RELOCATING THE ACCESS TO DROP OFF PARKING FROM 18TH STREET.
 - REDUCE WALL/FENCE HEIGHT TO 5 FEET AND INSURE A SETBACK OF 2 FEET FROM ADJACENT PUBLIC SIDEWALKS.
 - EXPAND PEDESTRIAN ELEMENTS INCLUDING GATES AND INTERNAL PATHS.
 - PROVISION OF A TRANSIT STOP AND SHELTER.

- THE LANDSCAPE BUFFER ON THE SOUTH PROPERTY LINE SHOULD BE ENHANCED TO MINIMIZE THE IMPACT OF THIS DEVELOPMENT ON ADJACENT RESIDENCES BY PROVIDING A 15 FOOT BUFFER AREA AT MINIMUM.
 - PEDESTRIAN ACCESS SHALL BE PROVIDED ON LAGUNA BOULEVARD AND 18TH STREET AND THERE SHALL BE A SIDEWALK CONNECTING THE TWO PEDESTRIAN ACCESSES.
 - REPEAT THE PROPERTY FOR CONSISTENCY WITH THE SITE PLAN.
- THE ONLY DEVIATION FROM THE ABOVE IS THAT THIS PLAN INDICATES THE USE OF 6 FOOT HIGH WALLS IN CONJUNCTION WITH 6 FOOT HIGH WROUGHT IRON FENCING AS SHOWN ON SHEET A005.

**DRS Project # 1000434
EPC Application # 05EPC 00498**

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on May 19, 2005 and the findings and conditions in the Official Notification of decision are satisfied.

DRS SITE DEVELOPMENT PLAN APPROVAL:

Richard J. Danks 6-25-03
Traffic Engineer, Transportation Division Date

Rosa A. Huan 6-25-03
Utilities Department Date

Christina Sandoval 6/25/03
Parks & Recreation Department Date

Brenda L. Bigham 6/25/03
City Engineer Date

N/A
Environmental Health (conditional) Date

Michael Holton 6-25-03
Solid Waste Management Date

Susan Matern 6/25/03
DRS Chairperson, Planning Department Date

Sheet Index

- SITE DEVELOPMENT PLAN
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- SITE DETAILS
- SITE LIGHTING DETAILS

SHEET NO.

A001

1 OF 9

General Notes

- Site lighting shall consist of a combination of building mounted HPS fixtures, walkway area lights and post-mounted light fixtures in entry and parking areas. To the greatest extent possible, lighting shall be building mounted. Building entry and porch lighting shall be controlled by photo-cells and/or time clocks, as may be appropriate. Post lighting shall be 18' maximum height. All lighting shall be shielded from surrounding properties.
- All signage shall conform to the City of Albuquerque sign code. The project shall have illuminated project identification signage at the main entry on Central Ave. West, as shown. Maximum signage area shall be twenty four square feet, each face.
- All mechanical/electrical equipment shall be screened from view to the greatest extent practicable. Equipment shall be roof mounted and screened from view by building parapet. All yard mounted equipment shall be screened by fencing or stucco walls.
- Perimeter wall to be 6'-0" high. Materials to be a combination of painted split face concrete block columns and walls with wrought iron fence. Wall color to match buildings. Fence color to match bldg railings.
- Owner to specify which trees along the South property line are to remain.

Habitable Space

Building A	
Apartment Units	42,940 S.F.
Corridors/stairs	9,894 S.F.
Leasing Office	1,566 S.F.
Exercise Room	1,074 S.F.
Total	51,274 S.F.
Building B	
Apartment Units	12,260 S.F.
Corridors/stairs	0 S.F.
Total	12,260 S.F.
Both Buildings	
Water Heater/Bo.	1,362 S.F.
Covered Balconies	4,081 S.F.
Garages	9,809 S.F.
Total Covered Area	12,285 S.F.

Apartment Data

Studio Units:	0
1 Bedroom/1 Bath Units	26 (41%)
2 Bedroom/2 Bath Units	27 (48%)
3 Bedroom/2 Bath Units	10 (16%)
Total Units	63
Net Rentable Area	84,680 S.F.
Average Unit Size	867 S.F.
Construction Type	V-1 Hour (Sprinkled)
Occupancy Group	R-1

Legal Description

Lot 1-A, Block One, Huning Castle Addition, City of Albuquerque, Bernalillo County, New Mexico. Plat Prepared by Southwest Surveying and recorded on June 8, 2000. Book 2000C, page 181, document #2000085742.

Site Data

Current Zoning: GLD Commercial/Low Density Apartments
Zoning Ordinance: Huning Castle and Raynolds Addition Sector Development Plan
Minimum Setbacks: 5' from Central Avenue, 10' from Laguna Boulevard, 11' from a public sidewalk. Swimming pools and refuse bins shall be 50' from an R-1 zone.
Maximum Density: Maximum floor area ratio is .61
Maximum Height: 26' high no closer than 50' from an existing R-1 zone, or between 26' to 46' high maximum if proposed bldg. fall within a 25 degree angle plane drawn from the boundary of an abutting R-1 zone.
Required landscape area: 18% of 114,994 S.F. or 17,280 S.F.

Proposed

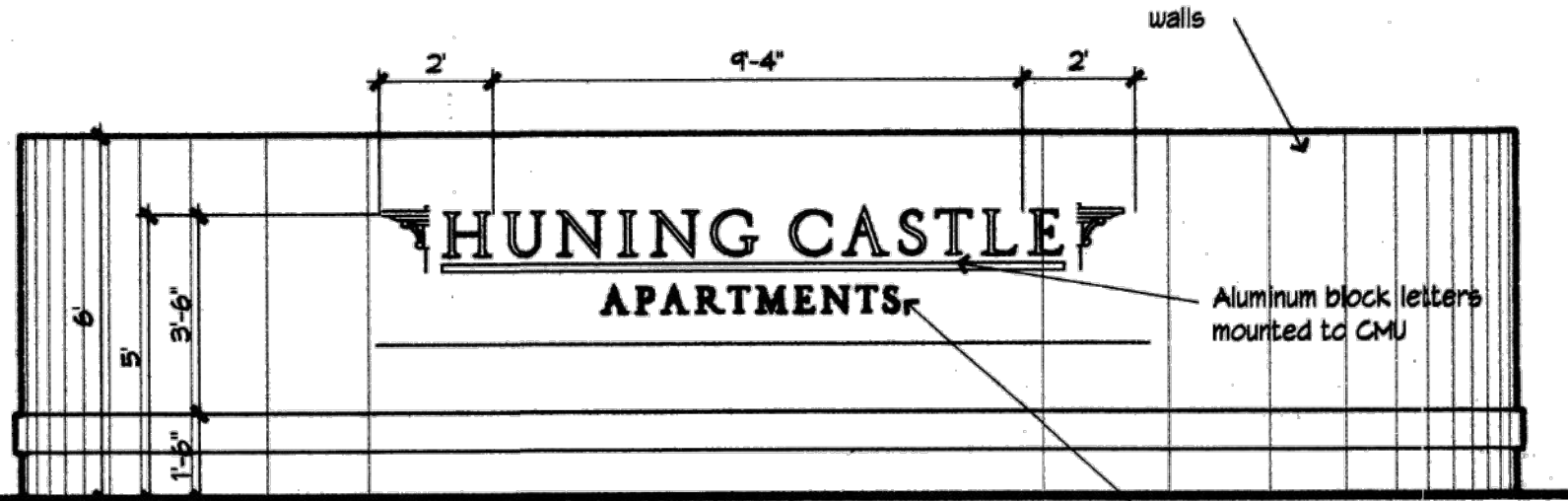
Proposed Use: Apartments
Lot Area: 114,994 S.F. or 2.64 acres.
Total covered building area: 12,282 S.F.
Building A Footprint: 14,802 S.F.
Building B Footprint: 1,864 S.F.
Setbacks: 10' from Central Ave., 15' from Laguna Blvd., 14' from 18th Street, refuse bins - no closer than 15' from adjacent R-1 zone, swimming pool - no closer than 120' from adjacent R-1 zone. Public sidewalks - no closer than 14' from proposed bldg.
Density: Floor area ratio = 65,071 S.F. habitable/114,994 S.F. (site) = 3.488
25.86 units per acre.
Height: Refer to section diagrams 1, 2 and 3 - this sheet and building elevation sheets
Paving/Driveway area: 87,185 S.F.
Landscape area: 84,176 S.F.

Dwelling Unit Areas

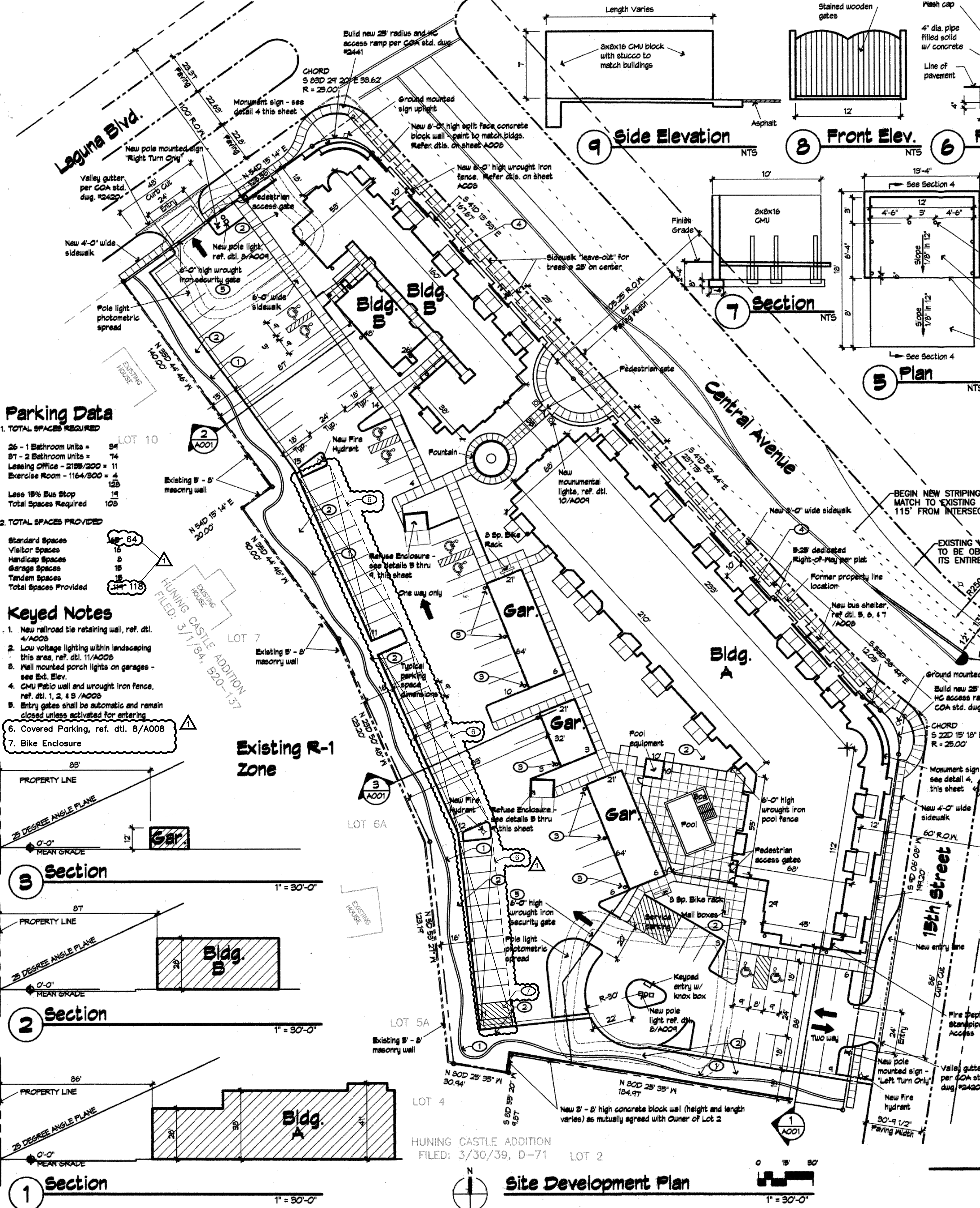
Building A	
Unit A - 1BR/1BA	0 units x 941 S.F. = 0 S.F.
Unit B - 1BR/1BA	10 units x 619 S.F. = 11,124 S.F.
Unit C - 2BR/2BA	14 units x 994 S.F. = 13,916 S.F.
Unit D - 2BR/2BA	4 units x 941 S.F. = 3,764 S.F.
Unit E - 2BR/2BA	2 units x 1,024 S.F. = 2,048 S.F.
Unit F - 2BR/2BA	6 units x 1,175 S.F. = 7,050 S.F.
Unit G - 3BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit H - 3BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit I - 2BR/2BA	1 unit x 1,074 S.F. = 1,074 S.F.
Total Bldg. A	45 units
Building B	
Unit A - 1BR/1BA	4 units x 941 S.F. = 3,764 S.F.
Unit B - 1BR/1BA	4 units x 619 S.F. = 2,472 S.F.
Unit C - 2BR/2BA	2 units x 994 S.F. = 1,988 S.F.
Unit D - 2BR/2BA	4 units x 941 S.F. = 3,764 S.F.
Unit E - 2BR/2BA	0 units x 1,024 S.F. = 0 S.F.
Unit F - 2BR/2BA	0 units x 1,175 S.F. = 0 S.F.
Unit G - 3BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit H - 3BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit I - 2BR/2BA	0 units x 1,074 S.F. = 0 S.F.
Total Bldg. B	15 units
Total Both Bldgs.	60 units

Legend

- Existing Construction to Remain
- Property Line
- Existing to be Removed
- Proposed Sidewalk
- Proposed Light Fixture
- Proposed Fire Hydrant



4 Monument Sign Elevation



Parking Data

1. TOTAL SPACES REQUIRED	
26 - 1 Bathroom Units	34
57 - 2 Bathroom Units	74
Leasing Office - 2185/200	11
Exercise Room - 1164/300	4
Less 15% Bus Stop	15
Total Spaces Required	108
2. TOTAL SPACES PROVIDED	
Standard Spaces	64
Visitor Spaces	16
Handicap Spaces	8
Garage Spaces	18
Tandem Spaces	15
Total Spaces Provided	115

Keyed Notes

- New railroad tie retaining wall, ref. dtd. 4/A005
- Low voltage lighting within landscaping this area, ref. dtd. 11/A005
- Wall mounted porch lights on garages - see Bldg. Elev.
- CMU patio wall and wrought iron fence, ref. dtd. 1, 2, 3, 4/A005
- Entry gates shall be automatic and remain closed unless activated for entering
- Covered Parking, ref. dtd. 8/A008
- Bike Enclosure

Existing R-1 Zone

PROPERTY LINE
MEAN GRADE
25 DEGREE ANGLE PLANE
0'-0"

3 Section

PROPERTY LINE
MEAN GRADE
25 DEGREE ANGLE PLANE
0'-0"

2 Section

PROPERTY LINE
MEAN GRADE
25 DEGREE ANGLE PLANE
0'-0"

1 Section

PROPERTY LINE
MEAN GRADE
25 DEGREE ANGLE PLANE
0'-0"

Site Development Plan

HUNING CASTLE ADDITION
FILED: 3/30/39, D-71

LOT 2

**Huning Castle
Apartment Homes**
Central Avenue, New Mexico

REVISIONS
△
△
△
△

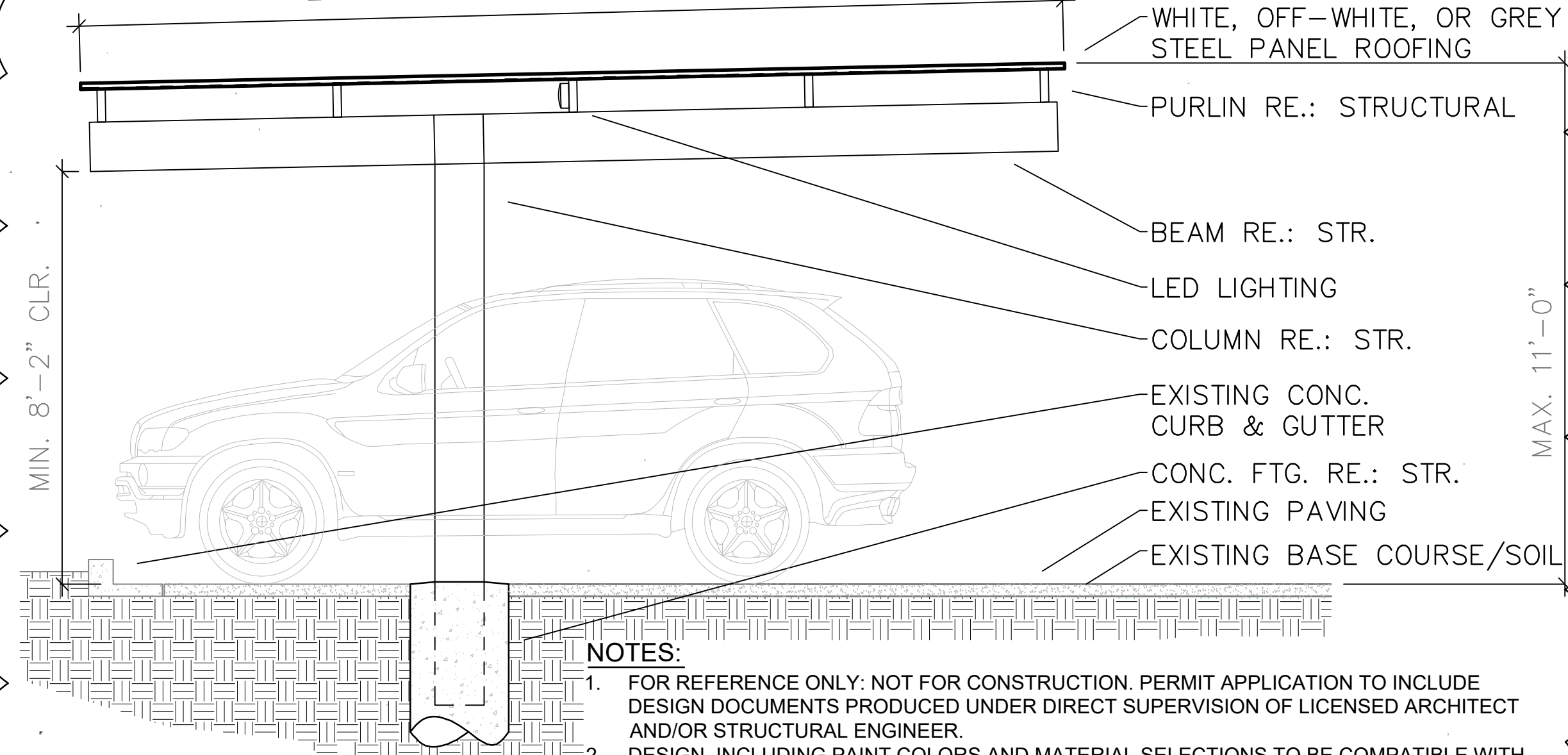
DRAWN BY	LM/DM
REVIEWED BY	DRD
DATE	6/18/08
PROJECT NO.	08088
DRAWING NAME	

Site Details & Exhibits

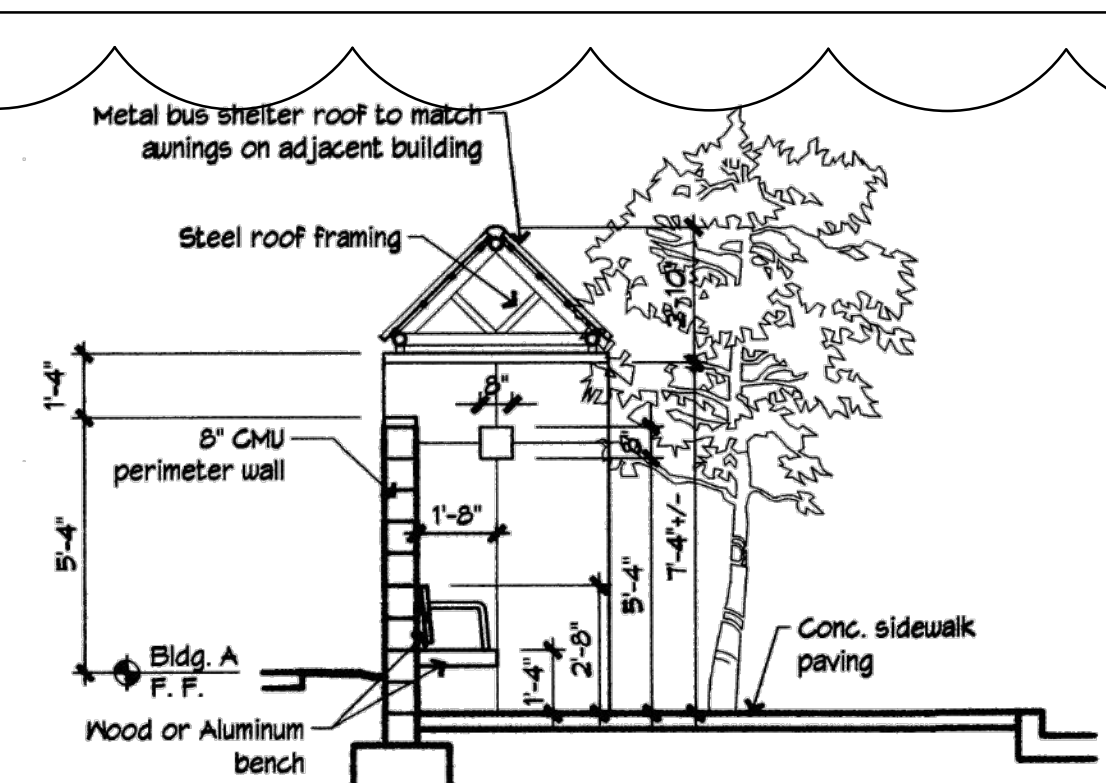
SHEET NO.

A008
8 OF 9

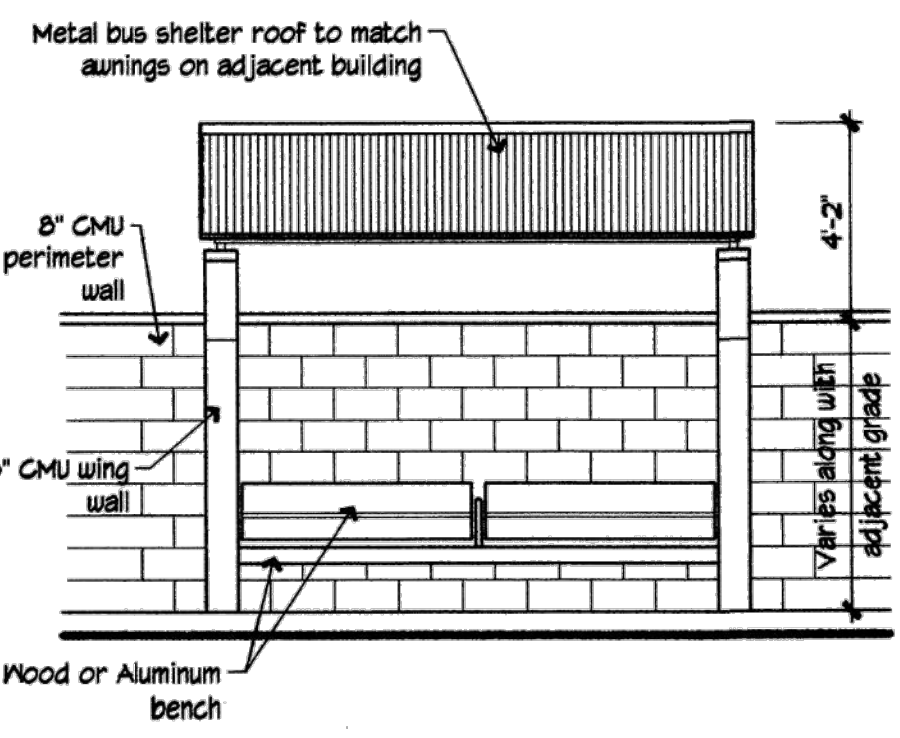
20' - 0" MAX. @ 1/4" / FT. SLOPE



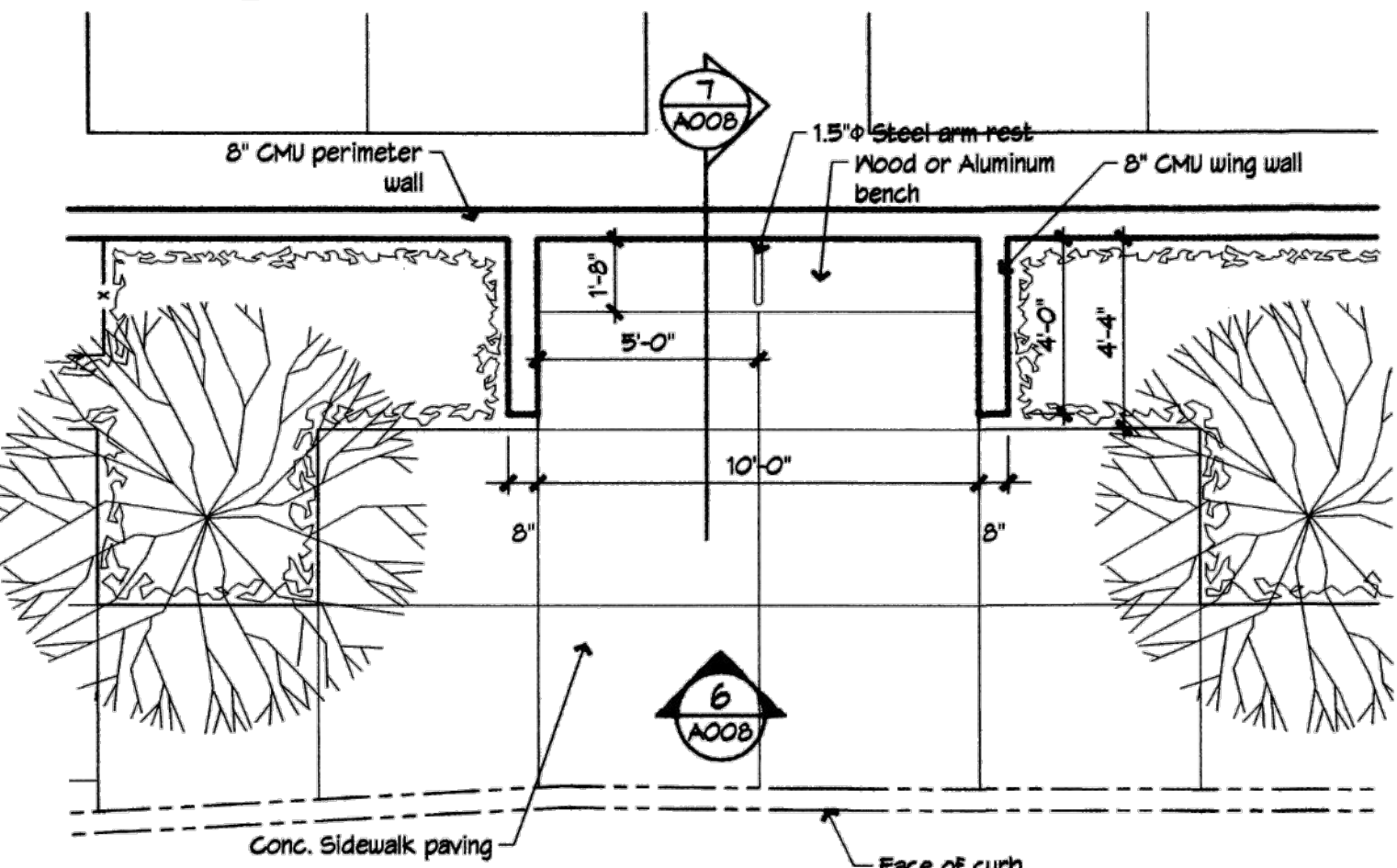
8 COVERED PARKING SECT.



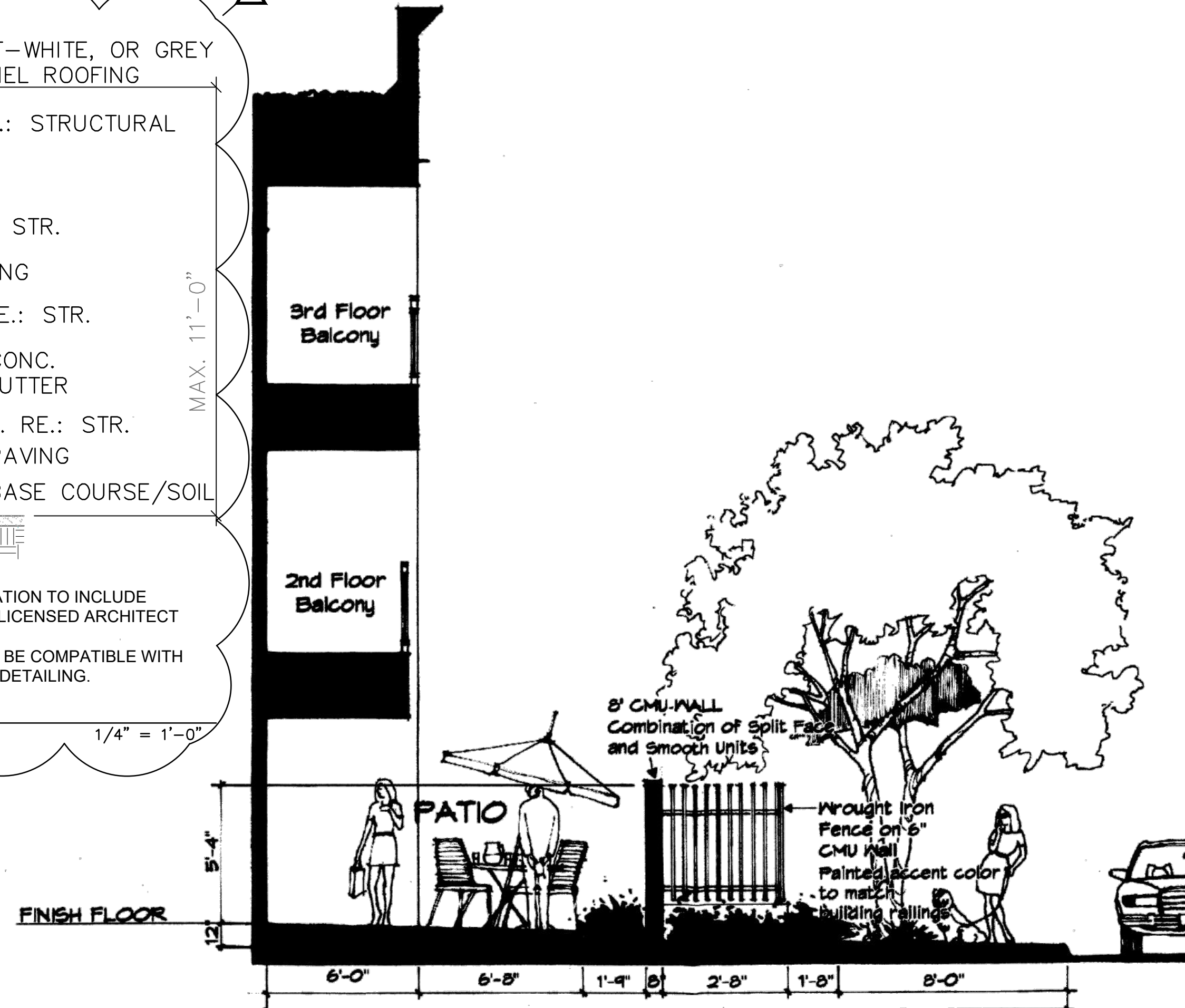
7 BUS SHELTER SECT.



6 BUS SHELTER ELEV.



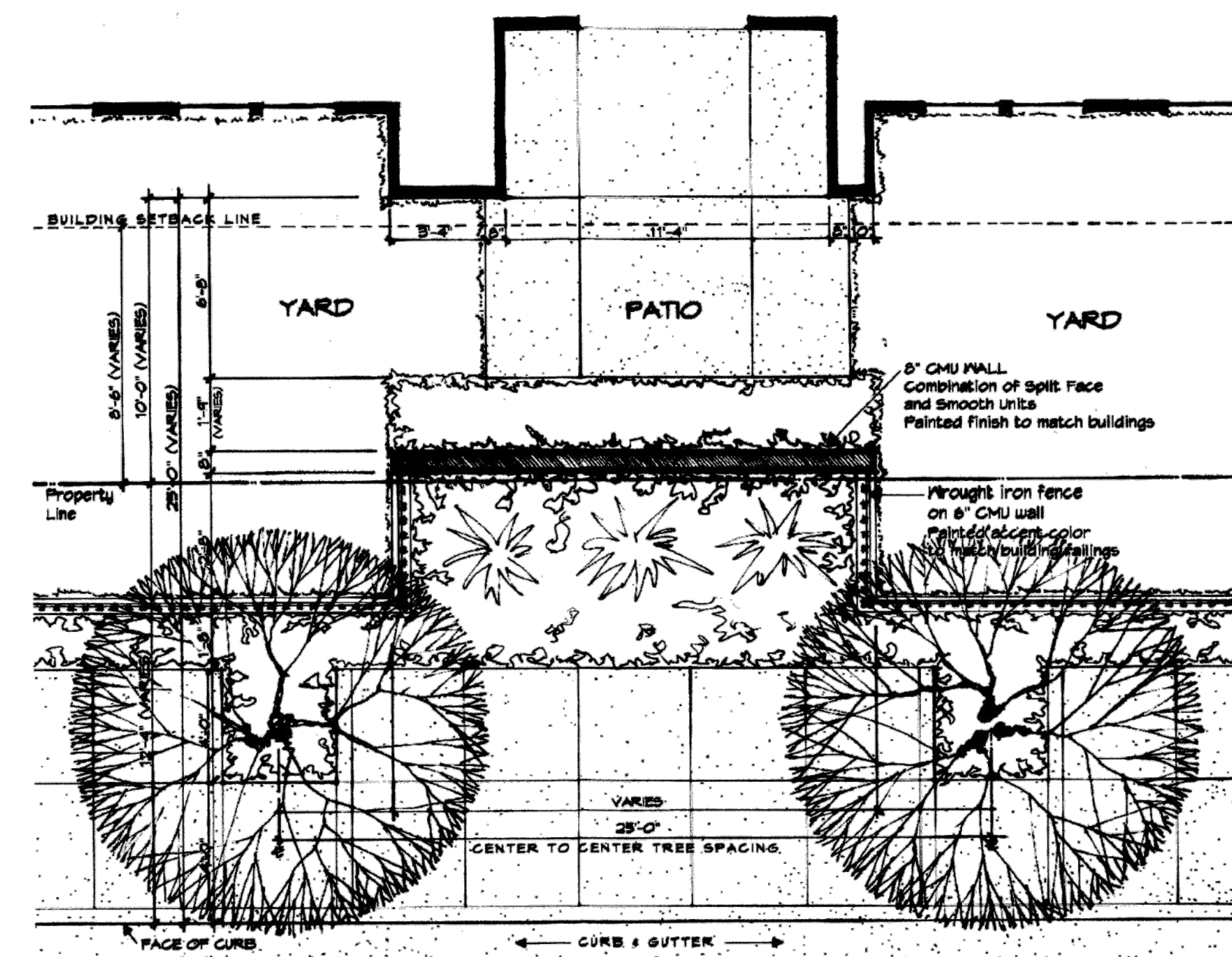
5 BUS SHELTER PLAN



3 BUILDING SECTION

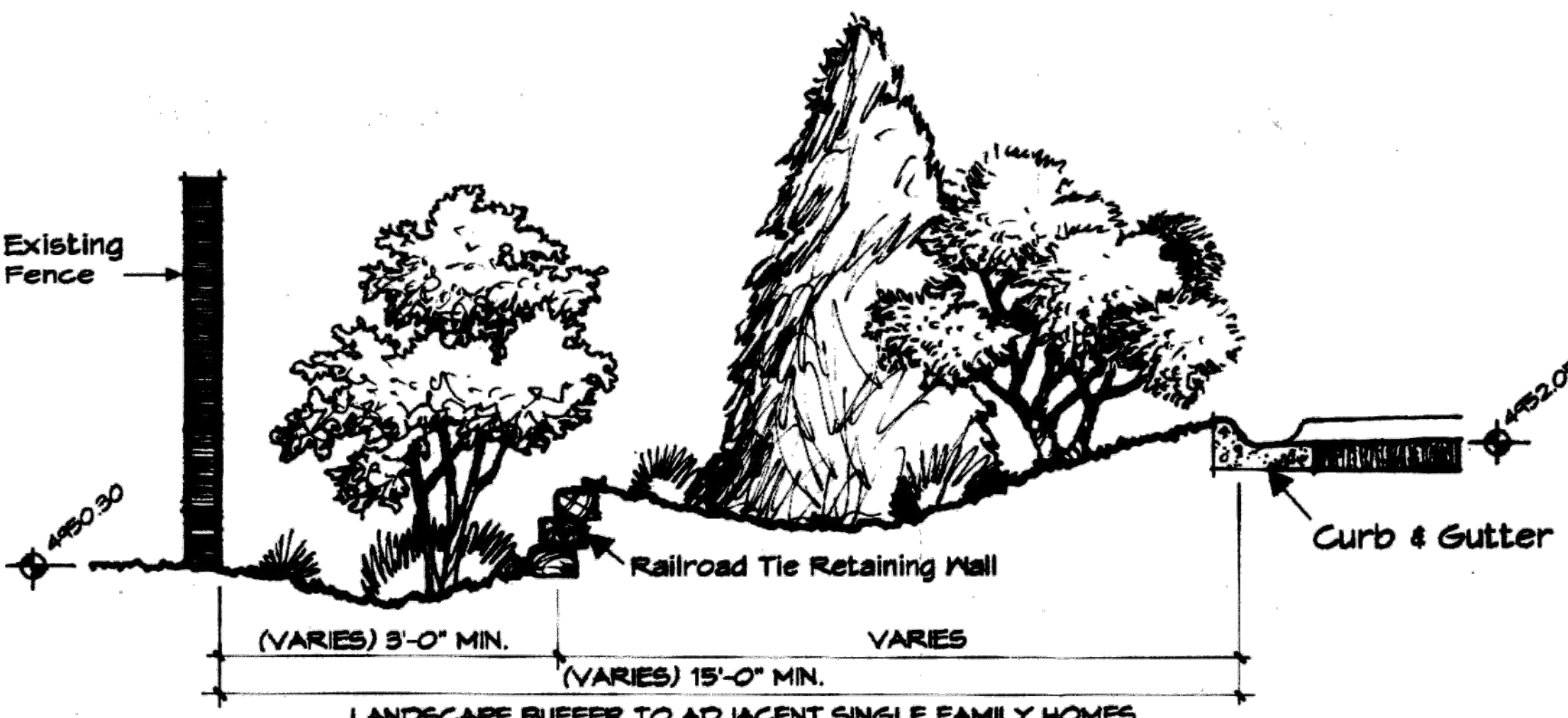
2 PARTIAL ELEVATION

1/4" = 1'-0"



1 PARTIAL SITE PLAN

1/4" = 1'-0"



4 PARTIAL SITE SECTION

1/2" = 1'-0"

From: [Michael Vos](#)
To: [Wolfenbarger, Jeanne](#)
Cc: [Jim Strozier](#); [Armijo, Ernest M.](#)
Subject: RE: 1500 Central Avenue AA
Date: Tuesday, January 19, 2021 3:08:47 PM
Attachments: [image001.jpg](#)
[Huning Castle Apartments Amended Site Plan-compressed.pdf](#)

External

Hi Jeanne,

It's been awhile for this project, but we had to get concurrence from Hydrology on moving this Administrative Amendment along. The revised plan is attached in case I didn't send previously, which hopefully addresses your comments with the details on the second sheet with added dimensions. This site plan, an uncompressed version, and the Hydrology approval can also be downloaded here: <https://www.dropbox.com/t/41lvnVkXZxReFv2P>

Reference Project Number: PR-2020-004594

Hopefully this can be moved along to James (or whomever else in Planning is reviewing) for the final review and approval. Let me know.

Thanks,

Michael Vos, AICP
CONSENSUS PLANNING, INC.
302 Eighth Street NW
Albuquerque, NM 87102
phone (505) 764-9801
vos@consensusplanning.com

From: Wolfenbarger, Jeanne <jwolfenbarger@cabq.gov>
Sent: Tuesday, November 3, 2020 5:03 PM
To: Michael Vos <Vos@consensusplanning.com>
Cc: Jim Strozier <cp@consensusplanning.com>
Subject: RE: 1500 Central Avenue AA

I am only just looking for dimensions, making sure it does not interfere with Transportation features, etc. I am not sure what James Aranda would be looking for on this; he may want more, but I don't know. I hope that answers your question.

From: Michael Vos [<mailto:Vos@consensusplanning.com>]
Sent: Tuesday, November 03, 2020 4:11 PM
To: Wolfenbarger, Jeanne
Cc: Jim Strozier
Subject: FW: 1500 Central Avenue AA

External

Hi Jeanne,

To respond quickly to your emails below, you did not miss the detail as one was not shown on the

proposed AA that was submitted. The Applicant does not have a design completed at this time. However, we are working with the Client to provide a general detail to describe the size and potential materials that may be further defined at a later stage as long as it is consistent with the general detail. Does this approach sound acceptable to you?

The purpose is additional secure bicycle storage beyond the required spaces, which already exist in racks on the site. We will share the updated sheets once we have them ready.

Thanks,
Michael

From: Jim Strozier <cp@consensusplanning.com>
Sent: Monday, November 2, 2020 1:18 PM
To: Michael Vos <Vos@consensusplanning.com>
Subject: FW: 1500 Central Avenue AA

From: Wolfenbarger, Jeanne <jwolfenbarger@cabq.gov>
Sent: Monday, November 2, 2020 1:08 PM
To: Jim Strozier <cp@consensusplanning.com>
Subject: FW: 1500 Central Avenue AA

Hello again, Jim. I am just checking in with you regarding the subject AA. I never saw a response and just had the one comment.....

From: Wolfenbarger, Jeanne
Sent: Wednesday, October 21, 2020 4:17 PM
To: Jim Strozier
Subject: 1500 Central Avenue AA

Jim, I had been reviewing the AA for this, and the only comment I had was that I could not find the "Bicycle enclosure" detail. Did I miss it somewhere?

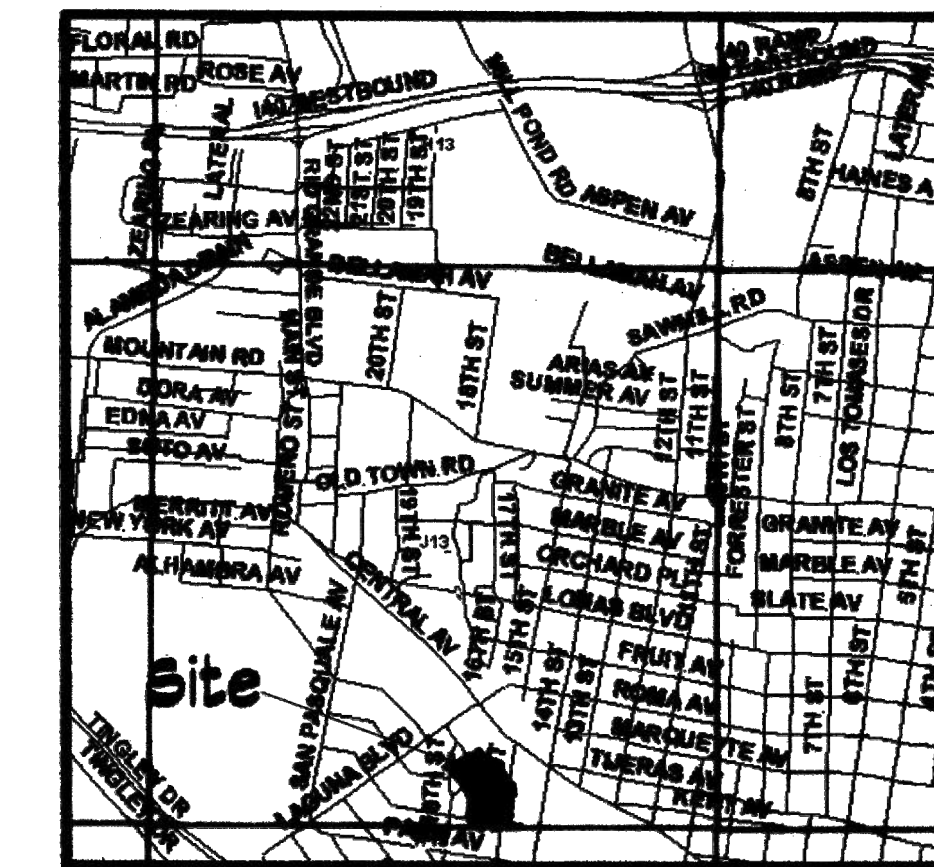


JEANNE WOLFENBARGER
manager for transportation
o 505.924-3991
e jwolfenbarger@cabq.gov
cabq.gov/planning

=====
This message has been analyzed by Deep Discovery Email Inspector.

=====
This message has been analyzed by Deep Discovery Email Inspector.

**Vicinity Map
J-13-Z**



Summary of Request

RE-SUBMISSION AND AGREEMENT TO CONFORM TO THE
CONDITIONS OF THE FOLLOWING PRIOR APPROVALS:

ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT (FILE
#2-AA-94-107) APPROVED ON 4/10/94 TO THE APPROVED
SITE DEVELOPMENT PLAN (CASE #2-46-88) APPROVED BY
THE EPC ON 6/20/95.

CONDITIONS OF ORIGINAL EPC APPROVAL:

- COMMENTS OF THE TRANSPORTATION DIVISION, TRANSIT
DEPARTMENT AND THE ENVIRONMENTAL HEALTH
DEPARTMENT MUST BE ADDRESSED, PARTICULARLY:
 - ELIMINATE VEHICULAR ACCESS FROM CENTRAL AVENUE,
RELOCATING THE ACCESS TO DROP OFF PARKING FROM
18TH STREET.
 - REDUCE WALL/FENCE HEIGHT TO 5 FEET AND INSURE A
SETBACK OF 2 FEET FROM ADJACENT PUBLIC SIDEWALKS.
 - EXPAND PEDESTRIAN ELEMENTS INCLUDING GATES AND
INTERNAL PATHS.
 - PROVISION OF A TRANSIT STOP AND SHELTER.
 - THE LANDSCAPE BUFFER ON THE SOUTH PROPERTY LINE
SHOULD BE ENHANCED TO MINIMIZE THE IMPACT OF THIS
DEVELOPMENT ON ADJACENT RESIDENCES BY PROVIDING A
15 FOOT BUFFER AREA AT MINIMUM.
 - PEDESTRIAN ACCESS SHALL BE PROVIDED ON LAGUNA
BOULEVARD AND 18TH STREET AND THERE SHALL BE A
SIDEWALK CONNECTING THE TWO PEDESTRIAN ACCESSES.
 - REPEAT THE PROPERTY FOR CONSISTENCY WITH THE SITE
PLAN.
- THE ONLY DEVIATION FROM THE ABOVE IS THAT THIS
PLAN INDICATES THE USE OF 6 FOOT HIGH MALES IN
CONJUNCTION WITH 6 FOOT HIGH WROUGHT IRON FENCING
AS SHOWN ON SHEET A000.

**DRS Project # 1000434
EPC Application # 05EPC 00498**

This plan is consistent with the specific site development plan
approval by the Environmental Planning Commission (EPC) on May
19, 2005 and the findings and conditions in the Official
Notification of decision are satisfied.

DRS SITE DEVELOPMENT PLAN APPROVAL:

<i>Richard J. Danks</i>	6-25-03
Traffic Engineer, Transportation Division	Date
<i>Rosa A. Danks</i>	6-25-03
Utilities Department	Date
<i>Christina Sandoval</i>	6/25/03
Parks & Recreation Department	Date
<i>Brenda L. Bigham</i>	6/25/03
City Engineer	Date
<i>N/A</i>	
Environmental Health (conditional)	Date
<i>Michael Holton</i>	6-25-03
Solid Waste Management	Date
<i>Sheri Matern</i>	6/25/03
DRS Chairperson, Planning Department	Date

Sheet Index

- SITE DEVELOPMENT PLAN
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- SITE DETAILS
- SITE LIGHTING DETAILS

General Notes

- Site lighting shall consist of a combination of
building mounted HPS fixtures, walkway area
lights and post-mounted light fixtures in entry
and parking areas. To the greatest extent
possible, lighting shall be building mounted.
Building entry and porch lighting shall be
controlled by photo-cells and/or time clocks,
as may be appropriate. Post lighting shall be
shielded from surrounding properties.
- All signage shall conform to the City of
Albuquerque sign code. The project shall
have illuminated project identification signage
at the main entry on Central Ave. West, as
shown. Maximum signage area shall be twenty
four square feet, each face.
- All mechanical/electrical equipment shall be
screened from view to the greatest extent
practicable. Equipment shall be roof mounted
and screened from view by building parapet.
All yard mounted equipment shall be screened
by fencing or stucco walls.
- Perimeter wall to be 6'-0" high. Materials to
be a combination of painted split face
concrete block columns and walls with
wrought iron fence. Wall color to match
buildings. Fence color to match bldg railings.
- Owner to specify which trees along the south
property line are to remain.

Habitable Space

Building A	
Apartment Units	42,940 S.F.
Corridors/Stairs	9,894 S.F.
Leasing Office	1,966 S.F.
Exercise Room	1,074 S.F.
Total	51,274 S.F.
Building B	
Apartment Units	12,260 S.F.
Corridors/Stairs	0 S.F.
Total	12,260 S.F.
Both Buildings	63,534 S.F.
Master Heater/Sto.	1,862 S.F.
Covered Balconies	4,081 S.F.
Garages	9,809 S.F.
Total Covered Area	12,285 S.F.

Apartment Data

Studio Units	0
1 Bedroom/1 Bath Units	26 (41%)
2 Bedroom/2 Bath Units	27 (49%)
3 Bedroom/2 Bath Units	10 (16%)
Total Units	63
Net Rentable Area	84,680 S.F.
Average Unit Size	867 S.F.
Construction Type	V-1 Hour (Sprinkled)
Occupancy Group	R-1

Legal Description

Lot 1-A, Block One, Huning Castle Addition,
City of Albuquerque, Bernalillo County, New Mexico.
Plat Prepared by Southwest Surveying and recorded
on June 8, 2000.
Book 2000C, page 181, document #2000058742.

Site Data

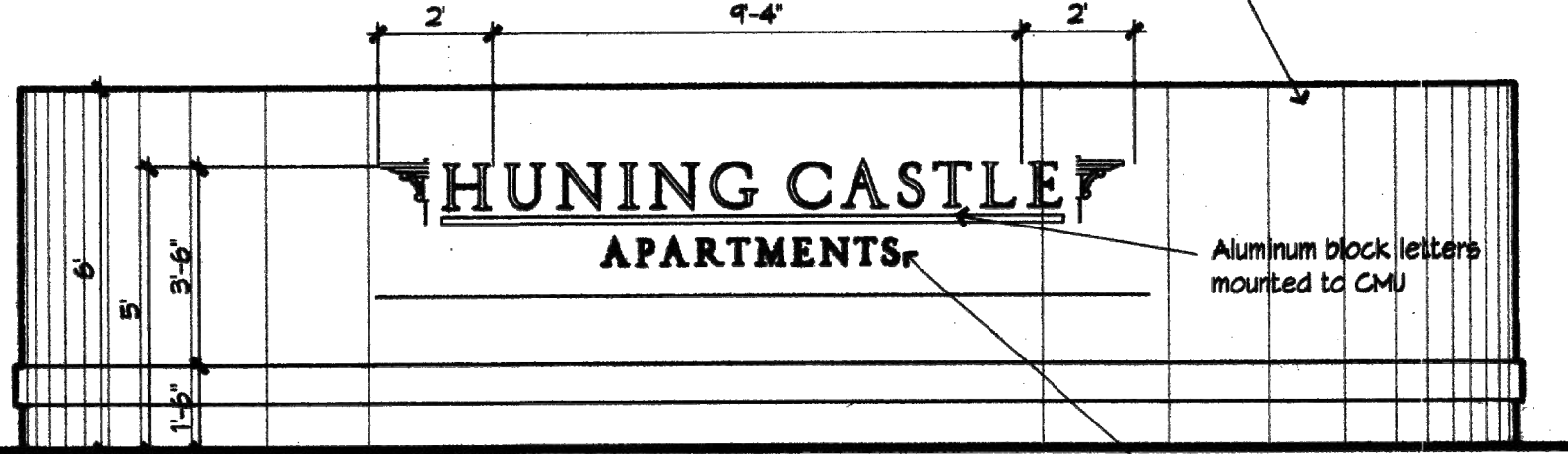
Current Zoning: CLD Commercial/Low Density Apartments
Zoning Ordinance: Huning Castle and Raynolds Addition
Sector Development Plan
Minimum Setbacks - 5' from Central Avenue, 10' from Laguna
Boulevard, 11' from a public sidewalk. Swimming pools and
refuge bins shall be 50' from an R-1 zone.
Maximum Density - Maximum floor area ratio is .61
Maximum Height - 26' high no closer than 50' from an
existing R-1 zone, or between 26' to 46' high maximum if
proposed bldg. fall within a 25 degree angle plane drawn
from the boundary of an abutting R-1 zone.
Required landscape area = 18% of 114,494 S.F. or 17,202
S.F.

Dwelling Unit Areas

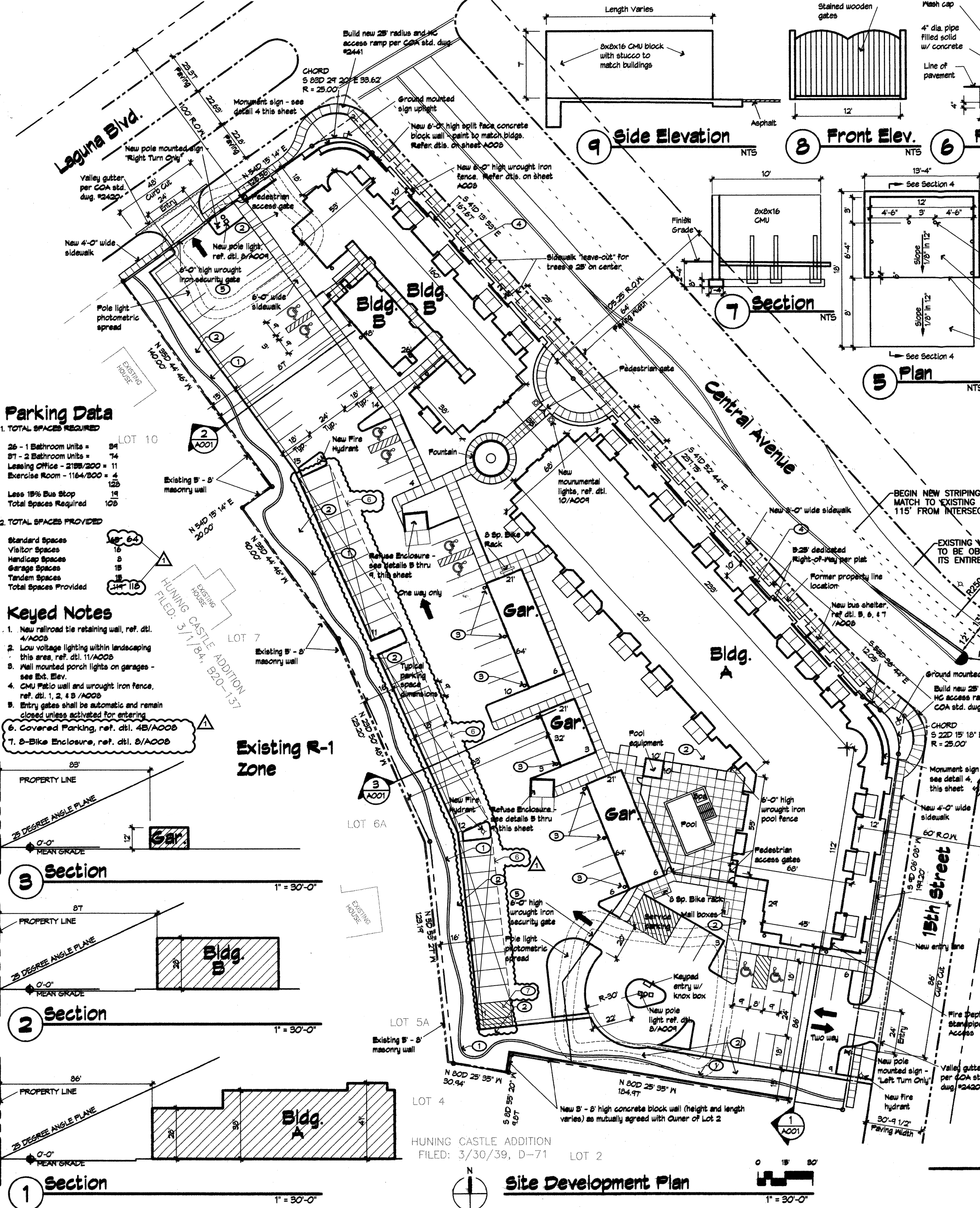
Building A	
Unit A - 1BR/1BA	0 units x 941 S.F. = 0 S.F.
Unit B - 1BR/1BA	10 units x 619 S.F. = 11,194 S.F.
Unit C - 2BR/2BA	14 units x 994 S.F. = 13,916 S.F.
Unit D - 2BR/2BA	4 units x 941 S.F. = 3,764 S.F.
Unit E - 2BR/2BA	2 units x 1,024 S.F. = 2,048 S.F.
Unit F - 2BR/2BA	6 units x 1,178 S.F. = 7,068 S.F.
Unit G - 2BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit H - 2BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit I - 2BR/2BA	1 unit x 1,074 S.F. = 1,074 S.F.
Total Bldg. A	46 units 42,940 S.F.
Building B	
Unit A - 1BR/1BA	4 units x 941 S.F. = 3,764 S.F.
Unit B - 1BR/1BA	4 units x 619 S.F. = 2,472 S.F.
Unit C - 2BR/2BA	2 units x 994 S.F. = 1,988 S.F.
Unit D - 2BR/2BA	4 units x 941 S.F. = 3,764 S.F.
Unit E - 2BR/2BA	0 units x 1,024 S.F. = 0 S.F.
Unit F - 2BR/2BA	0 units x 1,178 S.F. = 0 S.F.
Unit G - 2BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit H - 2BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit I - 2BR/2BA	0 units x 1,074 S.F. = 0 S.F.
Total Bldg. B	18 units 12,260 S.F.
Total Both Bldgs.	64 units 54,680 S.F.

Legend

- Existing Construction to Remain
- Property Line
- Existing to be Removed
- Proposed Sidewalk
- Proposed Light Fixture
- Proposed Fire Hydrant



4 Monument Sign Elevation



Parking Data

1. TOTAL SPACES REQUIRED	
26 - 1 Bathroom Units	34
57 - 2 Bathroom Units	14
Leasing Office - 2188/200	11
Exercise Room - 1164/200	4
Less 18% Bus Stop	15
Total Spaces Required	105
2. TOTAL SPACES PROVIDED	
Standard Spaces	16
Visitor Spaces	6
Handicap Spaces	8
Garage Spaces	18
Tandem Spaces	15
Total Spaces Provided	53

Keyed Notes

- New railroad tie retaining wall, ref. dtd. 4/A005
- Low voltage lighting within landscaping this area, ref. dtd. 11/A005
- Wall mounted porch lights on garages - see Bldg. Elev.
- CMU patio wall and wrought iron fence, ref. dtd. 1, 2, 4 B/A005
- Entry gates shall be automatic and remain closed unless activated for entering
- Covered Parking, ref. dtd. 4B/A005
- 2-Bike Enclosure, ref. dtd. 5/A005

3 Section

2 Section

1 Section

Site Development Plan

HUNING CASTLE ADDITION
FILED: 3/30/39, D-71 LOT 2

Huning Castle Apartment Homes Central Avenue Albuquerque, New Mexico

REVISIONS

△

△

△

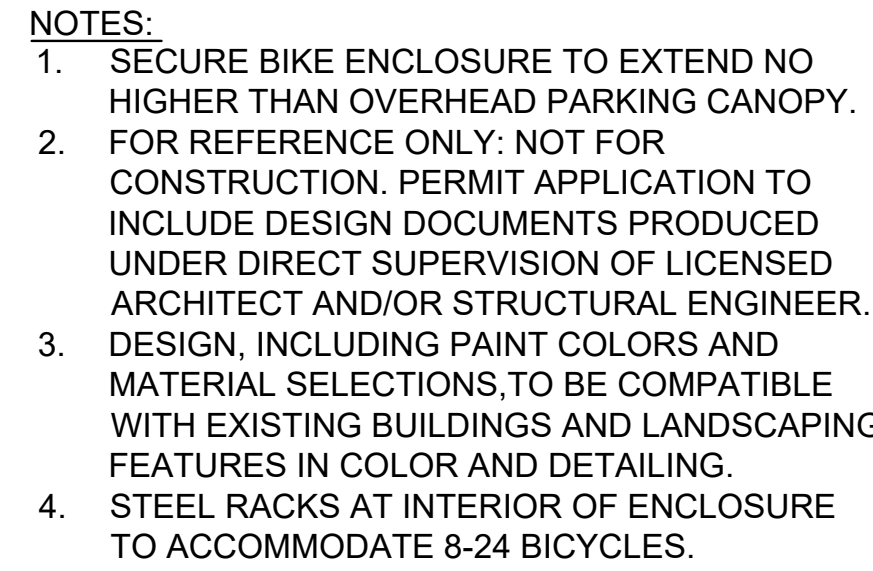
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DRAWN BY	LM/DM
REVIEWED BY	DRD
DATE	6/18/03
PROJECT NO.	05033
DRAWING NAME	

Site Details & Exhibits

SHEET NO.

A008
8 OF 9



Architectural drawing of a bus shelter with the following dimensions and labels:

- Dimensions:**
 - Overall height: 5'-4"
 - Roof height: 1'-4"
 - Perimeter wall height: 8" CMU
 - Roof slope: 12/12
 - Roof overhang: 1'-8"
 - Side wall height: 1'-4"
 - Side wall thickness: 8"
 - Side wall base: 2'-0"
 - Side wall base offset: 1'-4"
- Labels:**
 - Metal bus shelter roof to match awnings on adjacent building
 - Steel roof framing
 - Bldg. A F.F.
 - Wood or Aluminum bench
 - Conc. sidewalk paving

Diagram illustrating the construction of a metal bus shelter. The shelter features a metal bus shelter roof to match awnings on adjacent building. The roof is supported by a 4'-2" high structure. The walls are constructed with 8" CMU (Concrete Masonry Unit) perimeter wall and 8" CMU wing wall. The shelter is supported by wood or aluminum benches. The shelter is shown adjacent to a building with a variable siding unit.

Plan view of a proposed sidewalk layout. The layout includes a 10'-0" wide sidewalk with 8" wide shoulders on both sides. A 15" steel-arm rest is positioned along the outer edge. A 6" CMU perimeter wall is shown on the left, and a 6" CMU wing wall is on the right. A 15" steel-arm rest is also shown on the right. The sidewalk is bordered by a concrete sidewalk paving and a face of curb. Dimensions are provided for the sidewalk width (10'-0"), shoulder width (8"), and the width of the steel-arm rest (15").

- WHITE, OFF-WHITE,
 OR GREY STEEL
 PANEL ROOFING
 - POWDER COAT
 STEEL FRAME
 - POWDER COATED
 STEEL INFILL OR
 EQUIVALENT BETWEEN
 FRAMING MEMBERS
 - FINISH GRADE @
 EXISTING PAVING

3rd Floor
 Balcony
 2nd Floor
 Balcony

N.T.S.
 FINISH FLOOR

6'-0" 6'-8" 1'-4" 2'-8" 1'-8" 8'-0"

8' CMU WALL
 Combination of Split Face
 and Smooth Units

Wrought Iron
 Fence on 8"
 CMU Wall
 Painted accent color
 to match
 building railing

20' - 0" MAX. @ 1/4" / FT. SLOPE

MIN. 8'-2" CLR.

MAX. 11'-0"

WHITE, OFF-WHITE, OR GREY STEEL PANEL ROOFING

PURLIN RE.: STRUCTURAL

BEAM RE.: STR.

LED LIGHTING

COLUMN RE.: STR.

EXISTING CONC. CURB & GUTTER

CONC. FTG. RE.: STR.

EXISTING PAVING

EXISTING BASE COURSE/SOIL

NOTES:

1. FOR REFERENCE ONLY; NOT FOR CONSTRUCTION. PERMIT APPLICATION TO INCLUDE DESIGN DOCUMENTS PROVIDED UNDER DIRECT SUPERVISION OF LICENSED ARCHITECT AND/OR STRUCTURAL ENGINEER.
2. DESIGN, INCLUDING PAINT COLORS AND MATERIAL SELECTIONS, TO BE COMPATIBLE WITH EXISTING BUILDINGS AND LANDSCAPING FEATURES IN COLOR AND DETAILING.

17'-0"

Varies along with adjacent grade

6" Smooth CMU - Painted

6" Split Face CMU - Painted

Wrought Iron Fence on 6" CMU Wall

J. H. 10/10

8'-6" (VARIES)
 10'-0" (VARIES)
 25'-0" (VARIES)
 8'-6" (VARIES)
 1'-6" (VARIES)

BUILDING SETBACK LINE
 3'-0"
 3'-0"
 3'-0"

YARD
 PATIO
 YARD

8" CMU WALL
 Combination of Split Face
 and Smooth Units
 Painted Finish to match buildings

Wrought Iron Fence
 on 8" CMU wall
 Painted to complement
 existing building details

Property Line

VARIES
 25'-0"
 CENTER TO CENTER TREE SPACING.

FACE OF CURB
 CURB & GUTTER

SHEET NO.