

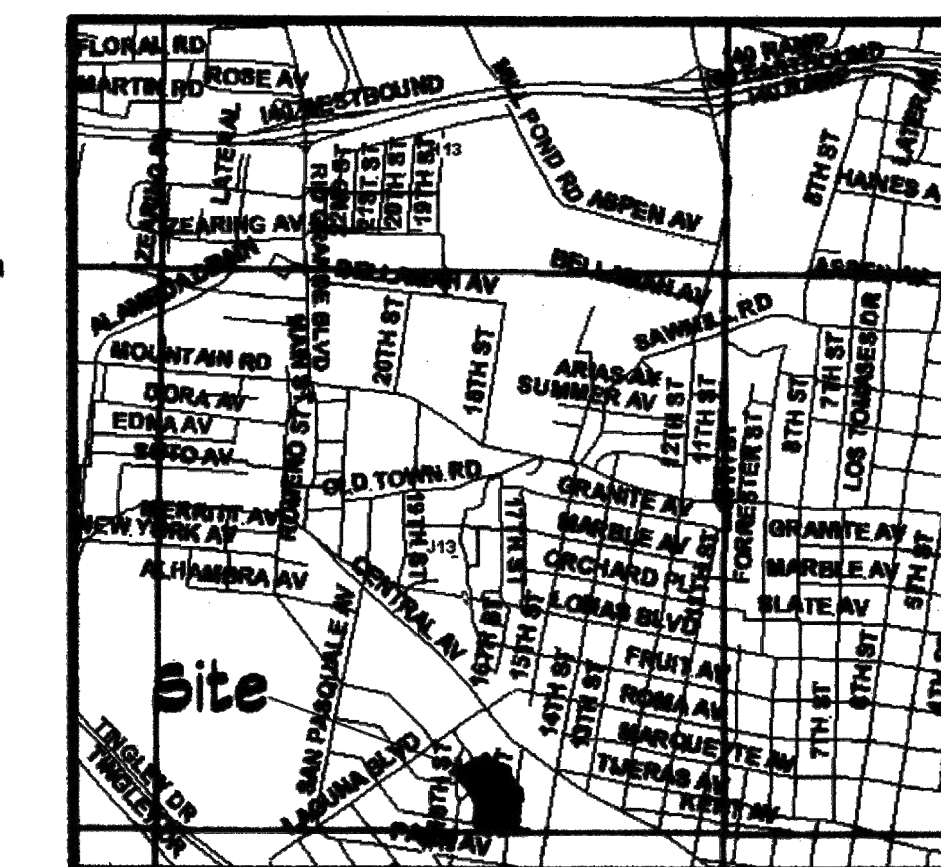
ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

**Vicinity Map
J-13-Z**



Summary of Request

RE-SUBMISSION AND AGREEMENT TO CONFORM TO THE
CONDITIONS OF THE FOLLOWING PRIOR APPROVALS:

ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT (FILE
12-AA-94-107) APPROVED ON 4/10/94 TO THE APPROVED
SITE DEVELOPMENT PLAN (CASE 12-46-68) APPROVED BY
THE EPC ON 6/20/95.

CONDITIONS OF ORIGINAL EPC APPROVAL:

- COMMENTS OF THE TRANSPORTATION DIVISION, TRANSIT
DEPARTMENT AND THE ENVIRONMENTAL HEALTH
DEPARTMENT MUST BE ADDRESSED, PARTICULARLY:
 - ELIMINATE VEHICULAR ACCESS FROM CENTRAL AVENUE,
RELOCATING THE ACCESS TO DROP OFF PARKING FROM
18TH STREET.
 - REDUCE WALL/FENCE HEIGHT TO 5 FEET AND INSURE A
SETBACK OF 2 FEET FROM ADJACENT PUBLIC SIDEWALKS.
 - EXPAND PEDESTRIAN ELEMENTS INCLUDING GATES AND
INTERNAL PATHS.
 - PROVISION OF A TRANSIT STOP AND SHELTER.
 - THE LANDSCAPE BUFFER ON THE SOUTH PROPERTY LINE
SHOULD BE ENHANCED TO MINIMIZE THE IMPACT OF THIS
DEVELOPMENT ON ADJACENT RESIDENCES BY PROVIDING A
15 FOOT BUFFER AREA AT MINIMUM.
 - PEDESTRIAN ACCESS SHALL BE PROVIDED ON LAGUNA
BOULEVARD AND 18TH STREET AND THERE SHALL BE A
SIDEWALK CONNECTING THE TWO PEDESTRIAN ACCESSES.
 - REPEAT THE PROPERTY FOR CONSISTENCY WITH THE SITE
PLAN.
- THE ONLY DEVIATION FROM THE ABOVE IS THAT THIS
PLAN INDICATES THE USE OF 6 FOOT HIGH WALLS IN
CONJUNCTION WITH 6 FOOT HIGH WROUGHT IRON FENCING
AS SHOWN ON SHEET A000.

**DRS Project # 1000434
EPC Application # 05EPC 00498**

This plan is consistent with the specific site development plan
approval by the Environmental Planning Commission (EPC) on May
19, 2005 and the findings and conditions in the Official
Notification of decision are satisfied.

DRS SITE DEVELOPMENT PLAN APPROVAL:

Richard J. Danks 6-25-03
Traffic Engineer, Transportation Division Date

Rosa A. Danks 6-25-03
Utilities Department Date

Christina Sandoval 6/25/03
Parks & Recreation Department Date

Brenda L. Bigham 6/25/03
City Engineer Date

N/A
Environmental Health (conditional) Date

Michael Holton 6-25-03
Solid Waste Management Date

Sheri Matern 6/25/03
DRS Chairperson, Planning Department Date

Sheet Index

- SITE DEVELOPMENT PLAN
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
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- SITE DETAILS
- SITE LIGHTING DETAILS

General Notes

- Site lighting shall consist of a combination of
building mounted HPS fixtures, walkway area
lights and post-mounted light fixtures in entry
and parking areas. To the greatest extent
possible, lighting shall be building mounted.
Building entry and porch lighting shall be
controlled by photo-cells and/or time clocks,
as may be appropriate. Post lighting shall be
shielded from surrounding properties.
- All signage shall conform to the City of
Albuquerque sign code. The project shall
have illuminated project identification signage
at the main entry on Central Ave. West, as
shown. Maximum signage area shall be twenty
four square feet, each face.
- All mechanical/electrical equipment shall be
screened from view to the greatest extent
practicable. Equipment shall be roof mounted
and screened from view by building parapet.
All yard mounted equipment shall be screened
by fencing or stucco walls.
- Perimeter wall to be 6'-0" high. Materials to
be a combination of painted split face
concrete block columns and walls with
wrought iron fence. Wall color to match
buildings. Fence color to match bldg railings.
- Owner to specify which trees along the south
property line are to remain.

Habitable Space

Building A	
Apartment Units	42,940 S.F.
Corridors/Stairs	9,894 S.F.
Leasing Office	1,966 S.F.
Exercise Room	1,074 S.F.
Total	55,874 S.F.
Building B	
Apartment Units	12,260 S.F.
Corridors/Stairs	0 S.F.
Total	12,260 S.F.
Both Buildings	68,134 S.F.
Master Heater/Sto.	1,862 S.F.
Covered Balconies	4,081 S.F.
Garages	9,809 S.F.
Total Covered Area	12,285 S.F.

Apartment Data

Studio Units	0
1 Bedroom/1 Bath Units	26 (41%)
2 Bedroom/2 Bath Units	27 (49%)
3 Bedroom/2 Bath Units	10 (16%)
Total Units	63
Net Rentable Area	84,680 S.F.
Average Unit Size	867 S.F.
Construction Type	V-1 Hour (Sprinkled)
Occupancy Group	R-1

Legal Description

Lot 1-A, Block One, Huning Castle Addition,
City of Albuquerque, Bernalillo County, New Mexico.
Plat Prepared by Southwest Surveying and recorded
on June 8, 2000.
Book 2000C, page 181, document #2000058742.

Site Data

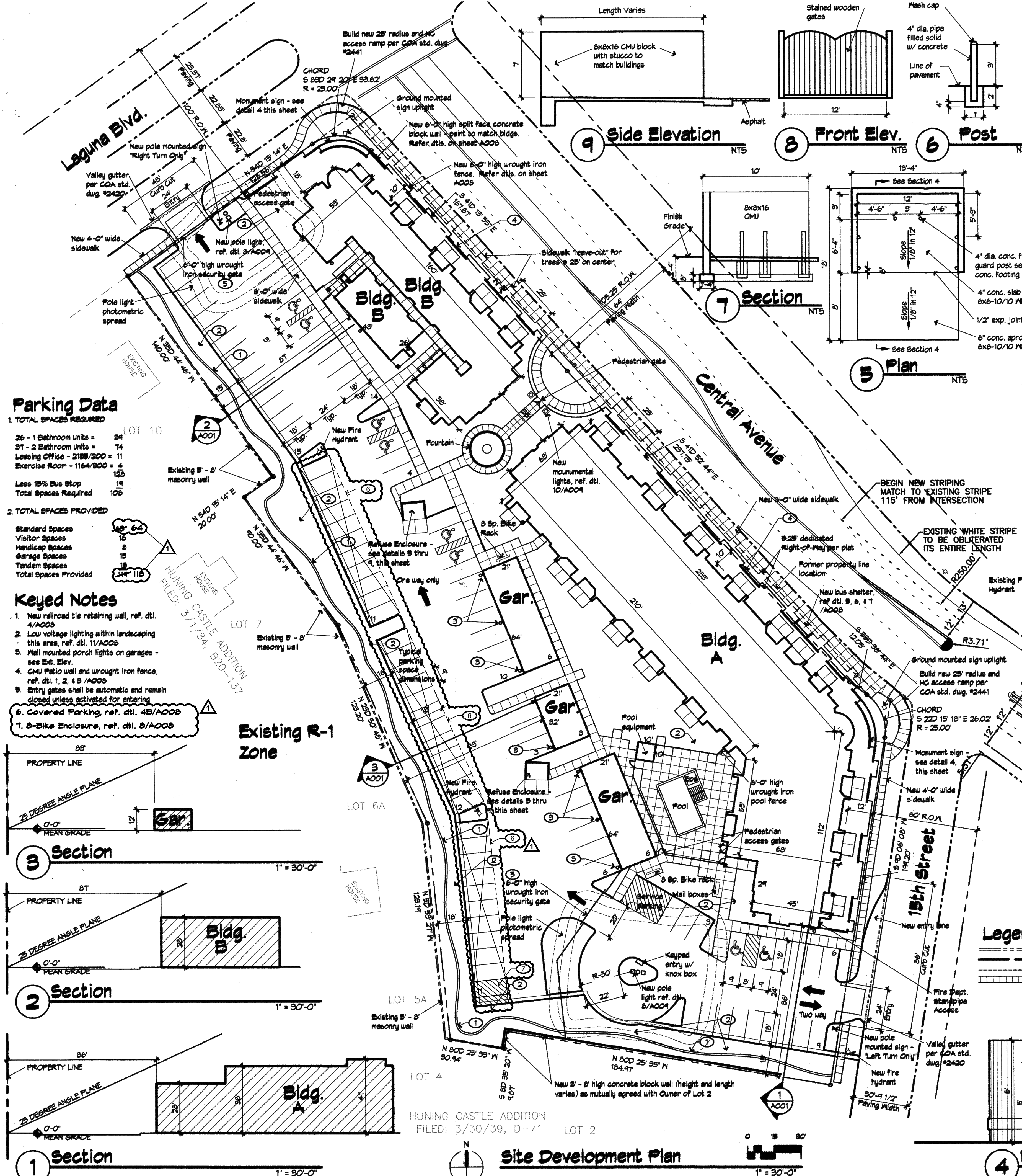
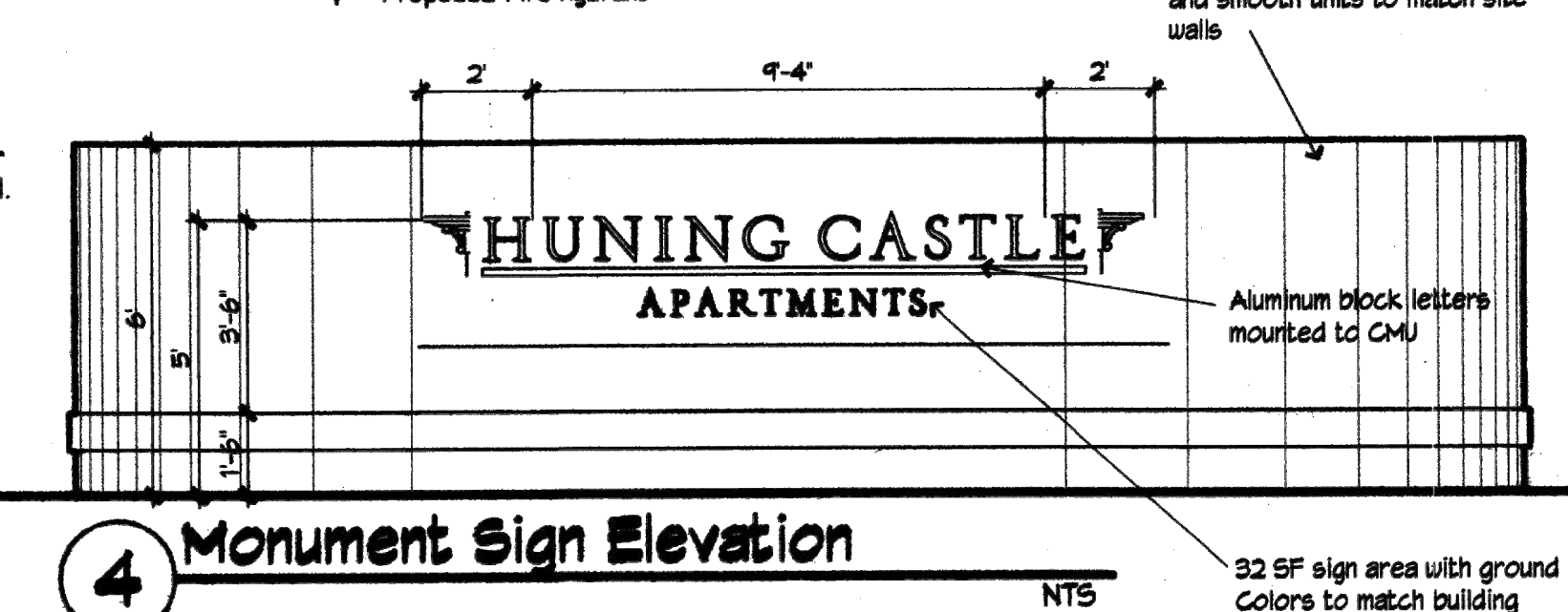
Current Zoning: CLD Commercial/Low Density Apartments
Zoning Ordinance: Huning Castle and Raynolds Addition
Sector Development Plan
Minimum Setbacks - 5' from Central Avenue, 10' from Laguna
Boulevard, 11' from a public sidewalk. Swimming pools and
refuge bins shall be 50' from an R-1 zone.
Maximum Density - Maximum floor area ratio is .61
Maximum Height - 26' high no closer than 50' from an
existing R-1 zone, or between 26' to 46' high maximum if
proposed bldg. fall within a 25 degree angle plane drawn
from the boundary of an abutting R-1 zone.
Required landscape area = 18% of 114,494 S.F. or 17,220
S.F.

Dwelling Unit Areas

Building A	
Unit A - 1BR/1BA	0 units x 941 S.F. = 0 S.F.
Unit B - 1BR/1BA	10 units x 619 S.F. = 11,194 S.F.
Unit C - 2BR/2BA	14 units x 994 S.F. = 13,916 S.F.
Unit D - 2BR/2BA	4 units x 994 S.F. = 3,976 S.F.
Unit E - 2BR/2BA	2 units x 1,024 S.F. = 2,048 S.F.
Unit F - 2BR/2BA	6 units x 1,176 S.F. = 7,056 S.F.
Unit G - 2BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit H - 2BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit I - 2BR/2BA	1 unit x 1,074 S.F. = 1,074 S.F.
Total Bldg. A	46 units 42,940 S.F.
Building B	
Unit A - 1BR/1BA	4 units x 941 S.F. = 3,764 S.F.
Unit B - 1BR/1BA	4 units x 619 S.F. = 2,476 S.F.
Unit C - 2BR/2BA	2 units x 994 S.F. = 1,988 S.F.
Unit D - 2BR/2BA	4 units x 994 S.F. = 3,976 S.F.
Unit E - 2BR/2BA	0 units x 1,024 S.F. = 0 S.F.
Unit F - 2BR/2BA	0 units x 1,176 S.F. = 0 S.F.
Unit G - 2BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit H - 2BR/2BA	0 units x 1,804 S.F. = 0 S.F.
Unit I - 2BR/2BA	0 units x 1,074 S.F. = 0 S.F.
Total Bldg. B	16 units 12,260 S.F.
Total Both Bldgs.	62 units 55,200 S.F.

Legend

- Existing Construction to Remain
- Property Line
- Existing to be Removed
- Proposed Sidewalk
- Proposed Light Fixture
- Proposed Fire Hydrant



Parking Data

1. TOTAL SPACES REQUIRED	
26 - 1 Bathroom Units	34
57 - 2 Bathroom Units	14
Leasing Office - 2188/200	11
Exercise Room - 1164/200	4
Less 18% Bus Stop	15
Total Spaces Required	105
2. TOTAL SPACES PROVIDED	
Standard Spaces	16
Visitor Spaces	8
Handicap Spaces	18
Garage Spaces	18
Tandem Spaces	18
Total Spaces Provided	70

Keyed Notes

- New railroad tie retaining wall, ref. dtd. 4/A005
- Low voltage lighting within landscaping this area, ref. dtd. 11/A005
- Wall mounted porch lights on garages - see Bld. Elev.
- CMU patio wall and wrought iron fence, ref. dtd. 1, 2, 4 B/A005
- Entry gates shall be automatic and remain closed unless activated for entering
- Covered Parking, ref. dtd. 4B/A005
- 2-Bike Enclosure, ref. dtd. 5/A005

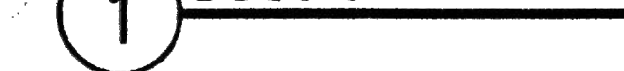
Section 3



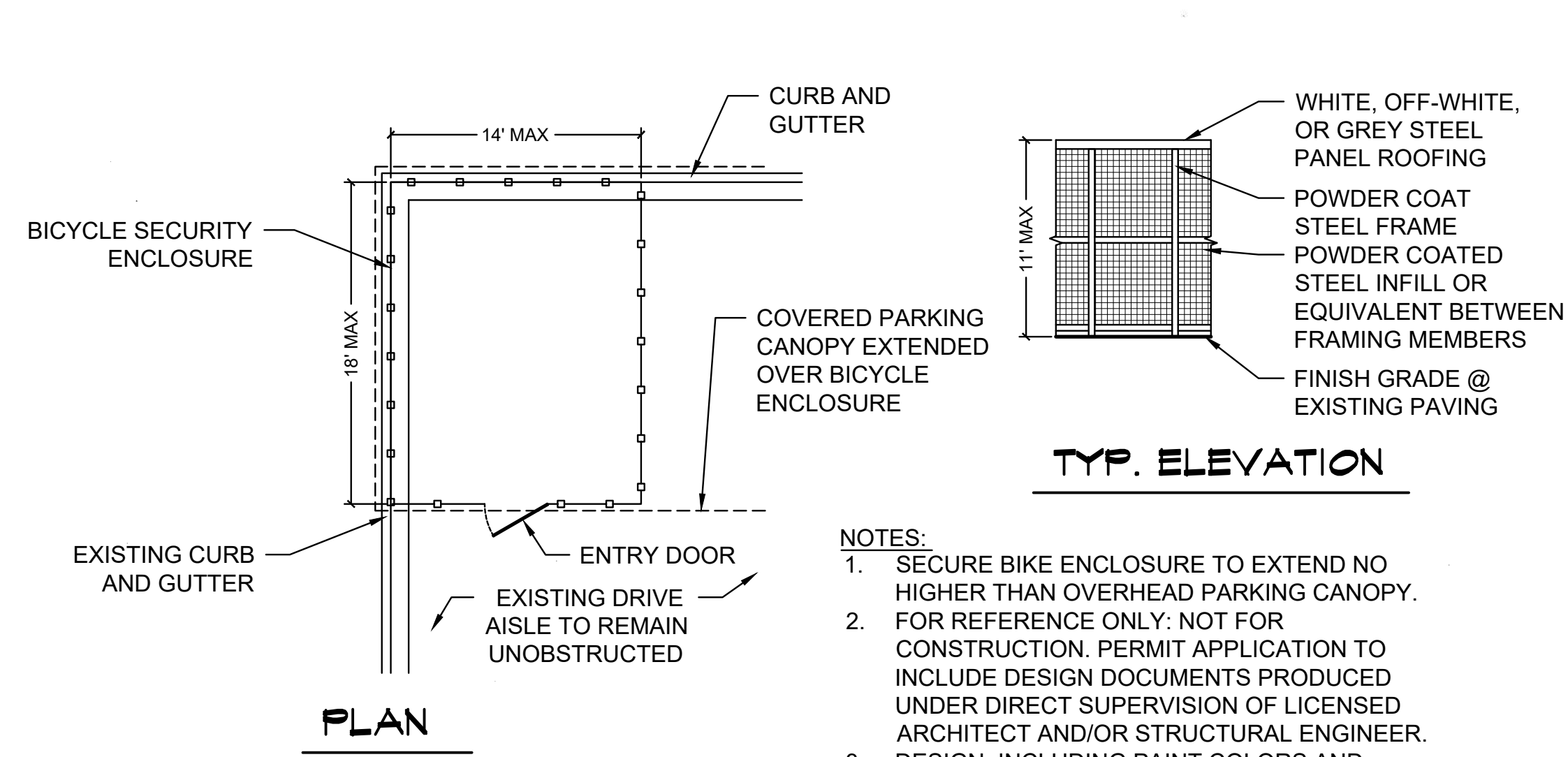
Section 2



Section 1

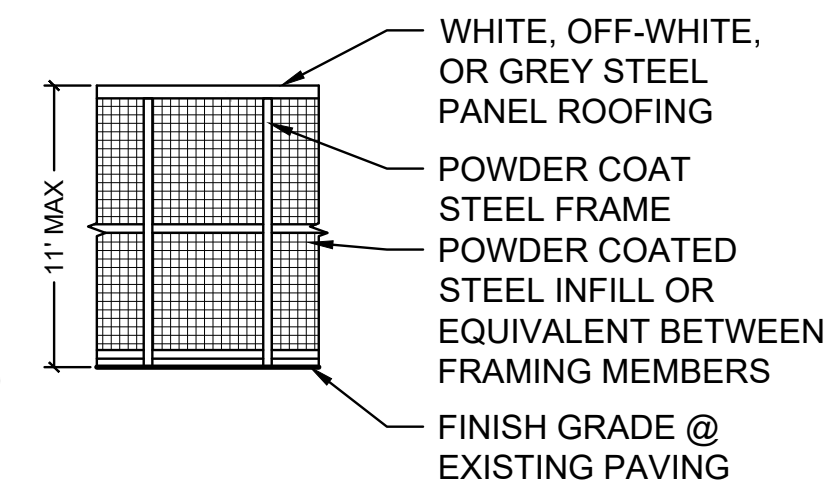


**Huning Castle
Apartment Homes**
Central Avenue, New Mexico

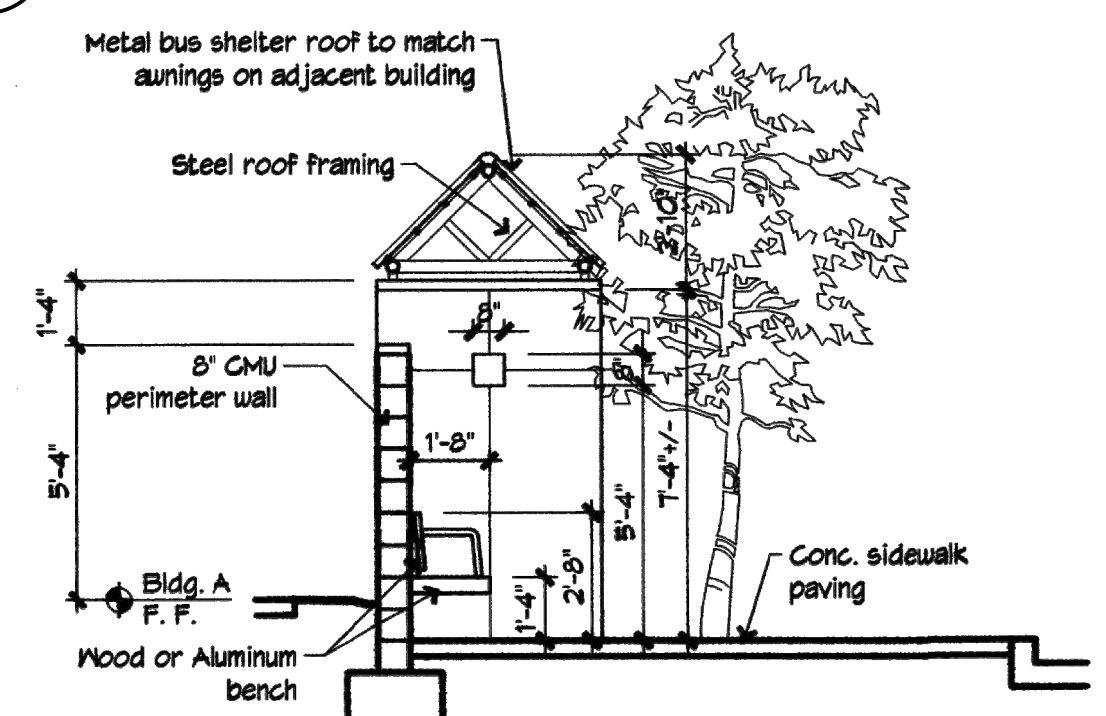


TYP. ELEVATION

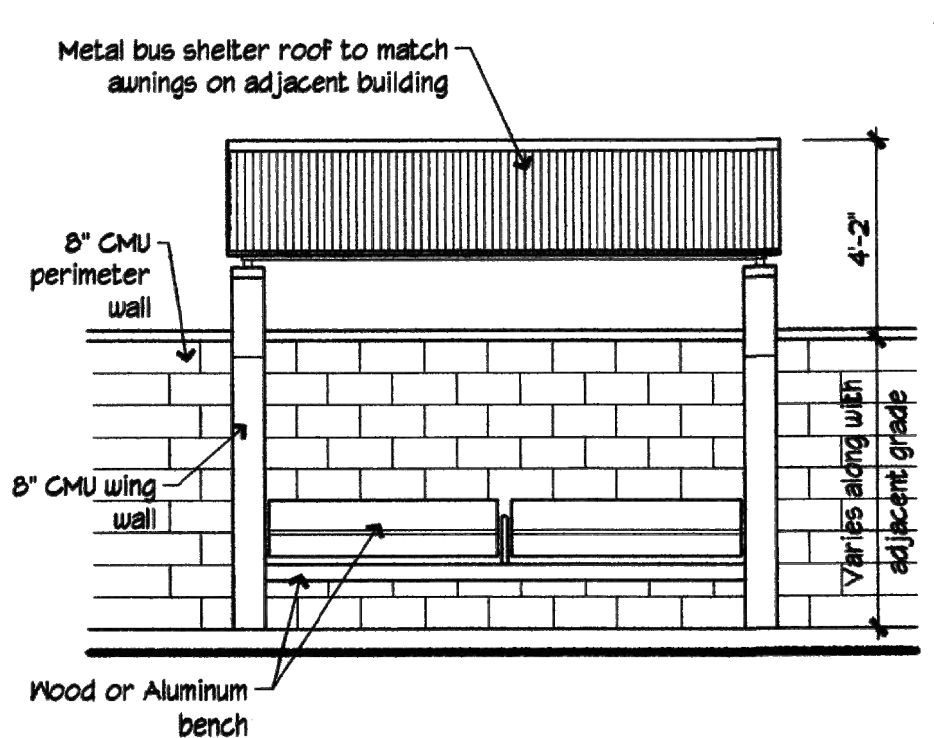
- NOTES:**
1. SECURE BIKE ENCLOSURE TO EXTEND NO HIGHER THAN OVERHEAD PARKING CANOPY. FOR REFERENCE ONLY: NOT FOR CONSTRUCTION. PERMIT APPLICATION TO INCLUDE DESIGN DOCUMENTS PRODUCED UNDER DIRECT SUPERVISION OF LICENSED ARCHITECT AND/OR STRUCTURAL ENGINEER.
 2. DESIGN, INCLUDING PAINT COLORS AND MATERIAL SELECTIONS, TO BE COMPATIBLE WITH EXISTING BUILDINGS AND LANDSCAPING FEATURES IN COLOR AND DETAILING.
 3. STEEL RACKS AT INTERIOR OF ENCLOSURE TO ACCOMMODATE 8-24 BICYCLES.



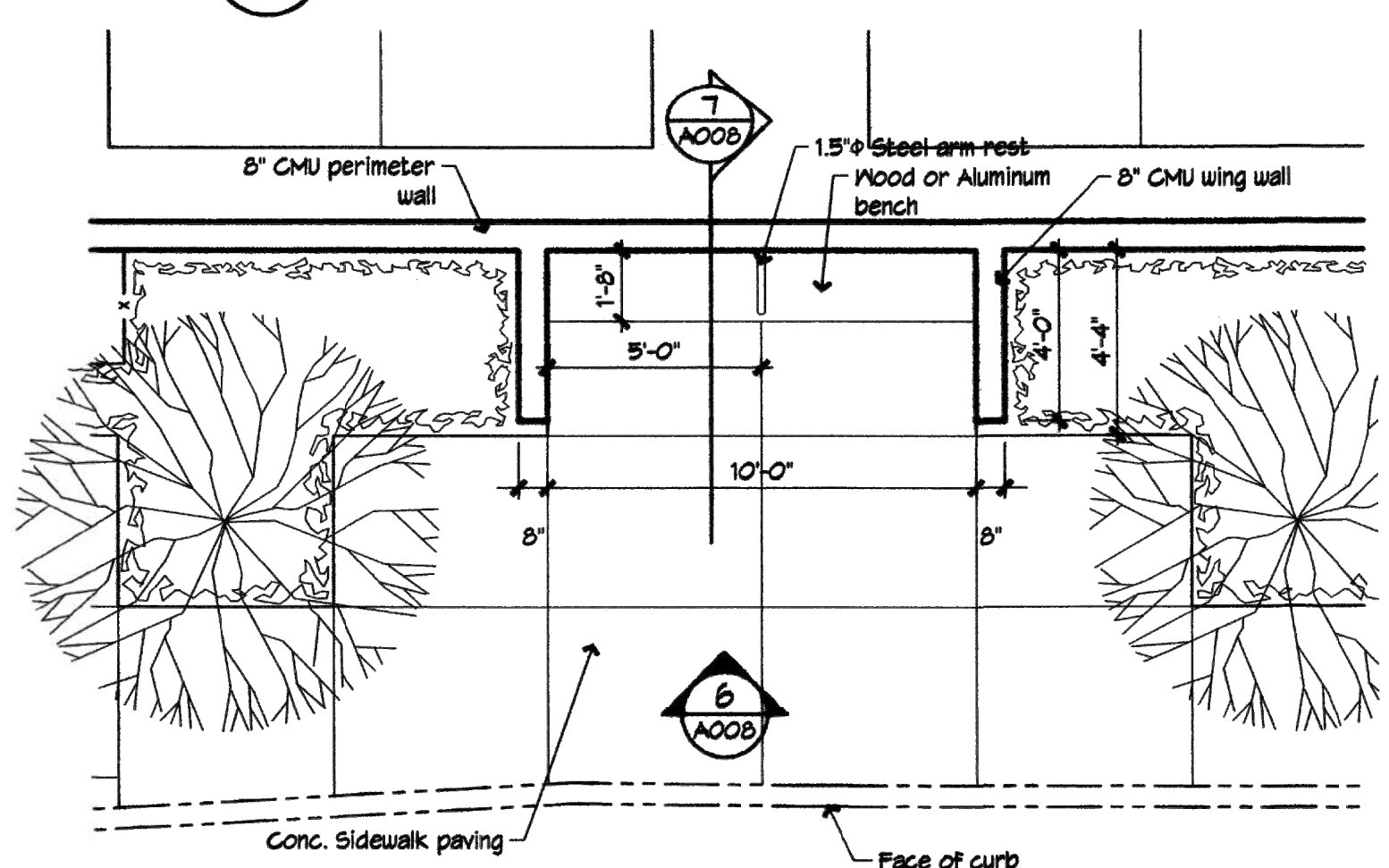
BIKE ENCLOSURE



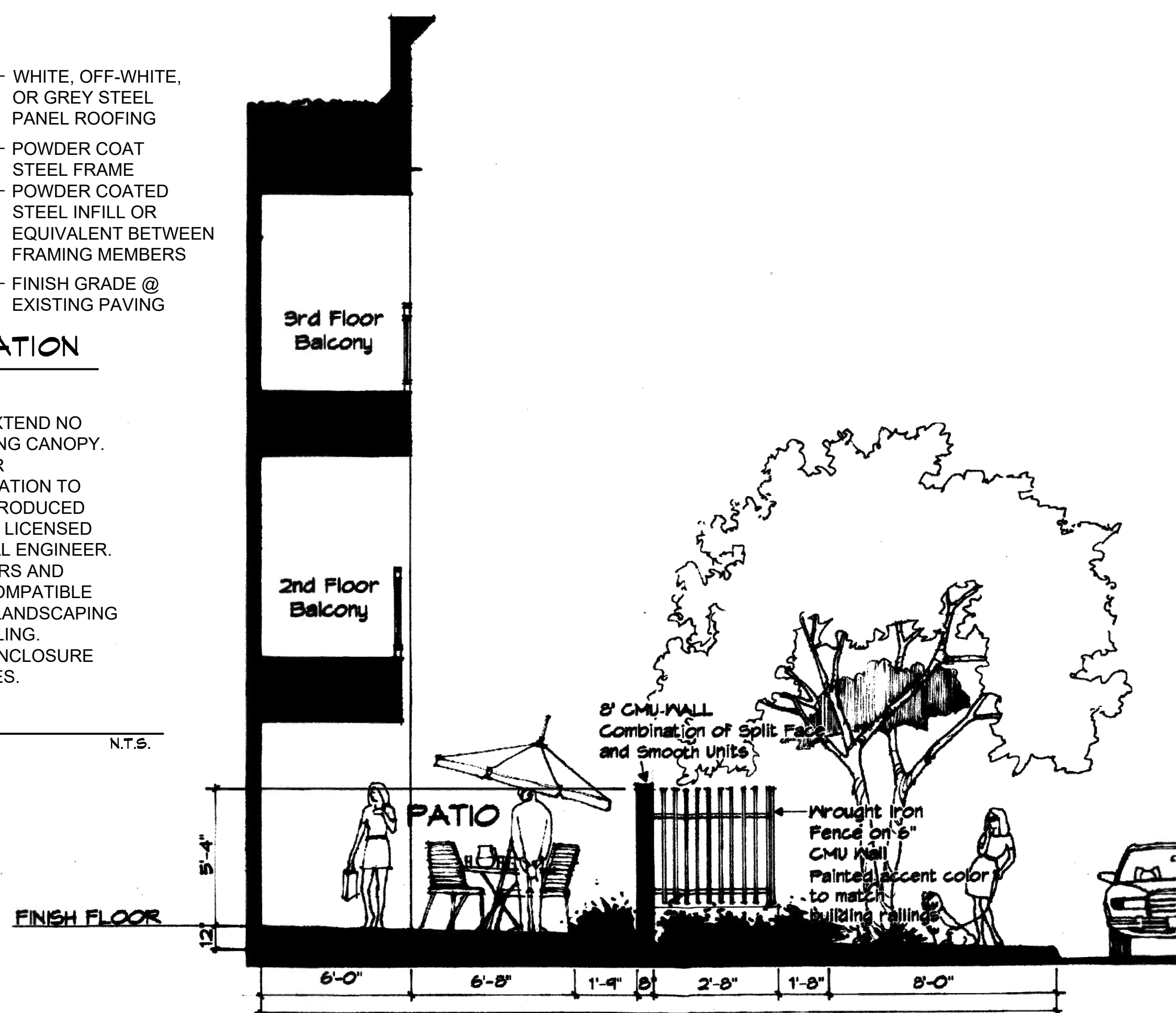
BUS SHELTER SECT.



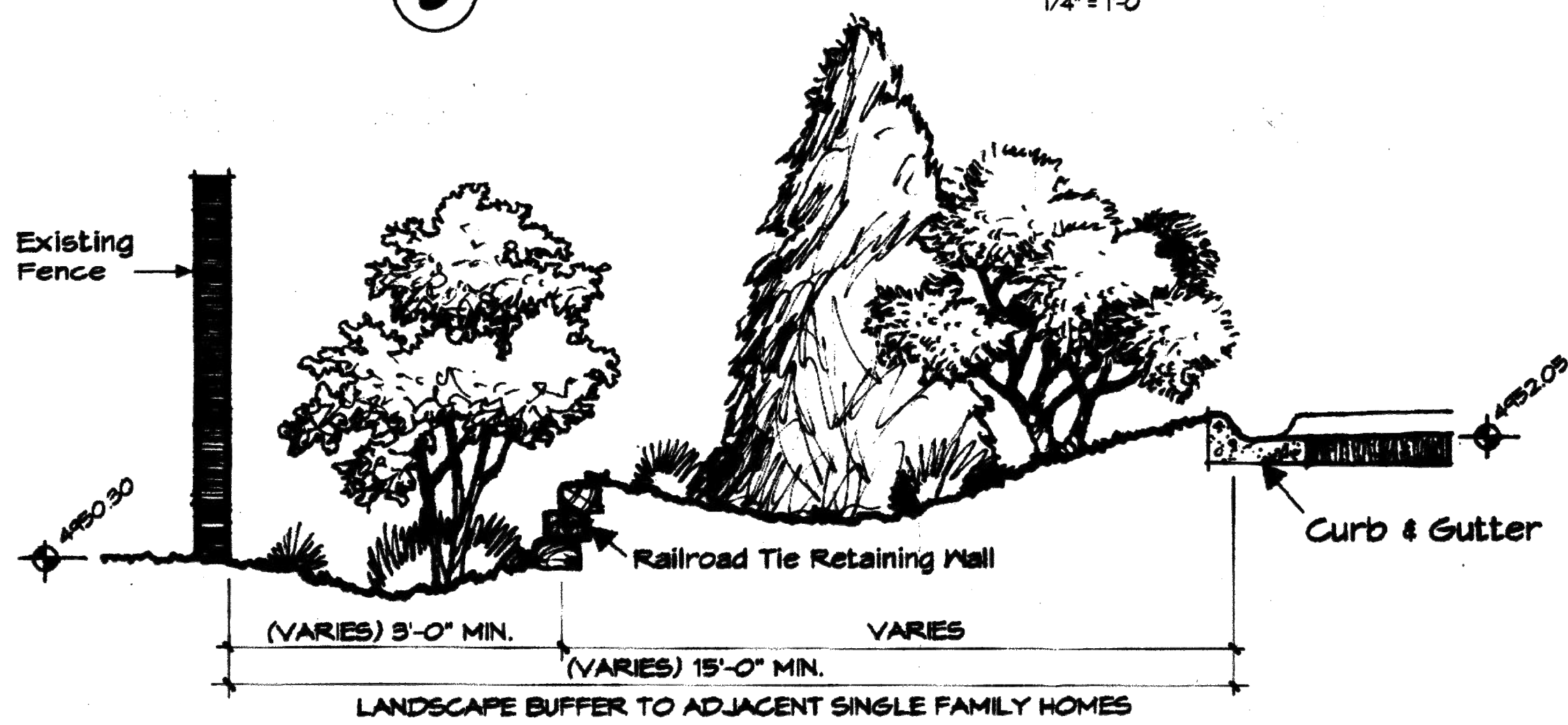
BUS SHELTER ELEV.



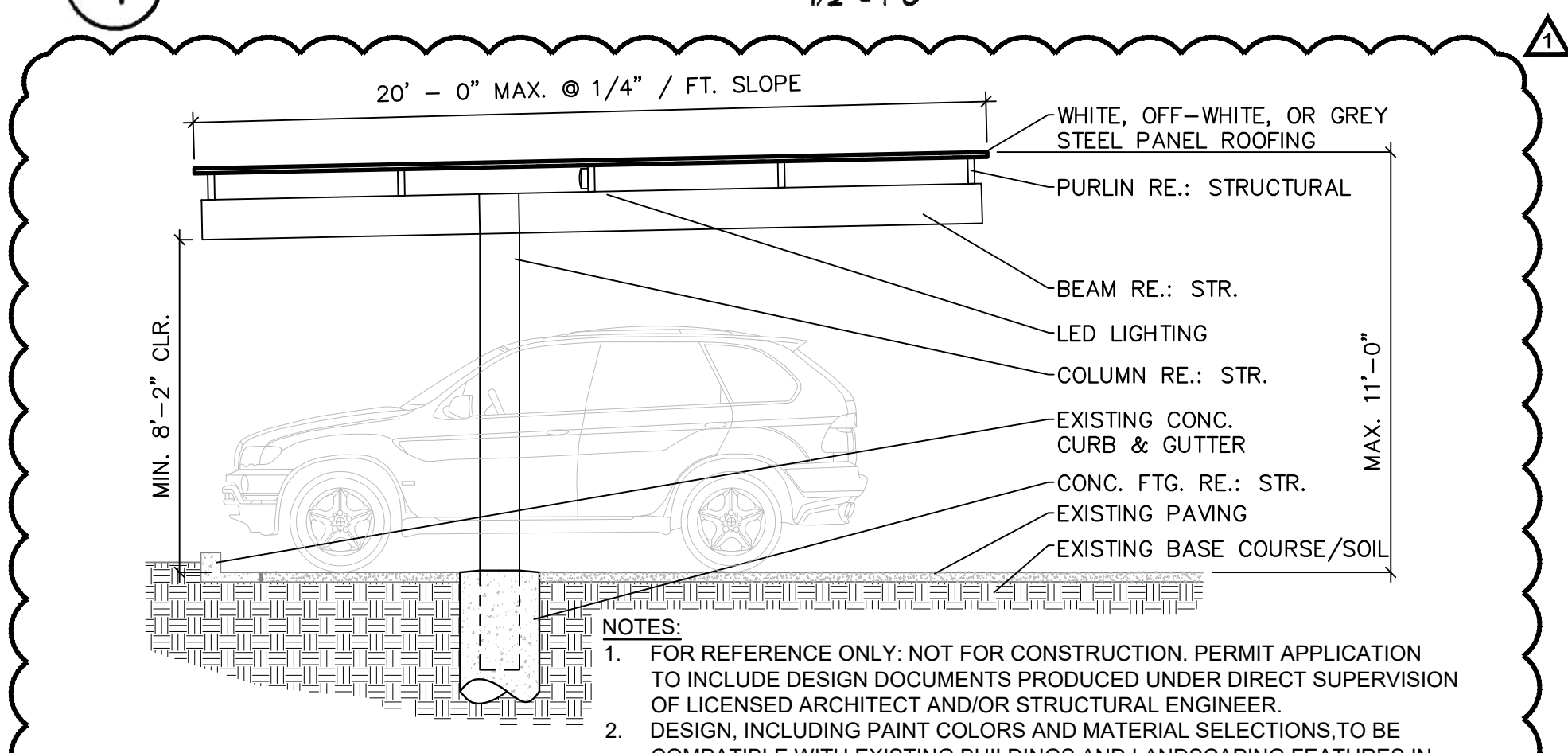
BUS SHELTER PLAN



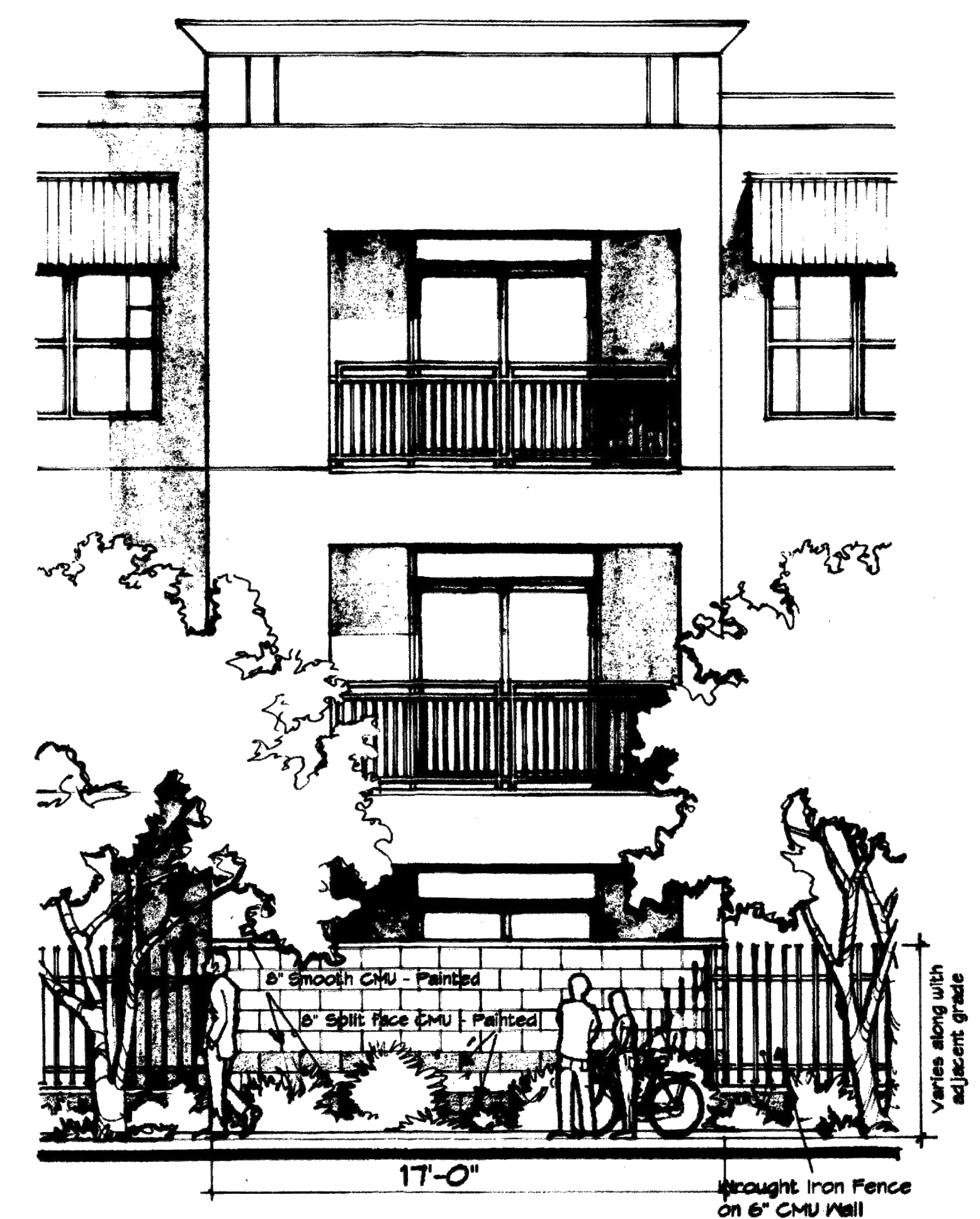
BUILDING SECTION



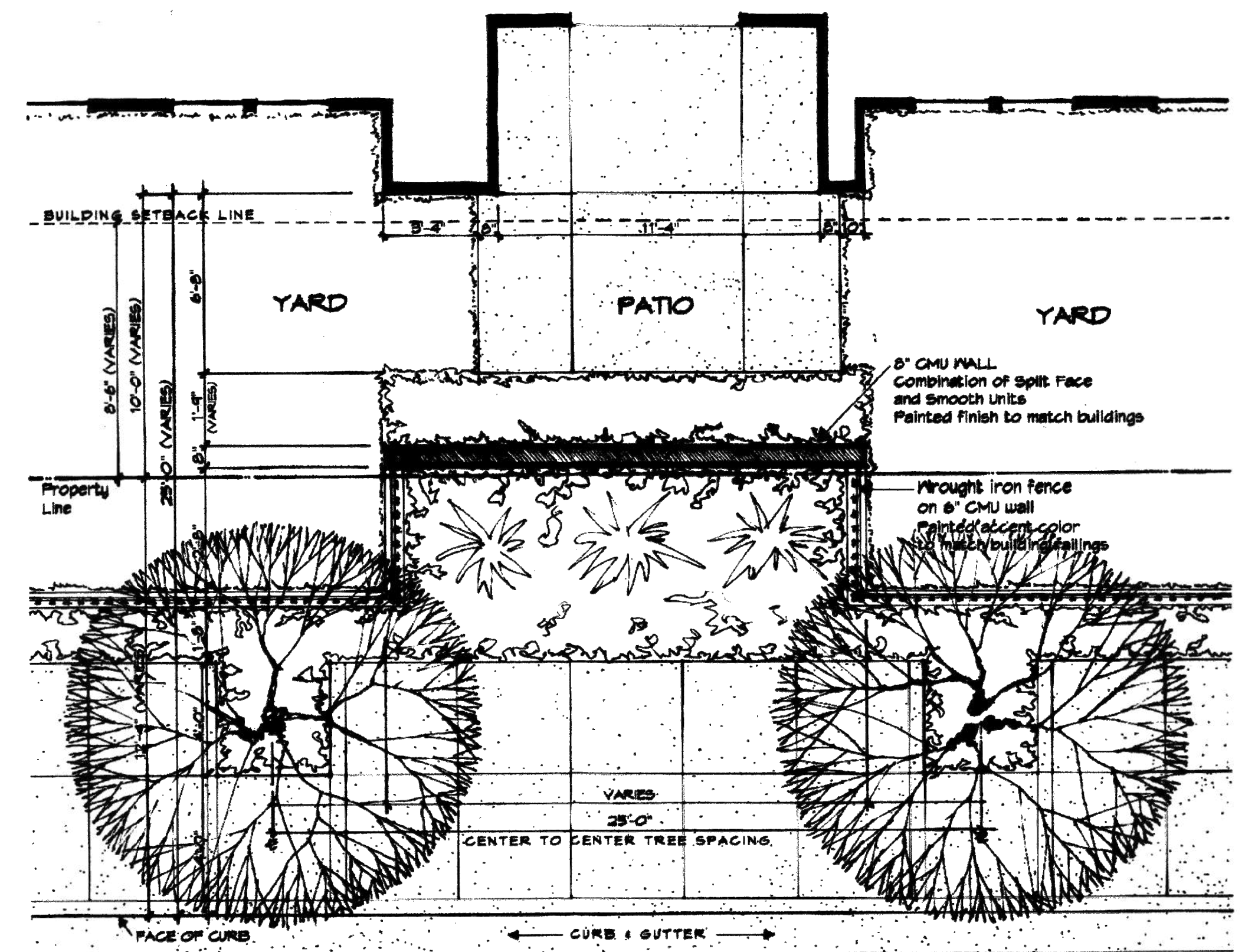
PARTIAL SITE SECTION



COVERED PARKING SECT.



PARTIAL ELEVATION



PARTIAL SITE PLAN

REVISIONS

△	
△	
△	
△	

DRAWN BY LM/DM
REVIEWED BY DRD
DATE 6/18/08
PROJECT NO. 08088
DRAWING NAME

Site Details & Exhibits