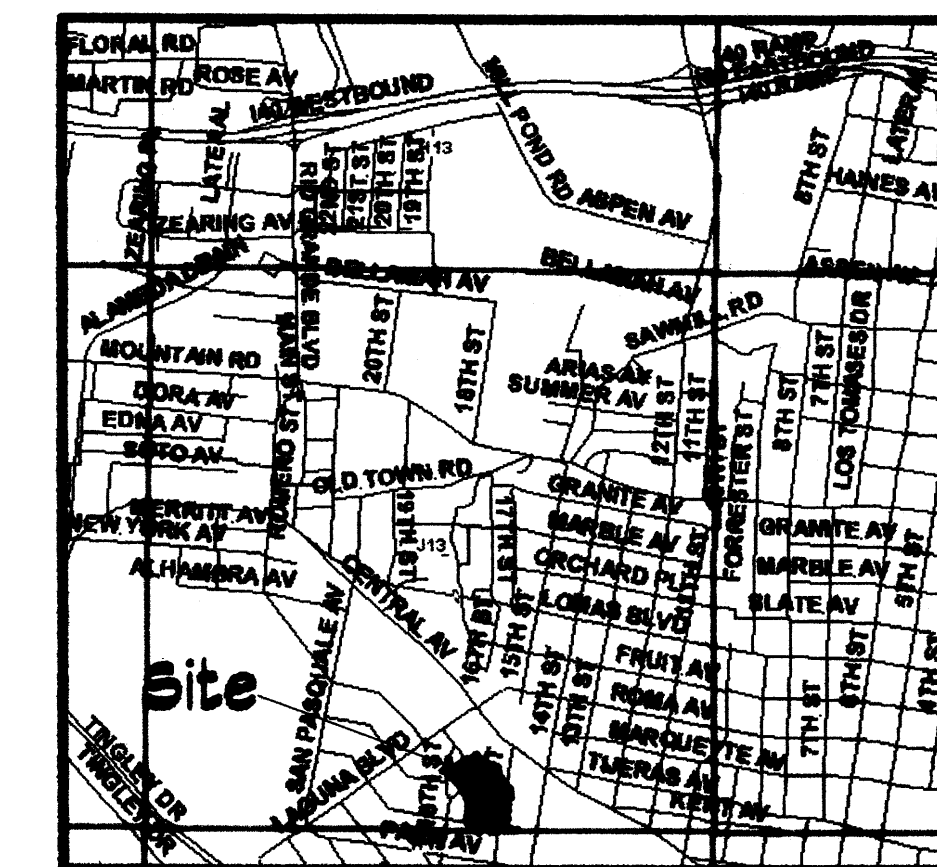


**Vicinity Map
J-13-Z**



Summary of Request

RE-SUBMISSION AND AGREEMENT TO CONFORM TO THE
CONDITIONS OF THE FOLLOWING PRIOR APPROVALS:

ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT (FILE
#2-AA-94-101) APPROVED ON 9/10/94 TO THE APPROVED
SITE DEVELOPMENT PLAN (CASE #2-46-68) APPROVED BY
THE EPC ON 6/20/95.

CONDITIONS OF ORIGINAL EPC APPROVAL:

- COMMENTS OF THE TRANSPORTATION DIVISION, TRANSIT
DEPARTMENT AND THE ENVIRONMENTAL HEALTH
DEPARTMENT MUST BE ADDRESSED, PARTICULARLY:
 - ELIMINATE VEHICULAR ACCESS FROM CENTRAL AVENUE.
RELOCATING THE ACCESS TO DROP OFF PARKING FROM
18TH STREET.
 - REDUCE WALL/FENCE HEIGHT TO 5 FEET AND INSURE A
SETBACK OF 2 FEET FROM ADJACENT PUBLIC SIDEWALKS.
 - EXPAND PEDESTRIAN ELEMENTS INCLUDING GATES AND
INTERNAL PATHS.
 - PROVISION OF A TRANSIT STOP AND SHELTER.

- THE LANDSCAPE BUFFER ON THE SOUTH PROPERTY LINE
SHOULD BE ENHANCED TO MINIMIZE THE IMPACT OF THIS
DEVELOPMENT ON ADJACENT RESIDENCES BY PROVIDING A
15 FOOT BUFFER AREA AT MINIMUM.
- PEDESTRIAN ACCESS SHALL BE PROVIDED ON LASUNA
BOULEVARD AND 18TH STREET AND THERE SHALL BE A
SIDEWALK CONNECTING THE TWO PEDESTRIAN ACCESSES.
- REPLACE THE PROPERTY FOR CONSISTENCY WITH THE SITE
PLAN.

THE ONLY DEVIATION FROM THE ABOVE IS THAT THIS
PLAN INDICATES THE USE OF 6 FOOT HIGH WALLS IN
CONJUNCTION WITH 6 FOOT HIGH WROUGHT IRON FENCING
AS SHOWN ON SHEET A003.

**DRB Project # 1000434
EPC Application # 08EPC 00498**

This plan is consistent with the specific site development plan
approved by the Environmental Planning Commission (EPC) on May
15, 2008 and the findings and conditions in the Official
Notification of decision are satisfied.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Richard J. Davis</i>	6-25-03
Traffic Engineer, Transportation Division	Date
<i>Rogers & Hagan</i>	6-25-03
Utilities Department	Date
<i>Christina Sandoval</i>	6/25/03
Parks & Recreation Department	Date
<i>Bradley L. Bigham</i>	6/25/03
City Engineer	Date
N/A	
Environmental Health (conditional)	Date
<i>Michael Holton</i>	6-25-03
Solid Waste Management	Date
<i>Sheran Matern</i>	6/25/03
DRB Chairperson, Planning Department	Date

Sheet Index

- SITE DEVELOPMENT PLAN
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- SITE DETAILS
- SITE LIGHTING DETAILS

SHEET NO.

A001

1 OF 9

General Notes

- Site lighting shall consist of a combination of
building mounted HPS fixtures, walkway area
lights and post-mounted light fixtures in entry
and parking areas. To the greatest extent
possible, lighting shall be building mounted.
Building entry and porch lighting shall be
controlled by photo-cells and/or time clocks,
as may be appropriate. Post lighting shall be
18' maximum height. All lighting shall be
shielded from surrounding properties.
- All signage shall conform to the City of
Albuquerque sign code. The project shall
have illuminated project identification signage
at the main entry on Central Ave. West, as
shown. Maximum signage area shall be twenty
four square feet, each face.
- All mechanical/electrical equipment shall be
screened from view to the greatest extent
practicable. Equipment shall be roof mounted
and screened from view by building parapet.
All yard mounted equipment shall be screened
by fencing or stucco walls.
- Perimeter wall to be 6'-0" high. Materials to be
a combination of painted split face
concrete block columns and walls with
wrought iron fence. Wall color to match
buildings. Fence color to match bldg railings.
- Owner to specify which trees along the South
property line are to remain.

Habitable Space

Building A	42,940 S.F.
Apartment Units	5,894 S.F.
Corridors/Stairs	1,966 S.F.
Leasing Office	1,074 S.F.
Exercise Room	1,274 S.F.
Total	12,260 S.F.

Building B	12,260 S.F.
Apartment Units	0 S.F.
Corridors/Stairs	0 S.F.
Total	12,260 S.F.
Both Buildings	68,954 S.F.
Water Heater/Sto.	1,562 S.F.
Covered Balconies	4,081 S.F.
Garages	9,309 S.F.
Total Covered Area	12,260 S.F.

Apartment Data

Studio Units:	0
1 Bedroom/1 Bath Units	26 (41%)
2 Bedroom/2 Bath Units	27 (48%)
3 Bedroom/2 Bath Units	10 (16%)
Total Units	63
Net Rentable Area	84,680 S.F.
Average Unit Size	867 S.F.
Construction Type	V-1 Hour (Sprinkled)
Occupancy Group	R-1

Legal Description

Lot 1-A, Block One, Huning Castle Addition.
City of Albuquerque, Bernalillo County, New Mexico.
Plat Prepared by Southwest Surveying and recorded
on June 9, 2000.
Book 2000C, page 181, document #2000059742.

Site Data

Current Zoning: CUD Commercial/Low Density Apartments
Zoning Ordinance: Huning Castle and Reynolds Addition
Sector Development Plan
Minimum Setbacks - 5' from Central Avenue, 10' from Laguna
Boulevard, 11' from a public sidewalk. Swimming pools and
refuse bins shall be 50' from an R-1 zone.
Maximum Density - Maximum Floor area ratio is .61
Maximum Height - 26' high no closer than 50' from an
existing R-1 zone, or between 26' to 46' high maximum if
proposed bldg. fall within a 25 degree angle plane drawn
from the boundary of an abutting R-1 zone.
Required landscape area = 18% of 114,444 S.F. or 17,280
S.F.

Proposed
Proposed Use: Apartments
Lot Area: 114,444 S.F. or 2.64 acres.
Total covered building area = 12,260 S.F.
Building A Footprint = 14,802 S.F.
Building B Footprint = 7,564 S.F.
Setbacks - 10' from Central Ave., 18' from Laguna Blvd., 14'
from 18th Street, refuse bins - no closer than 50' from
adjacent R-1 zone, swimming pool - no closer than 120'
from adjacent R-1 zone. Public sidewalks - no closer than
14' from proposed bldg.
Density - Floor area ratio = 68,954 S.F. habitable/114,444
S.F. (site) = .61
Height - Refer to section diagrams 1, 2 and 3 - this sheet
and building elevation sheets
Paving/Driveway area = 87,785 S.F.
Landscape area = 84,176 S.F.

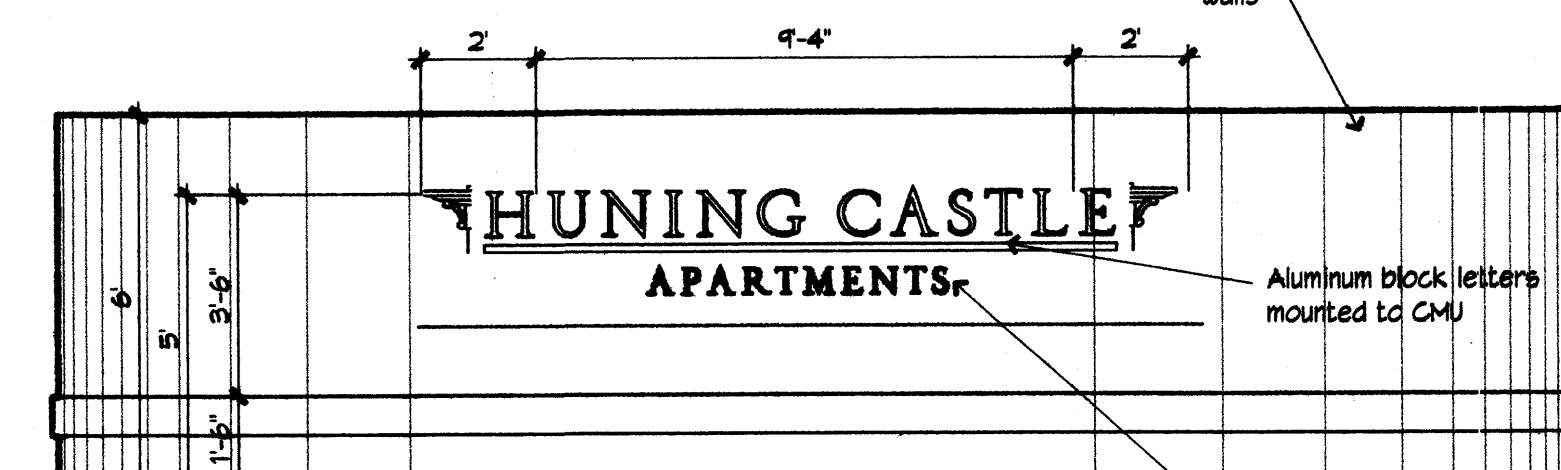
Dwelling Unit Areas

Building A	42,940 S.F.
Unit A - 1BR/1BA - 0 units x 941 S.F. =	0 S.F.
Unit B - 1BR/1BA - 18 units x 618 S.F. =	11,124 S.F.
Unit C - 2BR/2BA - 14 units x 954 S.F. =	13,356 S.F.
Unit D - 2BR/2BA - 4 units x 971 S.F. =	3,884 S.F.
Unit E - 2BR/2BA - 2 units x 1,024 S.F. =	2,048 S.F.
Unit F - 3BR/2BA - 6 units x 1,178 S.F. =	7,068 S.F.
Unit G - 3BR/2BA - 3 units x 1,318 S.F. =	3,954 S.F.
Unit H - 3BR/2BA - 0 units x 1,328 S.F. =	0 S.F.
Unit I - 2BR/2BA - 1 unit x 1,074 S.F. =	1,074 S.F.

Total Bldg. A	48 units	42,940 S.F.
Building B	18 units	12,260 S.F.
Total Both Bldgs.		84,680 S.F.

Legend

- Existing Construction to Remain
- Property Line
- Existing to be Removed
- Proposed Sidewalk
- Proposed Light Fixture
- Proposed Fire Hydrant



4 Monument Sign Elevation

NTS

Parking Data

1. TOTAL SPACES REQUIRED

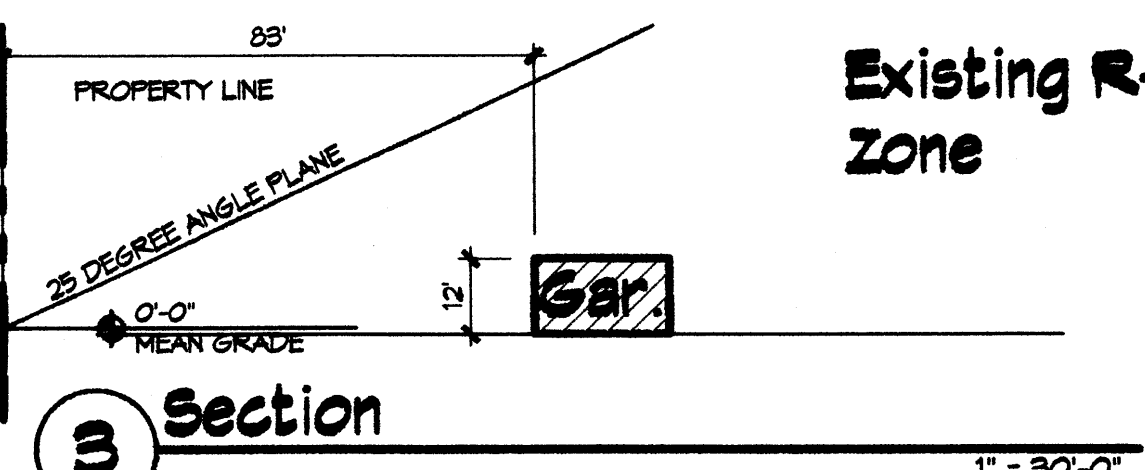
26 - 1 Bathroom Units =	94
87 - 2 Bathroom Units =	74
Leasing Office - 2188/200 =	11
Exercise Room - 1164/300 =	4
Less 18% Bus Stop	14
Total Spaces Required	105

2. TOTAL SPACES PROVIDED

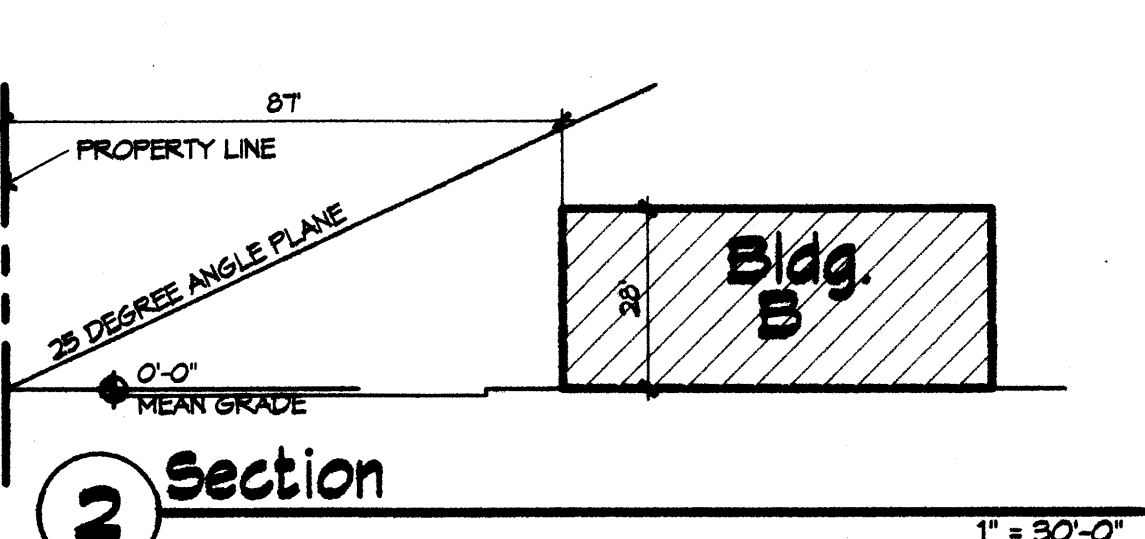
Standard Spaces	65
Visitor Spaces	16
Handicap Spaces	9
Garage Spaces	15
Tandem Spaces	18
Total Spaces Provided	119

Keyed Notes

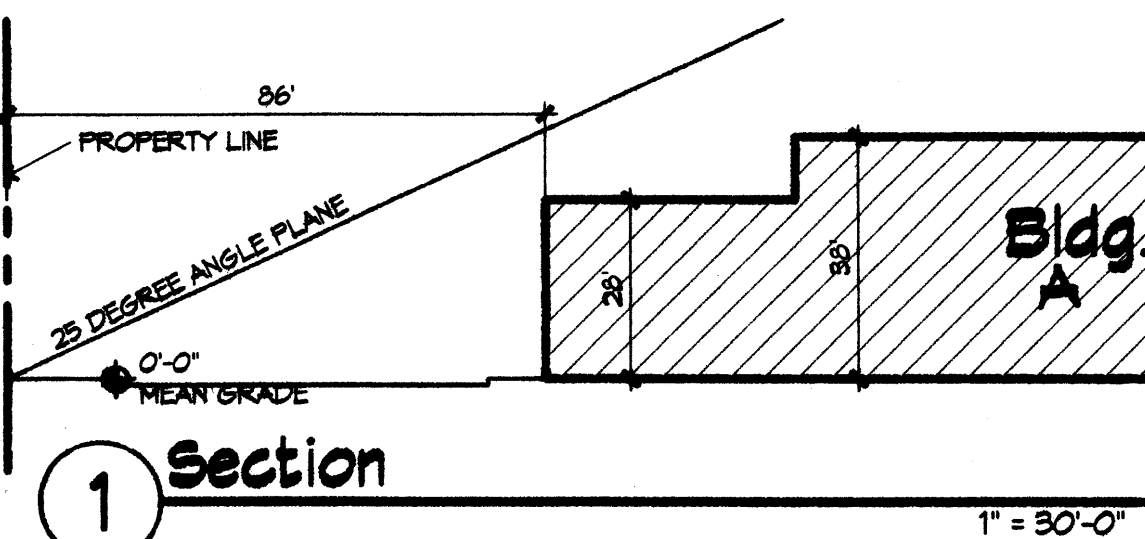
- New railroad tie retaining wall, ref. dtd.
4/A005
- Low voltage lighting within landscaping
this area, ref. dtd. 11/A008
- Wall mounted porch lights on garages -
see Bld. Elev.
- CMU Pileo wall and wrought iron fence,
ref. dtd. 1, 2, 4 B/A008
- Entry gates shall be automatic and remain
closed unless activated for entering



3 Section



2 Section



1 Section

1" = 30'-0"

0 15' 30'

1" = 30'-0"

Site Development Plan

NTS

0 15' 30'

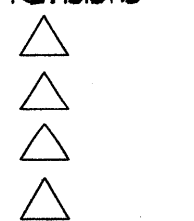
1" = 30'-0"

0 15' 30'

1" = 30'-0"

**Huning Castle
Apartment Homes**
Central Avenue
Albuquerque, New Mexico

REVISIONS



DRAWN BY LM/DM
REVIEWED BY DRD
DATE 6/18/08
PROJECT NO. 08085
DRAWING NAME

Site Details & Exhibits

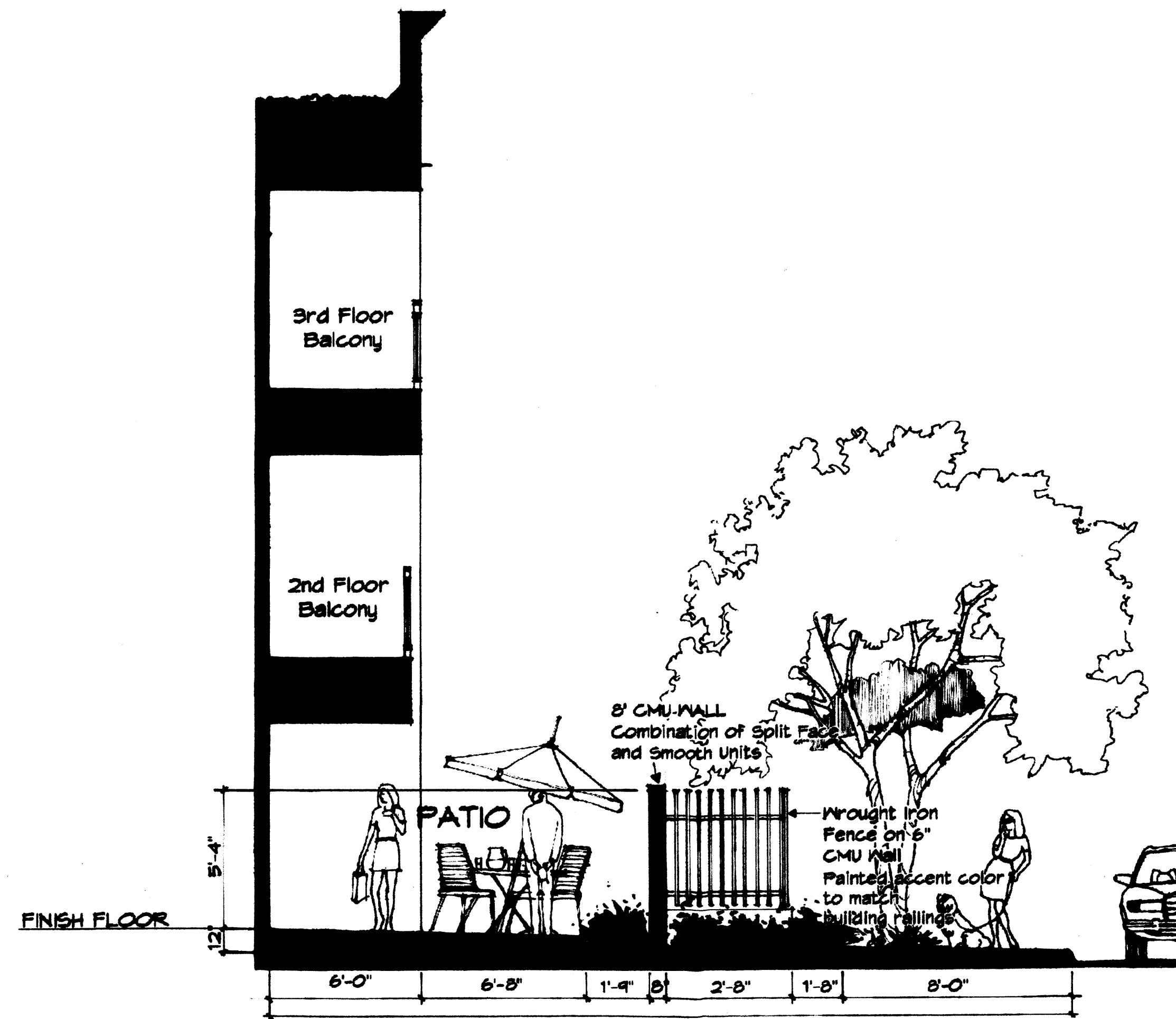
SHEET NO.

A008

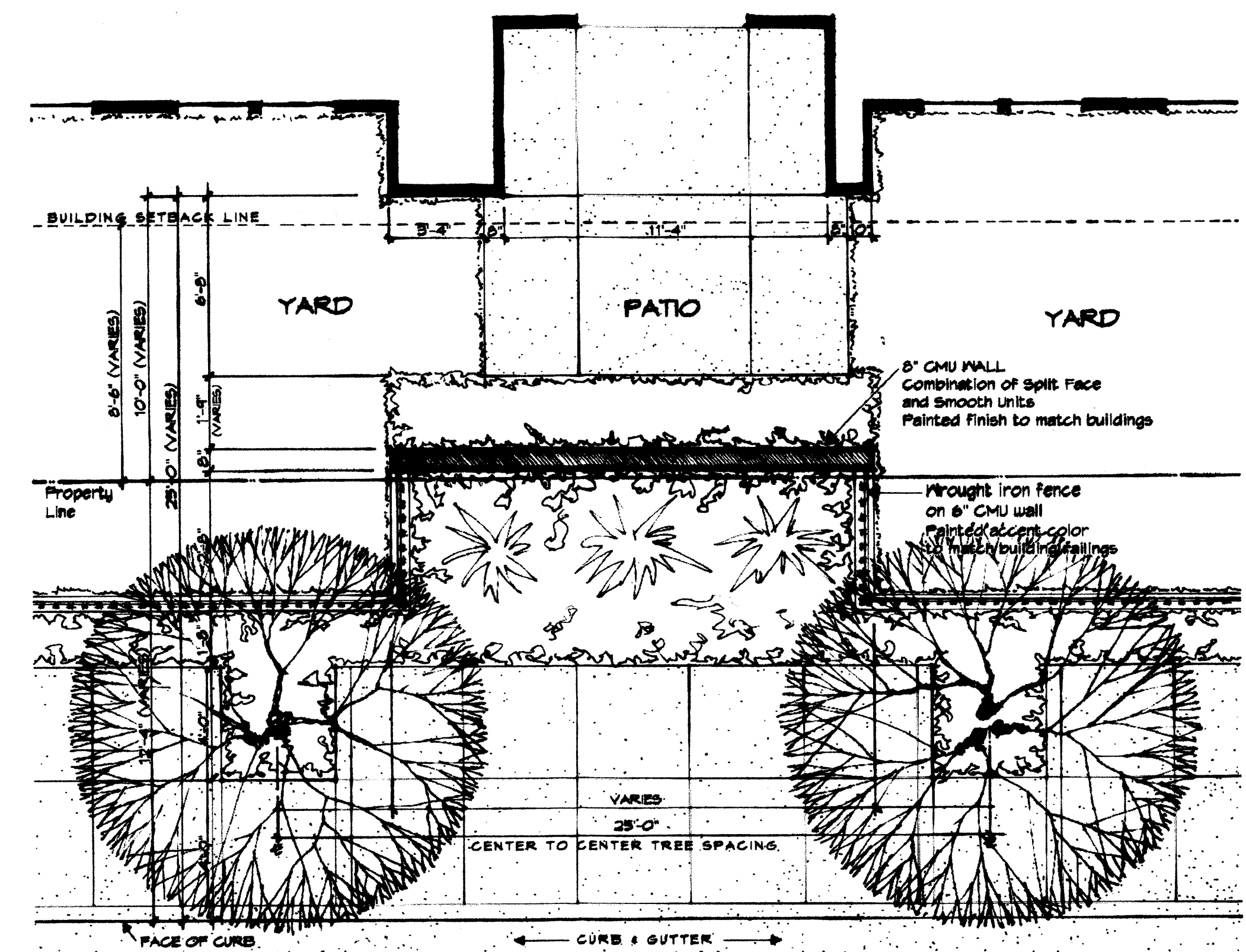
8 OF 9



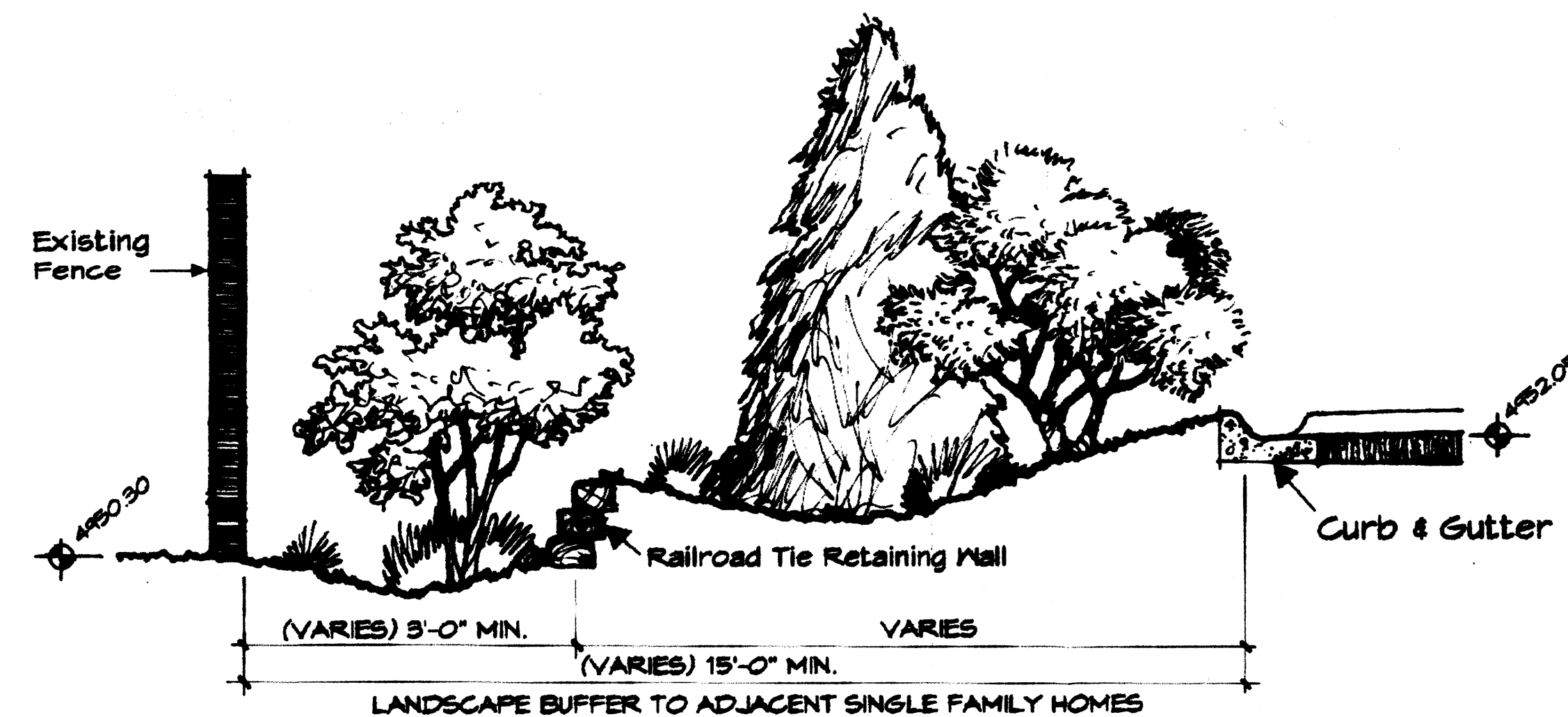
2 PARTIAL ELEVATION
1/4" = 1'-0"



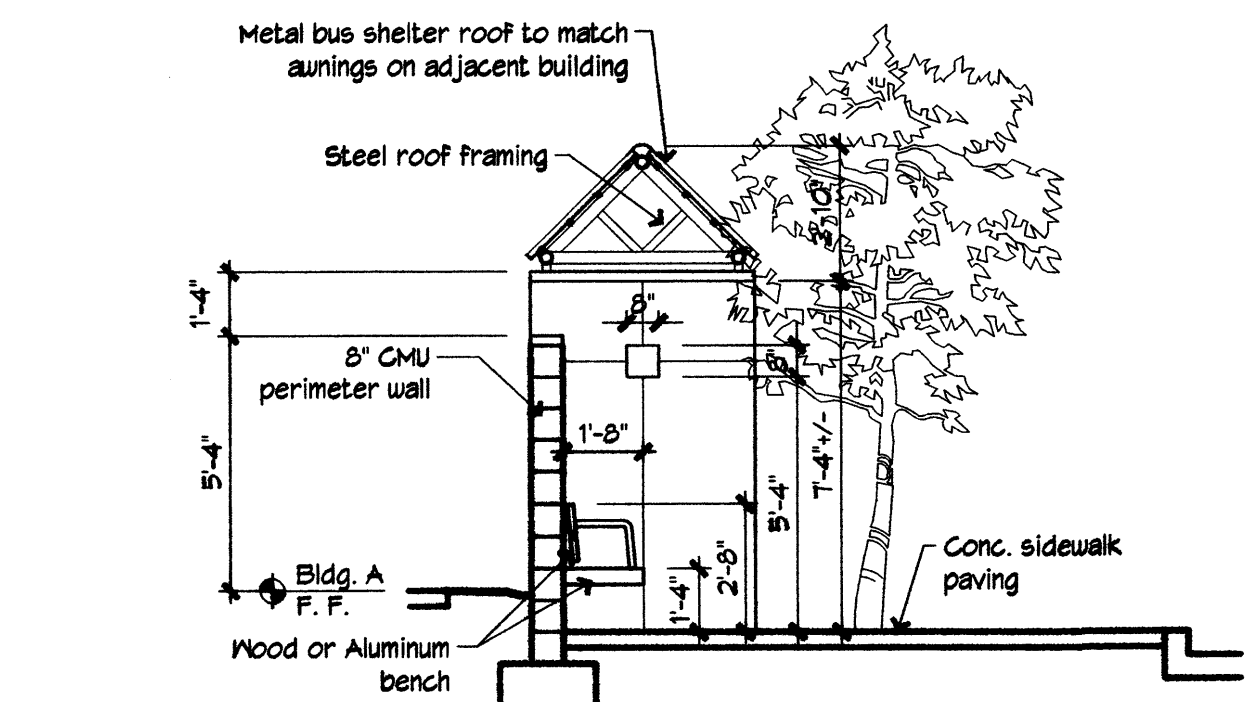
3 BUILDING SECTION
1/4" = 1'-0"



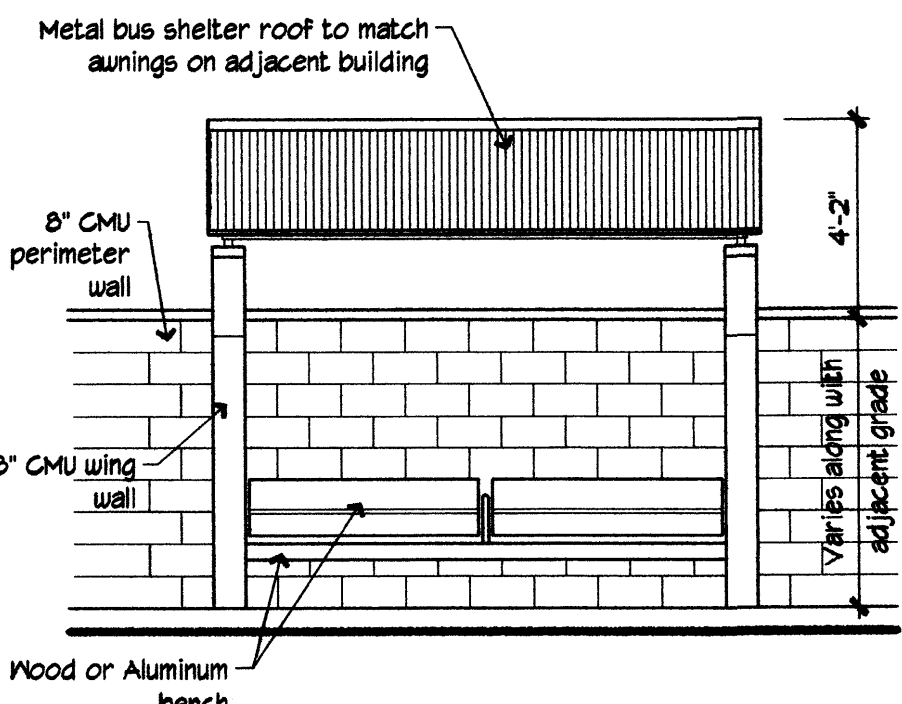
1 PARTIAL SITE PLAN
1/4" = 1'-0"



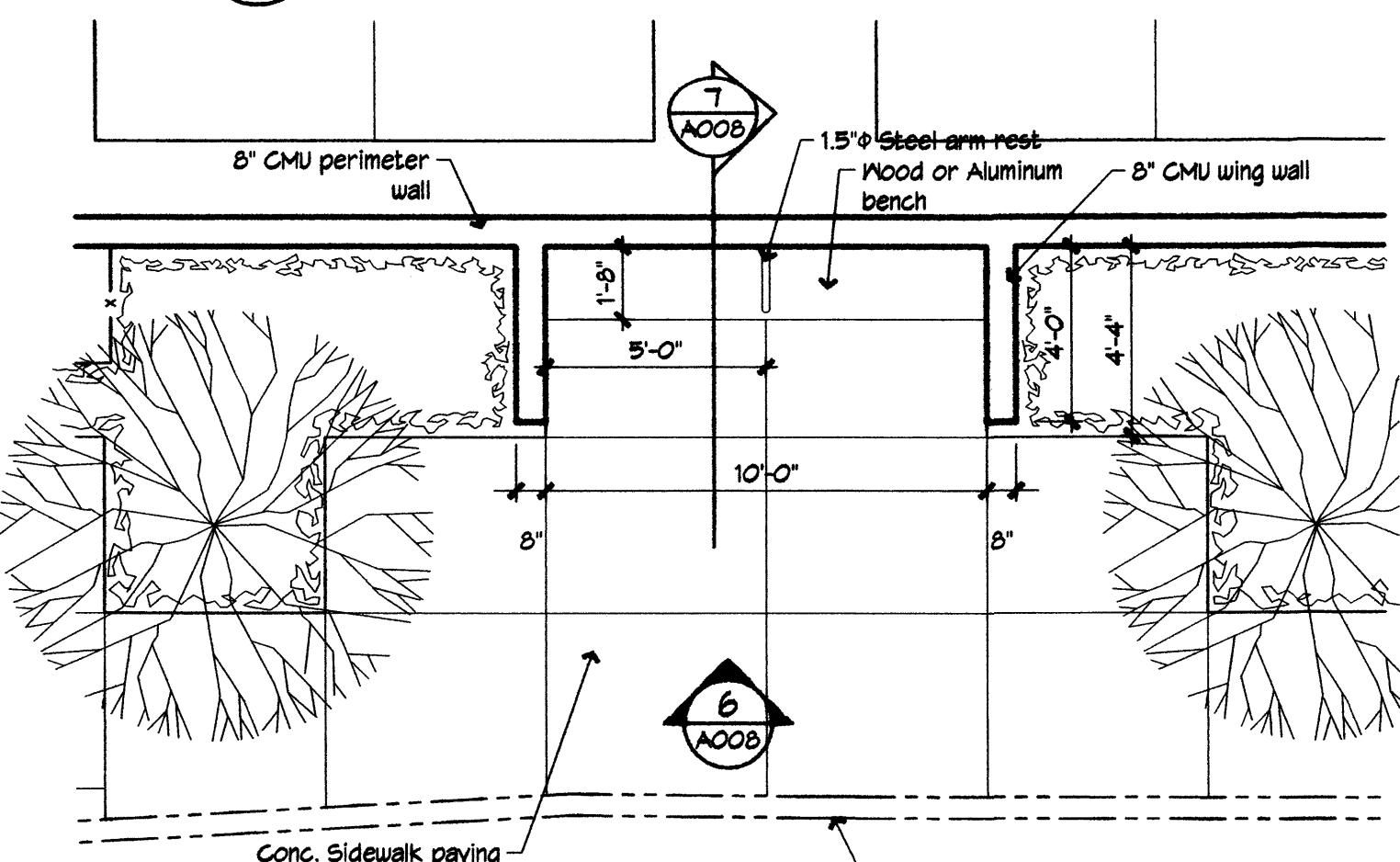
4 PARTIAL SITE SECTION
1/2" = 1'-0"



7 BUS SHELTER SECT.
1/4" = 1'-0"



6 BUS SHELTER ELEV.
1/4" = 1'-0"



5 BUS SHELTER PLAN
1/4" = 1'-0"