



DEVELOPMENT REVIEW APPLICATION

Effective 4/17/19

to suppler	nental forms for su	bmittal requirements. All fe	es must be paid at the time of applica	ation.
Decis	ions Requiring a P	ublic Meeting or Hearing	Policy Decisions	
	☐ Site Plan – EPC including any Variances – EPC (Form P1)		☐ Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)	
nor 🗆 Ma	☐ Master Development Plan (Form P1)		☐ Adoption or Amendment of Historic Designation (Form L)	
	☐ Historic Certificate of Appropriateness – Major (Form L)		☐ Amendment of IDO Text (Form Z)	
□ De	☐ Demolition Outside of HPO (Form L)		☐ Annexation of Land (Form Z)	
☐ His	☐ Historic Design Standards and Guidelines (Form L)		☐ Amendment to Zoning Map – EPC (Form Z)	
	☐ Wireless Telecommunications Facility Waiver (Form W2)		☐ Amendment to Zoning Map – Council (Form Z	
ry:				
			☐ Decision by EPC, LC, ZHE, or City A)	Staff (Form
Group			Phone: (918)587-8602, ext	299
50			Email: ginak@sgadesigngroup.com	
		State: OK	Zip: 74119	
w/ SGA D	SGA Design Group		Phone: (918)587-8600	
50			Email: travish@sgadesigngroup.com	
	State: OK		Zip: 74119	
	List <u>al</u> l owners: Walmart) 9	
to this lo	cation w/ Parking	Stall Signage.		
ing legal de	escription is crucial	l Attach a separate sheet if	necessary.)	
	Block: 0000		Unit:	
AZA	MRGCD Map No.:		UPC Code:	
E	Existing Zoning: MX-L		Proposed Zoning: MX-L	
#	# of Proposed Lots:		Total Area of Site (acres): 17.9414	
Е В	etween: Eubank E	Blvd NE	and: Copper Ave NE	
roject and	case number(s) tha	t may be relevant to your re	quest.)	
				(A)
			Date: 06/08/21	
)				
Action	Fees	Case Numbers	Action	Fees
\A				

			F - Talali	
			Fee Total:	
	Group Group Group GAZA E #	Decisions Requiring a P Site Plan – EPC includity (Form P1) Master Development P Historic Certificate of A (Form L) Demolition Outside of Head of the Historic Design Standare (Form W2) Wireless Telecommunity (Form W2) Group Go Site Plan – EPC includity Historic Certificate of A (Form L) Demolition Outside of Head (Form W2) Wireless Telecommunity (Form W2) Group Go Group G	Decisions Requiring a Public Meeting or Hearing Site Plan – EPC including any Variances – EPC (Form P1) Master Development Plan (Form P1) Historic Certificate of Appropriateness – Major (Form L) Demolition Outside of HPO (Form L) Historic Design Standards and Guidelines (Form L) Wireless Telecommunications Facility Waiver (Form W2) State: OK W/ SGA Design Group	Site Plan – EPC including any Variances – EPC (Form P1) Adoption or Amendment of Compr Plan or Facility Plan (Form Z) Adoption or Amendment of Historic Designation (Form L) Historic Certificate of Appropriateness – Major (Form L) Demolition Outside of HPO (Form L) Historic Design Standards and Guidelines (Form L) Historic Design Standards and Guidelines (Form L) Historic Design Standards and Guidelines (Form L) Amendment to Zoning Map – EPC Amendment to Zoning Map – EPC Amendment to Zoning Map – Cour (Form W2) Appeals Decision by EPC, LC, ZHE, or City A) Appeals Decision by EPC, LC, ZHE, or City A) State: OK

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabg.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. ARCHEOLOGICAL CERTIFICATE ___ Archaeological Compliance Documentation Form with property information section completed Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b) Letter of authorization from the property owner if application is submitted by an agent Zone Atlas map with the entire site clearly outlined and labeled MINOR AMENDMENT TO SITE PLAN - ADMIN, EPC, or DRB X Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2) PDFThree (3) copies of all applicable sheets of the approved Site Plan being amended, folded NA Copy of the Official Notice of Decision associated with the prior approval PDFThree (3) copies of the proposed Site Plan, with changes circled and noted Refer to the Site Plan Checklist for information needed on the proposed Site Plan. Letter of authorization from the property owner if application is submitted by an agent X Zone Atlas map with the entire site clearly outlined and labeled Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request. MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a) Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded Copy of the Official Notice of Decision associated with the prior approval Three (3) copies of the proposed Site Development Plan, with changes circled and noted Refer to the Site Plan Checklist for information needed on the proposed Site Plan. Letter of authorization from the property owner if application is submitted by an agent Zone Atlas map with the entire site clearly outlined and labeled Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request. □ ACCELERATED EXPIRATION SITE PLAN __ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c) Site Plan to be Expired Letter of authorization from the property owner if application is submitted by an agent Zone Atlas map with the entire site clearly outlined and labeled □ ALTERNATIVE SIGNAGE PLAN Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c) Required notices with content per IDO Section 14-16-6-4(K) Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives Sign Posting Agreement Letter of authorization from the property owner if application is submitted by an agent Zone Atlas map with the entire site clearly outlined and labeled □ ALTERNATIVE LANDSCAPE PLAN _ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16) Landscape Plan Letter of authorization from the property owner if application is submitted by an agent Zone Atlas map with the entire site clearly outlined and labeled I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete. Date: 06/08/21 Signature: Printed Name: Gina Kelly FOR OFFICIAL USE ONLY Project Number: Case Numbers PR-2018-001320 SI-2021-00853

Date:

Staff Signature:

SGA Design Group

Wednesday, June 9, 2021

Maggie Gould, Planning Manager City of Albuquerque Planning Department Land Development Coordination 600 Second Street NW Albuquerque, NM 87109

Re. Walmart #835.241 located at: 400 Eubank Blvd NE

The scope of work for this Administrative Amendment review is the for the OGP parking will be added at the front of the building in existing parking spaces. This will help customers benefit from using the Online Grocery Pickup Service and it will minimize travel distance and safety of the employees.

The designated OGP parking will be 27 double line widened spaces with 2 single lined spaces replacing the 38 that are current there.

The impact to the site will be minimal and we ask for approval so that we will be able to move forward with permitting with the City's Building Department.

If you have any questions, please do not hesitate to contact me.

Thank you,

Gina Kelly

SGA Design Group

1437 S Boulder Ave-Ste. 550

Tulsa, OK 74119

ginak@sgadesigngroup.com

LETTER OF AUTHORIZATION

January 21, 2021

City of Albuquerque 600 2nd Street NW S7102

To Whom It May Concern:

I hereby authorize:

Gina Kelly

SGA Design Group

1437 South Boulder, Suite 550

Tulsa, OK 74119 (918) 587-8600

To act as the agent on your behalf before the City of Albuquerque, NM for all the Walmart Stores that assigned to SGA Design Group within the jurisdiction of Albuquerque, NM.

Signature

State of: Arkeinsas

County of: Benton

Subscribed and sworn to before me this day of January, 2019.

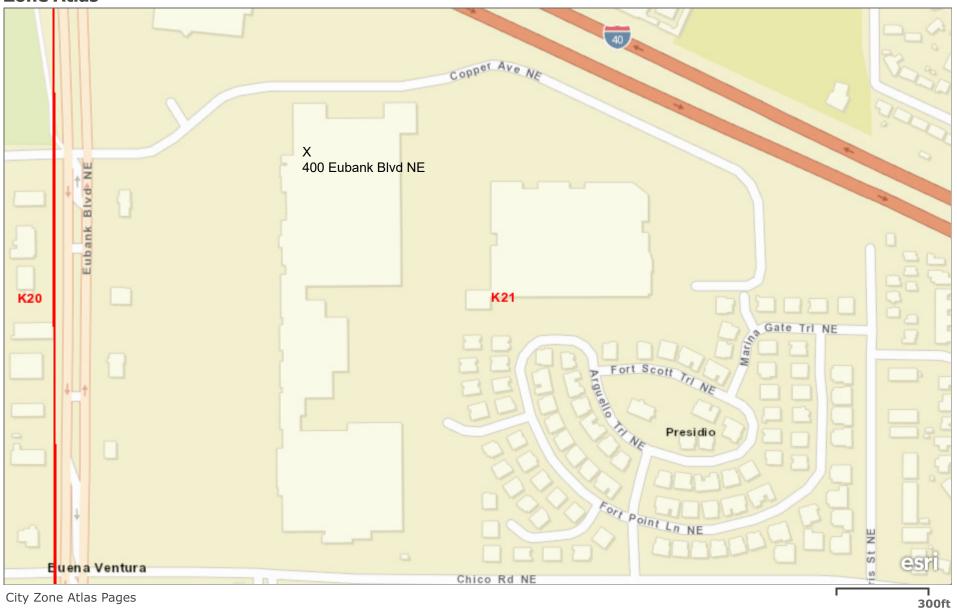
Notary Public Lighted Day of January, 2019.

My Commission Expires

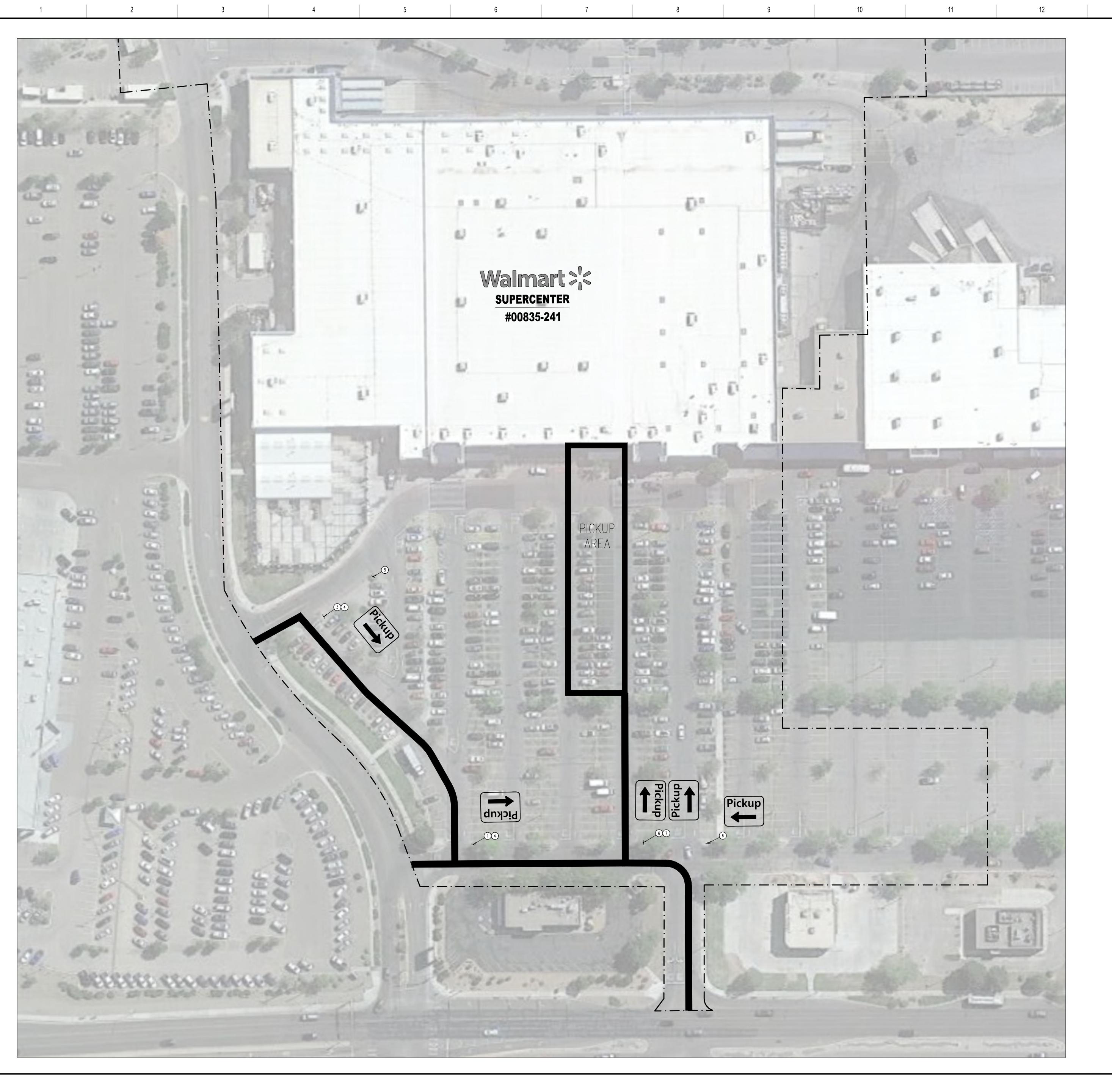
CRYSTAL UPHOFF
NOTARY PUBLIC
Benton County, Arkansas
Commission Expires 10/10/2026
Commission Number 12351038

12/8/2020 Zone Atlas

Zone Atlas



City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, NGA, USGS





- 1) PROPOSED PICKUP SIGNAGE, LEFT. SEE DETAIL SHEET FOR SIGNAGE AND LOCATION DETAILS.
- 2 PROPOSED PICKUP SIGNAGE, STRAIGHT. SEE DETAIL SHEET FOR SIGNAGE AND LOCATION DETAILS.
- (3) PROPOSED PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET FOR SIGNAGE AND LOCATION DETAILS.
- (4) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- 5 EXISTING SIGNAGE AND BASE TO BE REMOVED AND PROPERLY DISPOSED OF.
- (6) EXISTING SIGNAGE AND BASE TO REMAIN.
- 7 EXISTING DOUBLE SIDED SIGNAGE

SITE SIGNAGE LEGEND

PROPOSED PATH OF TRAVEL FOR PICKUP CUSTOMER.

PROPOSED PICKUP AREA

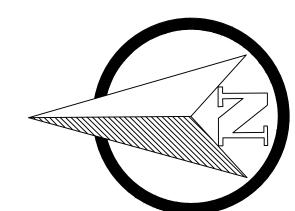
SITE SIGNAGE NOTES

 THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 10/4/2020. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.

2. REFERENCE SITE DETAILS FOR SIGN LOCATION & VESTIBULE CROSSWALK DETAILS FOR SITE SIGNAGE OFFSETS.

PICKUP EXTERIOR SIGN SC	HEDULE	
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	-
WAITING SPACES RIGHT	18 X 24	-
WAITING SPACES AHEAD	18 X 24	_
RESERVED WAITING	18 X 24	_
PICKUP LEFT PHARMACY RIGHT	18 X 24	_
PICKUP RIGHT PHARMACY LEFT	18 X 24	_
STOP THANKS FOR ORDERING	18 X 36	_
PICKUP HOURS	18 X 36	_
RESERVED	18 X 18	27
PHONE NUMBER	8 X 18	27
VERTICAL PICKUP	18 X 36	27
PICKUP LEFT	18 X 24	3
PICKUP AHEAD	18 X 24	0
PICKUP RIGHT	18 X 24	2

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Bradley.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



GRAPHIC SCALE

0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

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TORNAM
G162 S. Willow Drive, Suite 320
G162 S. Willow





ALBUQUERQUE, NM
400 EUBANK BLVD. NE
STORE NO: 00835-241

JOB NUMBER: SGA000835.20 | PROTO: PICKUP ENHNC

ISSUE BLOCK

PROTO CYCLE:

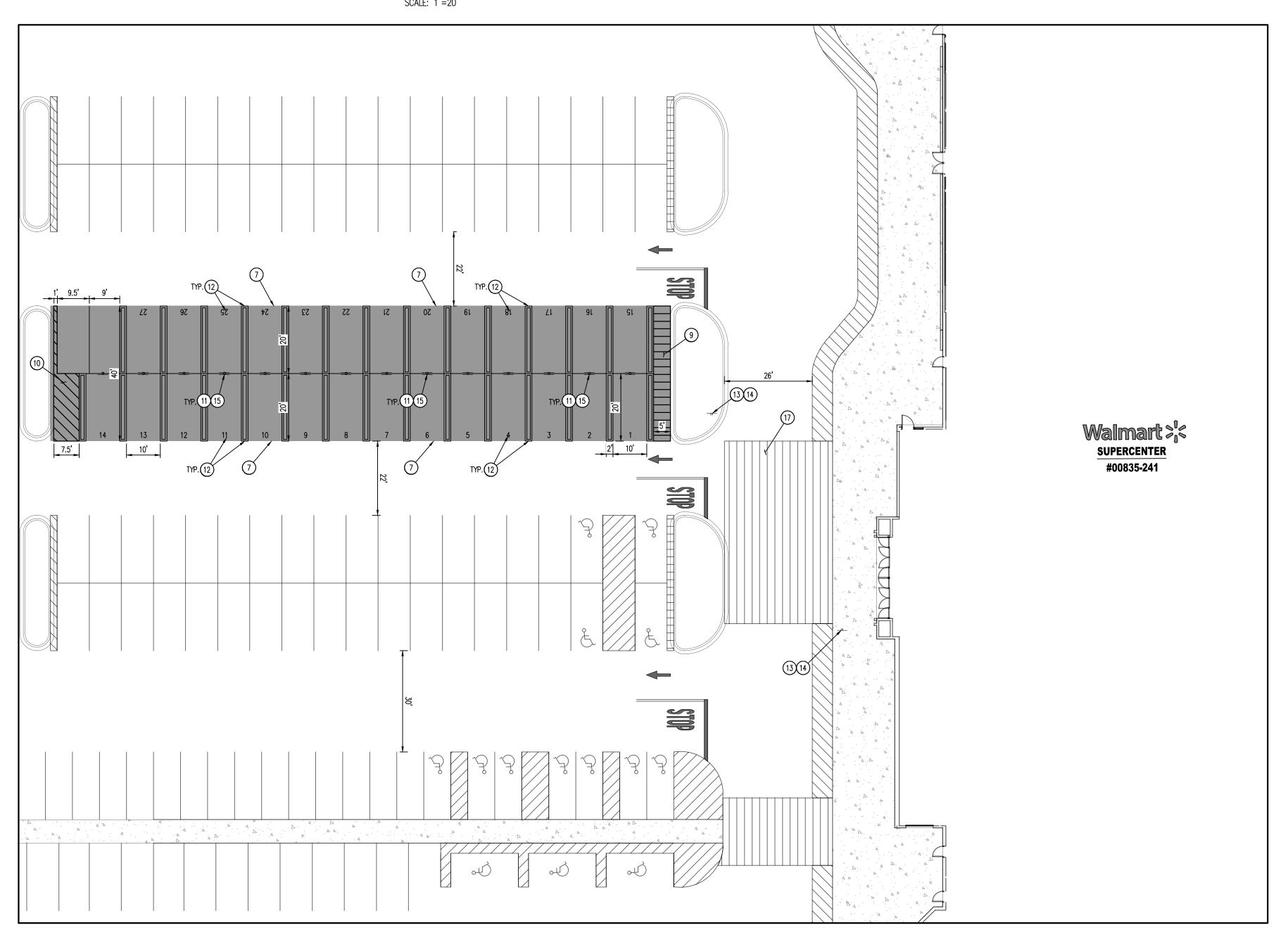
DOCUMENT DATE: 06/07/20

(ED BY: BDA

SITE SIGNAGE PLAN

SHEET: CS2

<u>DEMOLITION</u> PLAN - EXISTING PICKUP PARKING



SITE PLAN — PROPOSED PICKUP PARKING SCALE: 1"=20'

- 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR
- CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND
- BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONSITE LOCATIONS OF
- 5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S
- REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND
- 9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING
- TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK. 10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT
- 11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT
- 12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA
- OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER
- 14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
- BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN. 16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. 2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN

6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- DEMOLITION AND DISPOSAL. 3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY
- ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES. 4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE
- EXISTING UTILITIES. COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE
- 6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL
- 7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS
- 8. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING
- ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY
- DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP). OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO
- CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- PERFORMANCE CRITERIA. 13. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR
- ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- 15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR

- EXACT BUILDING UTILITY ENTRANCE LOCATIONS. 3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.

Walmart % SUPERCENTER

EXISTING TO REMAIN

EXISTING SIGN TO REMAIN

EXISTING SIGN TO BE REMOVED

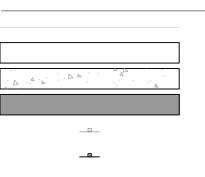
PROPOSED PICKUP SIGNAGE

EXISTING ASPHALT PAVEMENT TO REMAIN

EXISTING CONCRETE PAVEMENT TO REMAIN

PROPOSED SEAL COAT OF EXISTING PAVEMENT

LEGEND



SITE & DEMOLITION SCHEDULE

SITE & DEMOLITION SCHEDULE

- (1) EXISTING WALMART BUILDING TO REMAIN.
- 2 EXISTING CONCRETE PAVEMENT/SIDEWALK TO REMAIN.
- (3) EXISTING ASPHALT PAVEMENT TO REMAIN
- 4 EXISTING PARKING LOT STRIPING & PAVEMENT MARKING TO REMAIN.
- 5 EXISTING PARKING LOT STRIPING & PAVEMENT MARKING TO BE REMOVED.
- 6) EXISTING CURB AND GUTTER TO REMAIN. 7) PROPOSED SEAL COAT OF EXISTING PAVEMENT.
- (8) EXISTING PICKUP DOOR TO REMAIN (REF. ARCH PLANS).
- (9) PROPOSED ASSOCIATE PATH CROSSWALK STRIPING (REF. SITE DETAILS)
- (10) PROPOSED 4" SOLID YELLOW PAINTED STRIPES AT 45" @ 2'-0" O.C.
- (11) PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS)
- (12) PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
- (13) PROPOSED R1-5B "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS). (14) PROPOSED SIGN MOUNTING & BASE WITH BREAKAWAY POST (REF. SITE DETAILS)
- (15) PROPOSED SIGN MOUNTING AND BASE WITH BOLLARD (REF. SITE DETAILS).
- (16) EXISTING PICKUP SIGNAGE & BASE TO BE REMOVED

(17) EXISTING STRIPING TO BE USED AS ASSOCIATE PATH CROSSWALK

CHECKED BY: DRAWN BY: PROTO CYCLE:

DOCUMENT DATE: 06/07/20.

QUERQUI

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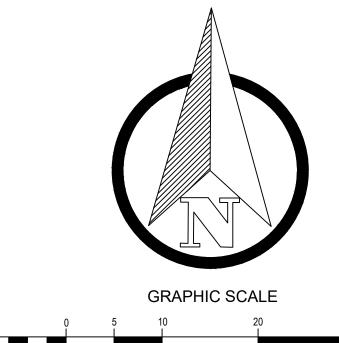
2021 MAJOR PROJECT

ISSUE BLOCK

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

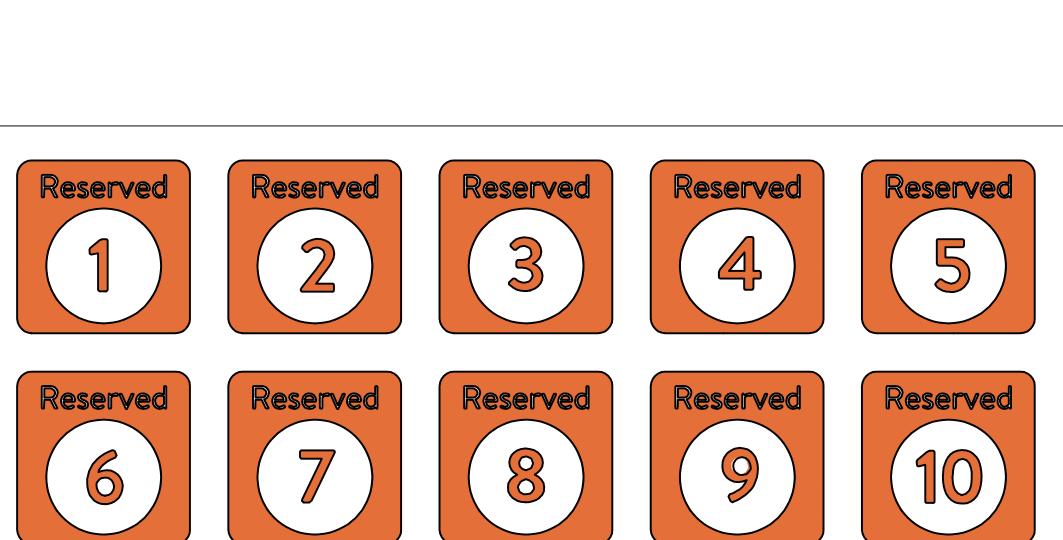
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

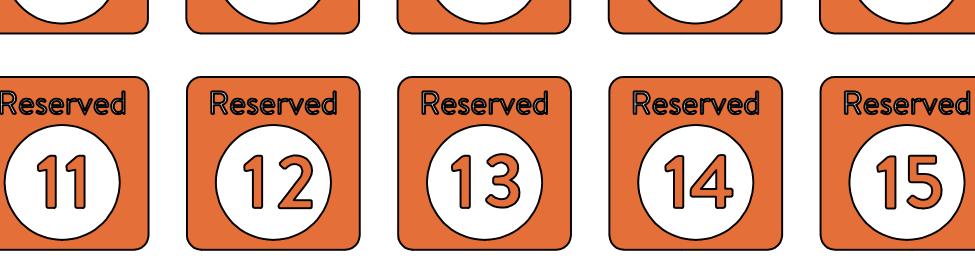


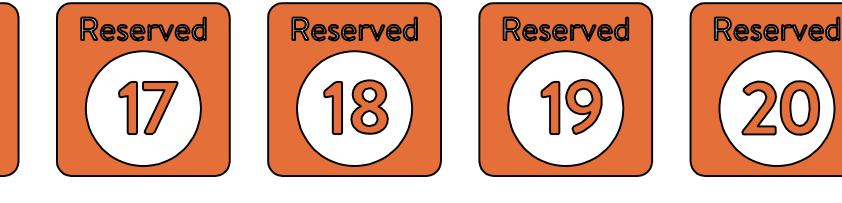
1 inch = 10 ft.

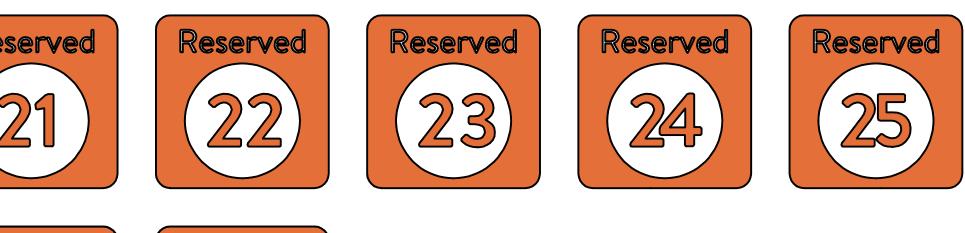
DEMOLITION AND SITE PLAN

CS1









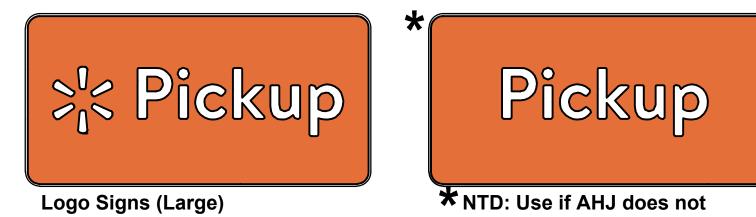




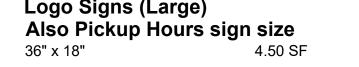
% Pickup

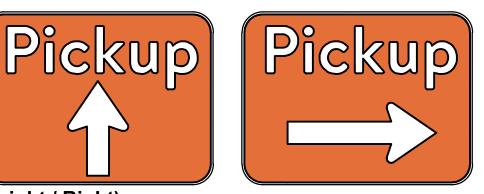
Logo Signs (Small)

18" x 8" 1.00 SF



allow Spark





Directional Signs (Left / Straight / Right)
18" x 24"
3.00 SF

"PICKUP" SIGNAGE



Call In Sign
18" x 8" 1.00 SF

NOTES:
1. SEE PLAN FOR DIRECTION OF ARROW.
2. UNLESS OTHERWISE NOTED:

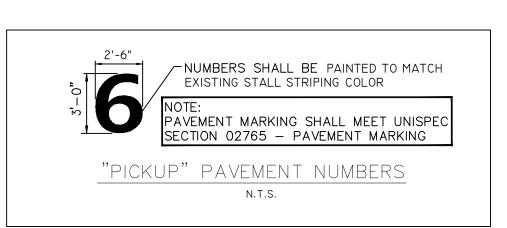
BACKGROUND COLOR SHALL BE ORANGE.

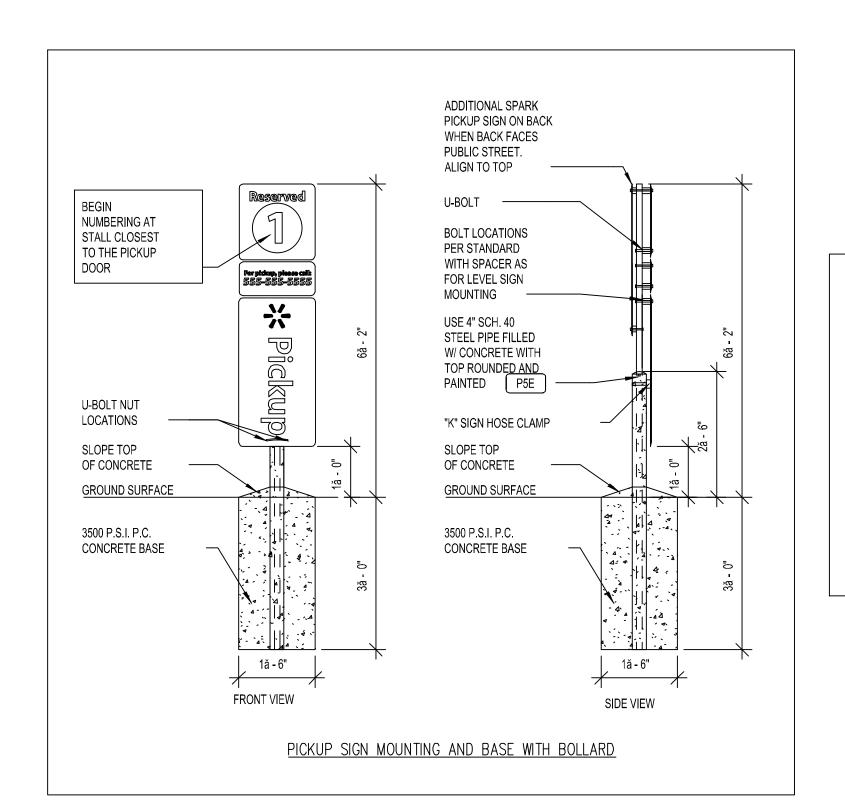
WALMART "SPARK" COLOR SHALL BE GOLD.

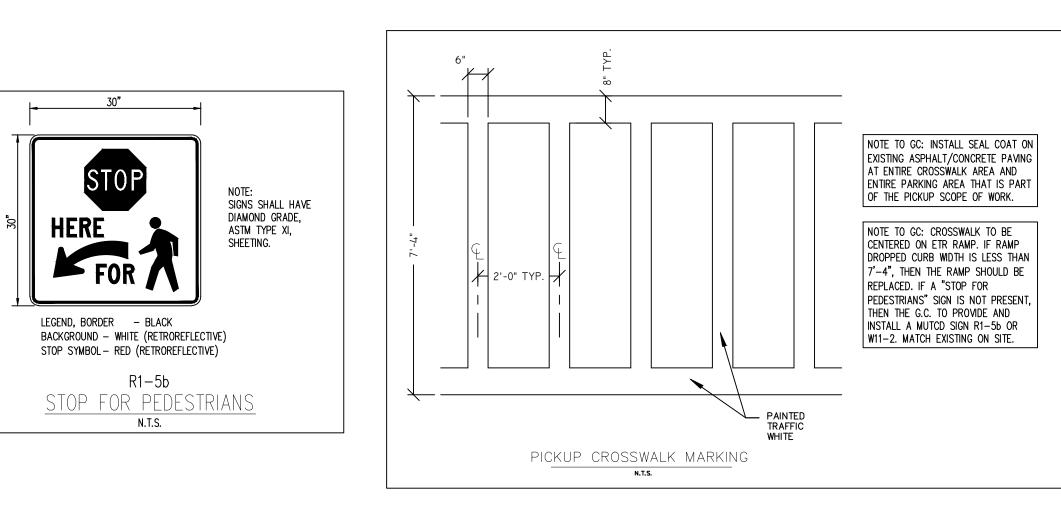
LEGEND AND ARROWS SHALL BE WHITE.

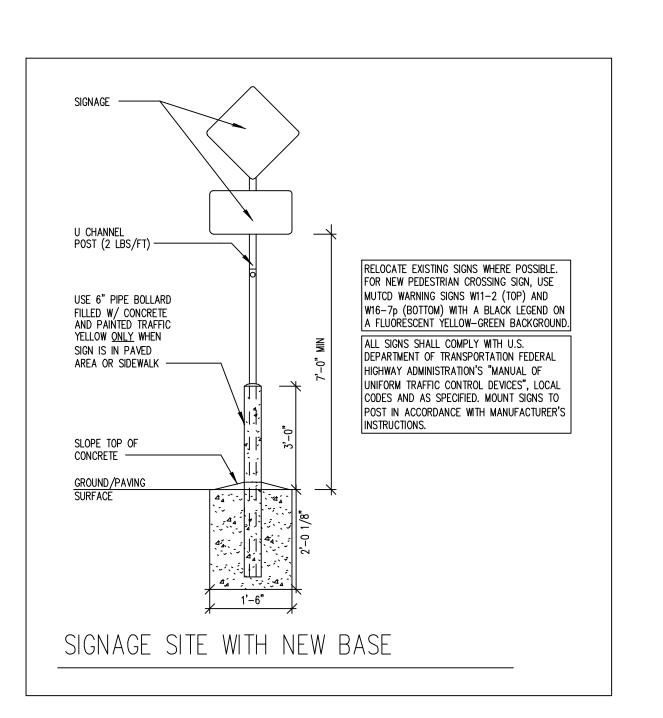
3. SIGNS SUPPLIED BY WALMART. INSTALLATION BY CONTRACTOR. SIGN DELIVERY TO BE COORDINATED BY CONTRACTOR.

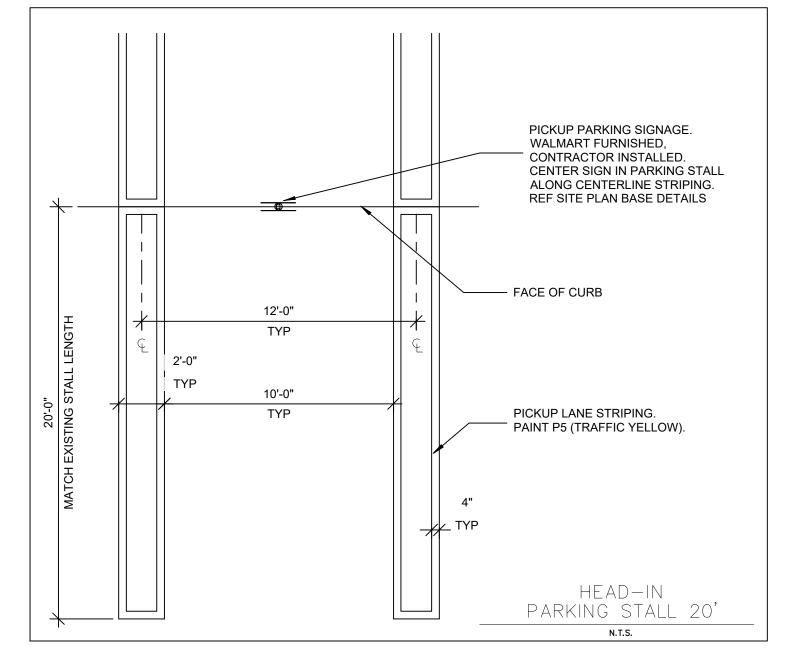
FINISH LEGEND		
P126	KNOCKOUT ORANGE SW#6885	
P5	SAFETY YELLOW	

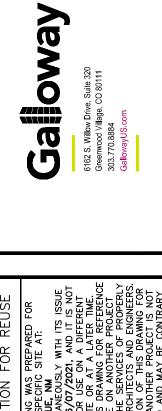


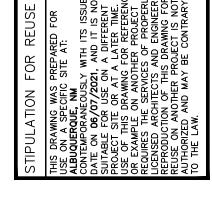








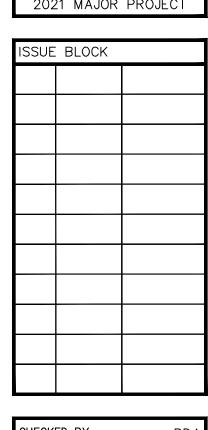






ALBUQUERQUE, NM

400 EUBANK BLVD. NE
STORE NO: 00835-241
JOB NITMBER: SIGADOR 35.201 PROTO: PICKTIP ENHINCHENT



CHECKED BY: BDA
DRAWN BY: DMH
PROTO CYCLE:
DOCUMENT DATE: 06/07/2021

SITE DETAILS

SHEET: CS3

SGA Design Group

Wednesday, June 9, 2021

Maggie Gould, Planning Manager City of Albuquerque Planning Department Land Development Coordination 600 Second Street NW Albuquerque, NM 87109

Re. Walmart #835.241 located at: 400 Eubank Blvd NE

The scope of work for this Administrative Amendment review is the for the OGP parking will be added at the front of the building in existing parking spaces. This will help customers benefit from using the Online Grocery Pickup Service and it will minimize travel distance and safety of the employees.

The designated OGP parking will be 27 double line widened spaces with 2 single lined spaces replacing the 38 that are current there.

The impact to the site will be minimal and we ask for approval so that we will be able to move forward with permitting with the City's Building Department.

If you have any questions, please do not hesitate to contact me.

Thank you,

Gina Kelly

SGA Design Group

1437 S Boulder Ave-Ste. 550

Tulsa, OK 74119

ginak@sgadesigngroup.com



CITY OF ALBUQUERQUE INVOICE

GINA KELLY

1437 S. BOULDER AVE - SUITE 550 SGA
DESIGN GROUP

Reference NO: SI-2021-00853 Customer NO: CU-97137236

DateDescriptionAmount6/09/21Application Fee (Manual)\$50.00

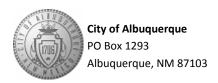
Due Date: 6/09/21 Total due for this invoice: \$50.00

Options to pay your Invoice:

1. Online with a credit card: http://posse.cabq.gov/posse/pub/lms/Default.aspx

2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



Date: 6/09/21 Amount Due: \$50.00

Reference NO: SI-2021-00853

Payment Code: 130

Customer NO: CU-97137236

GINA KELLY 1437 S. BOULDER AVE - SUITE 550 SGA DESIGN GROUP TULSA, OK 74119

լ/Մլի-ՄՄլ-Միիլ/ՄԱՄՈՒՈւթյանիկ/ՄՄՄԱ-ՄյուՄլի-Մի



July 19th, 2021

Jeanne Wolfenbarger

Email: <u>iwolfenbarger@cabq.gov</u>

Phone: 924-3991

Re: Wal-Mart at 400 Eubank Blvd., Administrative Amendment Request

Dear Jeanne.

Please find responses below in bold addressing the Transportation Development Comments received June 16th, 2021.

 Since the parking calculations showed that the site barely met parking requirements originally, please update parking calculations according to the updated parking reduction count based on conversion of parking spaces to pick-up space.

Response: Parking table has been added to the plan indicating existing parking count along with revised parking count & ratios.

2. Also, provide "Stop Here for Pedestrian" signs for the other crosswalk shown in front of the building on the new site plan for the pickup-up spaces.

Response: Pedestrian crossing signage exists as you travel "north" along the front drive aisle. A new pedestrian crossing sign and post has been added in the landscape area prior to the crosswalk heading "south" along the front drive aisle.

Please let us know if you have any additional questions/concerns.

Sincerely,

Ryan James, PE

Sr. Civil Project Manager Galloway & Company, Inc.



DEMOLITION PLAN — EXISTING PICKUP PARKING



SITE PLAN — PROPOSED PICKUP PARKING SCALE: 1"=20'

DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- 3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS
- RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

 4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONSITE LOCATIONS OF EXISTING UTILITIES.
- 5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- 6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- 7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND
- 8. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING
- 9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED
- TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.

 10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT

DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND

- EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).

 11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT
- 12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.

CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.

- 13. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE—APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
 QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR
- BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.

 16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS
- MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND
- EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

 3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH ALL COST SHALL BE INCLUDED IN
- PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

 6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

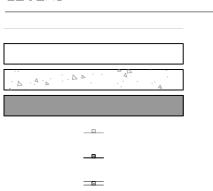
	PARKING TABLE				
	EXISTING	PROPOSED			
BUILDING AREA (SF)	209,184 SF	209,184 SF			
STANDARD STALLS	977	968			
ADA STALLS	26	26			
TOTAL PARKING STALLS	1003	994			
CART CORRALS	7	7			
PARKING RATIO	4.79 SPACES / 1,000 SF	4.75 SPACES / 1,000 SF			

PARKING COUNTS BASED ON GOOGLE EARTH IMAGERY DATED 10/04/2020



KEY MAP

LEGEND



EXISTING TO REMAIN

EXISTING ASPHALT PAVEMENT TO REMAIN

EXISTING CONCRETE PAVEMENT TO REMAIN

PROPOSED SEAL COAT OF EXISTING PAVEMENT

EXISTING SIGN TO REMAIN

EXISTING SIGN TO BE REMOVED

PROPOSED PICKUP SIGNAGE

SITE & DEMOLITION SCHEDULE

SITE & DEMOLITION SCHEDULE

- 1 EXISTING WALMART BUILDING TO REMAIN.
- 2 EXISTING CONCRETE PAVEMENT/SIDEWALK TO REMAIN.
- 3 EXISTING ASPHALT PAVEMENT TO REMAIN
- 4 EXISTING PARKING LOT STRIPING & PAVEMENT MARKING TO REMAIN.
- 5 EXISTING PARKING LOT STRIPING & PAVEMENT MARKING TO BE REMOVED.
- 6 EXISTING CURB AND GUTTER TO REMAIN.
- 7 PROPOSED SEAL COAT OF EXISTING PAVEMENT.
- 8 EXISTING PICKUP DOOR TO REMAIN (REF. ARCH PLANS).
- 9 PROPOSED ASSOCIATE PATH CROSSWALK STRIPING (REF. SITE DETAILS)
- (10) PROPOSED 4" SOLID YELLOW PAINTED STRIPES AT 45" @ 2'-0" O.C.
- PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS)
- 12) PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
- 13) PROPOSED R1-5B "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS).

 (14) PROPOSED SIGN MOUNTING & BASE WITH BREAKAWAY POST (REF. SITE DETAILS)
- (15) EXISTING PEDESTRIAN CROSSING SIGNAGE AND SIGN MOUNTING AND BASE TO REMAIN.
- (16) EXISTING PICKUP SIGNAGE & BASE TO BE REMOVED
- (17) EXISTING STRIPING TO BE USED AS ASSOCIATE PATH CROSSWALK

CHECKED BY:

DRAWN BY:

DMF

PROTO CYCLE:

DOCUMENT DATE: 06/07/202

QUERQUI

AI

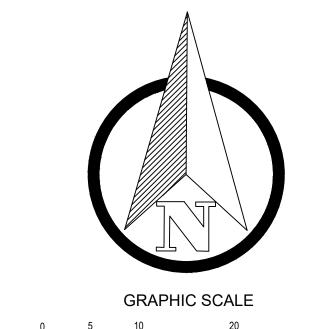
2021 MAJOR PROJECT

ISSUE BLOCK

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRAPHIC SCALE

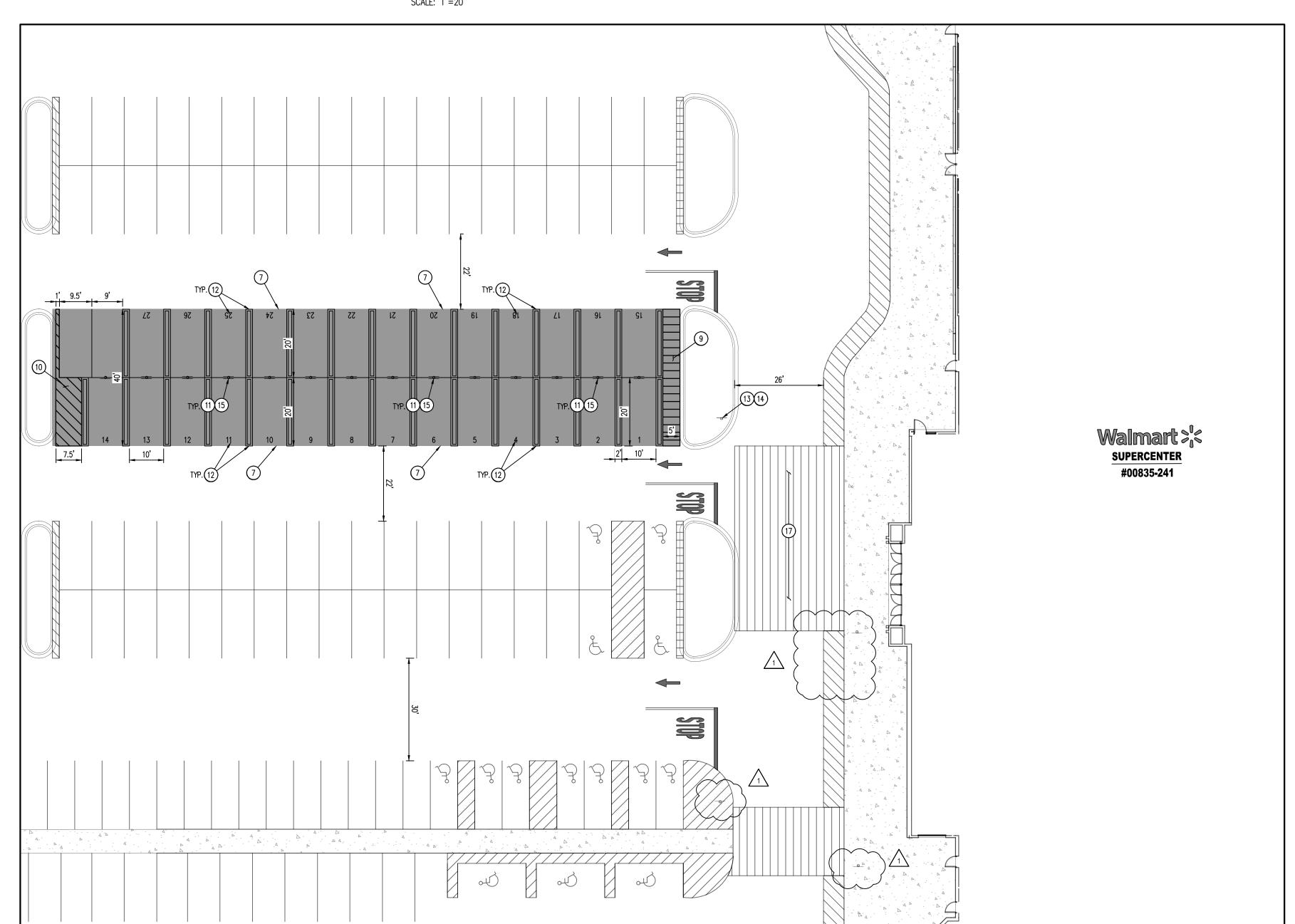
10 0 5 10 20

(IN FEET)
1 inch = 10 ft.

DEMOLITION AND SITE PLAN

SHEET: CS1

<u>DEMOLITION</u> PLAN - EXISTING PICKUP PARKING



SITE PLAN — PROPOSED PICKUP PARKING SCALE: 1"=20'

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE

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- TO USE FOR SUCH WORK. 10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND
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- 12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA
- 14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
- 15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN. 16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

BUILDING AREA (SF)

STANDARD STALLS

ADA STALLS TOTAL PARKING STALLS

PARKING RATIO & STALL COUNT REQ'D:

(PER IDO 14-16-5-5; TABLE 5-5-1)

PARKING RATIO

AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN

DEMOLITION NOTES

- SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONSITE LOCATIONS OF EXISTING UTILITIES.
- GROUTED IF UNDER BUILDING.
- 7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS
- 8. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING
- ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY
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- OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO
- CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- PERFORMANCE CRITERIA. 13. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER
- ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.

SITE NOTES

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. 2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND
- EXACT BUILDING UTILITY ENTRANCE LOCATIONS. 3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID. 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC.
- 6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

PROPOSED

209,184 SF

968

994

4 SPACES PER 1,000 SF GFA (834 STALLS)

4.75 SPACES / 1,000 SF

PARKING TABLE EXISTING

209,184 SF

977

1003

4 SPACES PER 1,000 SF GFA

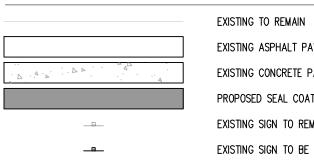
(834 STALLS)

4.79 SPACES / 1,000 SF

PARKING COUNTS BASED ON GOOGLE EARTH IMAGERY DATED 10/04/2020

Walmart % SUPERCENTER

LEGEND



EXISTING ASPHALT PAVEMENT TO REMAIN EXISTING CONCRETE PAVEMENT TO REMAIN PROPOSED SEAL COAT OF EXISTING PAVEMENT EXISTING SIGN TO REMAIN EXISTING SIGN TO BE REMOVED PROPOSED PICKUP SIGNAGE

SITE & DEMOLITION SCHEDULE

- (1) EXISTING WALMART BUILDING TO REMAIN.
- 2 EXISTING CONCRETE PAVEMENT/SIDEWALK TO REMAIN.
- (3) EXISTING ASPHALT PAVEMENT TO REMAIN
- (4) EXISTING PARKING LOT STRIPING & PAVEMENT MARKING TO REMAIN.
- 5 EXISTING PARKING LOT STRIPING & PAVEMENT MARKING TO BE REMOVED.
- (6) EXISTING CURB AND GUTTER TO REMAIN.
- 7) PROPOSED SEAL COAT OF EXISTING PAVEMENT.
- (8) EXISTING PICKUP DOOR TO REMAIN (REF. ARCH PLANS).
- (9) PROPOSED ASSOCIATE PATH CROSSWALK STRIPING (REF. SITE DETAILS)
- (10) PROPOSED 4" SOLID YELLOW PAINTED STRIPES AT 45" @ 2'-0" O.C.
- (11) PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS) (12) PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
- (13) PROPOSED R1-5B "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS).
- (14) PROPOSED SIGN MOUNTING & BASE WITH BREAKAWAY POST (REF. SITE DETAILS) (15) EXISTING PEDESTRIAN CROSSING SIGNAGE AND SIGN MOUNTING AND BASE TO REMAIN.
 - (16) EXISTING PICKUP SIGNAGE & BASE TO BE REMOVED

(17) EXISTING STRIPING TO BE USED AS ASSOCIATE PATH CROSSWALK

CHECKED BY: DRAWN BY: PROTO CYCLE: DOCUMENT DATE: 06/07/20.

AI

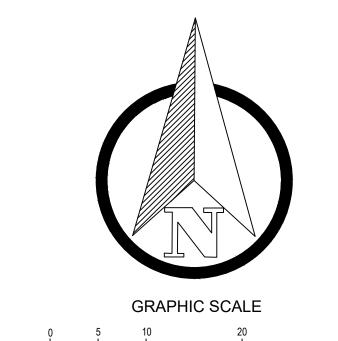
2021 MAJOR PROJECT

ISSUE BLOCK

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



1 inch = 10 ft.

DEMOLITION AND SITE PLAN

CS1