

**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

\_\_\_\_\_

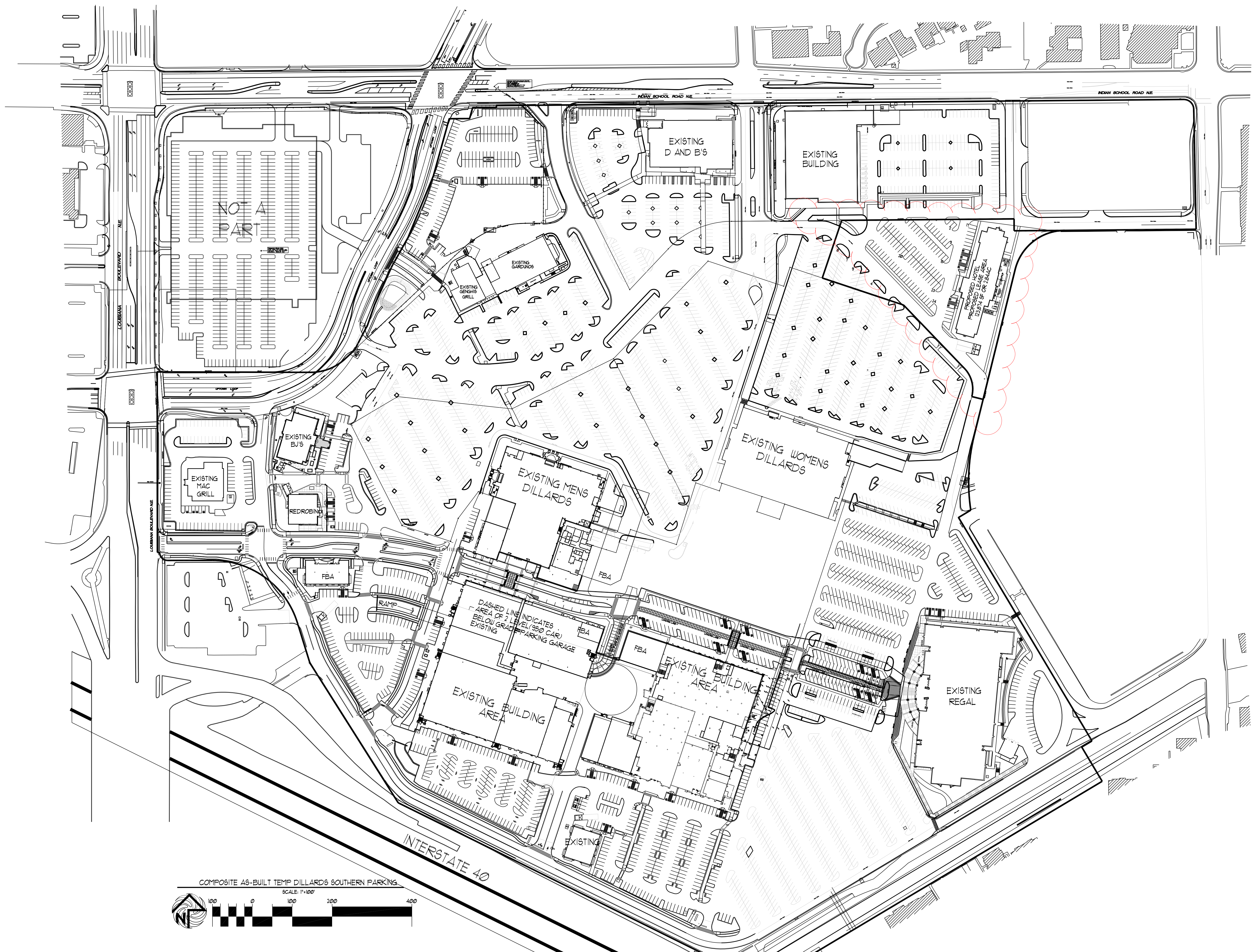
\_\_\_\_\_

\_\_\_\_\_

**APPROVED BY**

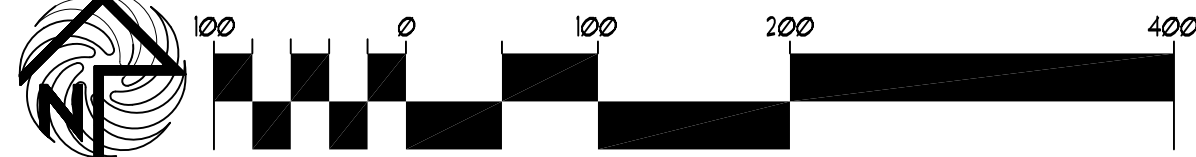
**DATE**



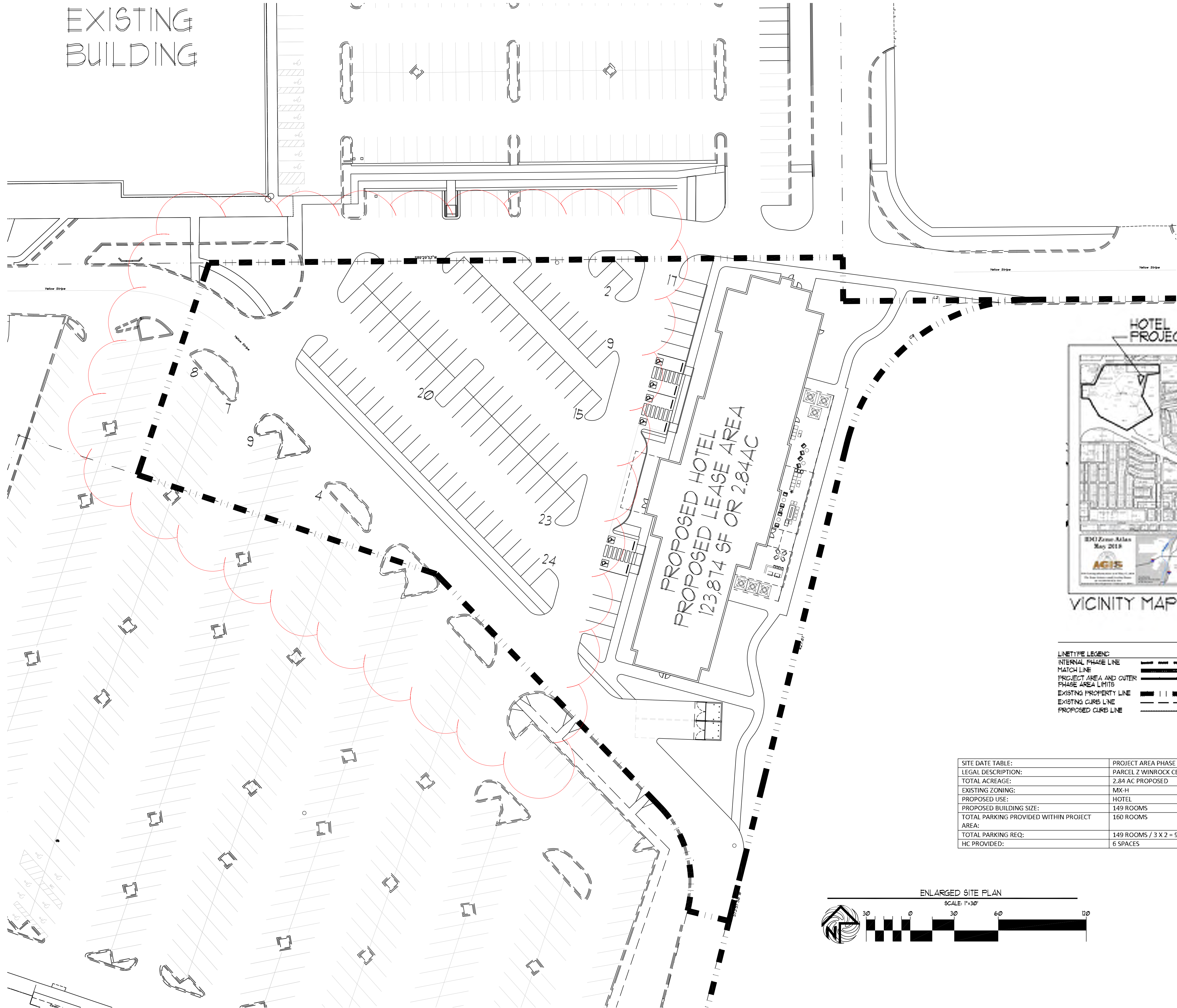


COMPOSITE A6-BUILT TEMP DILLARDS SOUTHERN PARKING

SCALE: 1"=100'



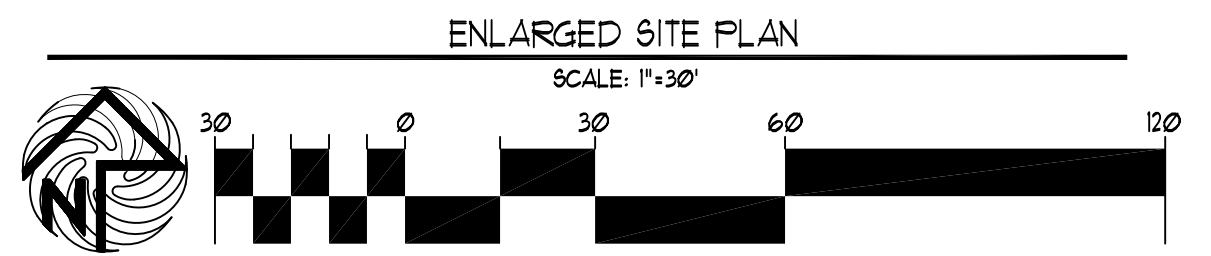




**LINE TYPE LEGEND**

INTERNAL PHASE LINE	— — — — —
MATCH LINE	— — — — —
PROJECT AREA AND OUTER PHASE AREA LIMITS	— — — — —
EXISTING PROPERTY LINE	— — — — —
EXISTING CURB LINE	— — — — —
PROPOSED CURB LINE	— — — — —

SITE DATE TABLE:	PROJECT AREA PHASE LIMITS (LO)
LEGAL DESCRIPTION:	PARCEL Z WINROCK CENTER ADDITION
TOTAL ACREAGE:	2.84 AC PROPOSED
EXISTING ZONING:	MX-H
PROPOSED USE:	HOTEL
PROPOSED BUILDING SIZE:	149 ROOMS
TOTAL PARKING PROVIDED WITHIN PROJECT AREA:	160 ROOMS
TOTAL PARKING REQ:	149 ROOMS / 3 X 2 = 99 REQUIRED PARKS
HC PROVIDED:	6 SPACES



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: WINROCK TOWN CENTER  
 2100 LOUISIANA BLVD NE  
 ALBUQUERQUE, NEW MEXICO

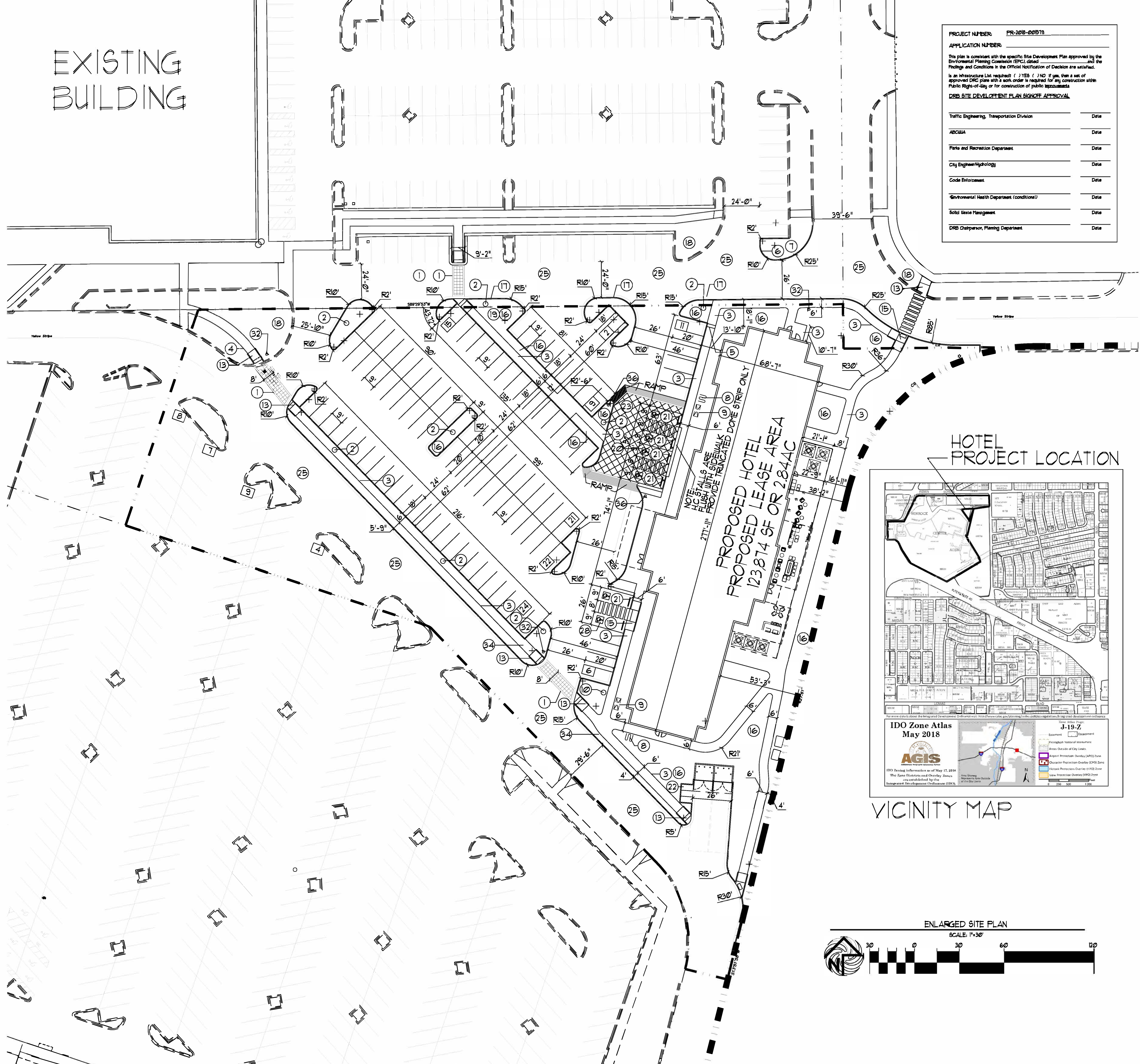
PROJECT MANAGER: STEPHEN DUNBAR, AIA  
 JOB NO.: WIN-HOTEL  
 DRAWN BY: XXX

SHEET TITLE: PROPOSED HOTEL DEVELOPMENT

DATE: 1/11/21  
 SCALE: SP = 1A2  
 RE: SCALE



EXISTING BUILDING



PROJECT NUMBER: PR-208-00278

APPLICATION NUMBER:

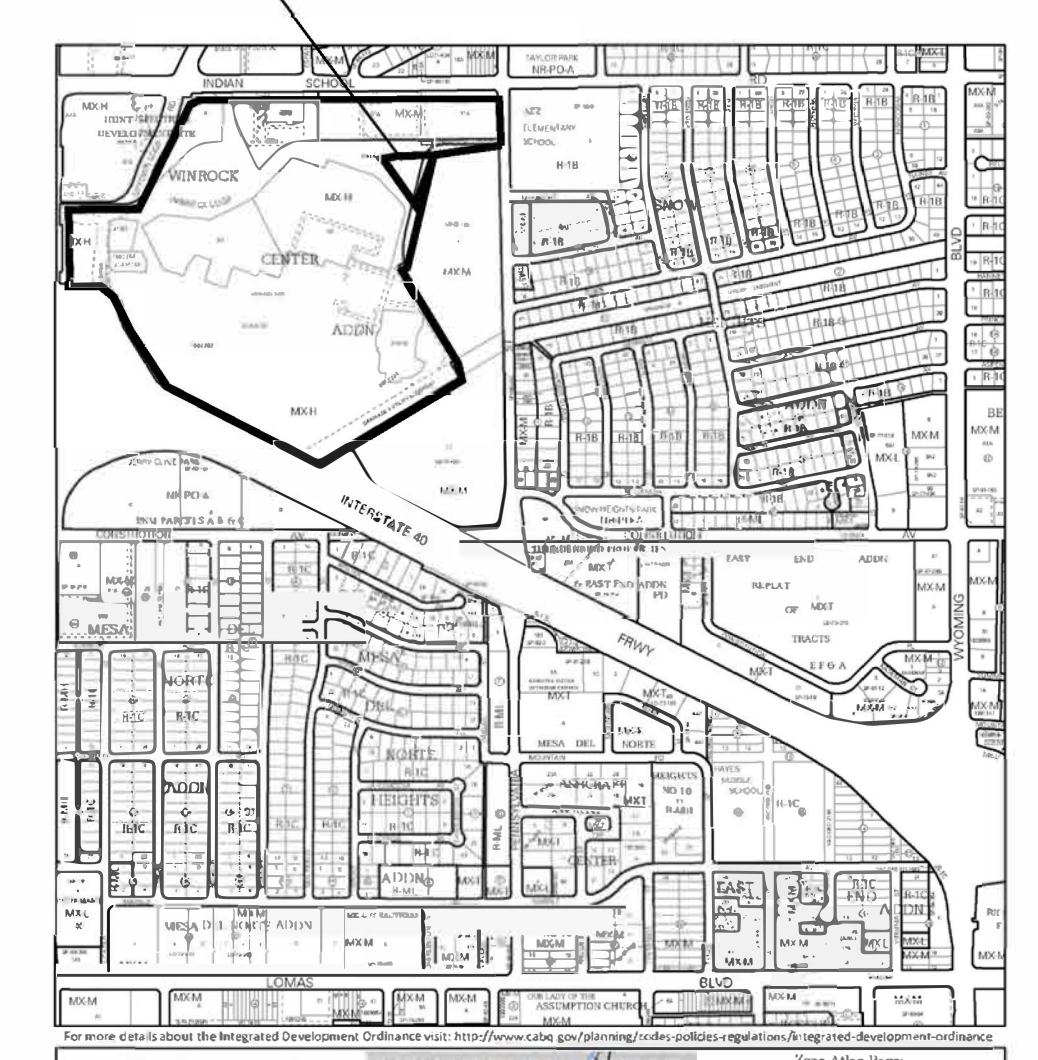
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? (YES / NO) If yes, then a set of approved EPC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRS SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
ARCSMA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRS Chairperson, Planning Department	Date

- KEYED NOTE:
- INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A/1
  - 20' LIGHT POLE LOCATION RE: DETAIL 3/A/1
  - INTEGRALLY COLORED CONC. SIDEWALK RE: DET 2/A/2
  - INDICATES EXISTING SIDEWALK AREA TO REMAIN
  - INDICATES NEW CONC. SIDEWALK FLUME WITH STEEL COVER PLATE RE: DETAIL 12/A/2
  - INDICATES NEW TEMP ASPHALT 6" EXTRUDED CURB
  - INDICATES OFFSITE TEMP LANDSCAPE AREA TO BE GRAVELED ONLY (RE: LANDSCAPE PLAN)
  - INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 11/A/2 TYPICAL BIKE RACK GRAPHIC SYMBOL = [Symbol]
  - BENCH LOCATION TYPICAL BENCH GRAPHIC SYMBOL = [Symbol]
  - TRASH RECEPTACLE [Symbol]
  - 6" STEEL BOLLARD WITH CUSTOM CAP
  - HANDICAP RAMP RE: 15/A/1
  - HANDICAP RAMP RE: 16/A/1
  - HANDICAP RAMP RE: 12/A/1
  - HANDICAP RAMP RE: 17/A/1
  - INDICATES LANDSCAPE AREA G.C TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
  - INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A/1 FOR KNOTCH DETAIL
  - NOT A PART-FUTURE REDEVELOPMENT PHASE
  - 6" HIGH CONC. ISLAND RE: DET 4/A/1 RE: SITE GRADING PLAN FOR INFO
  - DUAL CONFIGURATION HC PARKING STALL RE: DET 9/A/2
  - WHEELSTOP RE: DET 5/A/2
  - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION NOTE: EACH ONSITE STALL MEASURES 4' X 8' IN SIZE RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A/2 FOR 'MOTOR CYCLE PARKING' SIGN DETAIL
  - EXTERIOR DECORATIVE RAISED CONCRETE PED. ENTRY AREA RE: DETAIL 20/A/1
  - INDICATES PROPOSED CURBING TO RECEIVE FIRE STRIPE PAINT CURB RED IN COLOR
  - EXISTING ASPHALT DRIVE TO REMAIN
  - NEW ASPHALT DRIVE RE: CIVIL FOR GRADES/PROFILE
  - TIE NEW SIDEWALK INTO FACE OF EXISTING SIDEWALK LOCATION
  - HC PARKING STALL RE: DET 5/A/2
  - INDICATES HOTEL/TENANT WORK SCOPE AREA
  - INDICATES EXISTING PAVEMENT/FLATWORK/LANDSCAPE/CURB AND GUTTER TO BE REMOVED
  - INDICATES ISLAND AND LANDSCAPING TO REMAIN
  - INDICATES STOP SIGN LOCATION RE: DET 3A/A/2
  - INDICATES CLEAR SITE TRIANGLE. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8' FEET TALL, AS MEASURED FROM THE GUTTER PAN ARE NOT ALLOWED WITHIN CLEAR SITE TRIANGLE AREA
  - INDICATES REFUSE ENCLOSURE LOCATION RE: DET 4/A/3
  - INDICATES SPEED HUMP SIGN LOCATION RE: DET 3B/A/2
- NOTE: REFER TO PLAT FOR ALL EXISTING EASEMENTS WITHIN PROJECT SCOPE AREA. SLOPE NOT TO EXCEED 8%.

HOTEL PROJECT LOCATION



AGIS IDO Zone Atlas May 2018

J-19-Z

Equipment [Symbol] Equipment [Symbol]

Area Outside of City Limits [Symbol]

Report Protection Overlay (RPO) Zone [Symbol]

Developer Protection Overlay (DPO) Zone [Symbol]

Historic Preservation Overlay (HPO) Zone [Symbol]

Vista Protection Overlay (VPO) Zone [Symbol]

AGIS

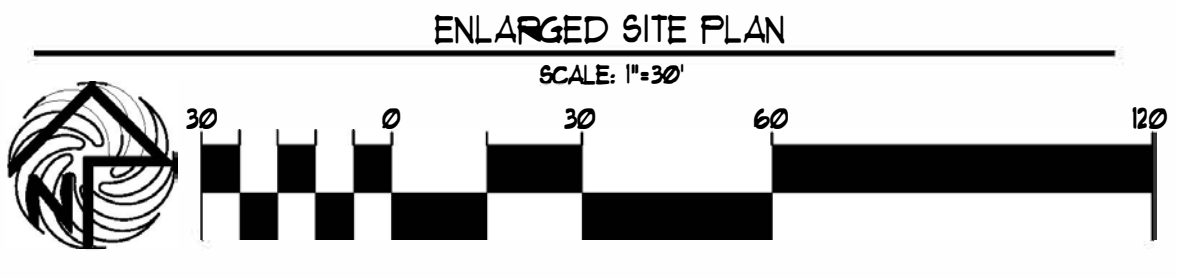
80% Planning Information as of Map 11, 2018. The Zone Features and Overlay Zones are not established by this map and are subject to change without notice. (1993)

VICINITY MAP

SITE DATA TABLE	PROJECT AREA PHASE LIMITS (LOT-A-1-A-1-A)
LEGAL DESCRIPTION	PARCEL 1-A-1 UNROCK CENTER ADDITION
TOTAL ACREAGE:	2.84 ACRES PROPOSED
EXISTING ZONING:	MX-H
PROPOSED USE:	HOTEL
PROPOSED BUILDING SIZE:	143 ROOMS
TOTAL PARKINGS PROVIDED WITHIN PROJECT AREA:	138 PARKS
TOTAL PARKING REQ.:	143 ROOMS / 3 X 2 = 99 REQUIRED PARKS
HC PROVIDED:	6 SPACES (NOTE: ALL SPACES VAN ACCESSIBLE)
HC REQUIRED:	6 SPACES
BIKE SPACES PROVIDED:	10 SPACES
BIKE SPACES REQUIRED:	6 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
MOTORCYCLE SPACES REQUIRED:	3 SPACES

LINETYPE LEGEND

INTERNAL PHASE LINE	[Symbol]
MATCH LINE	[Symbol]
EXISTING PROPERTY LINE	[Symbol]
EXISTING CURB LINE	[Symbol]
PROPOSED CURB LINE	[Symbol]



REV	DATE	BY	REVISION
1			
2			
3			
4			

**MODULUS ARCHITECTS**

100 SUN AVE. N.W. SUITE 600  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO

STEPHEN A. DUNBAR, AIA

No. 4218

REGISTERED ARCHITECT

PROJECT TITLE: WINROCK TOWN CENTER

2020 LOUISIANA BLVD. NE ALBUQUERQUE, NEW MEXICO

JOB NO. WIN-HOTEL

PROJECT MANAGER: STEPHEN DUNBAR, AIA

SHEET TITLE: PROPOSED HOTEL SITE PLAN

DRAWN BY: S

DATE: 2/16/2021

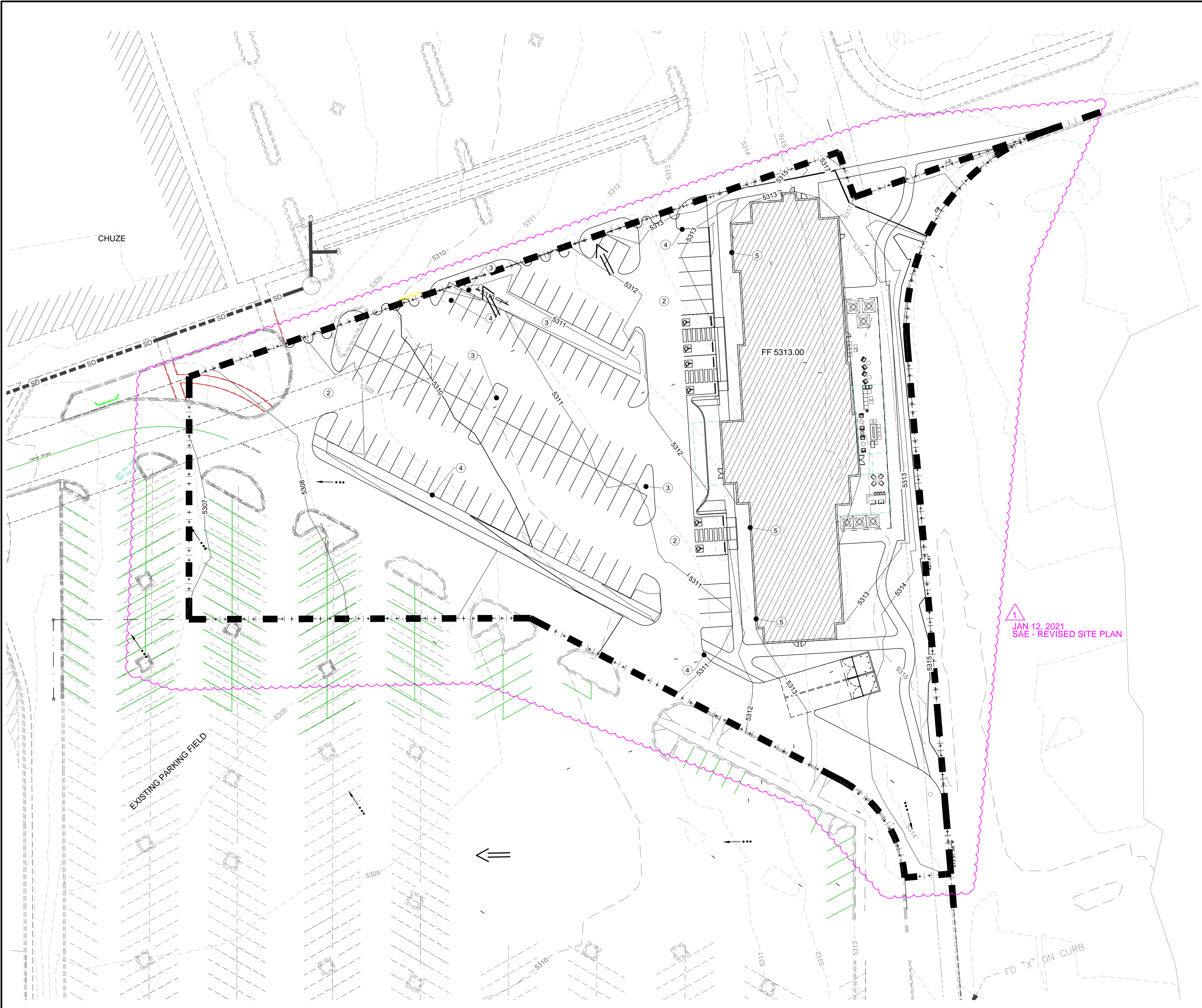
SCALE: 1"=30'

RE: SCALE

SHEET NO. 5 OF 17



Plotted: 1/12/2021 12:46:55 PM, By: EdLings, Scott  
 Last Saved: 1/12/2021 12:40:00 PM, sxd5d5p



**GRADING PLAN**

- CONSTRUCTION NOTES**
- 1 CONSTRUCT 6" ASPHALT CURB PER COA STD. DWG. 2415
  - 2 CONSTRUCT 3" SP-C ASPHALT PARKING LOT.
  - 3 STORM WATER QUALITY POND
  - 4 CURB CUT
  - 5 ROOF DRAIN

- LEGEND**
- DISCHARGE LOCATION
  - FLOW DIRECTION
  - LIMITS OF DISTURBANCE
  - HIGH POINT

**EARTHWORK SUMMARY**

CUT: 1.00 CUBIC YARDS  
 FILL: 1.600 CUBIC YARDS  
 NET: 500 CUBIC YARDS (FILL)

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT "1_H19A"	DATE	NO.	BY		REVISIONS
WORK BY	DATE	A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST	DATE	DATE	BY		DATE: DEC 2019
INSPECTOR'S	DATE	0.1 FEET BELOWGROUND LEVEL AND IS STAMPED "1-H19A, 1989"	DATE	DESIGNED BY: NV	DATE: DEC 2019	DESIGNED BY: NV	DATE: DEC 2019
DATE	DATE	X = 1548338.44	DATE	DRAWN BY: LT	DATE: DEC 2019	DRAWN BY: LT	DATE: DEC 2019
DATE	DATE	Y = 1493076.47	DATE	CHECKED BY: SE	DATE: JAN 1, 2020	CHECKED BY: SE	DATE: JAN 1, 2020
DATE	DATE	ELEVATION IS 5326.611 (NWD 1988)	DATE				
DATE	DATE		DATE				

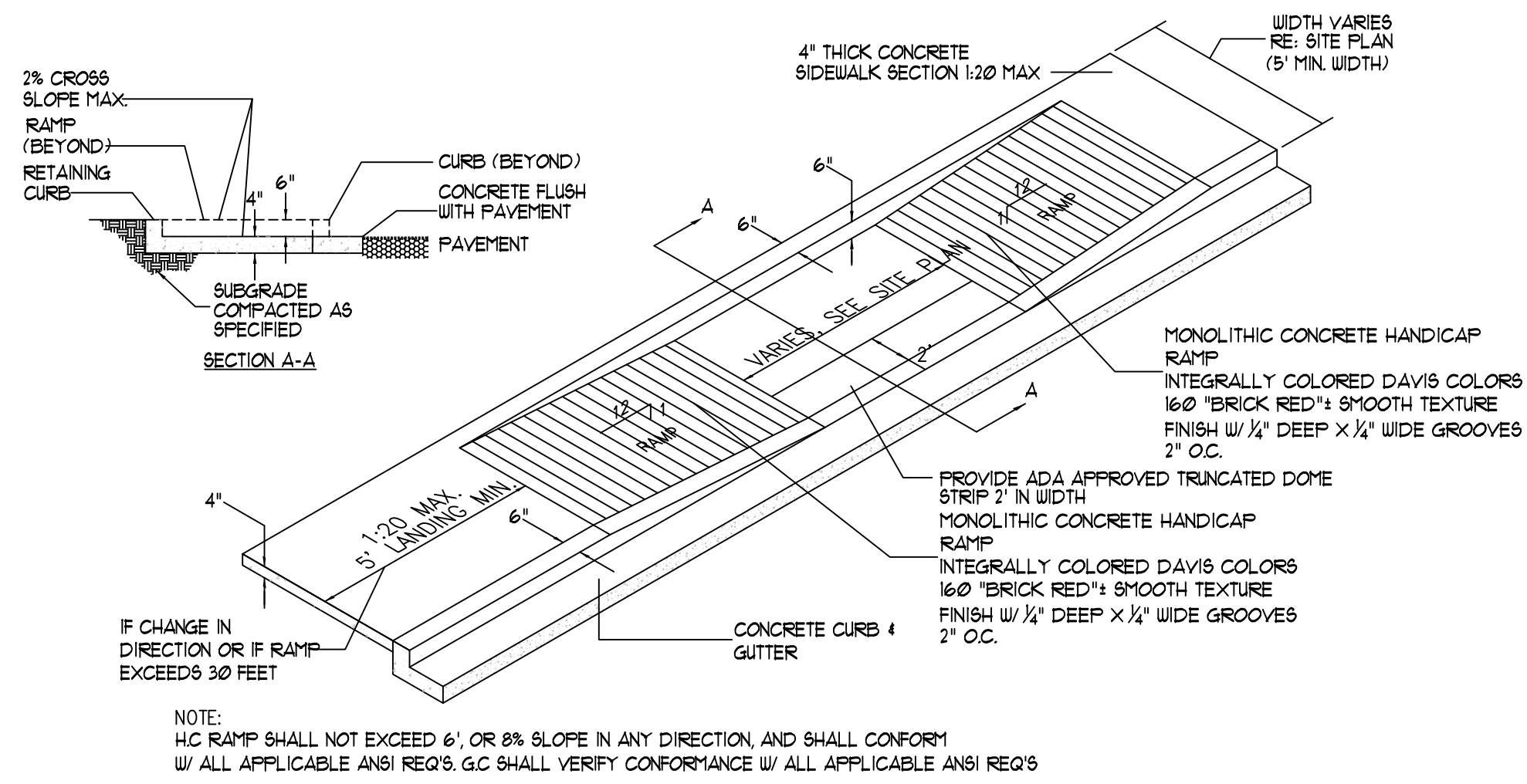
Designed By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Albuquerque  
 6501 Americas Parkway NE, Suite 550  
 Albuquerque, New Mexico 87110  
 Phone (505) 883-8114 Fax (505) 883-5022

**HOTEL @ WINROCK TOWN CENTER ALBUQUERQUE, NM**

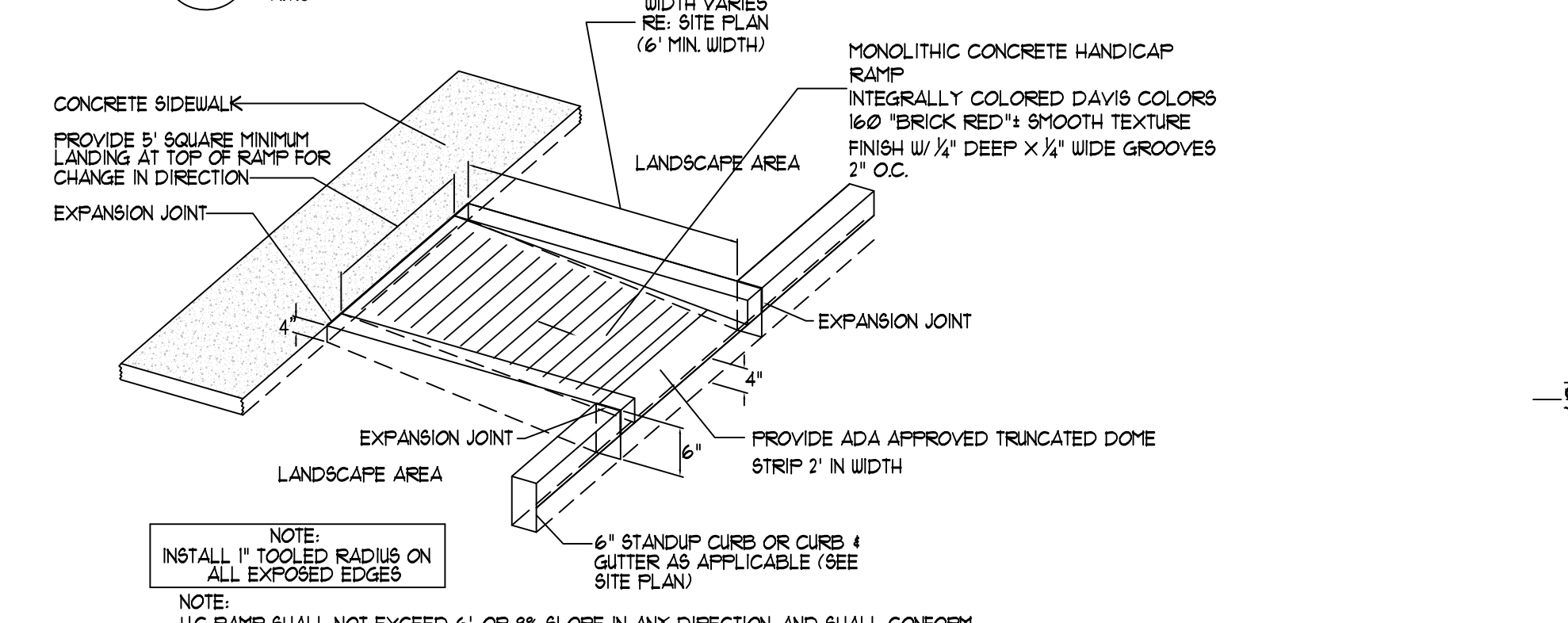
TITLE: **GRADING PLAN FOR DRB SITE PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXX.XX	J-19	C102	

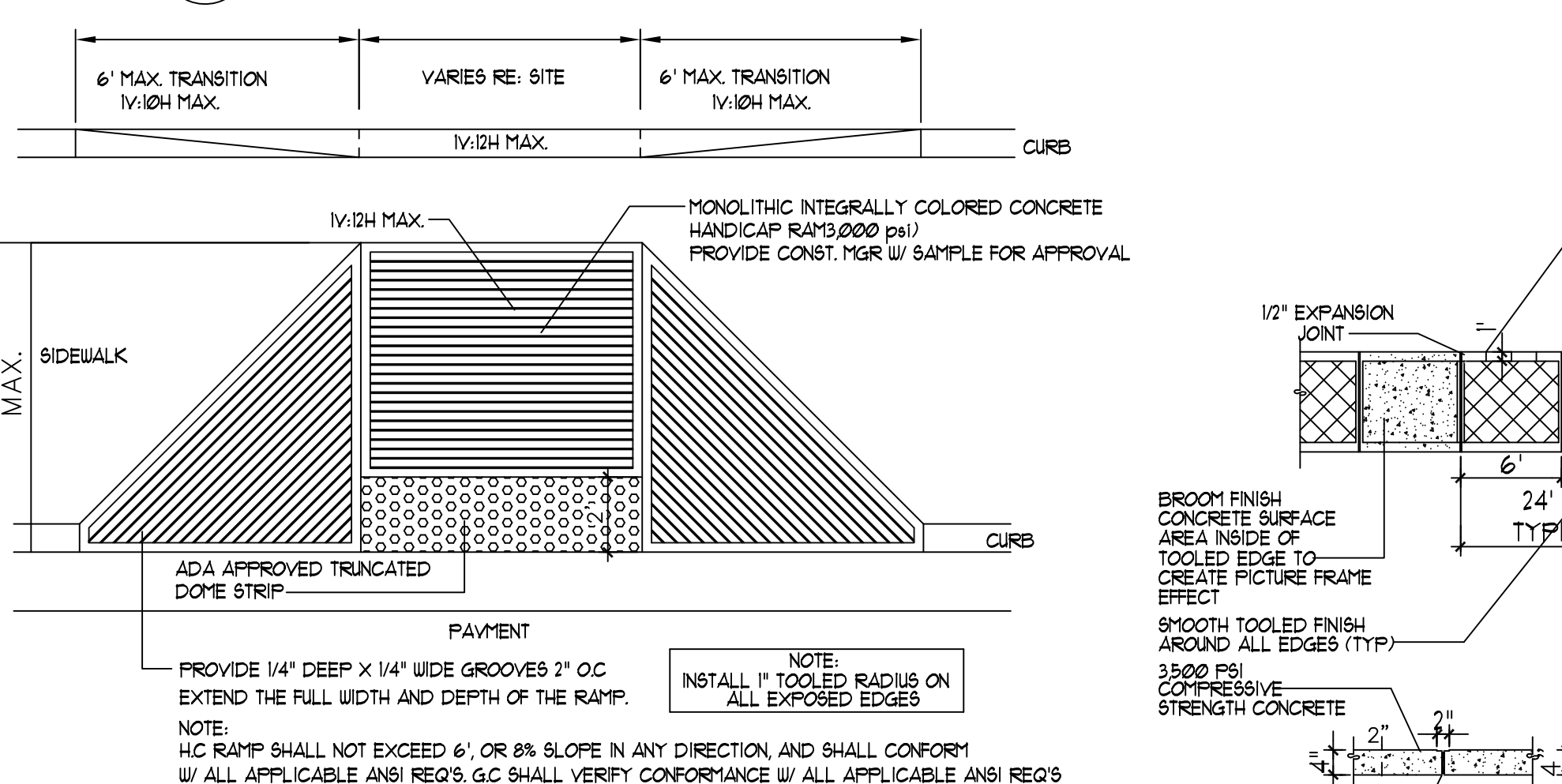




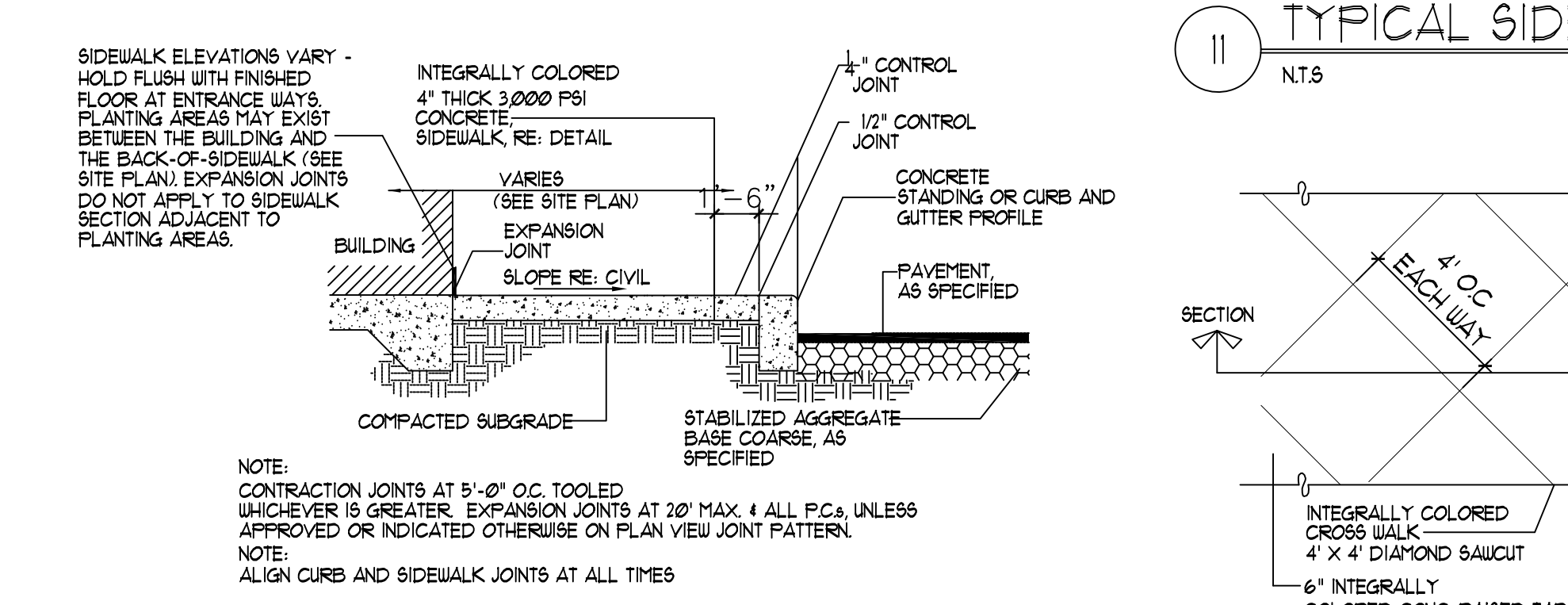
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NT.S



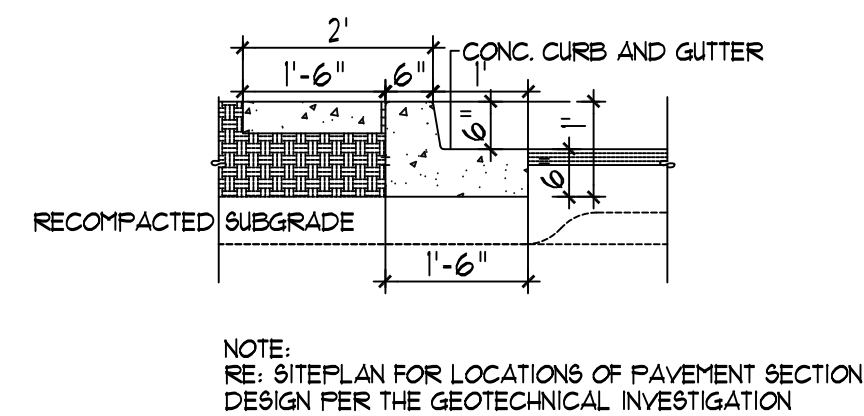
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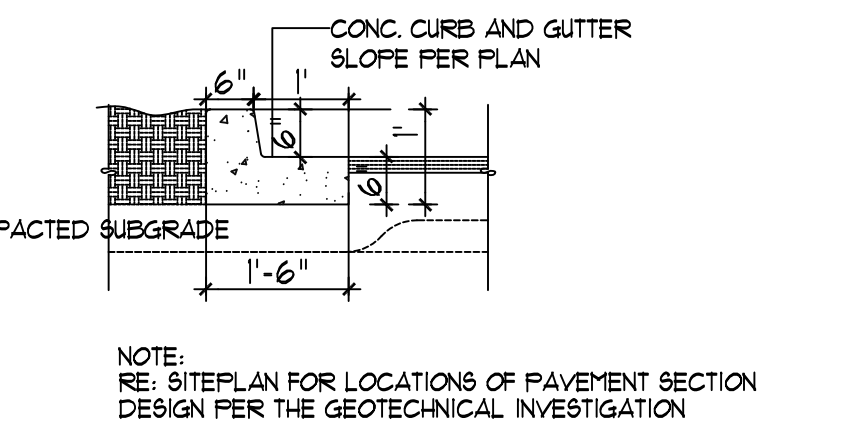
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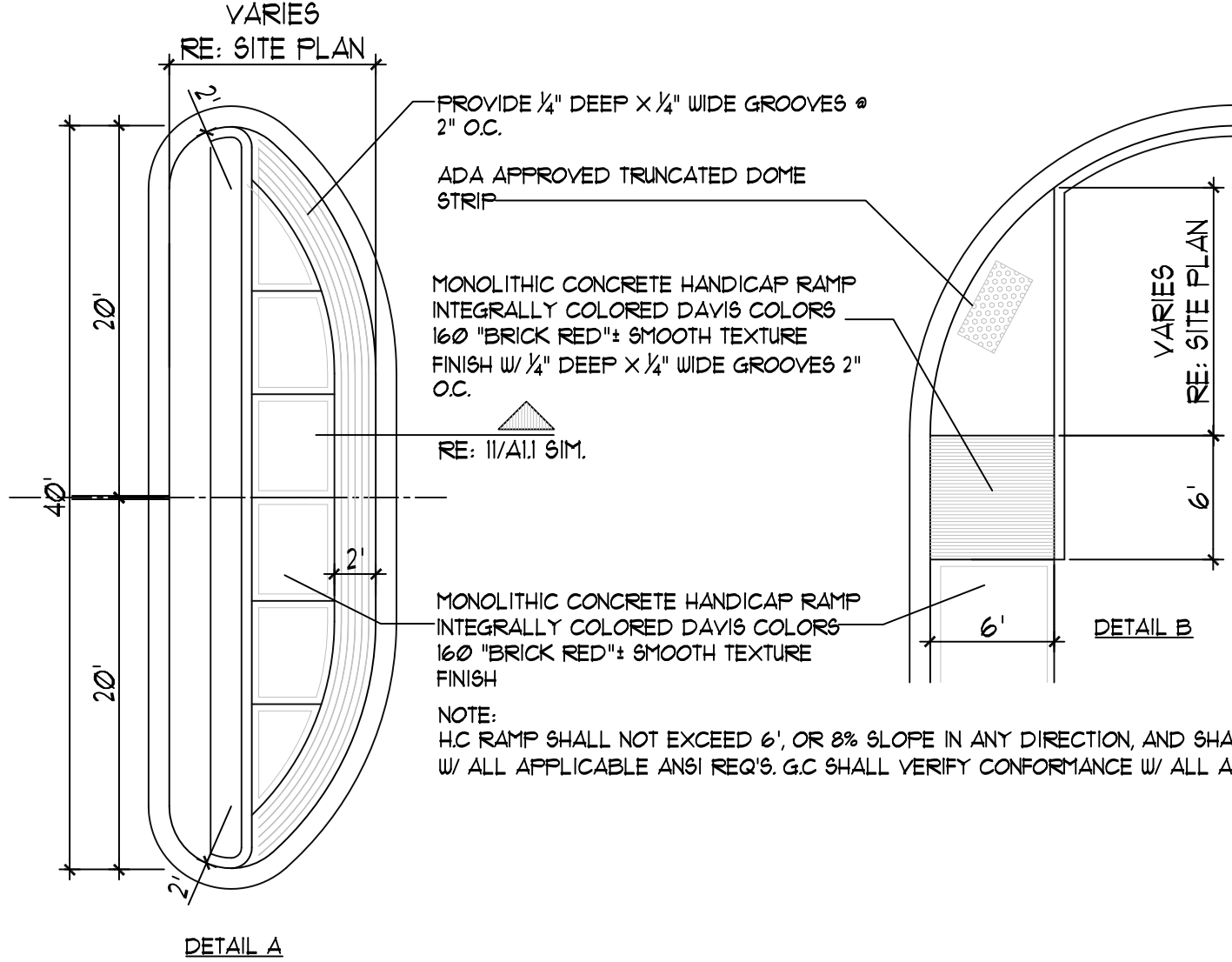
14 SIDEWALK W/ TURNDOWN CURB SECTION  
NT.S



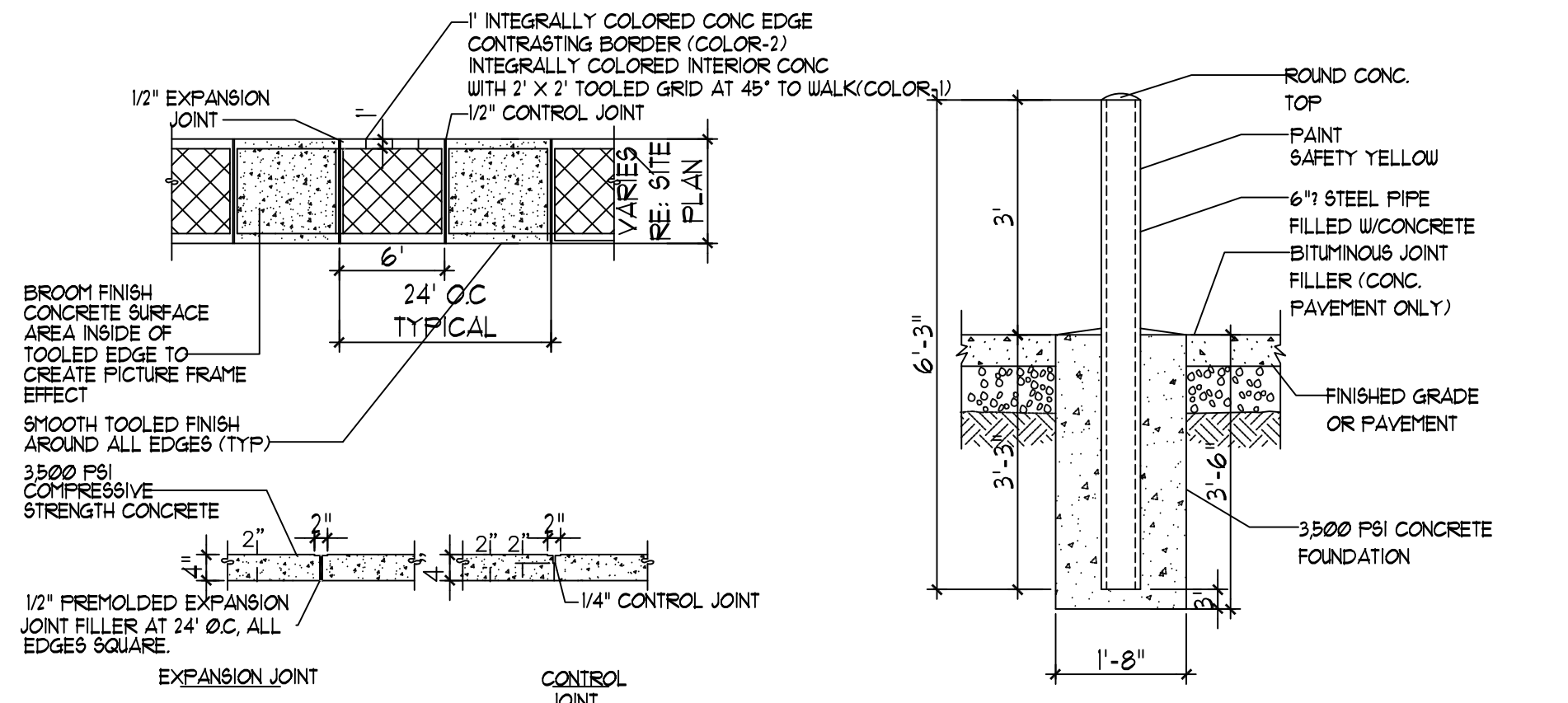
19 ISLAND CURB DETAIL  
NT.S



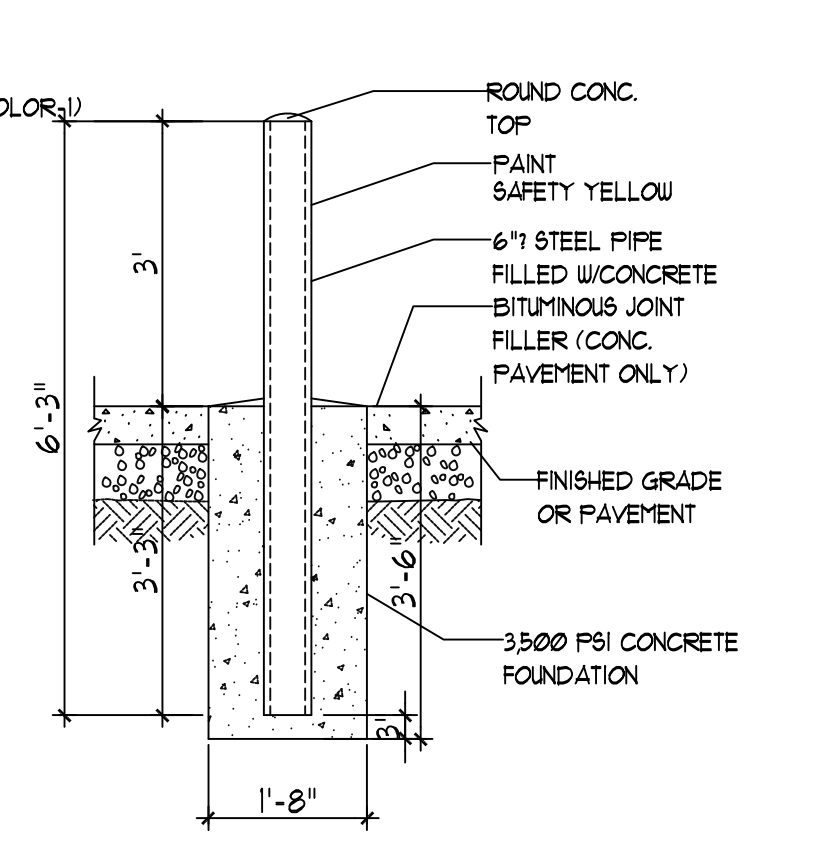
18 TYPICAL CURB DETAIL  
NT.S



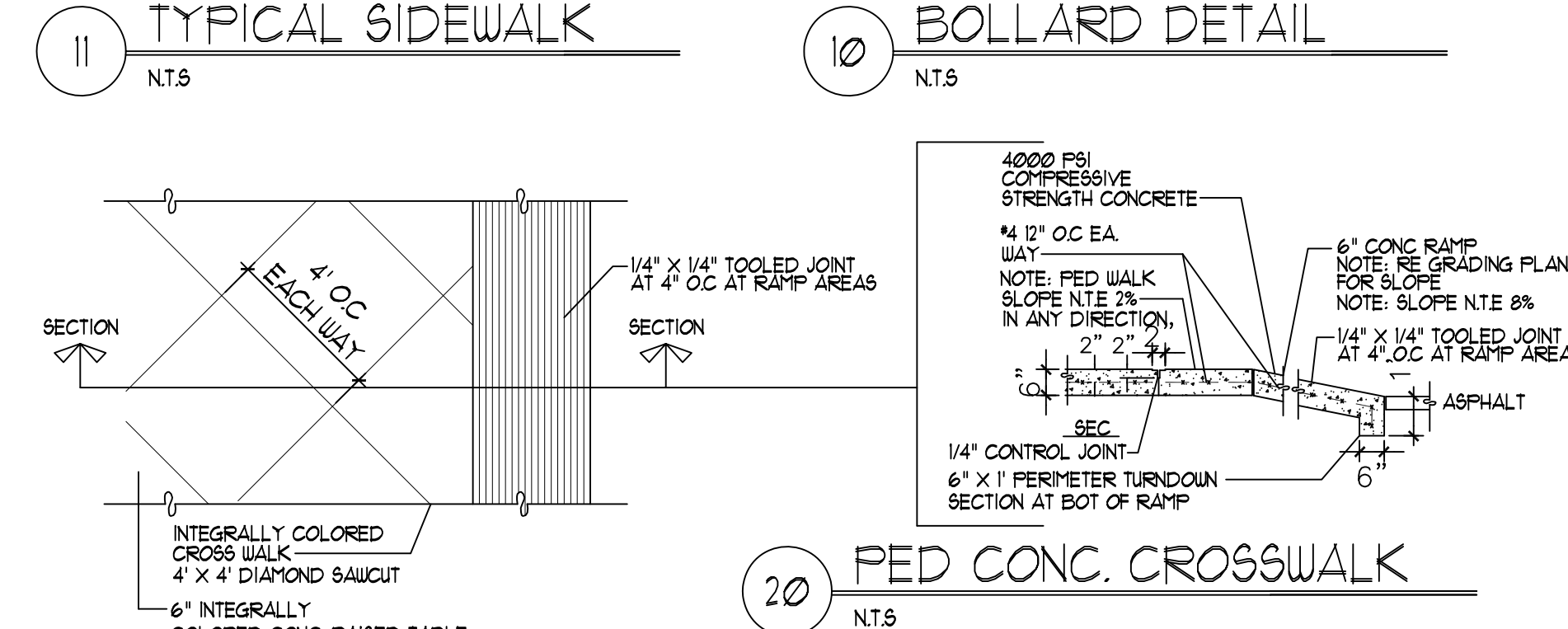
12 TYP. END ISLAND W/ WALK  
NT.S



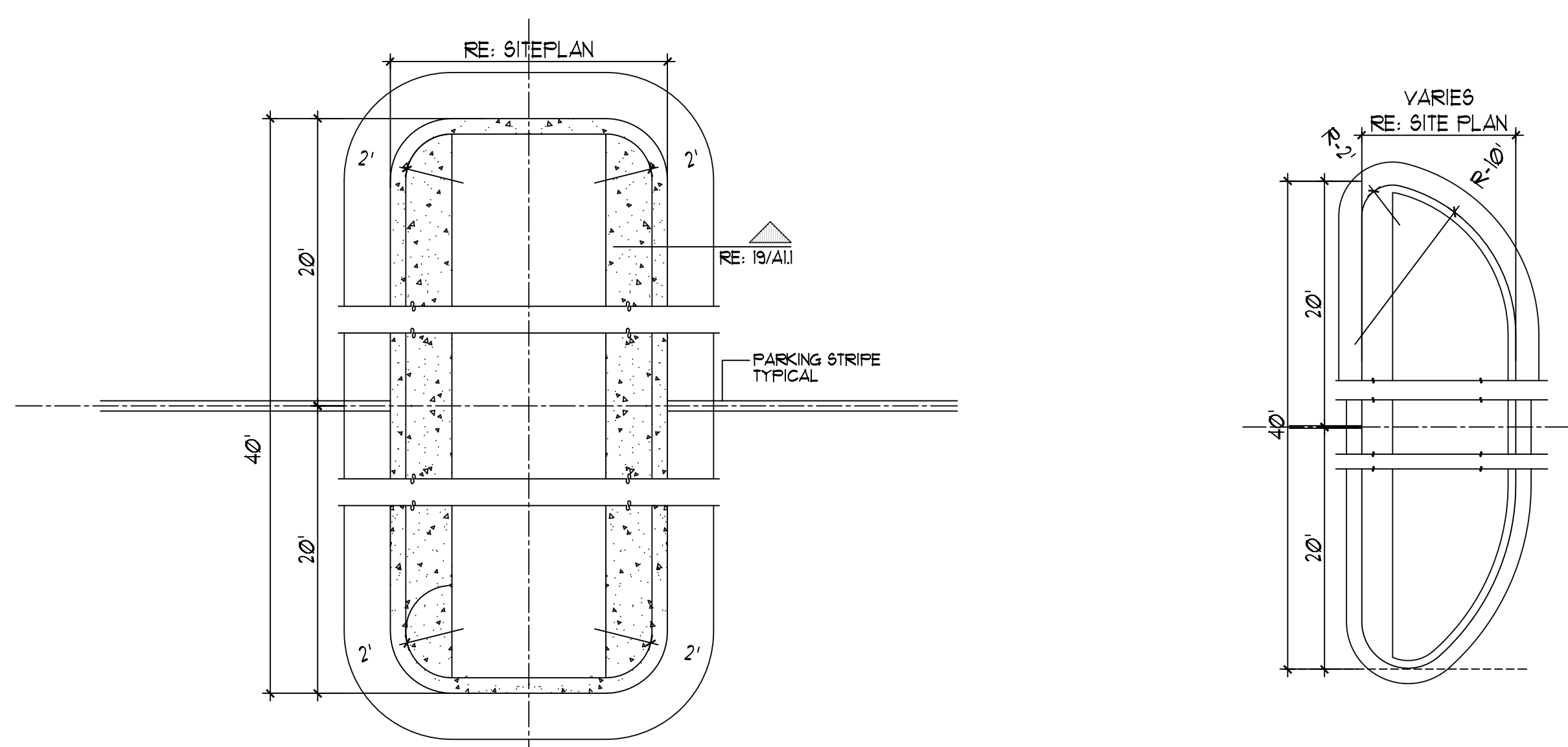
11 TYPICAL SIDEWALK  
NT.S



10 BOLLARD DETAIL  
NT.S

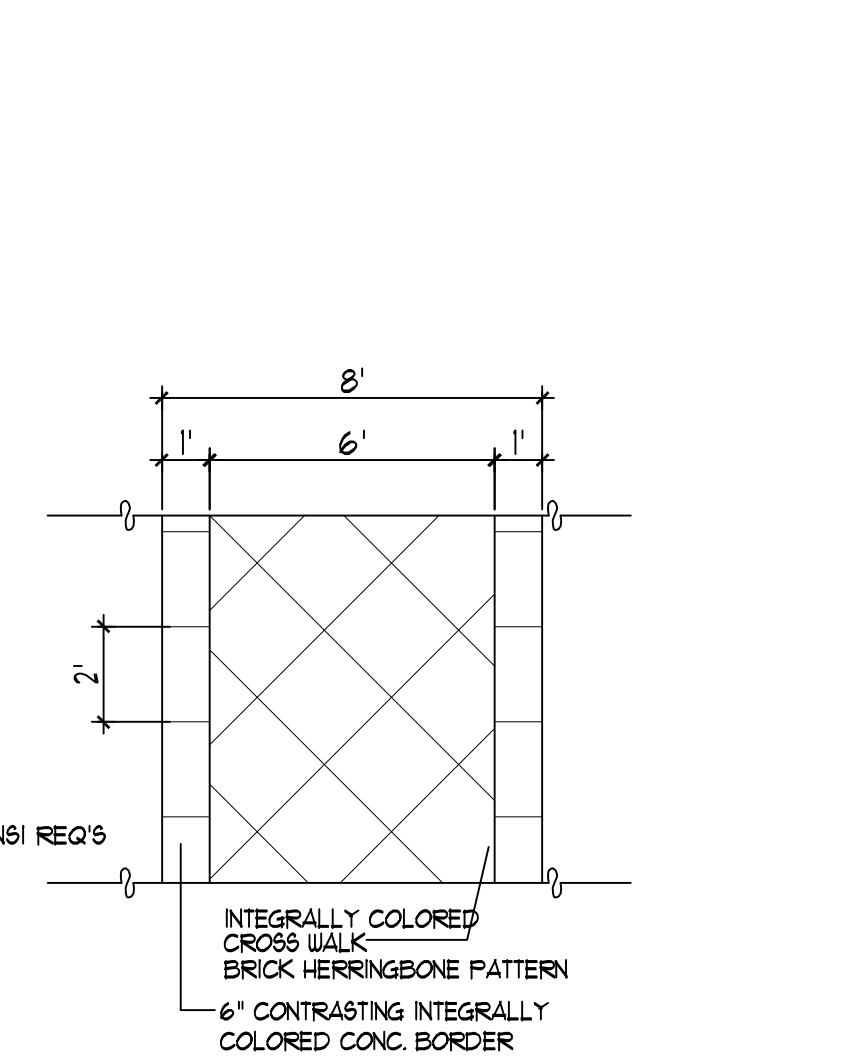


20 PED. CONC. CROSSWALK  
NT.S

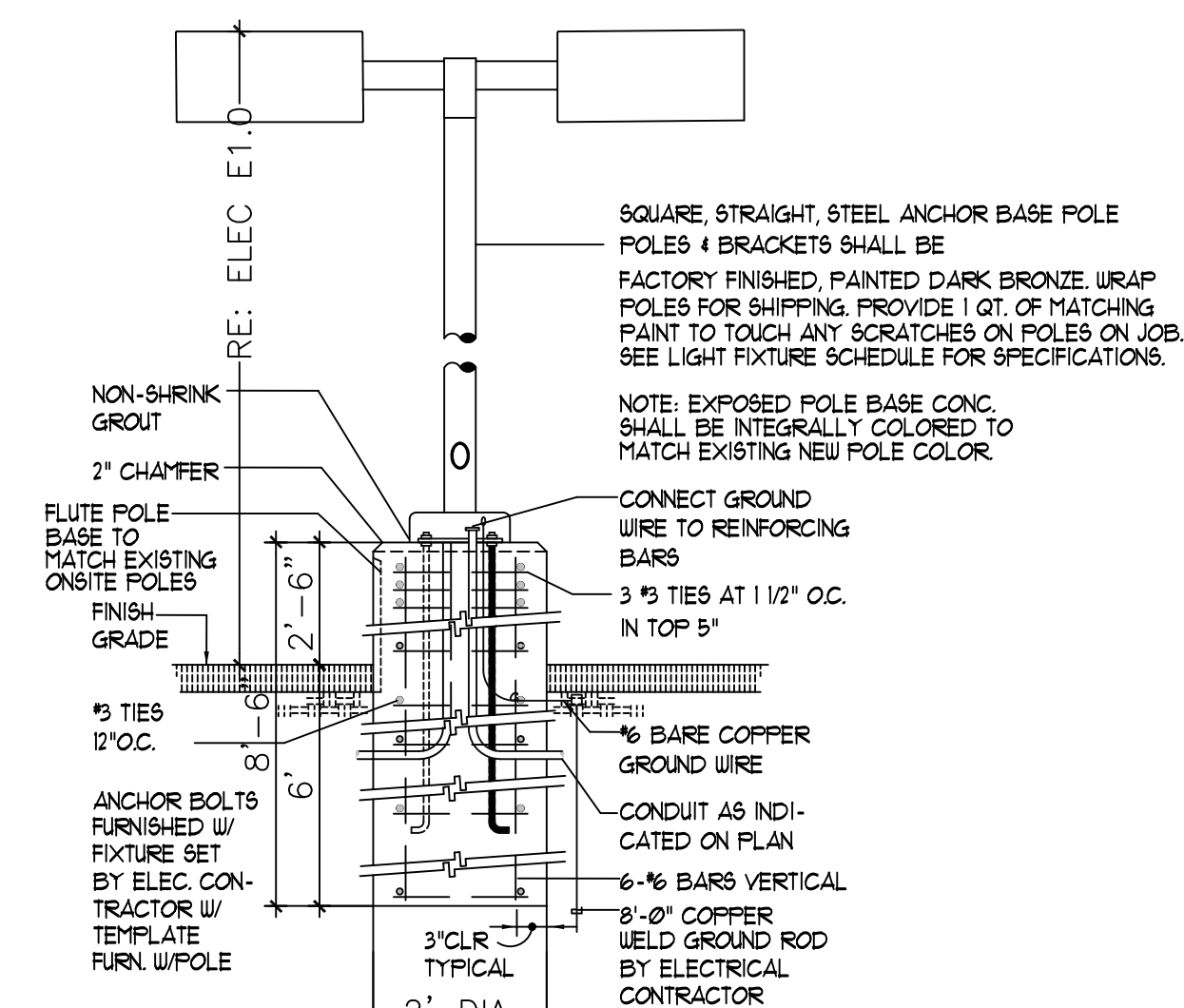


8 ISLAND DETAIL  
NT.S

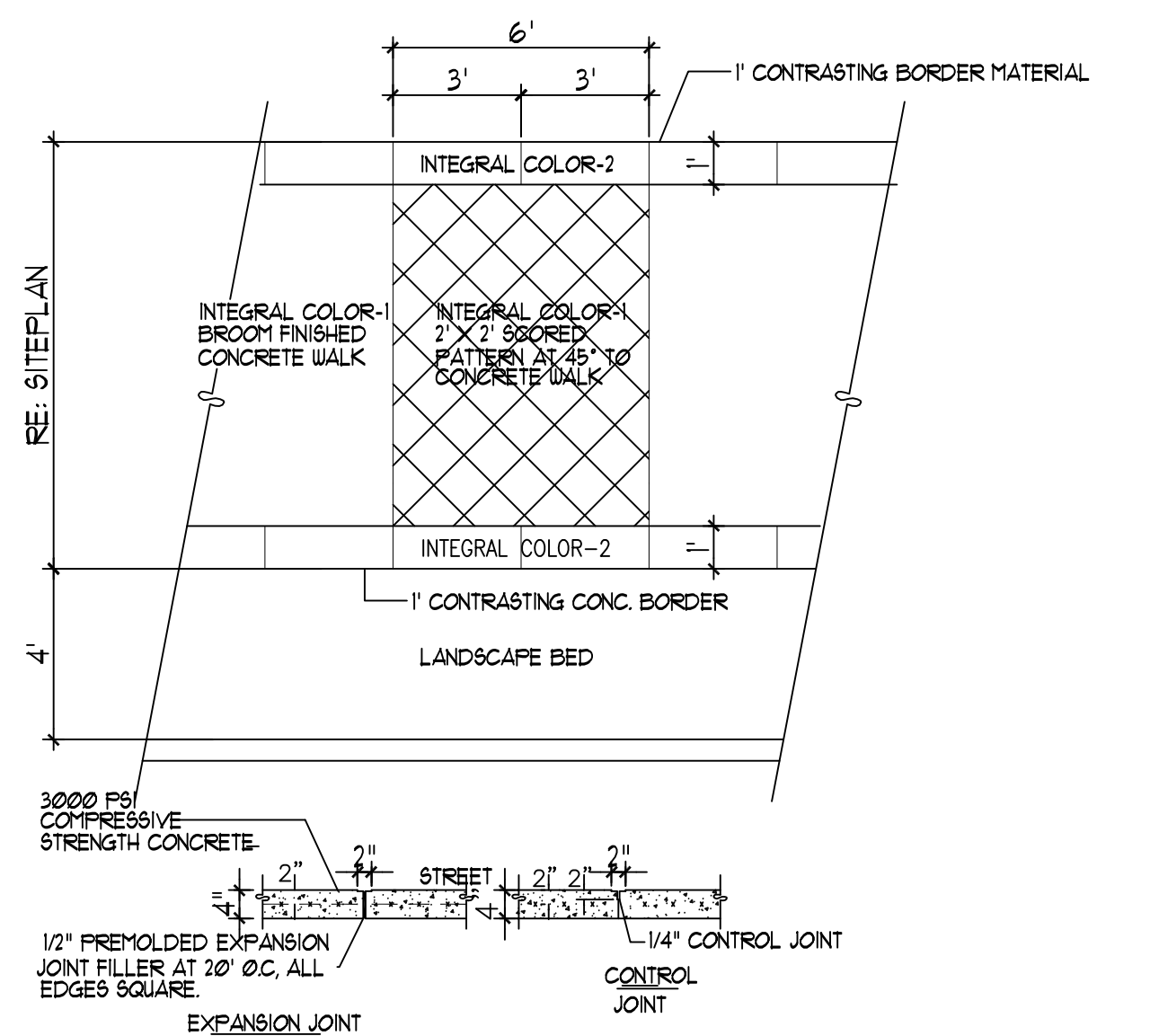
4 END ISLAND DETAIL  
NT.S



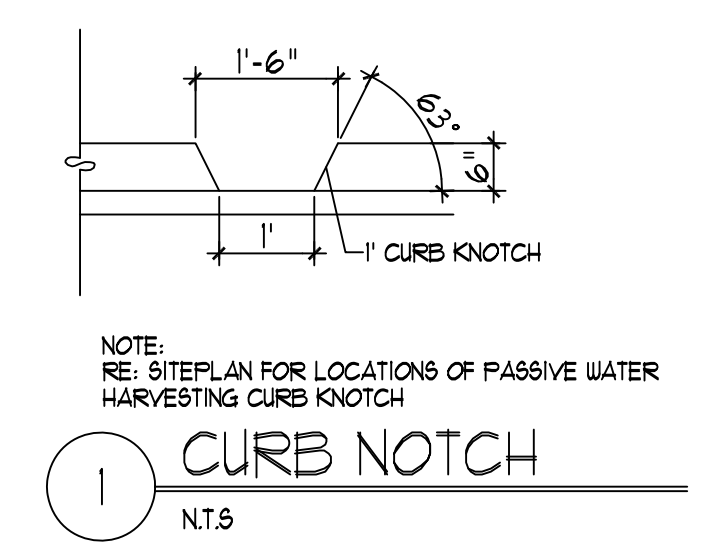
7 CONC. CROSSWALK  
NT.S



3 LIGHT POLE DETAIL  
NT.S



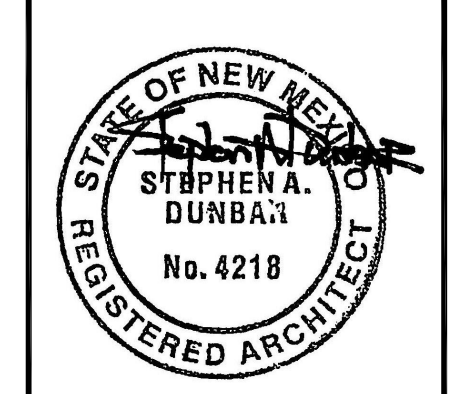
2 TYPICAL STREET SIDEWALK  
NT.S



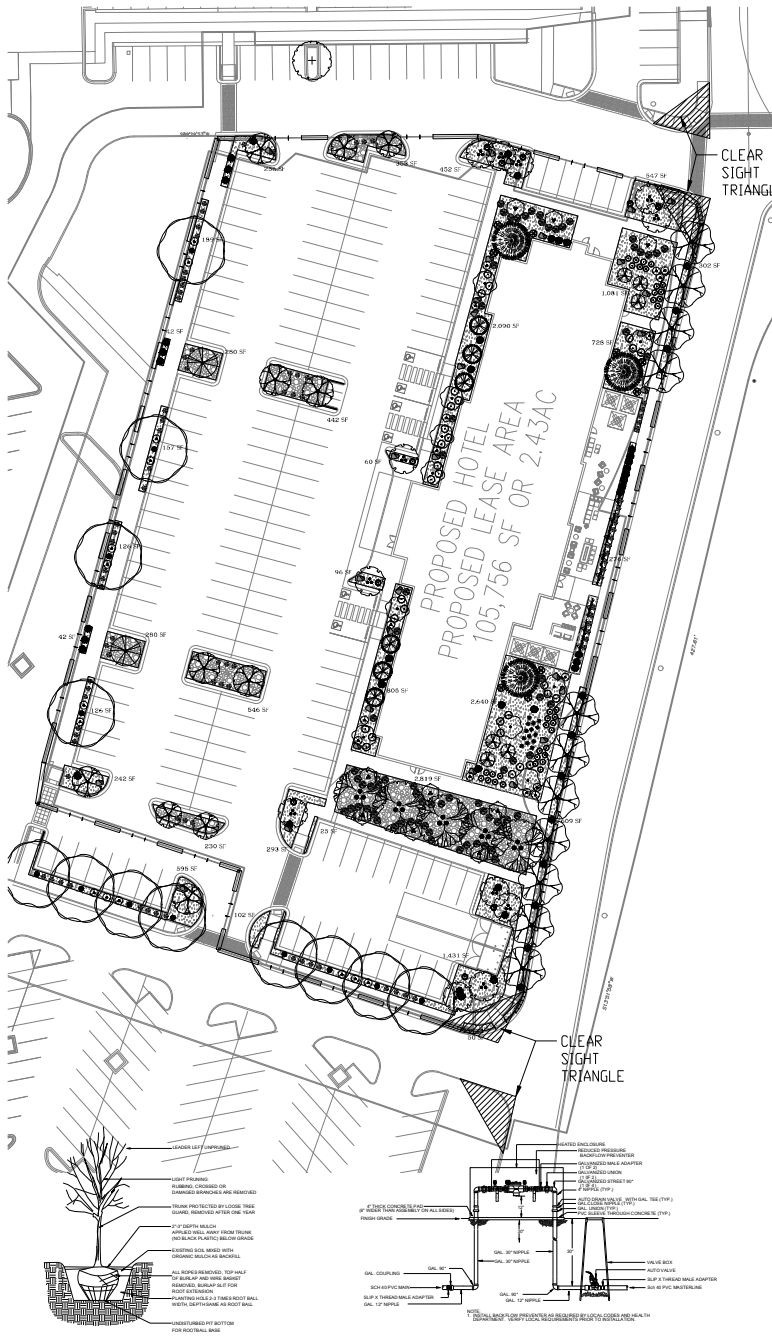
1 CURB NOTCH  
NT.S

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			

**MODULUS ARCHITECTS**  
100 SUN AVE. N.W. SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE	HOTEL SITE PLAN	DRAWN BY	S
2100 LOUISIANA ALBUQUERQUE, NEW MEXICO		JOB NO.	WIN-HOTEL
PROJECT MANAGER	STEPHEN DUNBAR, AIA	SHEET TITLE	SITE DETAILS
DATE:	2/16/21	SCALE:	As Shown
RE: PLAN			



**LEGAL DESCRIPTION:**  
TRACT 14, LOTS 1-4, WINROCK CENTER ADDN REPLAT OF PARCEL A-1-A-1-A-1-A, IDO ZONE Mx-H

**GENERAL NOTES:**  
1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.  
2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.  
3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.  
4. PLANT MATERIALS, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE CUTTER FIN) ARE NOT ACCEPTABLE IN CLEAR SIGHT TRIANGLE.  
5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (SECTION 14.16.5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVER, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS AND A MINIMUM OF 20% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS.

**PLANTING NOTES:**  
1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE.  
2. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.  
3. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBTAINED BY UTILITY EASEMENTS.  
4. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.  
5. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.

**IRRIGATION NOTES:**  
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.  
2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.  
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE 1103 FOR DETAIL.  
4. USE SIX 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUND COVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUND COVERS.  
5. INSTALL TRUST BLOCKS WHEREVER THE MAINLINE BRANES IN NINETY DEGREE ANGLE.  
6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.  
7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.  
8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EXISTENTS.  
9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.  
10. SURROUNDING EXISTING AND REMAINING IRRIGATION SYSTEMS ARE TO BE INSPECTED PRIOR TO DEMOLITION IN ORDER TO DETERMINE THE MEANS NECESSARY TO PROTECT ANY SURROUNDING AND REMAINING PLANT MATERIAL AND SOIL.

**SITE DATA**

GROSS LOT AREA (2.43 ACRES)	106,736 SF
LESS BUILDINGS	18,204 SF
NET LOT AREA	87,532 SF
REQUIRED LANDSCAPE	13,449 SF
15% OF NET LOT AREA	13,129 SF
PROPOSED LANDSCAPE	15,258 SF
PROPOSED OFF-SITE LANDSCAPE	595 SF
TOTAL PROPOSED LANDSCAPE	15,853 SF
PERCENT OF NET LOT AREA	18.1%

REQUIRED STREET TREES: 28  
PROVIDED EXISTING AT 25' O.C. SPACING ALONG STREET

REQUIRED PARKING LOT TREES: 17  
PROVIDED AT 1 PER 10 SPACES (164 SPACES/10)

TOTAL REQUIRED TREES: 45  
TOTAL PROVIDED TREES: 49

REQUIRED LANDSCAPE COVERAGE: 75% LIVE VEGETATIVE MATERIAL (13,761 SF MIN.)  
PROVIDED GROUND COVER COVERAGE: 14,025 SF  
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS: 76%

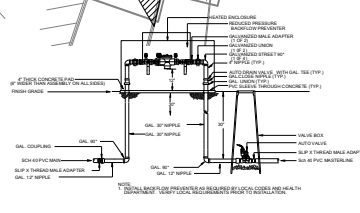
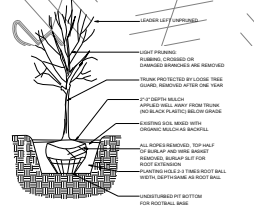
**IRRIGATION NOTE**  
DRIP SYSTEM RUN CYCLES:  
ESTABLISHMENT AND SUMMER:  
1 HOUR/DAYS A WEEK  
SPRING:  
1 HOUR/2-3 DAYS A WEEK  
FALL:  
1 HOUR/2-3 DAYS A WEEK  
WINTER:  
1 HOUR/2 DAYS PER MONTH

**PLANT SCHEDULE BASE 12.30.19**

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
12	Pistacia chinensis / Chinese Pistache	2" B&B	Medium	60		
10	Forsytia noveboracensis / New Mexican Privet	24" box	Medium	40		15' X 15'
6	Lagerstrœmia indica / Crape Myrtle	20 gal	High	35		15' X 15'
5	Quercus muhlenbergii / Chinquapin Oak	2" B&B	Medium	60		40' X 40'
12	Ulmus propinqua 'Emerald Sunshine' / Elm	2" B&B	Medium	60		35' X 25'
12	Vitex agnus-castus / Chaste Tree	24" box	Medium	50		20' X 20'
3	Picea pungens 'Baby Blue Eyes' / Baby Blue Eyes Spruce	6"-8" B&B	Medium	60		50' X 20'
6	Pinus leucodermis / Bosnian Pine	6"-8" B&B	Medium	60		20' X 10'
4	Malus domestica 'Golden Delicious' / Golden Delicious Apple	1 1/2" B&B	Medium +	55		20' X 25'
2	Prunus americana 'Moorpark' / Moorpark Apricot	1 1/2" B&B	Medium +	55		15' X 15'
4	Prunus avium 'Lapins' / Lapins Cherry	1 1/2" B&B	Medium +	55		20' X 20'
3	Prunus persica 'Early Elberta' / Early Elberta Peach	1 1/2" B&B	Medium +	50		15' X 15'
9	Punica granatum 'California Sunset' / California Sunset Pomegranate	15 gal	High	40		10' X 8'
8	Lonicera japonica 'Purpurea' / Purple Japanese Honeyuckle	5 gal	Medium +	40		Climbing x 10'
9	Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry	5 gal	Medium	40		4' X 4'
35	Lavandula angustifolia / English Lavender	5 gal	Medium	25		3' X 3'
30	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low +	40		4' X 4'
10	Rosa x Knockout 'TM' / Rose	5 gal	Medium	30		6' X 5'
10	Zauschneria garrettii 'Orange Carpet' / Hummingbird Trumpet	1 gal	Low +	25		3' X 4'
30	Yucca pendula / Soft Leaf Yucca	5 gal	RW	35		5' X 4'
41	Rosmarinus officinalis 'Arp' / Arp Rosemary	5 gal	Low +	40		6' X 4'
90	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	Medium	20		30' X 2'
70	Miscanthus sinensis 'Gracillimus' / Maiden Grass	1 gal	Medium +	20		5' X 5'
14	Muhlenbergia rigida 'Nashville' / Purple Muhly	1 gal	Low +	20		2' X 3'

**REFERENCE NOTES SCHEDULE BASE 12.30.19**

SYMBOL	DESCRIPTION	QTY	DETAIL
■	Large Boulder	29	
■	Amaranto 3/8 - 1 1/4" Gravel 3" Depth over Filter Fabric	13,392 sf	
■	2-4" Blue Sals Cobble 4" Depth	4,956 sf	



**growing better Up  
HeadsUp**  
LANDSCAPE CONTRACTORS  
www.headsuplandscape.com

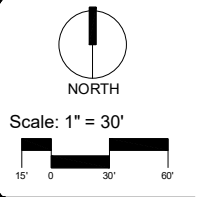
P O Box 10597  
Albuquerque, NM 87184  
505.898.9615  
505.898.2105 (fax)  
design@huic.com



Date: 10/23/2019  
Revisions:  
▲ 12/30/2019  
▲ 01/15/2020

Drawn by: VBLOUNT  
Reviewed by: CM

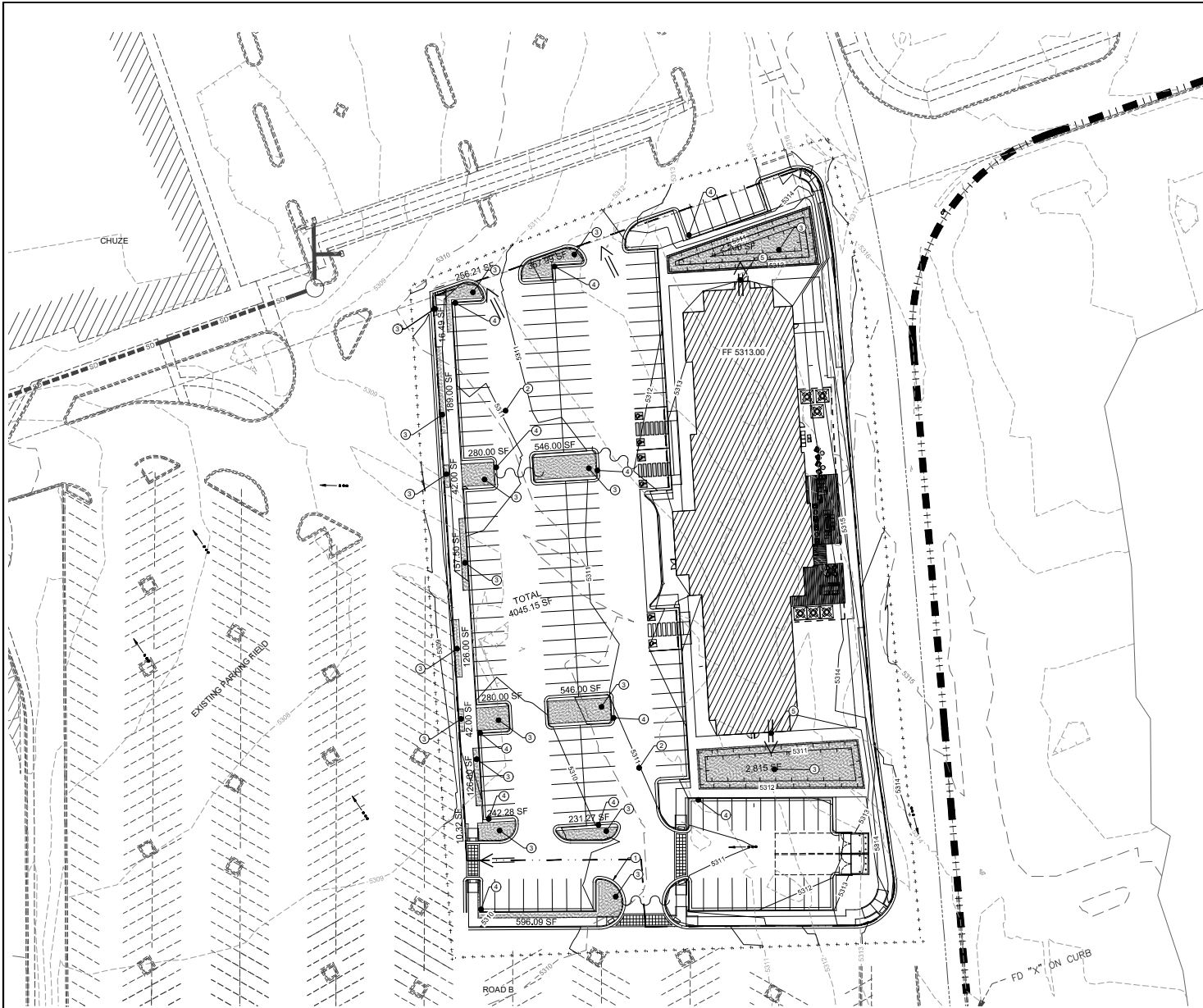
**Hotel At Winrock  
Landscape Plan**  
2100 Louisiana Blvd  
Albuquerque, New Mexico



Sheet Title:  
**Landscape Plan**

Sheet Number:  
**LP-01**

Revised: 07/11/2019 10:00:15 AM, P:\162549.dwg, 5000  
 Date Plotted: 07/11/2019 10:00:15 AM, PLOT  
 User: JHARRIS



GRADING PLAN

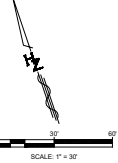
- CONSTRUCTION NOTES**
- ① CONSTRUCT 6" ASPHALT CURB PER COA STD. DWG. 2415
  - ② CONSTRUCT 3" SP-C ASPHALT PARKING LOT
  - ③ STORM WATER QUALITY POND
  - ④ CURB CUT
  - ⑤ ROOF DRAIN

- LEGEND**
- ← DISCHARGE LOCATION
  - FLOW DIRECTION
  - - - - - LIMITS OF DISTURBANCE
  - ~ HIGH POINT

**EARTHWORK SUMMARY**

CUT: 1.00 CUBIC YARDS  
 FILL: 1.00 CUBIC YARDS  
 NET: 500 CUBIC YARDS (FILL)

CONCEPTUAL-NOT-FOR-CONSTRUCTION



Designed By  
**HUIT-ZOLIARS**  
 Huit-Zoliars, Inc. Albuquerque  
 6201 Americas Parkway NE, Suite 500  
 Albuquerque, New Mexico 87110  
 Phone: (505) 963-6114 Fax: (505) 963-9222

**MARRIOTT SUITES @**  
**WINROCK TOWN CENTER**  
**ALBUQUERQUE, NM**

TITLE: GRADING PLAN FOR DRB SITE PLAN

Design	Review	Committee	City Engineer	Ms./Dw./Tr.	Ms./Dw./Tr.

City Project No. XXXX.XX Zone Map No. J-19 Sheet C102 Of  

**AS BUILT INFORMATION**

NO.	DATE	CONTRACTOR

**SURVEY INFORMATION**

NO.	DATE	FIELD NOTES

**ENGINEER'S SEAL**

NO.	DATE	REVISIONS	BY



**REVISIONS**

NO.	DATE	REVISIONS	BY

**DESIGNER'S INFORMATION**

DESIGNED BY: JV	DATE: 06/20/19
DRAWN BY: LT	DATE: 06/20/19
DWG NAME: C101.dwg	
CHECKED BY: SE	DATE: 06/20/19

SHEET