

**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**APPROVED BY**

**DATE**



GRADING KEYNOTES

- INSTALL NEW STORM DRAIN.
- INSTALL NEW STORM DRAIN INLET.
- CONNECT TO EXISTING STORM DRAIN.
- INSTALL CURB OPENING, DEPRESS LANDSCAPING ISLAND.

\*NOTE: ROOF DRAINS TO CONNECT TO NEW ONSITE STORM DRAIN SYSTEM

DRAINAGE NARRATIVE

**INTRODUCTION:**  
THE PRESNOW UPTOWN IS LOCATED ON THE SOUTHEAST CORNER OF LOUISIANA BOULEVARD AND AMERICA'S PARKWAY IN THE ALBUQUERQUE UPTOWN DISTRICT. THE SITE IS THE FORMER LOCATION OF MACARONI GRILL. FOR THE PURPOSE OF THIS SUBMITTAL, THE ENTIRE SITE WAS ANALYZED AS ONE BASIN. FUTURE SUBMITTALS WILL FURTHER DELINEATE BASINS, AND PROVIDE INLET / STORM DRAIN CALCULATIONS.

**EXISTING CONDITIONS:**  
THE PROPOSED SITE IS CURRENTLY DEVELOPED. APPROXIMATELY HALF OF THE SITE SLOPE SOUTH AND EAST TO AN EXISTING INLET IN THE SOUTHEAST CORNER OF THE EXISTING PARKING LOT. THIS INLET CONNECTS TO THE EXISTING 84" STORM DRAIN EAST OF THE SITE. THE NORTHERN HALF OF THE SITE SLOPES NORTH AND WEST TO AN EXISTING INLET IN THE NORTHWEST CORNER OF THE EXISTING PARKING LOT. THIS INLET ALSO CONNECTS TO THE EXISTING 84" STORM DRAIN EAST OF THE SITE. THIS 84" STORM DRAIN IS WITHIN A PUBLIC EASEMENT THAT SKIRTS THE SITE AND DISCHARGES INTO THE ARROYO WITHIN INTERSTATE 40. EXISTING RUNOFF FLOWRATE IS APPROXIMATELY 6.43 CFS.

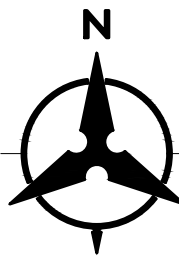
**PROPOSED CONDITIONS:**  
THE PROPOSED CONDITIONS WILL MIMIC EXISTING CONDITIONS. THE PROPOSED SITE WILL HAVE TWO MAIN DISCHARGE LOCATIONS SIMILAR TO EXISTING CONDITIONS. THE NORTHERN PORTION OF THE SITE WILL DISCHARGE INTO A NEW STORM DRAIN INLET THAT CONNECTS TO THE EXISTING STORM DRAIN EAST OF THE SITE. THE SOUTHERN PORTION OF THE SITE WILL DISCHARGE INTO A NEW STORM DRAIN INLET IN THE SOUTHEAST CORNER OF THE SITE THAT CONNECTS TO THE EXISTING 84" STORM DRAIN. BUILDING ROOF DRAINAGE WILL DISCHARGE BELOW GRADE AND CONNECT TO THE NEW ONSITE STORM DRAIN SYSTEM. THE PROPOSED RUNOFF FLOWRATE IS APPROXIMATELY 6.39 CFS. ESSENTIALLY THE SAME AS EXISTING CONDITIONS.

LANDSCAPED AREAS THROUGHOUT THE SITE WILL BE DEPRESSED FOR STORMWATER QUALITY HARVESTING PURPOSES. THE REMAINING VOLUME THAT ISN'T CAPTURED BY THESE AREAS WILL BE PAID FOR VIA CASH IN LIEU.

**CONCLUSION:**  
BASED ON THE INFORMATION PROVIDED ABOVE. THE PROPOSED RUNOFF FLOWRATES ARE SLIGHTLY SMALLER THAN EXISTING CONDITIONS AND MAINTAIN EXISTING HISTORIC DISCHARGE LOCATIONS. THEREFORE, WE ARE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS AND REQUEST SITE PLAN FOR BUILDING PERMIT APPROVAL.

LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED GRADE SPOT ELEVATION
- FL=FLOW LINE
- TC=TOP OF CURB
- TS=TOP OF SIDEWALK
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK



20 10 0 20  
1"=20'

Bohannon & Huston  
www.bhinc.com 800.877.5332

DEKKER  
PERICH  
SABATINI

ARCHITECTURE  
DESIGN  
INSPIRATION

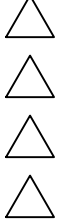
ARCHITECT



NOT FOR CONSTRUCTION  
PROJECT

PresNow 24/7  
2100 LOUISIANA BLVD. NE  
ALBUQUERQUE, NM

REVISIONS



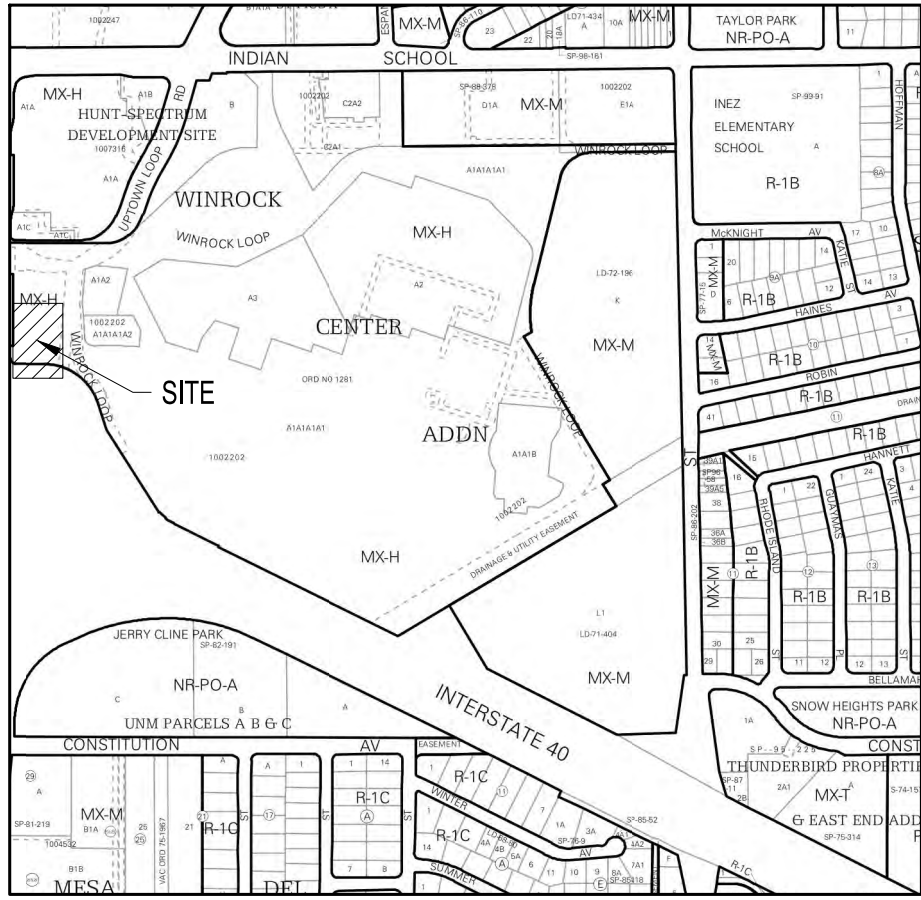
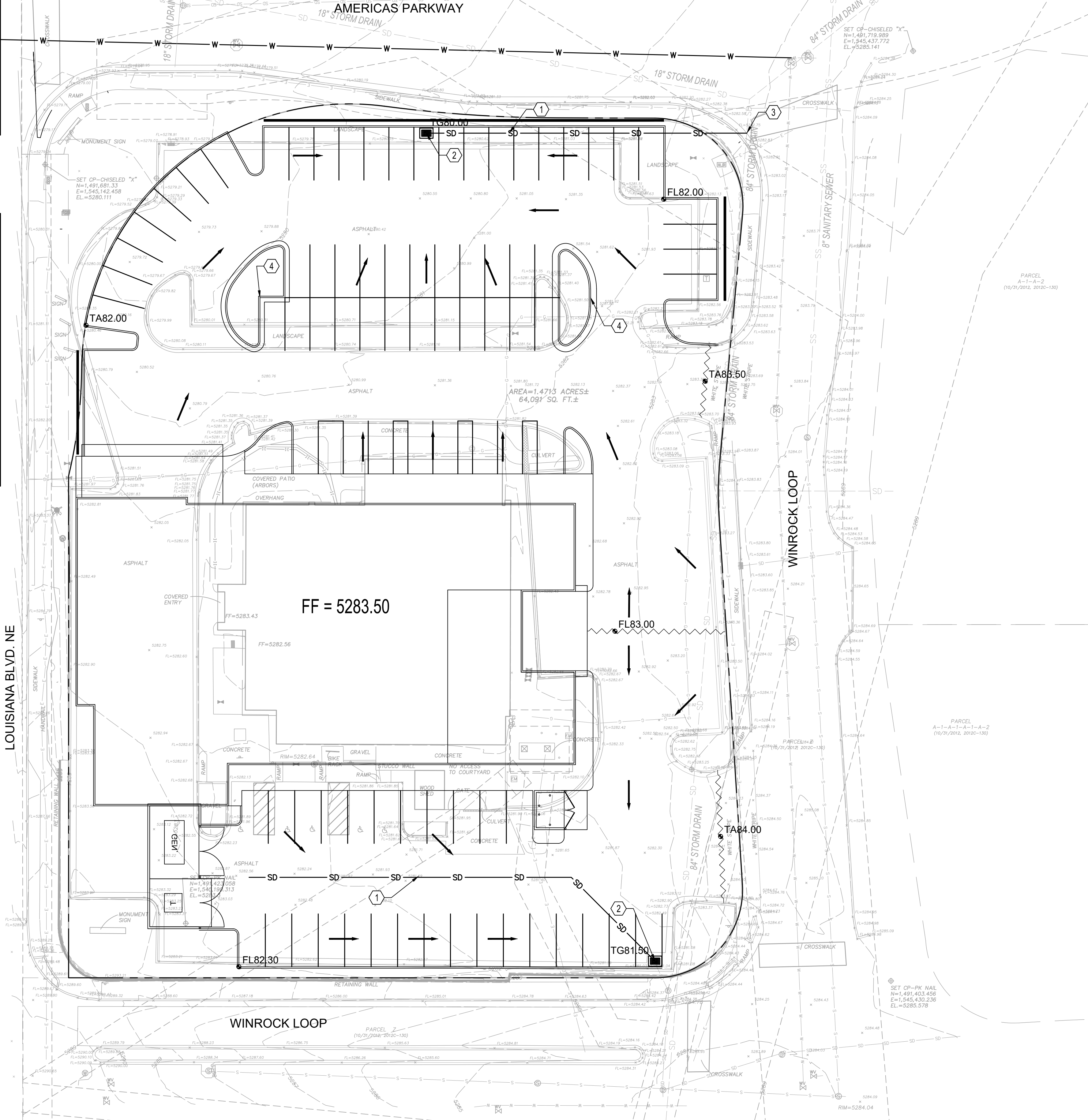
DRAWN BY  
REVIEWED BY  
DATE 12/11/2020  
PROJECT NO. 20-0161.001  
DRAWING NAME  
CONCEPTUAL  
GRADING PLAN

SHEET NO.

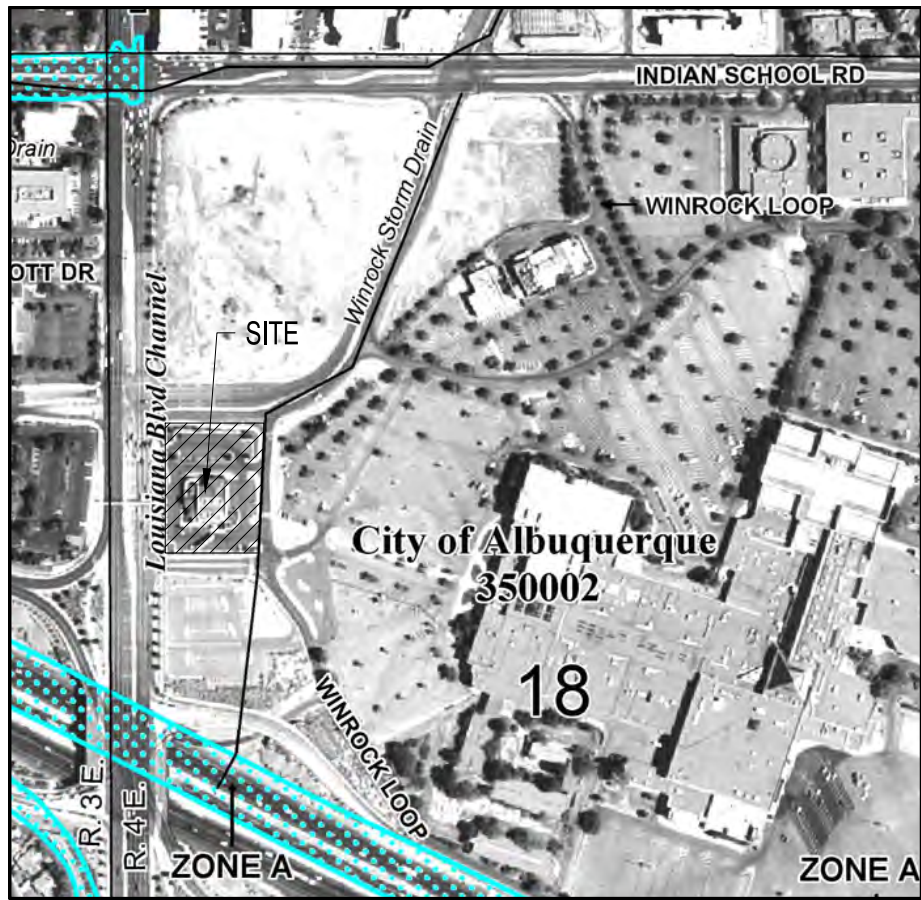
C-100

OF

PresNOW Uptown													
Basin Data Table													
This table is based on the DPM Article 6-2, Zone: 3													
Basin ID	Area	Area	Land Treatment Percentages				Q(100yr)	Q(100yr)	V(100yr)	V <sub>(100yr-6hr)</sub>	V <sub>(100yr-24hr)</sub>	Weighted Curve #	SW Quality (CF)
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)		
EXISTING													
EX - B1	64091	1.47	0.0%	0.0%	9.0%	91.0%	4.37	6.43	2.45	13063	15056	97	N/A
TOTAL	64091	1.47	-	-	-	-	-	6.43	-	13063	15056		0
PROPOSED													
PROP - B1	64091	1.47	0.0%	0.0%	11.0%	89.0%	4.34	6.39	2.42	12904	14853	97	1236
TOTAL	64091	1.47	-	-	-	-	-	6.39	-	12904	14853		1236

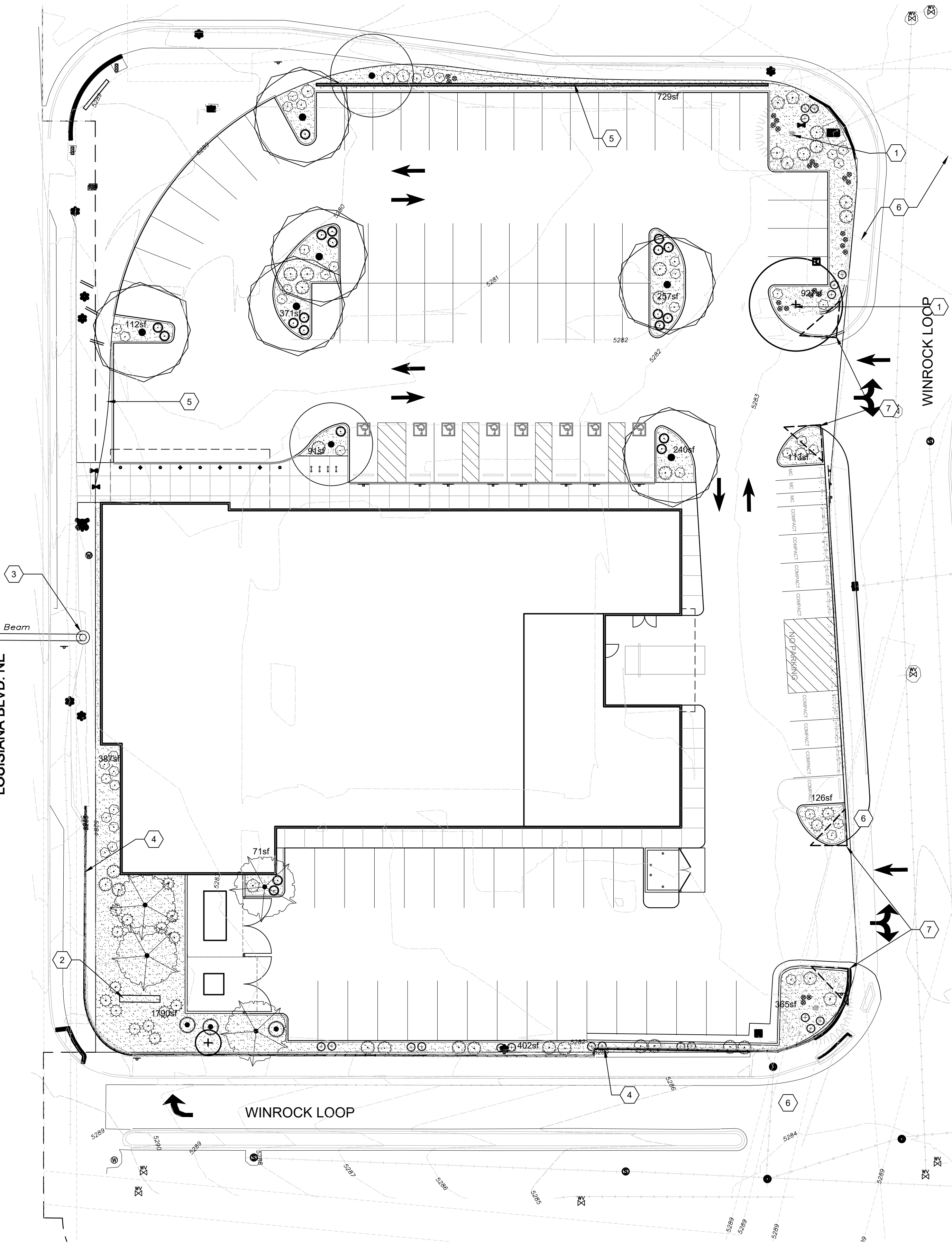


VICINITY MAP: F-16-Z  
NOT TO SCALE



FEMA MAP: 35001C0352H  
AUGUST 16, 2012





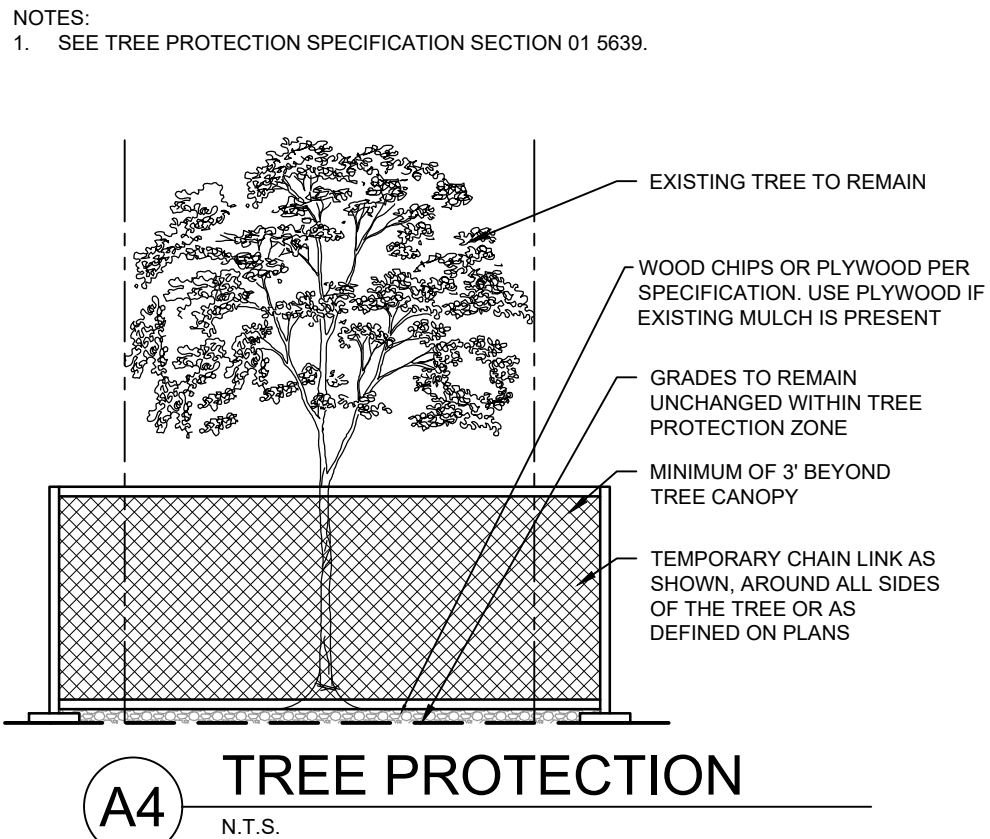
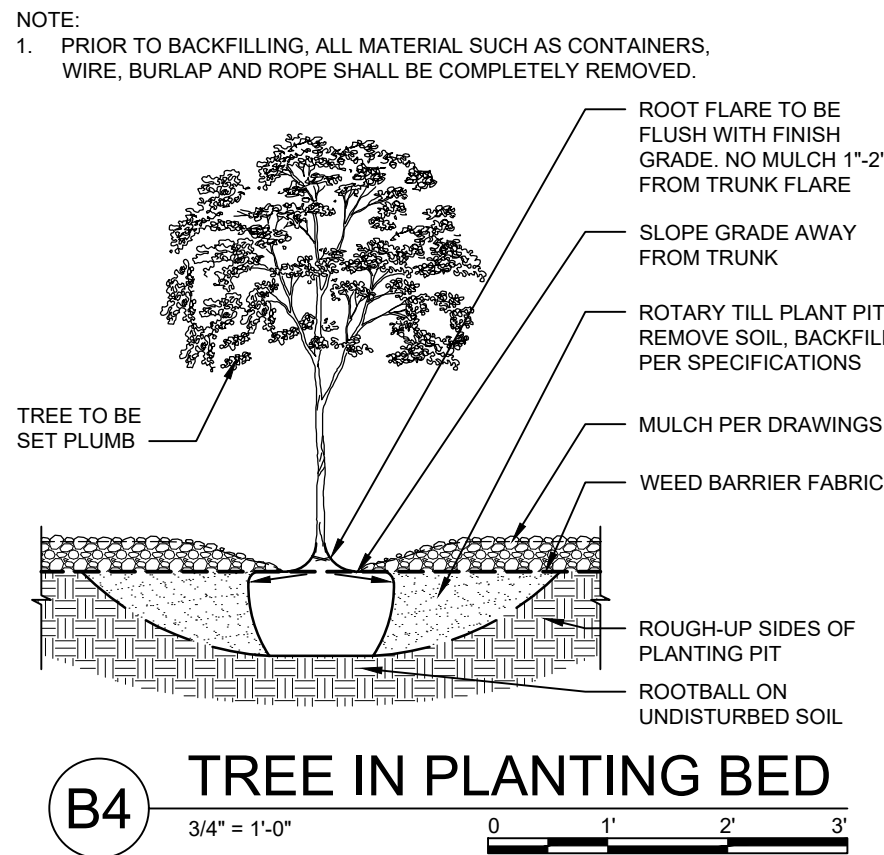
PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME
2	CHILOPSIS LINEARIS 'ARTS SEEDLESS'	DESERT WILLOW
6	FRAXINUS PENNSYLVANICA 'URBANITE'	URBANITE ASH
10	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH
25	CISTUS X PURPUREUS	PURPLE ROCK ROSE
4	FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET
40	PRUNUS BESSEYI	SAND CHERRY
19	SALVIA GREGGII 'ULTRA VIOLET'	ULTRA VIOLET SAGE
20	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA
18	DASYLIRION WHEELERI	DESERT SPOON
3	NOLINA MICROCARPA	BEARGRASS
26	NEPETA 'WALKER'S LOW'	WALKERS LOW CATMINT

QTY	BOTANICAL NAME	COMMON NAME
10	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH
25	CISTUS X PURPUREUS	PURPLE ROCK ROSE
4	FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET
40	PRUNUS BESSEYI	SAND CHERRY
19	SALVIA GREGGII 'ULTRA VIOLET'	ULTRA VIOLET SAGE
20	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA
18	DASYLIRION WHEELERI	DESERT SPOON
3	NOLINA MICROCARPA	BEARGRASS
26	NEPETA 'WALKER'S LOW'	WALKERS LOW CATMINT

LEGEND

- 3" DEPTH ROCK MULCH WITH FILTER FABRIC
- 3" DEPTH ORGANIC MULCH WITH FILTER FABRIC



GENERAL SHEET NOTES

- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE INCLUDING, BUT NOT LIMITED TO, GENERAL LANDSCAPING REGULATIONS, WATER CONSERVATION LANDSCAPING AND WATER WASTE REGULATIONS, POLLEN-RELATED REGULATIONS, AND STREET TREE REGULATIONS.
- THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING IN A NEAT AND HEALTHY CONDITION. THE PROPERTY OWNER ACKNOWLEDGES THAT APPROVED LANDSCAPING AND TREES IN THE RIGHT-OF-WAY MAY BE REMOVED WITHOUT COMPENSATION.
- LANDSCAPING WILL BE WATERED WITH AN AUTOMATED IRRIGATION SYSTEM THAT INCLUDES DRIP ZONES FOR ALL PLANT MATERIALS.
- WATER MANAGEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE AREAS SHALL ACHIEVE 75% VEGETATIVE COVERAGE AT MATURITY. GROUND LEVEL PLANTS SHALL ACHIEVE 30% VEGETATIVE COVERAGE AT MATURITY.
- TREES ARE NOT REQUIRED TO BE STAKED, BUT TREES THAT BLOW OVER, SETTLE OR TIP WILL BE REQUIRED TO BE REPLACED OR RESET BY THE CONTRACTOR AT NO COST TO THE OWNER.
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- LANDSCAPE MULCH AREAS ADJACENT TO SIDEWALKS SHALL BE A MAXIMUM OF 1/4" BELOW ADJACENT SIDEWALK GRADE.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

SHEET KEYED NOTES

- EXISTING TREE TO REMAIN. SEE A4/LP101.
- EXISTING MARQUEE SIGN TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- EXISTING PUBLIC INFRASTRUCTURE TO RETAIN AND BE PROTECTED DURING CONSTRUCTION.
- EXISTING RETAINING WALL AND GUARDRAIL.
- PROPOSED PARKING SCREENING WALL.
- EXISTING UTILITY EASEMENT
- CLEAR SIGHT TRIANGLE. SEE NOTE O.

LEGEND

- EXISTING DECIDUOUS TREES TO REMAIN. SEE A4/LP101.
- EXISTING EVERGREEN TREES TO REMAIN. SEE A4/LP101.
- PROPERTY LINE

PARKING SCREENING NOTES

- PARKING SCREENING ALONG WINROCK LOOP ROAD NORTH:  
ACCOMPLISHED WITH 3'-4" CMU WALLS IN FRONT OF PARKING
- PARKING BUFFER ALONG LOUISIANA BOULEVARD:  
ACCOMPLISHED WITH THE EXISTING 8'-0" RETAINING WALL FROM SOUTH AND LANDSCAPE BUFFER ON NORTHWEST CORNER.

LANDSCAPE CALCULATIONS

GROSS LOT AREA = 1.47 AC = 64,091 SF  
AREA OF LOT COVERED BY BUILDINGS = 17,100 SF  
NET LOT AREA= 46,991 SF

**REQUIRED LANDSCAPE**  
REQUIRED LANDSCAPE AREA = 4,699 SF (10% OF NET LOT AREA)  
PROVIDED LANDSCAPE AREA = 5,896 SF (12.5% OF NET LOT AREA)

**REQUIRED TREES**  
TREES PER PARKING SPACES: REQUIRED= 1 TREE / 6 PARKING SPACES  
TOTAL NUMBER OF PARKING = 99 SPACES  
REQUIRED NUMBER OF PARKING LOT TREES = 17 TREES  
PROVIDED NUMBER OF PARKING LOT TREES = 10 TREES (including existing trees to remain)  
REQUIRED STREET TREES = 1 TREE PER 30' LINEAR FEET OF STREET FRONTAGE STREET TREES  
LOUISIANANA BOULEVARD FRONTAGE = 268'  
REQUIRED / PROVIDED STREET TREES = 9 / 1  
AMERICAS PARKWAY FRONTAGE = 193'  
REQUIRED / PROVIDED STREET TREES = 6 / 3

**EXISTING TREE CREDITS**  
• 2 EXISTING PINES AT 8" CALIPER = 4 TREES  
• 1 TREE AT 12" CALIPER = 4 TREES  
• 1 TREE AT 4" CALIPER = 1 TREE  
• TOTAL NUMBER OF EXISTING TREES CREDITED =9 TREES

**REQUIRED VEGETATIVE COVERAGE**  
TOTAL VEGETATIVE COVER REQUIRED = 3,524 SF (75% OF LANDSCAPE AREA)  
TOTAL VEGETATIVE COVER PROVIDED =8,620 SF (146% OF LANDSCAPE AREA)

**TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 1,249 SF (25% OF LANDSCAPE AREA)**  
TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 1,316 SF (28% OF LANDSCAPE AREA)

**ROCK MULCH COVERAGE**  
TOTAL ROCK MULCH COVER ALLOWED = 3,524 SF (75% OF LANDSCAPE AREA)  
TOTAL ROCK MULCH COVER PROVIDED = 2,968 SF (46% OF LANDSCAPE AREA)

DEKKER  
PERICH  
SABATINI

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

PROJECT

PresNow 24/7  
SITE DEVELOPMENT PLAN  
2100 LOUISIANA BLVD. NE  
ALBUQUERQUE, NM

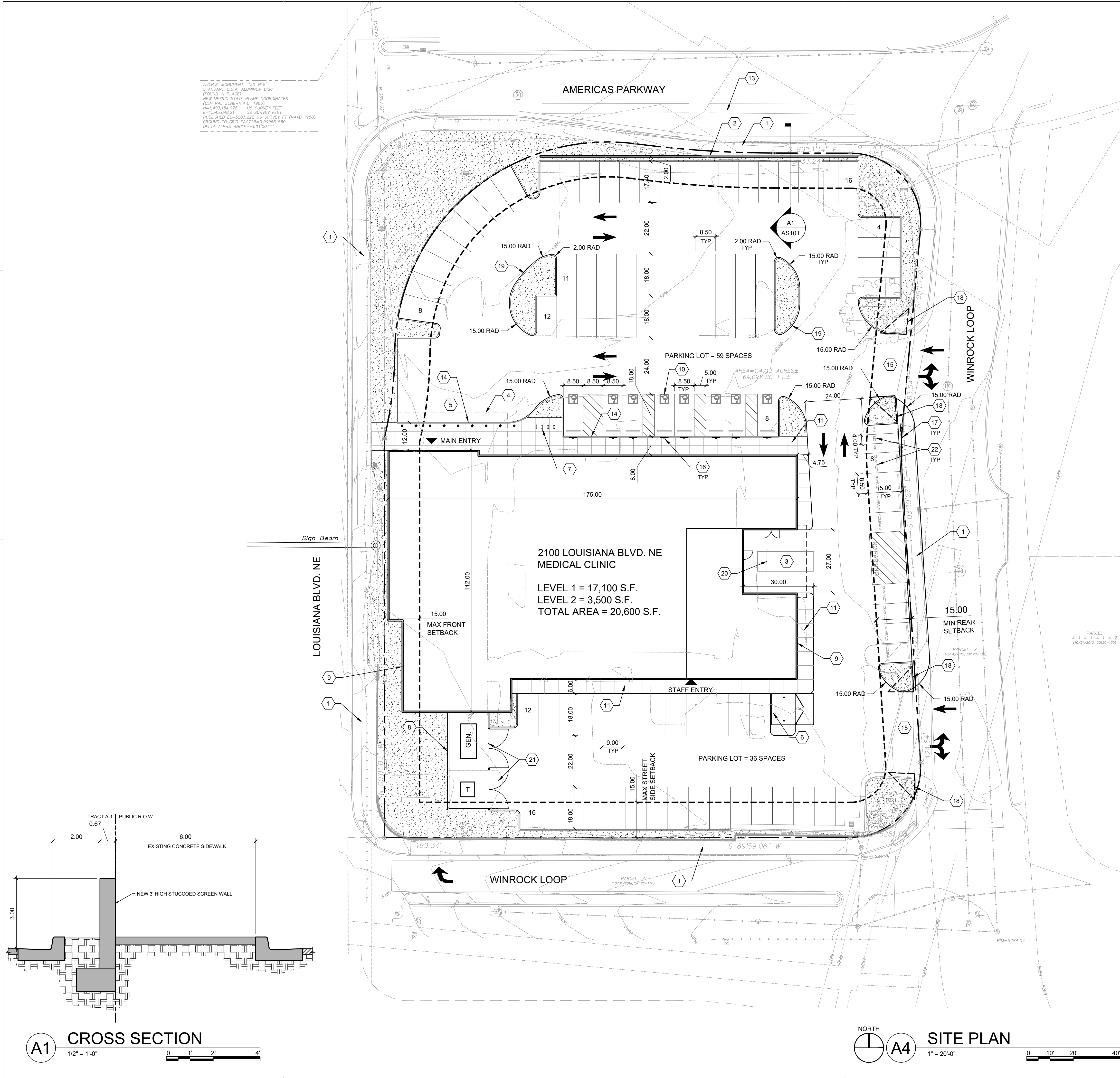
REVISIONS  
△  
△  
△  
△

DRAWN BY KR  
REVIEWED BY KR  
DATE 12/11/2020  
PROJECT NO. 20-0161.001  
DRAWING NAME

LANDSCAPE PLAN

SHEET NO.  
LP101  
OF





GENERAL SHEET NOTES

1. ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
2. ALL SIDEWALKS AND RAMPS TO BE CONCRETE.

PROJECT DATA

BUILDING AREA: 18,000 SQ. FT.

CONSTRUCTION TYPE: IIB  
OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

FIRE FLOW: IFC TABLE 6105.1(2)  
MEDICAL OFFICE 2,750/2 = 1,375 GPM

FIRE HYDRANTS: MEDICAL OFFICE = 1 REQUIRED 1 PROVIDED (500' SPACING)

PARKING CALCULATIONS

MEDICAL OFFICE		
20,600 S.F. @ 3 SPACES PER 1,000 S.F. =	REQUIRED 62 SPACES	PROVIDED 95 SPACES
ACCESSIBLE PARKING		
51-100 SPACES	REQUIRED 4	PROVIDED 8
6 ACCESSIBLE, 2 VAN ACCESSIBLE		
MOTORCYCLE SPACES		
51-100 SPACES	REQUIRED 3	PROVIDED 3
BICYCLE PARKING		
10% OF REQUIRED OFF-STREET PARKING	REQUIRED 7	PROVIDED 8

SHEET KEYED NOTES

1. EXISTING 6' WIDE PUBLIC SIDEWALK.
2. NEW 3' HIGH SITE WALL TO SCREEN THE HEADLIGHTS OF PARKED VEHICLES.
3. AMBULANCE/LOADING AREA
4. CANOPY OVERHEAD
5. PATIENT PICK-UP / DROP-OFF
6. DUMPSTER ENCLOSURE. SEE DETAIL D5/AS501
7. BIKE RACK (8 SPACES). SEE DETAIL A4/AS501
8. 8' HIGH CMU SCREEN WALL. SEE DETAIL A3/AS501
9. BUILDING MOUNTED SIGN (TYPE A). SEE ELEVATIONS AND DETAIL D1/AS501
10. HC PARKING. SEE DETAIL D4/AS501
11. NEW CONCRETE SIDEWALK.
12. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
13. EXISTING BIKE LANE
14. GRAY LINE INDICATES FLUSH CONCRETE SIDEWALK. SEE DETAIL D3/AS501
15. EXISTING DRIVEWAY
16. HC PARKING SIGN. SEE B4/AS501
17. MOTORCYCLE PARKING ONLY SIGN. SEE B4/AS501
18. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
19. 6" CONCRETE CURB AND GUTTER. SEE A2/AS501
20. 8" CONCRETE PARKING BUMPER. CONFIRM EXACT LOCATION WITH PH'S AMBULANCE REQUIREMENTS. SEE C1/AS501
21. REQUIRED EQUIPMENT CLEARANCE
22. LABEL "MC" AT THE BACK OF MOTORCYCLE SPACES AND "COMPACT" AT THE BACK OF COMPACT SPACES.

LEGEND

---	PROPERTY LINE
---	BUILDING SETBACK
[Pattern]	LANDSCAPE AREA
[Symbol]	POLE LIGHT (20' MAX HEIGHT), SEE DETAIL A5/AS501
[Symbol]	SIDEWALK RAMP (ARROW POINTS DOWN)
[Symbol]	FIRE HYDRANT
M/C	MOTORCYCLE SPACE, 4' X 8' MINIMUM, UNLESS NOTED OTHERWISE
C/C	COMPACT CAR SPACE, 7.5' X 15' MINIMUM, UNLESS NOTED OTHERWISE
GEN.	EMERGENCY BACK-UP GENERATOR
T	ELECTRICAL TRANSFORMER

KEYPLAN



NORTH  
VICINITY MAP  
ZONE ATLAS PAGE:

DEKKER  
PERICH  
SABATINI

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

PROJECT

PresNow 24/7  
SITE DEVELOPMENT PLAN  
2100 LOUISIANA BLVD. NE  
ALBUQUERQUE, NM

REVISIONS	
[Symbol]	12/10/2020 MINOR AMENDMENT
[Symbol]	
[Symbol]	
[Symbol]	

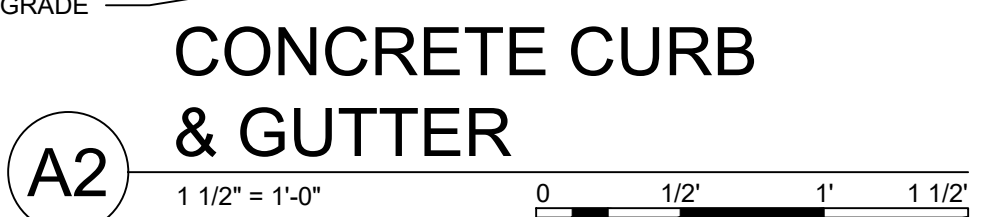
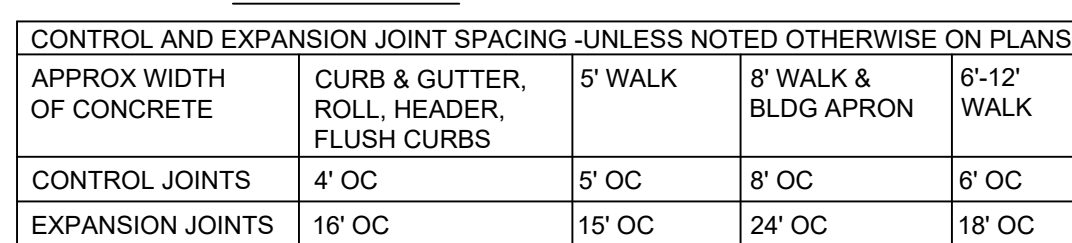
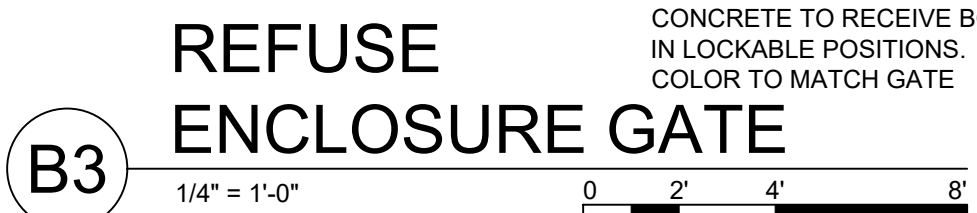
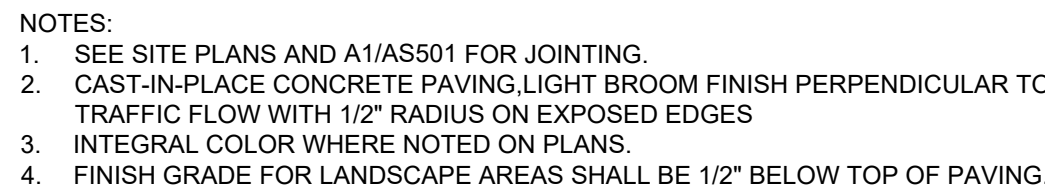
DRAWN BY	A. SANTI
REVIEWED BY	
DATE	12/11/2020
PROJECT NO.	20-0161.001
DRAWING NAME	

ARCHITECTURAL  
SITE PLAN

SHEET NO.  
AS101  
OF



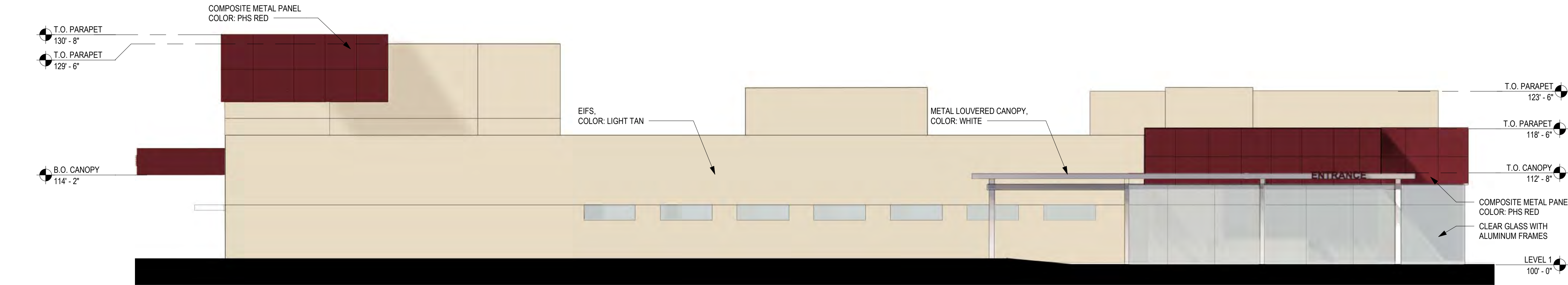
**Illumination:** Internal  
**Style:** Front Lit Illuminated  
**Light Source:** LED Modules  
**Light Source Color:** 6500K White  
**Primary Power Source Input Required:** 277V  
**Circuit Required:** 20 Amp Dedicated  
**Timer or Dusk to Dawn (Photo Cell):** TBD  
**Power Supply LED Driver Input Voltage:** 100~277V AC  
**Power Supply LED Driver Listed:** UL  
**Service Disconnect Switch:** Yes - On Sign  
**Amp Draw:** TBD



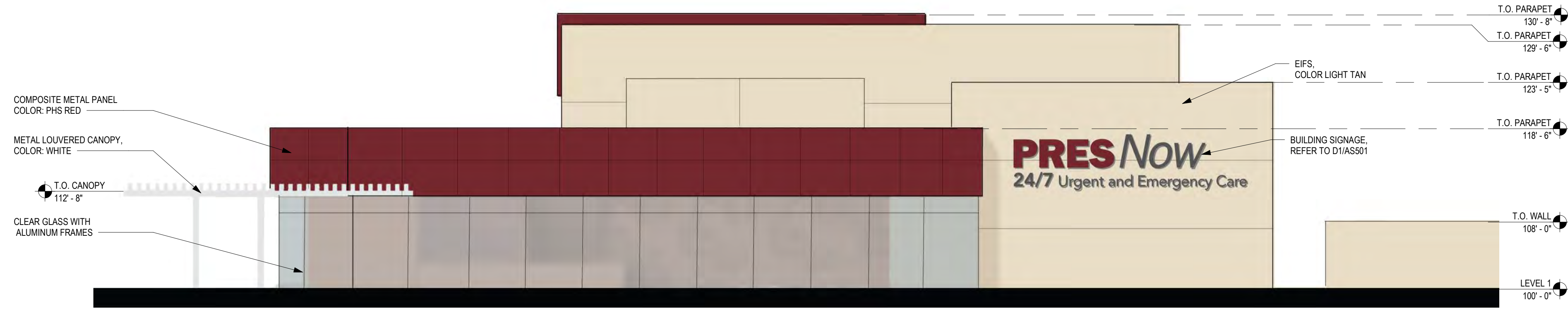
## SITE DETAILS

# AS501

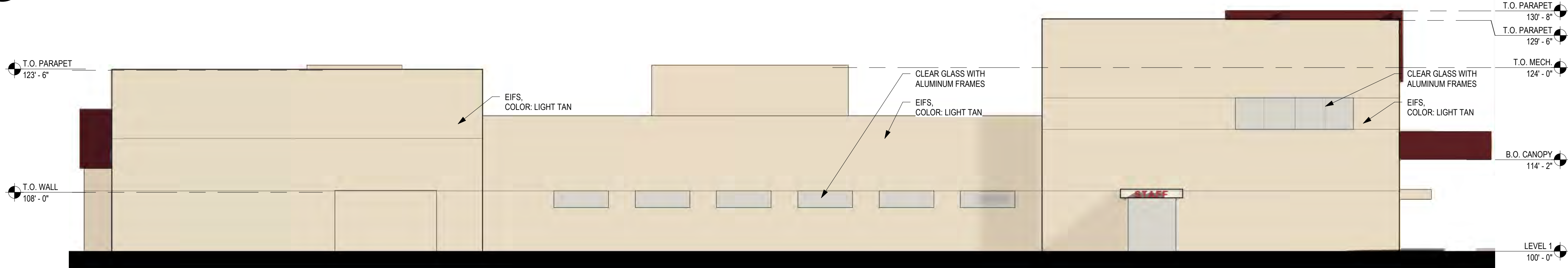




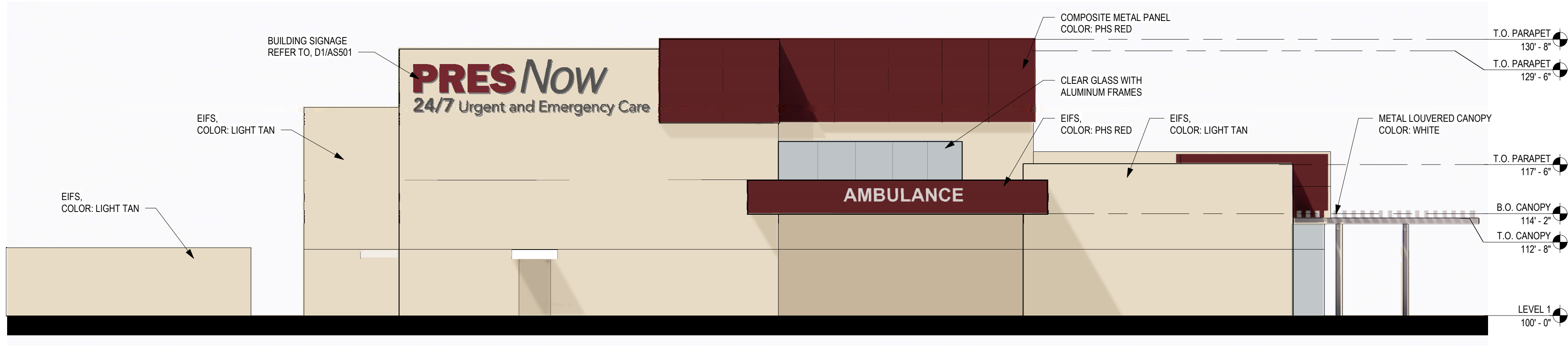
D2 NORTH ELEVATION  
1/8" = 1'-0"



C2 WEST ELEVATION  
1/8" = 1'-0"



B1 SOUTH ELEVATION  
1/8" = 1'-0"



A2 EAST ELEVATION  
1/8" = 1'-0"