

**LEGAL DESCRIPTION**  
Lot 3-A Coors Village Albuquerque, Bernalillo County, New Mexico January 2020

SITE DATA TABLE																						
AREA (AC)	BUILDING AREA (SQ FT)	UNIT	FOOTPRINT AREA (SQ FT)	USE	ZONING	PARKING CALCULATIONS				PRKG. REQ.	PRKG. PROV.	COMPACT SPACES	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	MC PRKG. REQ.	MC PRKG. PROV.	BIKE SPACES	BIKE PROV.	PROPOSED FTR	MAX FTR
6.56	143,906 SF (GROSS)	131	63,490 SF	SENIOR INDEPENDENT LIVING (AGE RESTRICTED MULTI-FAMILY)	SU-3	ASSISTED LIVING / 3 BEDS NURSING HOME 1 SPACE / 5 BEDS, (-10% WITHIN 300' OF A TRANSIT ROUTE)				59	105	0	6	6	2	2	4	4	6	6	0.61	1.0

**PROJECT NUMBER:** PR-2018-001584  
**APPLICATION NUMBER:** SI-2018-00151

Is an Infrastructure Use required? ( ) Yes ( ) No - If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

#### KEYED NOTES:

1. CURB & GUTTER (SEE DETAIL SHEET C4)
2. STRAIGHT HC RAMP (SEE DETAIL SHEET C4)
3. CURB RETURN HC RAMP (SEE DETAIL SHEET C4)
4. 6 FT. SIDEWALK PER COA STD DWG #2430
5. 6 FT. PAVED PEDESTRIAN CROSSING OF COLORED, TEXTURED CONCRETE (SEE NOTE 11 THIS SHEET)
6. DUMPSTER ENCLOSURE REMOVE & WHITE (SEE DETAIL SHEET C4)
7. BIKE RACK (SEE DETAIL SHEET C5)
8. ACCESSIBLE PARKING SPACE TYPICAL SEE DETAIL SHEET C7 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL. ("VAN" INDICATES VAN ACCESSIBLE SPACE) (SEE DETAIL SHEET C5)
9. PROPOSED MONUMENT SIGN (SEE ELEVATION SHEET C7 FOR DETAILS)
10. ASPHALT PAVEMENT (REFER GEOTECH REPORT)
11. NOT USED
12. ZERO CURB (SEE DETAIL SHEET C4)
13. SIGHT TRIANGLE (SEE NOTE 9 THIS SHEET)
14. MOTORVEHICLE PARKING SIGN (SEE DETAIL SHEET C5)
15. SNOW POND (SEE GRADING SHEET FOR DETAILS)

#### LEGEND

- |     |                        |
|-----|------------------------|
| --- | CURB & GUTTER          |
| --- | BOUNDARY LINE          |
| --- | EASEMENT               |
| --- | CENTERLINE             |
| --- | RIGHT-OF-WAY           |
| --- | BIKING                 |
| --- | SIDEWALK               |
| --- | SCREEN WALL            |
| --- | RETAINING WALL         |
| --- | STREET LIGHTS          |
| --- | LANE                   |
| --- | STRIPING               |
| --- | EXISTING CURB & GUTTER |
| --- | EXISTING BOUNDARY LINE |
| --- | EXISTING SIDEWALK      |
| --- | EXISTING LANE          |
| --- | EXISTING STRIPING      |

#### NOTES:

1. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
2. THE SITE IS WITHIN 300' OF BUS ROUTE #66, #790 AND #155 ON COORS BOULEVARD.
3. LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FLUORESCENT LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. BUILDING MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS. ALL SITE AND ACCESS LIGHTING SHOULD BE DESIGNED AS ENERGY SAVING LED LIGHTS.
4. STRUCTURE HEIGHT UP SHALL BE PER R-3 ZONE WITHIN TRACT 3-A AND SHALL ADDITIONALLY COMPLY WITH COORS CORRIDOR PLAN HEIGHT RESTRICTIONS.
5. SETBACKS SHALL BE PER THE R-3 ZONE WITHIN TRACT 3-A.
6. TRACT 3A SHALL ONLY BE OPERATED AS "HOUSING FOR OLDER PERSONS" AS THAT TERM IS DEFINED AT 42 U.S.C. SECTION 3607(b)(2), RESTRICTED TO RESIDENTS OF AGE 55 AND OLDER. THE FACILITY MAY PROVIDE SUPPORTIVE SERVICES SUCH AS MEALS, HOUSEKEEPING, SOCIAL ACTIVITIES, AND TRANSPORTATION.
7. BUILDING-MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.
8. DUMPSTER ENCLOSURE SHALL BE PAINTED TO COMPLEMENT THE BUILDING.
9. MINI CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGN, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11X11' PER DPM 7-11(0)).
10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER AS REQUIRED PER COA STD DWG 2430 AND 2415A.
11. PROPOSED DRIVE ASLE CROSSINGS TO BE ENHANCED INTEGRAL COLORED VEHICULAR CONCRETE PAVING WITH CONCRETE BANDS. SIDEWALKS TO BE CONCRETE.

#### SITE DATA

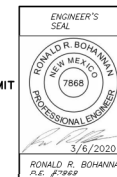
SITE AREA:	6.57 ACRES
BUILDING FOOTPRINTS:	63,490 SF 22.2%
(including Trash Enclosure)	
SITE FURNITURE:	819 SF 0.3%
(Signs, Canteen, Garden Beds, Game Courts)	
PERVIOUS SURFACES	122,433 SF 42.8%
(Road, Driveways, Parking, Sidewalks, Paths)	
IMPERVIOUS SURFACES	96,528 SF 34.7%
TOTAL SITE AREA:	286,270 SF 100%
PARKING	
ACCESSIBLE SPACES	1
VAN SPACE	1
SURFACE PARKING	181
TOTAL PARKING:	183 SPACES

#### BUILDING DATA

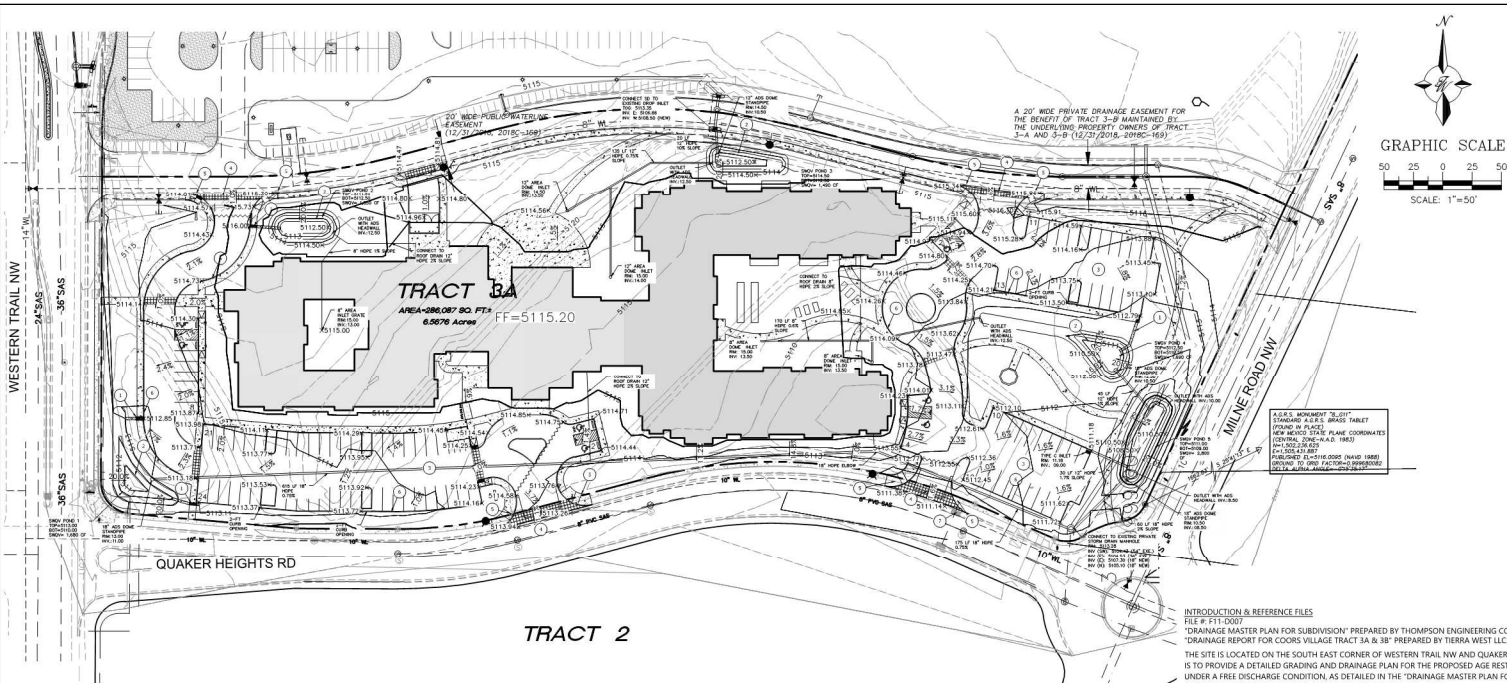
CONSTRUCTION TYPE: SA	MEMORY CARE	PRIVATE	18 UNITS	18 BEDS
MAXIMUM HEIGHT: 3-STORY	SEMI-PRIVATE	4 UNITS	4 UNITS	4 BEDS
ROOF HEIGHT: 40'-0"	TOTAL:	22 UNITS	22 UNITS	22 BEDS
BUILDING AREA	ASSISTED LIVING			
1ST FLOOR	STUDIO	15		
2ND FLOOR	ONE BED	45		
3RD FLOOR	TWO BED	15		
TOTAL	TOTAL:	75 UNITS		
	INDEPENDENT LIVING			
	ONE BED	36		
	TWO BED	11		
	TOTAL:	47 UNITS		

#### INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. CONSTRUCTIONS DETAILS
- C5. CONSTRUCTIONS DETAILS
- C6. CONSTRUCTIONS DETAILS
- L1. LANDSCAPING PLANS
- B1. BUILDING ELEVATIONS



<b>ENGINEER'S SEAL</b> RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7886 3/6/2020 RONALD R. BOHANNAN P.E. #7886	<b>TRACT 3A COORS VILLAGE</b> 4800 QUAKER HEIGHTS ABO NM 87120 <b>SITE PLAN FOR BUILDING PERMIT</b> <b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierawestllc.com	DRAWN BY RS DATE 3/5/2020 2019064_SP SHEET # <b>C1</b> JOB # 2019064
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LEGAL DESCRIPTION TRACT 3-A-1 COORS VILLAGE

#### Proposed Conditions

Basin Descriptions												100-Year, 6-Hr			10-Year, 6-Hr			SWQV		
Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Treatment A	Treatment B	Treatment C	Treatment D	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs	Vol Required (cf)	Provided (cf)				
					% (acres)	% (acres)	% (acres)	% (acres)												
B1	roadway	15,317	0.35	0.00055	0%	0%	0%	0%	15%	0.053	85%	0.299	1.823	0.053	1.46	1.120	0.033	0.94	N/A	
B2	3A	63,798	1.46	0.00229	0%	0.000	35%	0.513	0%	0.000	65%	0.952	1.515	0.185	5.20	0.883	0.108	3.14	1,451	1,680
B3	3A	13,188	0.30	0.00047	0%	0.000	100%	0.303	0%	0.000	0%	0.000	0.670	0.017	0.61	0.220	0.006	0.23	0	1,850
B4	3A	25,343	0.58	0.00091	0%	0.000	0%	0.000	0%	0.000	100%	0.582	1.970	0.096	2.54	1.240	0.060	1.68	887	
B5	3A	10,331	0.24	0.00037	0%	0.000	0%	0.000	0%	0.000	100%	0.237	1.970	0.039	1.04	1.240	0.025	0.69	352	1,490
B6	3A	26,911	0.62	0.00097	0%	0.000	82%	0.507	0%	0.000	18%	0.111	0.904	0.047	1.51	1.240	0.021	0.71	170	
B7	3A	15,135	0.35	0.00054	0%	0.000	0%	0.000	0%	0.000	100%	0.347	1.970	0.057	1.52	1.240	0.036	1.00	530	1,680
B8	3A	15,273	0.35	0.00055	0%	0.000	0%	0.000	0%	0.000	100%	0.351	1.970	0.058	1.53	1.240	0.036	1.01	535	
B9	3A	60,815	1.40	0.00218	0%	0.000	68%	0.949	0%	0.000	32%	0.447	0.986	0.126	3.88	0.546	0.064	2.01	681	
B10	3A	27,224	0.62	0.00098	0%	0.000	35%	0.344	0%	0.000	45%	0.261	1.255	0.085	1.93	0.879	0.035	1.07	429	2,800
B11	3A	12,752	0.29	0.00046	0%	0.000	92%	0.269	0%	0.000	8%	0.023	0.774	0.019	0.65	0.302	0.007	0.27	86	
Total		286,087	6.57	0.01026	0.000	2.884	0.053	3.631	0.761	21.872	0.430	12.763	5.079	5.079	9,510					

#### Equations:

Weighted E = Ea\*Area + Eb\*Ab + Ec\*Ac + Ed  
Volume = Weighted E \* Total Area  
Flow = Qa\*Area + Qb\*Ab + Qc\*Ac + Qd\*Ad

D	Slope	Area	R	Q Provided	Velocity
(in)	(%)	(ft <sup>2</sup> )		(cfs)	(ft/s)
12	0.50	0.79	0.250	2.53	3.22
12	1.00	0.79	0.250	3.57	4.55
12	1.70	0.79	0.250	4.66	5.93
18	0.75	1.77	0.375	9.12	5.16
18	2.00	1.77	0.375	14.90	8.43

Excess Precipitation, E (in.)	Zone 1	100-Year	10-Year
Ea	0.44	0.08	
Eb	0.67	0.22	
Ec	0.99	0.44	
Ed	1.97	1.24	

Peak Discharge (cfs/acre)	Zone 1	100-Year	10-Year
Qa	1.29	0.24	
Qb	2.03	0.76	
Qc	2.87	1.49	
Qd	4.37	2.89	

SWQV	Area At Mid Depth	Depth	Volume
1	840	2	1,680
2	925	2	1,850
3	745	2	1,490
4	845	2	1,690
5	1400	2	2,800

#### Stormwater Quality Volume

Total Impervious Area =  
Retention depth = 0.42" Per DPM pg. 272  
Retention Volume =

Area in "Treatment D"  
0.035  
= 0.035 x area

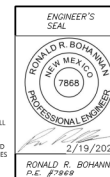
foot

CF

#### KEYED NOTES

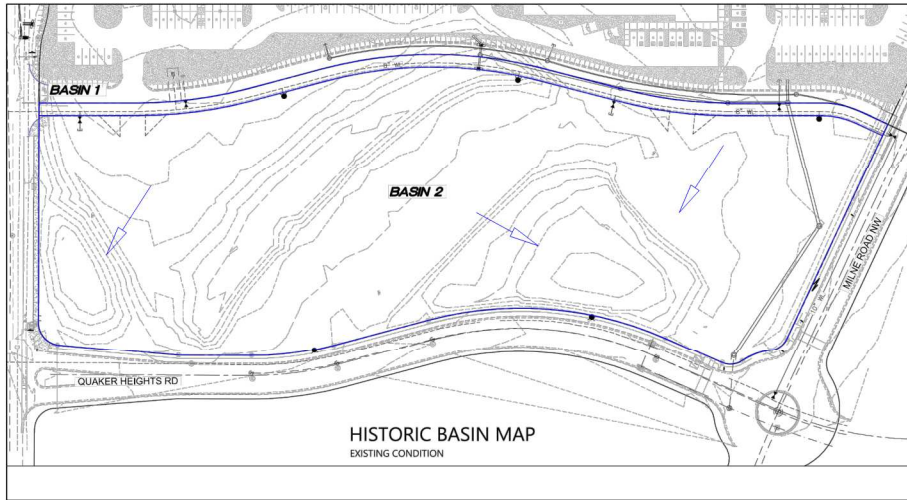
- 2-FT CURB CUT AND 2-FT CONCRETE RUNDOWN W/ SIDEWALK CULVERT
- SWQV POND - SEE PLAN FOR NUMBER AND VOLUME THIS SHEET
- ASPHALT PAVING (SEE GEOTECH REPORT)
- BUILD NEW DRIVEWAY (CURB, GUTTER & SW) AND REPLACE WITH COA STD. CURB, GUTTER & SW. MATCH EXISTING FL AT GUTTER.
- NEW HC RAMP PER COA STD. DETAIL
- ON-SITE CURB AND GUTTER
- MODIFY EXISTING CURB INLET TO BE FLUSH WITH FLOWLINE OF DRIVEWAY
- SURVEY PROVIDED BY PRECISION SURVEYS, INC. SEE SURVEY MONUMENT TIE THIS SHEET.
- A CROSS LOT DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS 3-A AND 3-B, TO BE MAINTAINED BY THE OWNERS OF EACH TRACT (12/31/2018, 2018C-169)

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS BUILT, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND ANY IMPROVEMENTS PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

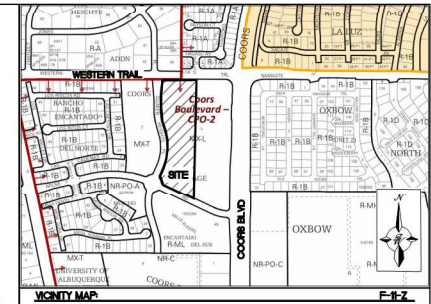


TRACT 3A COORS VILLAGE 4500 QUAKER HEIGHTS ABO NO 87102		DRAWN BY RS
GRADING & DRAINAGE PLAN		DATE 2/19/2020
		2019064_GR
		SHEET # C2
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 856-3100 www.tierawestllc.com		JOB # 2019064

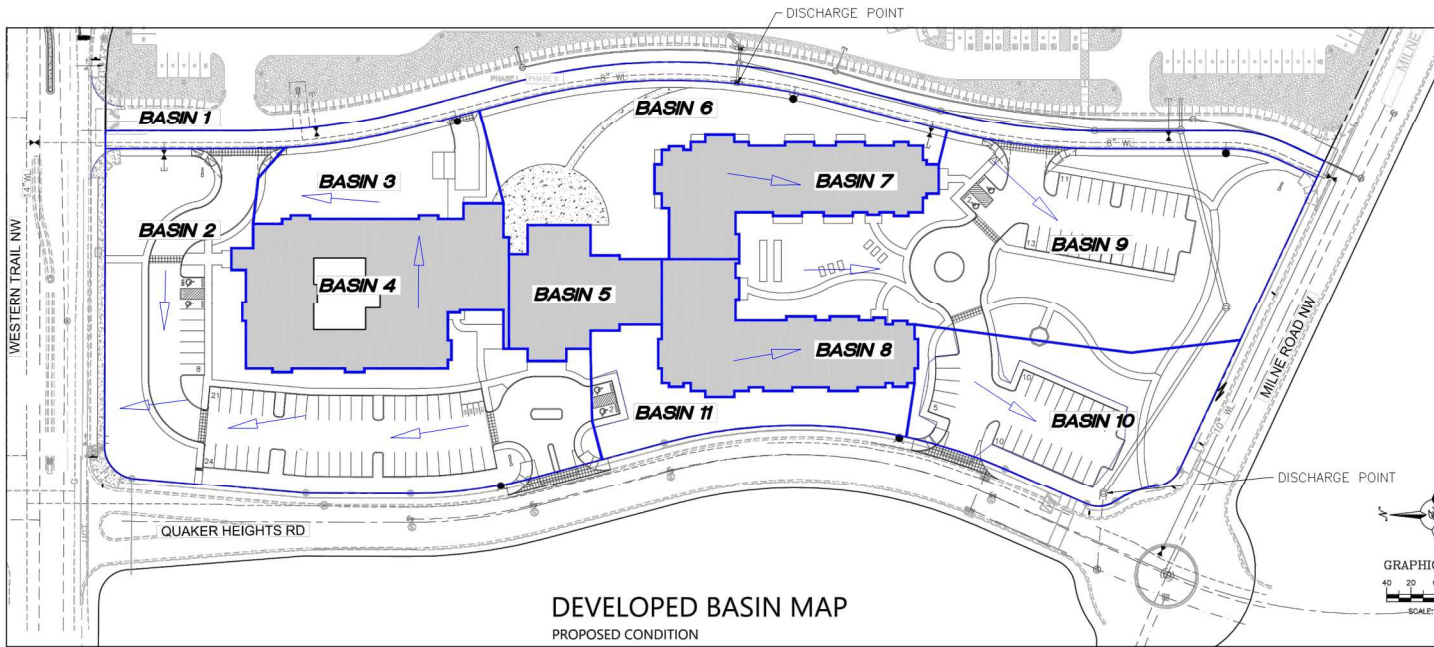





COA HYDRONUM FILES NO. ON RECORD IN SITE VICINITY

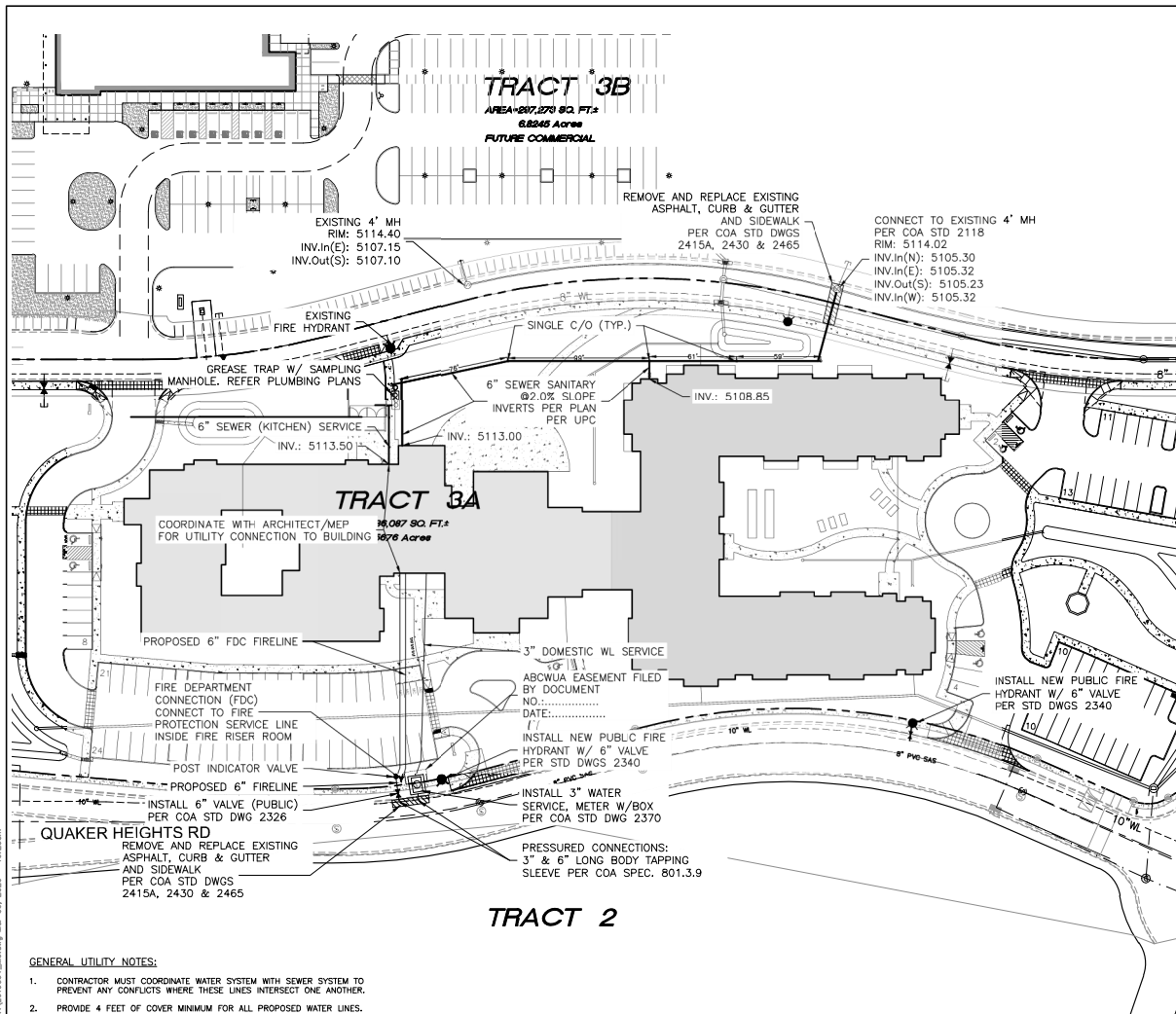


LEGAL DESCRIPTION: TRACT 3-A-1 COORS VILLAGE



	<b>TRACT 3A COORS VILLAGE</b> <b>4800 QUAKER HEIGHTS ABO NM 87120</b>  <b>BASIN MAP</b>	DRAWN BY RS DATE 2/19/2020 SHEET # 2019064_GR  <b>C2-A</b> JOB # 2019064
2/19/2020 RONALD R. BOHANNAN P.E. F-7888	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tterwestllc.com	

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**GENERAL UTILITY NOTES:**

1. CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
2. PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
3. AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
4. PROPOSED WATER LINE SHALL BE 8" FROM CENTERLINE (North and East), UNLESS OTHERWISE NOTED.
5. NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
6. CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
7. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
8. PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
9. P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
10. CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

**MATERIALS (OR EQUIVALENT APPROVED):**

1. SEWER TO BE SDR-35 PVC
2. WATER LINE TO BE C900-PVC DR18

**ABCWUA NOTES:**

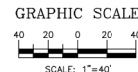
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/779/](http://abcwua.org/content/view/full/779/).

**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	36" SD STORM SEWER LINE
	8" SAS SANITARY SEWER LINE
	8" WL WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

**WATER NOTES:**

1. CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
2. PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS - ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320.
3. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
4. ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
5. ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
6. CITY PAVING OUT PERMIT REQUIRED BEFORE EXCAVATION.
7. RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
8. ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING 8" SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
9. CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
10. CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
11. CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
12. CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

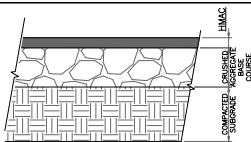


**CAUTION:**

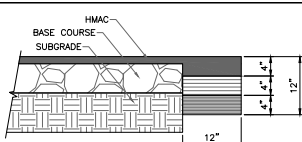
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	<b>TRACT 3A COORS VILLAGE</b> 4800 QUAKER HEIGHTS ABO NJ 87180	DRAWN BY RS
	<b>MASTER UTILITY PLAN</b>	DATE 3/5/2020
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87119 (505) 858-3100 <a href="http://www.terrawestllc.com">www.terrawestllc.com</a>	2019064_MU
		SHEET # <b>C3</b> JOB # 2019064





PAVEMENT SECTION DETAIL  
SCALE: 1"=1'



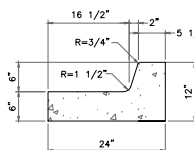
PAVEMENT TERMINUS  
SCALE: 1"=1'

#### PAVEMENT NOTES

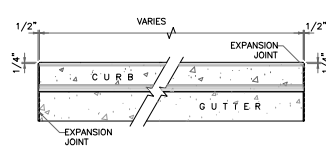
- SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
- BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557, TYPE A, GRADE 1 OR 2.
- BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
- PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
- COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
- C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
- STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.

#### TRENCHING

ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.



END SECTION



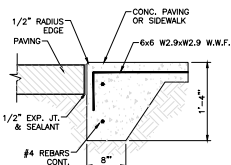
PLAN VIEW

#### NOTES:

- NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
- CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
- ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
- CONCRETE: CLASS "A" 3000 PSI.
- EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.
- THIS DETAIL APPLIES TO PRIVATE CURB WORK ONLY.

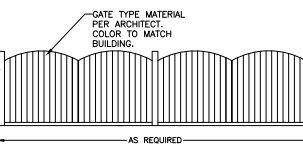
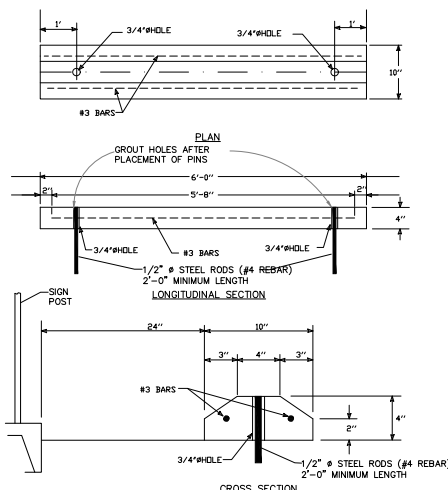
#### STANDARD 6" CURB & GUTTER DETAIL

SCALE: 1"=1'

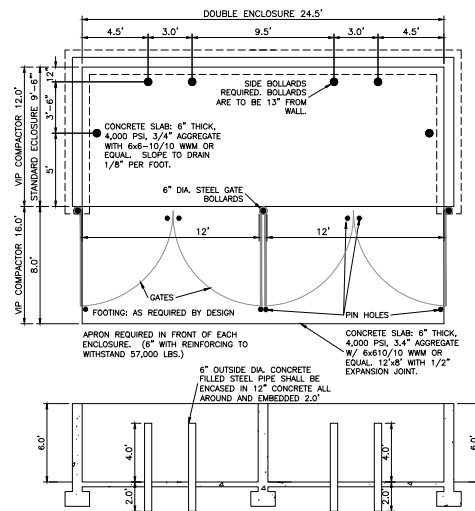


ZERO CURB  
NTS

#### WHEEL STOP



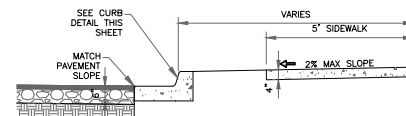
DOUBLE DUMPSTER ENCLOSURE DETAIL  
NTS



NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

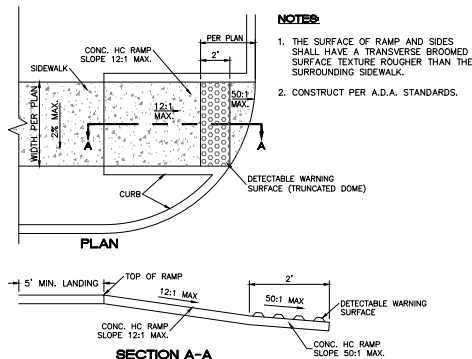
#### DOUBLE DUMPSTER ENCLOSURE DETAIL

NTS



#### NOTES:

- CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
- DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
- EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLDED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
- EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR CURBS.
- WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.



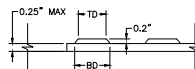
SECTION A-A

#### UNIDIRECTIONAL HC RAMP

NOT TO SCALE

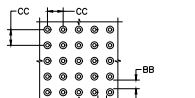
#### NOTES:

- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.



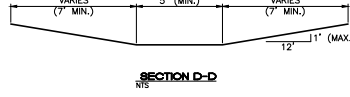
#### DOME SECTION

BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



#### DOME SPACING

CC - CENTER TO CENTER SPACING 2.35"  
BB - BASE TO BASE SPACING 1.48" MIN

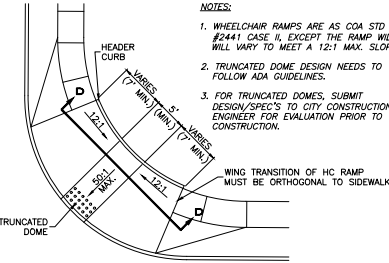


#### SECTION D-D

NTS

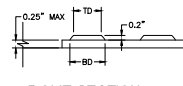
#### NOTES:

- WHEELCHAIR RAMPS ARE AS COA STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 MAX. SLOPE.
- TRUNCATED DOME DESIGN NEEDS TO FOLLOW ADA GUIDELINES.
- FOR TRUNCATED DOMES, SUBMIT DESIGN/SPEC'S TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.



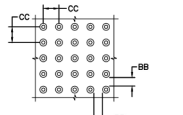
#### CURB RETURN HC RAMP DETAIL (TYP.)

NTS



#### DOME SECTION

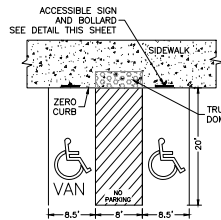
BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



#### DOME SPACING

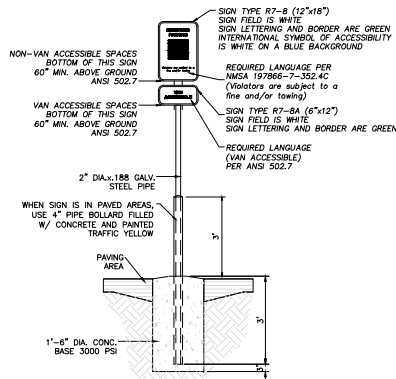
CC - CENTER TO CENTER SPACING 2.35"  
BB - BASE TO BASE SPACING 1.48" MIN

	TRACT 3A COORBS VILLAGE 4600 QUAKER HEIGHTS ABO NM 87102	
	CONSTRUCTION DETAILS	
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	
	DRAWN BY RS DATE 3/5/2020 2019064_DT SHEET # C4 JOB # 2019064	

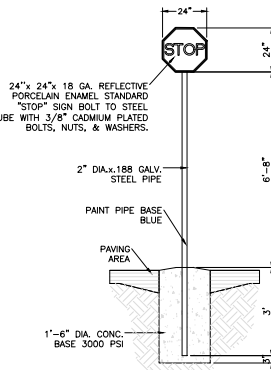


- NOTES:
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
  - 2) Parking space lines and diagonal striping to be painted blue.
  - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
  - 4) ADA parking areas - not to exceed a slope greater than 2% in any direction

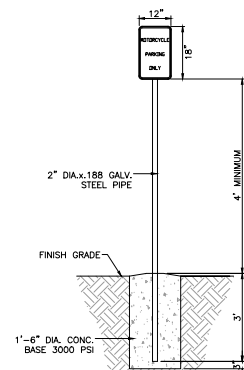
**HC PARKING DETAIL**  
NTS



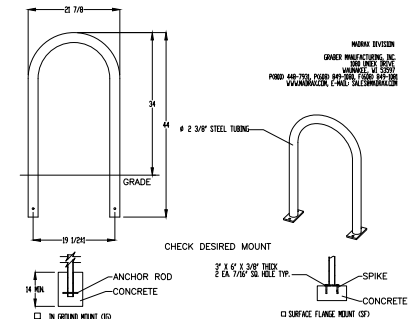
**ACCESSIBLE PARKING SIGN**  
NTS



**STOP SIGN**  
R24-1



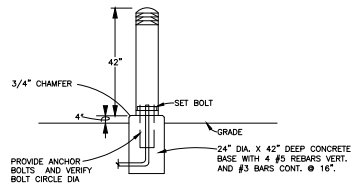
**MOTORCYCLE PARKING SIGN**  
NTS



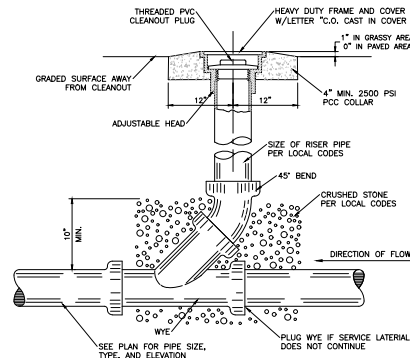
PRODUCT (NON-VEGET)  
DESCRIPTION: BIKE RACK  
DATE: 10-4-18  
END: OK  
CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR REPRODUCED  
IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF QUAKER MANUFACTURING, INC.  
SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.  
©2018 QUAKER MANUFACTURING, INC. ALL PROPRIETARY RIGHTS RESERVED.

NOTES:  
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
2. REFER TO LOCAL CODES FOR ANY MANUFACTURER'S SPECIFICATIONS.  
3. SEE SITE PLAN FOR LOCATION OF BIKE RACKS.

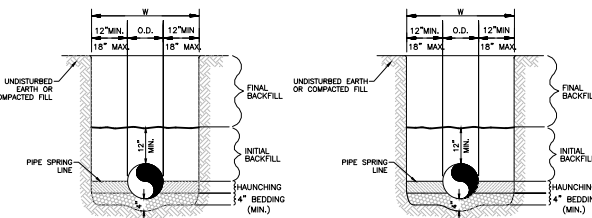
**BIKE RACK DETAIL**  
SCALE: NONE



**BOLLARD LIGHT FIXTURE DIAGRAM**  
NTS



**SANITARY SEWER CLEAN-OUT**  
NTS



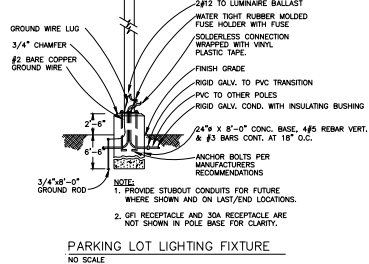
**WATER LINE**

**GENERAL NOTES**

**SANITARY SEWER**

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION).
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 95% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHIELDED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

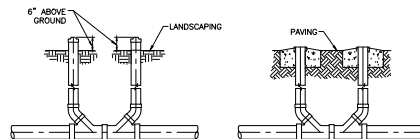
**UTILITY TRENCH AND BEDDING DETAIL**  
NTS



**PARKING LOT LIGHTING FIXTURE**  
NO SCALE

**LIGHT POLE DETAIL**  
NTS

- NOTE:
1. LIGHTING SHALL COMPLY WITH ZONING CODE §14-16-3-9.
  2. HEIGHT LIMITED TO 16'.

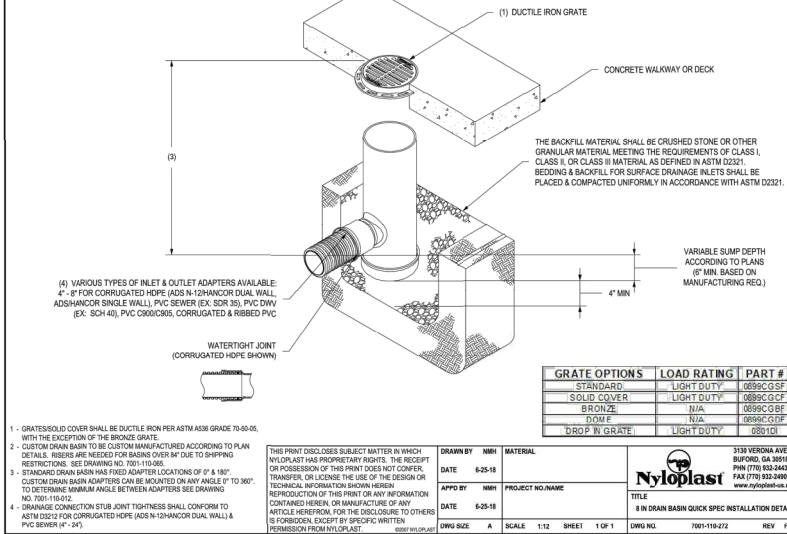


**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS

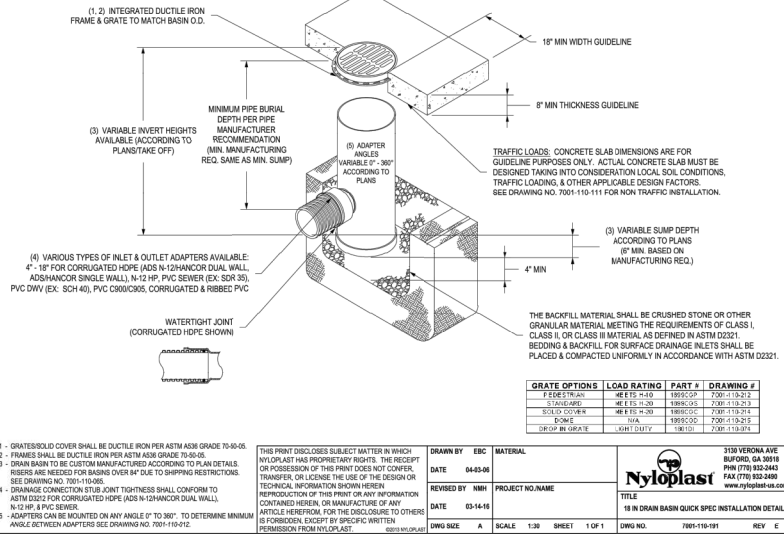
<b>ENGINEER'S SEAL</b>  RONALD R. BOHANNAN P.E. #7868	<b>TRACT 3A COORS VILLAGE</b> 4600 QUAKER HEIGHTS ABO NM 87102  <b>CONSTRUCTION DETAILS</b>  <b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	DRAWN BY RS
		DATE 3/5/2020
		SHEET # C5
		JOB # 2019064



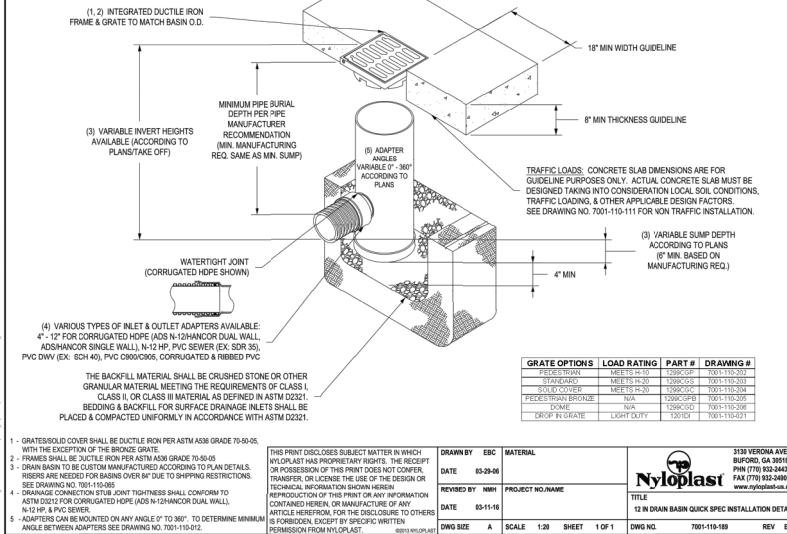
# NYLOPLAST 8" DRAIN BASIN: 2808AG \_\_ X



# NYLOPLAST 18" DRAIN BASIN: 2818AG \_\_ X



# NYLOPLAST 12" DRAIN BASIN: 2812AG \_\_ X



ENGINEER'S SEAL

RONALD R. BOHANNAN

PROFESSIONAL ENGINEER

NEW MEXICO

7868

3/6/2020

RONALD R. BOHANNAN

P.E. #7868

TRACT 3A COORBS VILLAGE

4600 QUAKER HEIGHTS ABO NM 87120

CONSTRUCTION DETAILS

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE

ALBUQUERQUE, NM 87109

(505) 658-3100

www.tierrowestllc.com

DRAWN BY: RS

DATE: 3/5/2020

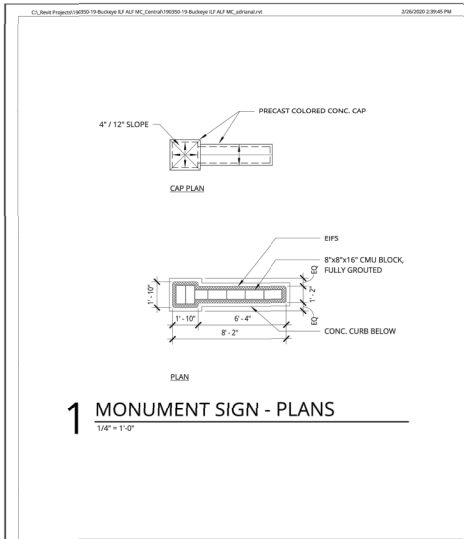
2019064\_DT

SHEET #

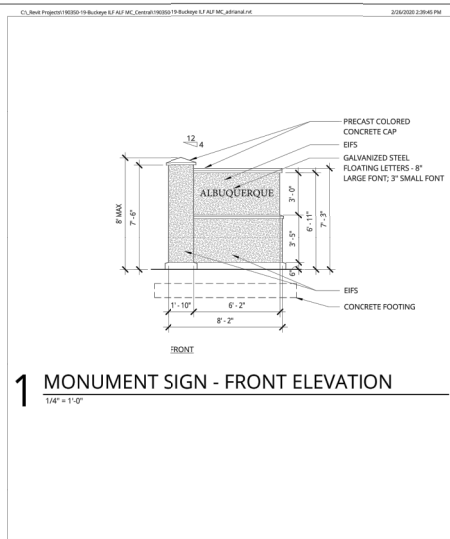
C6

JOB #

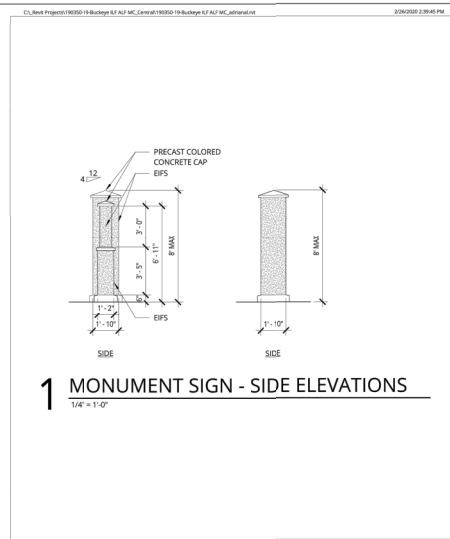
2019064



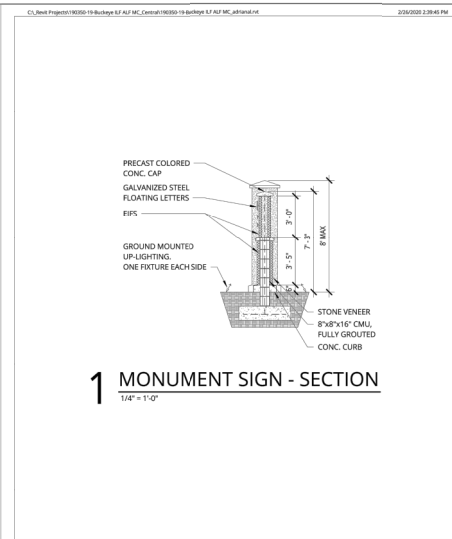
 Ankrom Moisan	30 NORTHWEST DRIVE, SUITE 300 PORTLAND, OR 97209 T 503.248.7100	ALBUQUERQUE SENIOR LIVING	APPROVER	MONUMENT SIGN - PLAN	
	1903 5TH AVE, SUITE 300 MIDCITY, WA 98107 T 206.255.1000 © ANKROM MOISAN ARCHITECTS, INC.		DATE	ISSUE DATE	
			PROJECT #	190350	
			SCALE	1/4" = 1'-0"	
LINK DEVELOPMENT				1.00	



 Ankrom Moisan	36 NORTHWEST DAVIS, SUITE 300 PORTLAND, OR 97209 T 503.246.7199	ALBUQUERQUE SENIOR LIVING          LINK DEVELOPMENT	APPROVED	MONUMENT SIGN - FRONT ELEVATION	
	1105 1TH AVE, SUITE 300 SEATTLE, WA 98101 T 206.376.1000 O ANKROM MOISAN ARCHITECTS, INC.		DATE	ISSUE DATE	
			PROJECT #:	190350	
			SCALE:	1/4" = 1'-0"	
					2.00



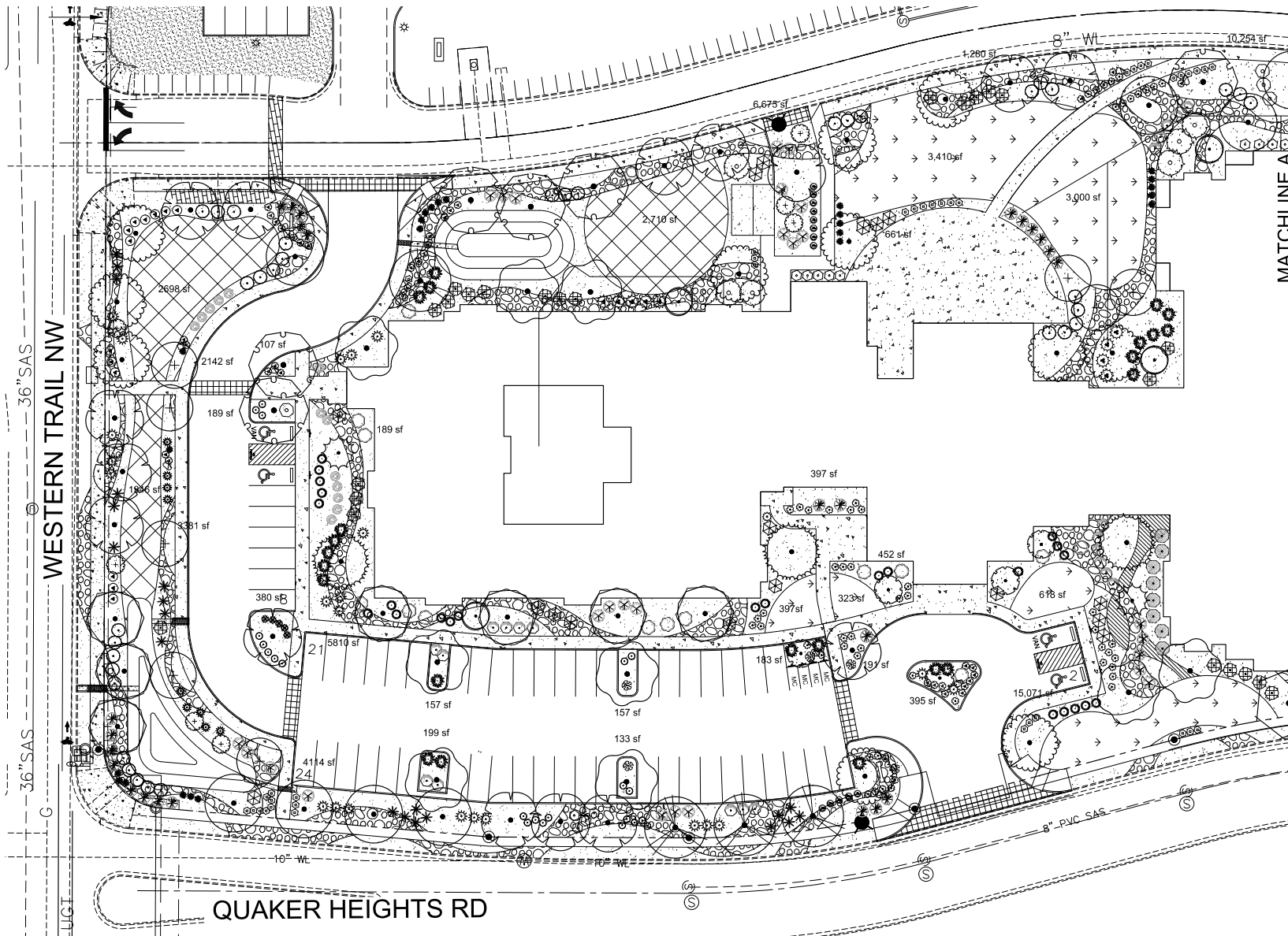
 Ankrom Moisan	30 NORTHWEST DAHS, SUITE 300 DENVILLE, GA 30128 P 770.342.7100	ALBUQUERQUE SENIOR LIVING	Approver	MONUMENT SIGN - ELEVATION
	1003 2ND AVE, SUITE 300 DENVILLE, GA 30128 P 770.342.7100	LINK DEVELOPMENT	DATE:      ISSUE DATE:	
			PROJECT #:    190350	
			SCALE:        1/4" = 1'-0"	
				3.00



 Ankrom Moisan	38 HIGHTOWER DRIVE, SUITE 300 PORTLAND, OR 97208 T 503.248.7100	ALBUQUERQUE SENIOR LIVING	Approver	MONUMENT SIGN SECTION
	1503 8TH AVE, SUITE 800 SEATTLE, WA 98101 T 206.461.1800 WWW.ANKROMMOISAN.COM		DATE:      ISSUE DATE:	
	LINK DEVELOPMENT		PROJECT #:      190350	
	SCALE:      1/4" = 1'-0"			
				4.00

	TRACT 3A COORS VILLAGE	DRAWN BY
	4600 QUAKER HEIGHTS ABC NM 87820	RS
	MONUMENT SIGN	DATE
		3/5/2020
		2019064_DT
		SHEET #
		C7
		JOB #
		2019064





FOR LEGENDS AND NOTES,  
SEE SHEET LP-00



**YELLOWSTONE**  
LANDSCAPE

www.yellowstonelandscape.com  
PO Box 10597  
Albuquerque, NM 87184  
505.898.9615  
design@yellowstonelandscape.com



Date: 02.26.2020

Revisions:  
03.05.2020

▲  
▲  
▲  
▲

Drawn by: RMC  
Reviewed by: JJB

**COORS VILLAGE  
INDEPENDENT LIVING**  
QUAKER HEIGHTS PL NW & MILNE RD NW  
ALBUQUERQUE, NM



NORTH

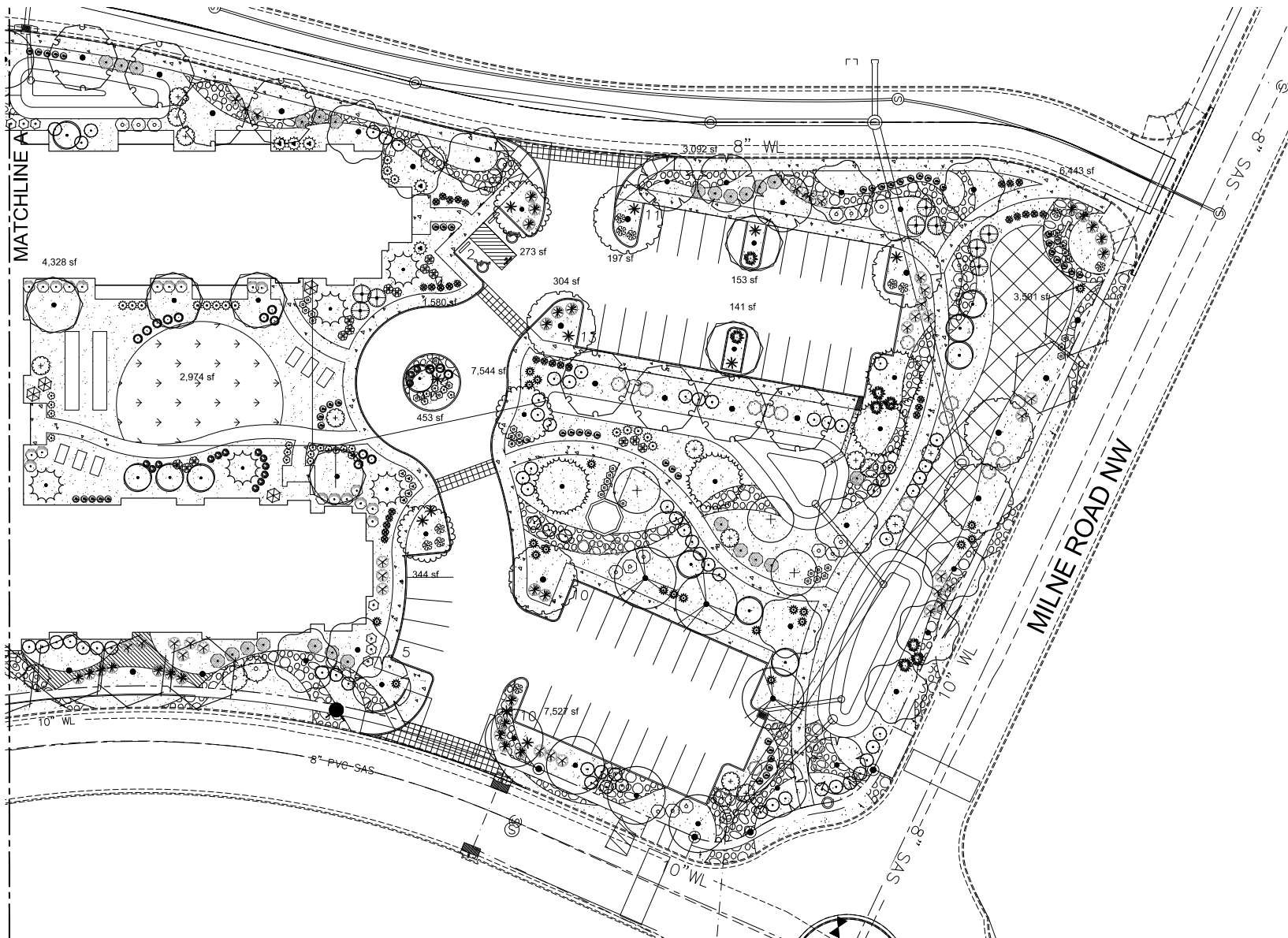
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Sheet Title:  
**LANDSCAPE  
PLAN**

Sheet Number:

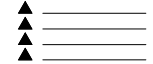
**LP-01**



FOR LEGENDS AND NOTES,  
SEE SHEET LP-00



Date: 02.26.2020  
Revisions:  
03.05.2020



Drawn by: RMC  
Reviewed by: JB

**COORS VILLAGE  
INDEPENDENT LIVING**  
QUAKER HEIGHTS PL NW & MILNE RD NW  
ALBUQUERQUE, NM



Scale: 1" = 20'



Sheet Title:  
**LANDSCAPE  
PLAN**

Sheet Number:

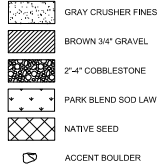
**LP-02**



# PLANT SCHEDULE COORS VILLAGE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	14	Acer negundo 'Sensation' / Sensation Box Elder	2" B&B	Medium	35	40' X 30'
	6	Celtis occidentalis / Common Hackberry	2" B&B	Medium	35	40' X 40'
	5	Cercis reniformis 'Oklahoma' / Oklahoma Red Bud	2" B&B	Medium	30	15' x 12'
	14	Gleditsia tricanthos inermis / Thornless Common Honeylocust	2" B&B	Medium +	30	50' X 45'
	13	Pistacia chinensis / Chinese Pistache	2" B&B	Medium	45	60' X 60'
	21	Quercus buckleyi / Texas Red Oak	2" B&B	Medium		40' X 40'
	12	Quercus gambelli / Gambel Oak	2" B&B	Medium	40	25' x 25'
	22	Quercus muhlenbergii / Chinkapin Oak	2" B&B	Medium	40	40' x 35'
	6	Ulmus parvifolia / Lacebark Elm	2" B&B	Medium	40	35' x 40'
	7	Ulmus x 'Frontier' / Frontier Hybrid Elm	2" B&B	Medium		30' x 30'
DESERT ACCENT TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	12	Chilopsis linearis / Desert Willow	5 gal	RW	45	20' X 25'
	15	Forestiera neomexicana / New Mexican Olive	15 gal	Medium	30	15' X 15'
	7	Vitex agnus-castus / Chaste Tree	5 gal	Medium	35	20' X 20'
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	7	Cedrus atlantica 'Glauca' / Blue Atlas Cedar	6" B&B	Medium +		75' X 50'
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	38	Buddleja davidii / Butterfly Bush	1 gal	Medium	20	6' X 6'
	22	Caesalpinia gilliesii / Yellow Bird of Paradise	1 gal	RW	40	10' X 10'
	13	Caryopteris x clandonensis / Blue Mist Spirea	1 gal	Medium	15	4' X 4'
	14	Chamaebatiaria millefolium / Fernbush	5 gal	Low+	30	5' X 6'
	9	Lagerstroemia indica 'Natchez' / Natchez White Crape Myrtle	5 gal	Medium+		15' X 10'
	16	Mirabilis multiflora / Desert Four O'Clock	1 gal	Low+	25	2' X 5'
	24	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	1 gal	Medium		1' X 3'
	57	Peroovskia atriplicifolia / Russian Sage	1 gal	Medium	20	5' X 5'
	15	Potentilla fruticosa / Potentilla	1 gal	Medium+	10	3' X 3'
	26	Prunus x cistena / Purple Leaf Sand Cherry	5 gal	Medium		6' X 6'
	101	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low+	30	2' X 6'
	24	Rhus trilobata / Three Leaf Sumac	5 gal	Low+	30	6' X 6'
	14	Rosa x 'Knockout' TM Pink / Knockout Rose Pink	5 gal	Medium+	20	3' X 3'
	75	Sakva greggii / Autumn Sage Cherry	1 gal	Medium	15	3' X 3'
	36	Sakva greggii 'Ultraviolet' / Ultraviolet Autumn Sage	1 gal	Low+		3' X 3'
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
	20	Artemisia filifolia / Sand Sagebrush	1 gal	RW	25	4' X 4'
	17	Artemisia tridentata / Big Sagebrush	5 gal	Low		4' X 4'
	50	Baccharis x 'Stam' / Thompson Broom	5 gal	Low+	30	2' X 5'

## MATERIALS LEGEND



## SITE DATA

GROSS LOT AREA (6.5 AC)	286,087 SF
LESS BUILDING(S)	66,672 SF
NET LOT AREA	219,512 SF
REQUIRED LANDSCAPE	32,027 SF
PROPOSED LANDSCAPE AREA	132,130 SF
PERCENT OF NET LOT AREA	61 %
HIGH WATER USE TURF	23,504 SF
MAX 20% OF LANDSCAPE AREA	12,607 SF
PROPOSED HIGH WATER USE TURF	11 %
REQUIRED STREET TREES	8
1 PER 30 L.F. OF WESTERN TRAIL NW	9
PROVIDED STREET TREES	
REQUIRED PARKING LOT TREES	
1 PER 10 SPACES	10
84 SPACES/10	
PROVIDED PARKING LOT TREES	15
REQUIRED DWELLING UNIT TREES	
ONE PER FIRST FLOOR UNIT	62
ONE PER SECOND FLOOR UNIT	41
PROVIDED DWELLING UNIT TREES	103
TOTAL TREES REQUIRED/PROVIDED	121 / 127
REQUIRED LANDSCAPE COVERAGE	
75% LIVE VEGETATIVE MATERIAL	65,822 SF MN.
(87,498 SF PROPOSED LANDSCAPE X 75%)	70,852 SF
PROVIDED GROUND COVER COVERAGE (81%)	
SOD LAWN 100 % COVERAGE	12,607 SF
NATIVE SEED	8,768 SF
TOTAL PROVIDED GROUND COVER COVERAGE	90,214 SF

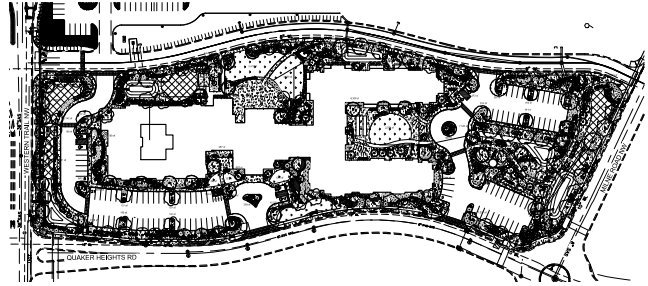
## IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:  
ESTABLISHMENT AND SUMMER:  
1 HOUR/4 DAYS A WEEK  
SPRING:  
1 HOUR/2-3 DAYS A WEEK  
FALL:  
1 HOUR/2-3 DAYS A WEEK  
WINTER:  
1 HOUR/2 DAYS PER MONTH

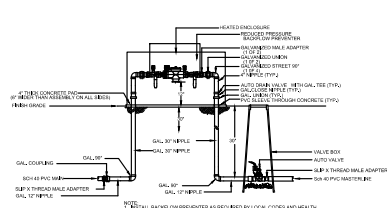


## ORNAMENTAL GRASSES

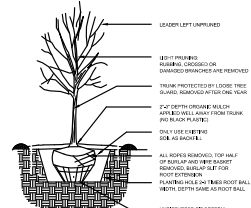
QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	H X S
62	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	5 gal	Medium	10	3' X 2'
40	Muhlenbergia capillaris 'Regal Mist' / Regal Mist Muhly	1 gal	Medium		3' X 3'
13	Muhlenbergia rigens / Deer Grass	1 gal	Low+		4' X 4'
32	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass	1 gal	Medium	15	8' X 6'



OVERALL PLAN



RP BACKFLOW/MASTER VALVE DETAIL



TREE PLANTING DETAIL

## NOTE

MAINTENANCE OF LANDSCAPE (ON SITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1, PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 10' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-4-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10 AND I.D.O.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A BACKLASH AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY TO DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES



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Date: 02.26.2020  
Revisions:  
03.05.2020

Drawn by: RMC  
Reviewed by: JB

COORS VILLAGE  
INDEPENDENT LIVING  
QUAKER HEIGHTS PL NW & MILNE RD NW  
ALBUQUERQUE, NM



NORTH

Scale: 1" = 100'



Sheet Title:

**OVERALL  
PLAN**

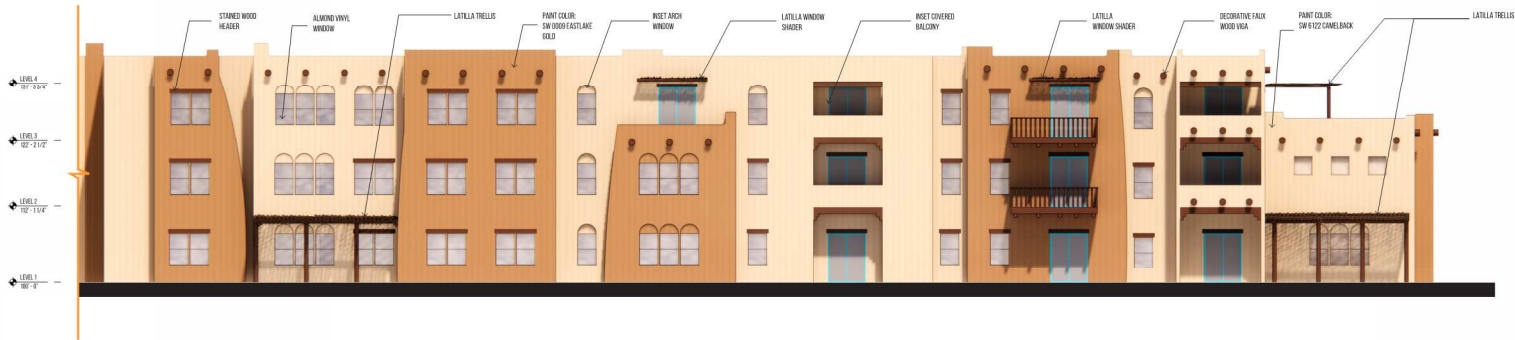
Sheet Number:

**LP-00**

# ALBUQUERQUE, NEW MEXICO



1 MAIN ENTRY  
SCALE: 1/8" = 1'-0"



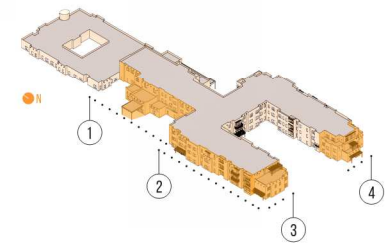
2 AL WING WEST  
SCALE: 1/8" = 1'-0"



3 AL WING SOUTH  
SCALE: 1/8" = 1'-0"



4 IL WING SOUTH  
SCALE: 1/8" = 1'-0"



NOTE: ALL MECHANICAL EQUIPMENT SCREENED BY ROOF PRODUCTS AND WILL NOT BE VISIBLE FROM GROUND LEVEL.



# ALBUQUERQUE, NEW MEXICO



5 AL WING EAST  
SCALE: 1/8" = 1'-0"



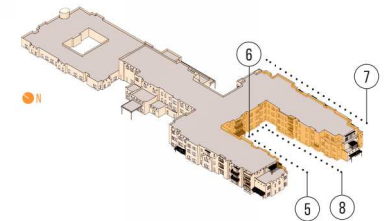
6 IL WING WEST  
SCALE: 1/8" = 1'-0"



7 IL WING EAST  
SCALE: 1/8" = 1'-0"



8 IL WING EAST  
SCALE: 1/8" = 1'-0"

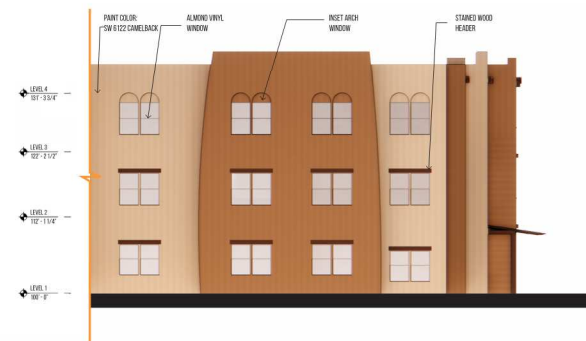


NOTE: ALL MECHANICAL EQUIPMENT SCREENED BY ROOF  
PARKING AND WILL NOT BE VISIBLE FROM GROUND LEVEL.

# ALBUQUERQUE, NEW MEXICO



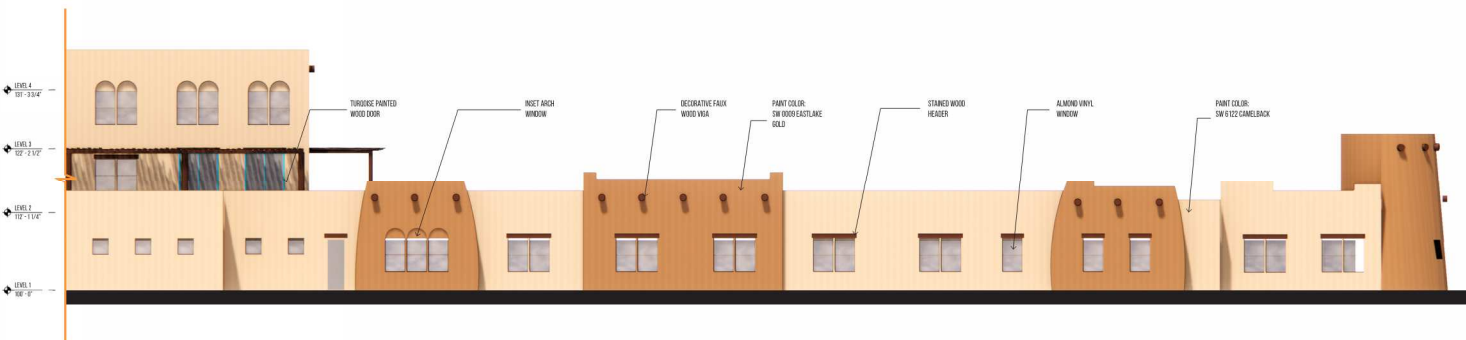
9 IL WING NORTH  
SCALE: 1/8" = 1'-0"



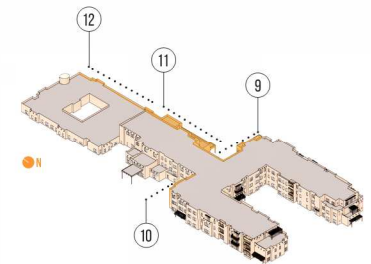
10 AL WING NORTH  
SCALE: 1/8" = 1'-0"



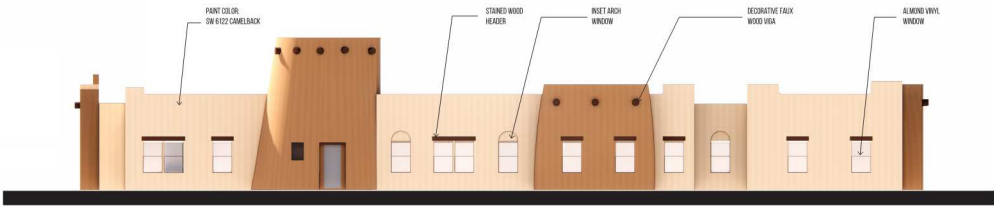
11 IL/AL DINING EAST  
SCALE: 1/8" = 1'-0"



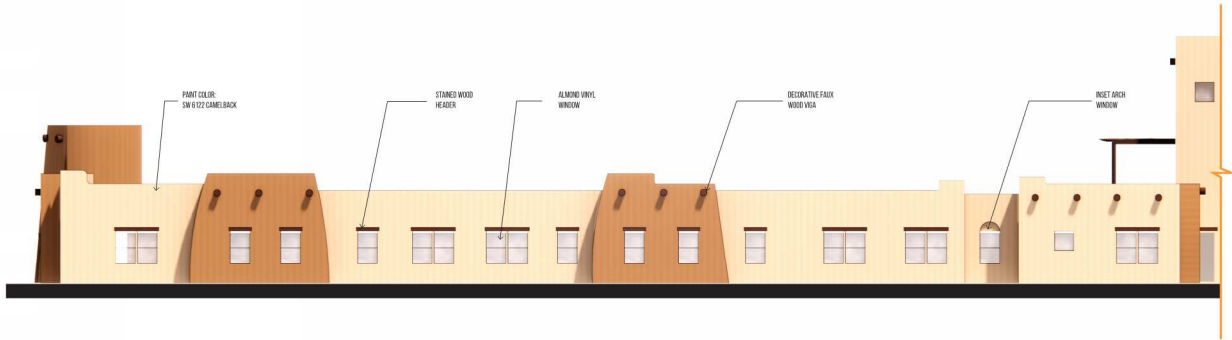
12 MC WING EAST  
SCALE: 1/8" = 1'-0"



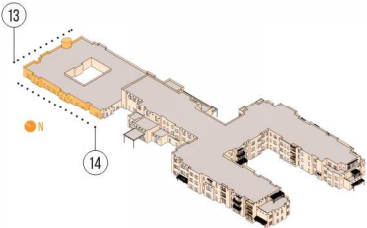
NOTE: ALL MECHANICAL EQUIPMENT SCREENED BY ROOF  
PRODUCTS AND WILL NOT BE VISIBLE FROM GRAND LEVEL.



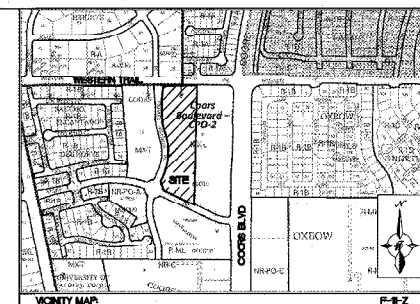
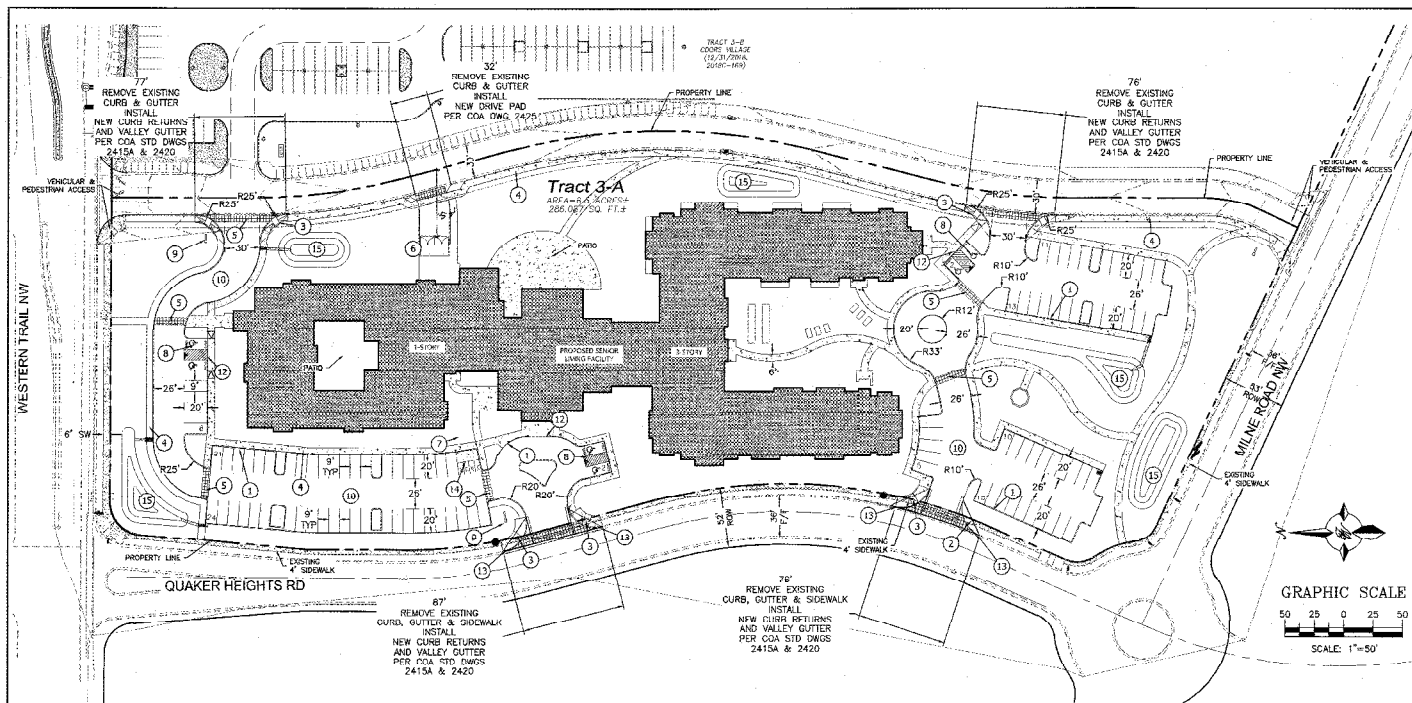
13 MC WING NORTH  
SCALE: 1/8" = 1'-0"



14 MC WING WEST  
SCALE: 1/8" = 1'-0"

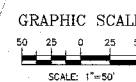


NOTE: ALL MECHANICAL EQUIPMENT SCREENED BY ROOF  
PRODUCTS AND WILL NOT BE VISIBLE FROM GRAND LEVEL.



**LEGAL DESCRIPTION**  
Lot 3-A Coors Village Albuquerque, Bernalillo County, New Mexico January 2020

SITE DATA TABLE									
AREA (AC)	BUILDING AREA	UNIT	FOOTPRINT AREA	USE	ZONING	PARKING CALCULATIONS	PRVG. PRVG. #/HD	COMPACT SPACES	HC PRVG. REQ.
6.56	143,808 SF (GROSS)	131	63,490 SF	SENIOR INDEPENDENT LIVING (AGE RESTRICTED MULTI-FAMILY)	SU-3	ASSISTED LIVING 1 SPACE / 3 BEDS NURSING HOME 1 SPACE / 5 BEDS. (-10% WITHIN 300' OF A TRANSIT ROUTE)	88	106	8
									HC PRVG. REQ.
									HC VAN. HO. VAN. HO. PRVG. REQ.
									MC PRVG. REQ.
									MC PRVG. REQ.
									BIKE SPACES REQ.
									BIKE SPACES PRVG.
									PROPOSED FAR.
									MAX. FAR.



**PROJECT NUMBER: PR-2018-001584**  
**APPLICATION NUMBER: 31-2018-00151**

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a list of proposed IRL items with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineer, Transportation Division	Date
ARCWJA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

**KEYED NOTES:**

1. CURB & GUTTER (SEE DETAIL SHEET C0)
2. STRAIGHT HC RAMP (SEE DETAIL SHEET C0)
3. CURB RETURN HC RAMP (SEE DETAIL SHEET C0)
4. 8 FT. SIDEWALK PER COA STD DWG #2430
5. 6 FT. PAVED PEDESTRIAN CROSSING OF COLORED, TEXTURED CONCRETE (SEE NOTE 8 THIS SHEET)
6. DUMPSTER ENCLOSURE RECYCLE & WASTE (SEE DETAIL SHEET C0)
7. BIKE RACK (SEE DETAIL SHEET C0)
8. ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET C7 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND STRIPS, TYPICAL-HIGHWAYS VAN ACCESSIBLE SPACE. (SEE DETAIL SHEET C0)
9. PROPOSED MONUMENT SIGN (SEE ELEVATION SHEETS FOR DETAILS)
10. ASPHALT PAVEMENT (SEE GEOTECH REPORT)
11. NOT USED
12. 3000 CURB (SEE DETAIL SHEET C0)
13. SIGHT TRIANGLE (SEE NOTE 8 THIS SHEET)
14. MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C0)
15. SNOW POND (SEE GRADING SHEET FOR DETAILS)

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING

**NOTES:**

1. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
2. THE SITE IS WITHIN 300' OF BUS ROUTE #60, #70 AND #150 ON COORS BOULEVARD.
3. LIGHT POLES SHALL BE A MAXIMUM OF 16 FEET WITH FULL CUT OFF SHIELDS ON FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FLUORESCENT LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. BUILDING MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS. ALL SITE AND ACCESS LIGHTING SHOULD BE DESIGNED AS ENERGY SAVING LED LIGHTS.
4. STRUCTURE HEIGHT UP SHALL BE PER R-3 ZONE WITHIN TRACT 3-A AND SHALL ADDITIONALLY COMPLY WITH COORS CORRIDOR PLAN HEIGHT RESTRICTIONS.
5. SETBACKS SHALL BE PER THE R-3 ZONE WITHIN TRACT 3-A.
6. TRACT 3-A SHALL ONLY BE OPERATED AS "HOUSING FOR OLDER PERSONS" AS THAT TERM IS DEFINED AT 42 U.S.C. SECTION 5407(d)(2). RESTRICTED TO RESIDENTS OF AGE 55 AND OLDER. THE FACILITY MAY PROVIDE SUPPORTIVE SERVICES SUCH AS MEALS, HOUSEKEEPING, SOCIAL ACTIVITIES, AND TRANSPORTATION.
7. BUILDING-MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.
8. DUMPSTER ENCLOSURE SHALL BE PAINTED TO COMPLEMENT THE BUILDING.
9. WITH CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER FAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11X11 PER DPM 7-11(10)).
10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER AS REQUIRED PER COA STD DWG 2430 AND 2415A.

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
  - C2. GRADING AND DRAINAGE PLAN
  - C3. MASTER UTILITY PLAN
  - C4. CONSTRUCTIONS DETAILS
  - C5. CONSTRUCTIONS DETAILS
  - C6. CONSTRUCTIONS DETAILS
  - L1. LANDSCAPING PLANS
  - B1. BUILDING ELEVATIONS

SITE DATA		BUILDING DATA	
SITE AREA:	6.57 ACRES	CONSTRUCTION TYPE: SA	MAXIMUM CASE
BUILDING POLYPERIMETER:	63,490 SF 22.2%	MAXIMUM HEIGHT: 3-STORY	MAXIMUM CASE
PERIMETER TURN DISTANCE:		FOOTPRINT: 40,000'	MAXIMUM CASE
SITE FURNITURE:	111 SF 0.3%	BUILDING AREA:	MAXIMUM CASE
Upright, Cactus, Garden Beds, Game Cases		1ST FLOOR:	MAXIMUM CASE
PERVIOUS SURFACE:	124,428 SF 42.5%	2ND FLOOR:	MAXIMUM CASE
LANDSCAPE:		3RD FLOOR:	MAXIMUM CASE
IMPERVIOUS SURFACE:	91,328 SF 34.7%	TOTAL:	MAXIMUM CASE
ROAD, DRIVEWAY, PARKING, SIDEWALK, FUTURE LOT 3-A DRIVE	28,270 SF 10.7%		
PARKING:			
RECYCLED RUBBER:	0		
ASPHALT:	100		
SURFACE PARKING:	100		
PERVIOUS SURFACE:	100		

ENGINEER'S SEAL	TRACT 3A COORS VILLAGE 4500 QUAKER HEIGHTS ABO NW 8780	DRAWN BY RS
	<b>SITE PLAN FOR BUILDING PERMIT</b>	DATE 3/3/2020
		2019064_SP
		SHEET #
		<b>C1</b>
		JOB # 2019064