

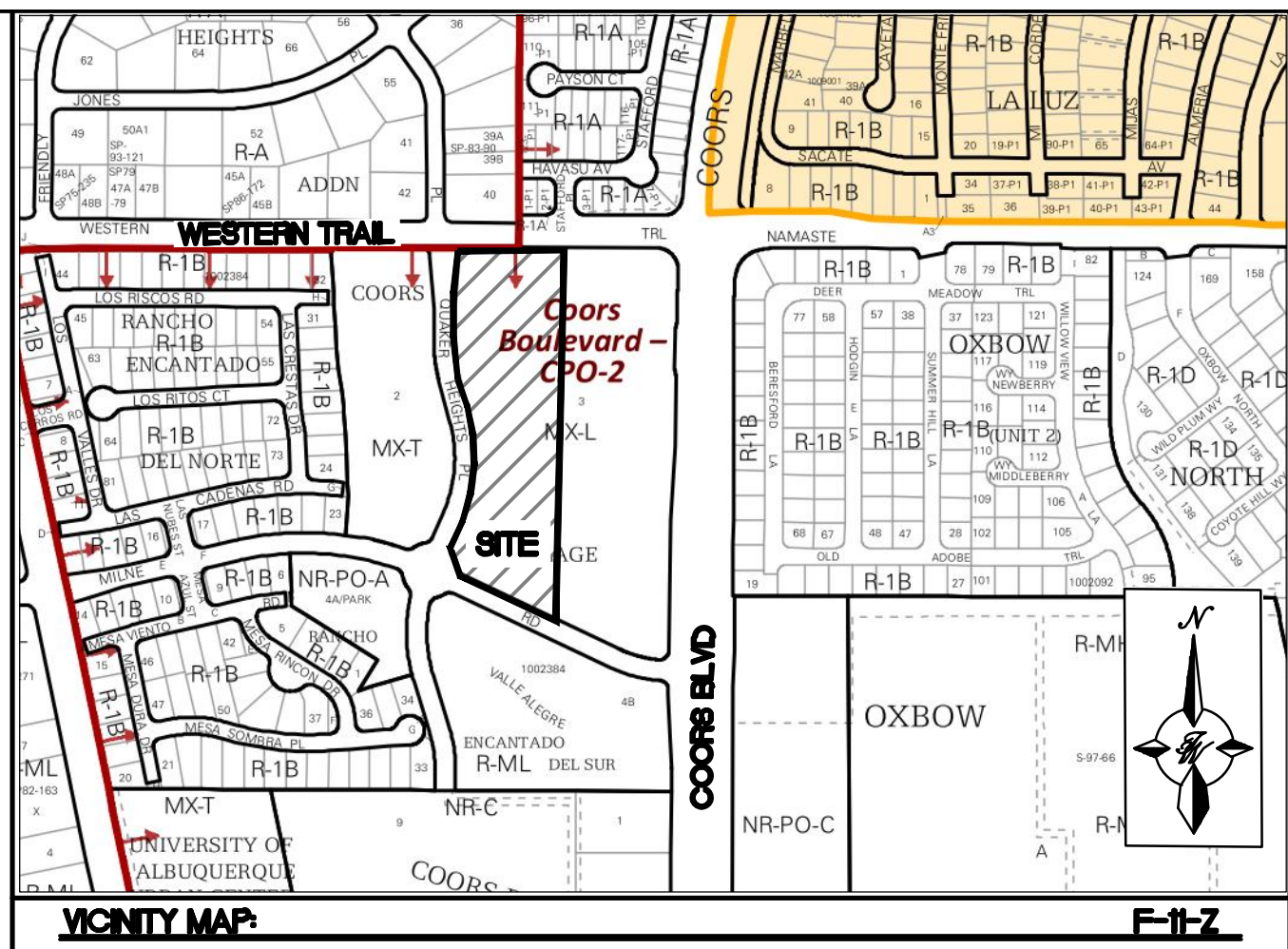
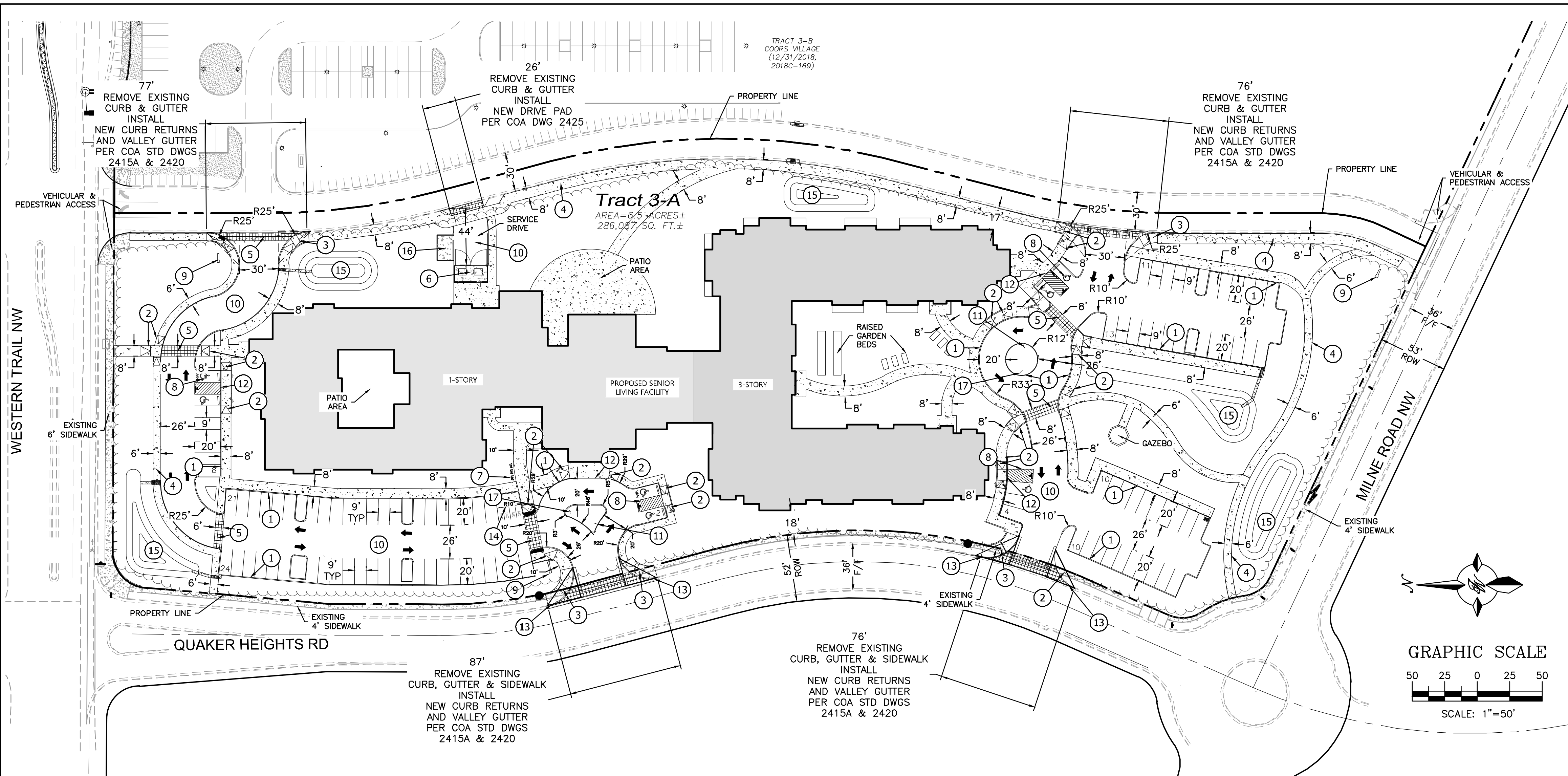
ADMINISTRATIVE AMENDMENT

FILE # SI-2018
-000151 PROJECT # PR-2018
-001584

Minor changes to building footprint, revised
building elevations, updated parking, access,
circulation, and landscape.

RBrito Digitally signed by RBrito
DN: cn=RBrito, o=CABQ Planning Dept,
ou=UD&D, email=brito@cabq.gov, c=US
Date: 2020.04.17 17:14:50 -06:00 17 April 2020

APPROVED BY DATE



LEGAL DESCRIPTION:
Lot 3-A Coors Village Albuquerque, Bernalillo County, New Mexico January 2020

SITE DATA TABLE

AREA (AC)	BUILDING AREA	UNIT	FOOTPRINT AREA	USE	ZONING	PARKING CALCULATIONS	PRKG. REQ.	PRKG. PROV.	COMPACT SPACES	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	MC PRKG. REQ.	MC PRKG. PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	PROPOSED FAR	MAX. FAR
6.56	143,906 SF (GROSS)	131	63,490 SF	SENIOR INDEPENDENT LIVING (AGE RESTRICTED MULTI-FAMILY)	SU-3	ASSISTED LIVING 1 SPACE / 3 BEDS NURSING HOME 1 SPACE / 5 BEDS, (-10% WITHIN 300' OF A TRANSIT ROUTE)	59	105	0	6	6	2	2	4	4	6	6	0.61	1.0

PROJECT NUMBER: PR-2018-001584

APPLICATION NUMBER: SI-2018-00151

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRP SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

KEYED NOTES:

- 1 CURB & GUTTER (SEE DETAIL SHEET C4)
- 2 STRAIGHT HC RAMP (SEE DETAIL SHEET C4)
- 3 CURB RETURN HC RAMP (SEE DETAIL SHEET C4)
- 4 SIDEWALK (DIMENSION ON PLAN) PER COA STD DWG #2430
- 5 PAVED PEDESTRIAN CROSSING OF COLORED, TEXTURED CONCRETE, DIMENSION ON PLAN (SEE NOTE 11 THIS SHEET)
- 6 DUMPSTER ENCLOSURE RECYCLE & WASTE (SEE DETAIL SHEET C4)
- 7 BIKE RACK (SEE DETAIL SHEET C5)
- 8 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET C7 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE). (SEE DETAIL SHEET C5)
- 9 PROPOSED MONUMENT SIGN (SEE ELEVATION SHEET C7 FOR DETAILS)
- 10 ASPHALT PAVEMENT (REFER GEOTECH REPORT)
- 11 ONE WAY SIGN (RIGHT DIRECTION)
- 12 ZERO CURB (SEE DETAIL SHEET C4)
- 13 SIGHT TRIANGLE (SEE NOTE 9 THIS SHEET)
- 14 MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C5)
- 15 SWOV POND (SEE GRADING SHEET FOR DETAILS)
- 16 GENERATOR BUILDING
- 17 "ONE WAY DO NOT ENTER" SIGN

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	STREET LIGHTS
	LANE
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING

NOTES:

1. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
2. THE SITE IS WITHIN 300' OF BUS ROUTE #96, #790 AND #155 ON COORS BOULEVARD.
3. LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 18' HIGH. BUILDING MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS. ALL SITE AND ACCESS LIGHTING SHOULD BE DESIGNED AS ENERGY SAVING LED LIGHTS.
4. STRUCTURE HEIGHT UP SHALL BE PER R-3 ZONE WITHIN TRACT 3-A AND SHALL ADDITIONALLY COMPLY WITH COORS CORRIDOR PLAN HEIGHT RESTRICTIONS.
5. SETBACKS SHALL BE PER THE R-3 ZONE WITHIN TRACT 3-A.
6. TRACT 3A SHALL ONLY BE OPERATED AS "HOUSING FOR OLDER PERSONS" AS THAT TERM IS DEFINED AT 42 U.S.C. SECTION 3607(B)(2), RESTRICTED TO RESIDENTS OF AGE 55 AND OLDER. THE FACILITY MAY PROVIDE SUPPORTIVE SERVICES SUCH AS MEALS, HOUSEKEEPING, SOCIAL ACTIVITIES, AND TRANSPORTATION.
7. BUILDING-MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.
8. DUMPSTER ENCLOSURE SHALL BE PAINTED TO COMPLEMENT THE BUILDING.
9. MINI CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'x11' PER DPM 7-11(D)).
10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER AS REQUIRED PER COA STD DWG 2430 AND 2415A.
11. PROPOSED DRIVE AISLE CROSSINGS TO BE ENHANCED INTEGRAL COLORED VEHICULAR CONCRETE PAVING WITH CONCRETE BANDS. SIDEWALKS TO BE CONCRETE.

INDEX TO DRAWINGS

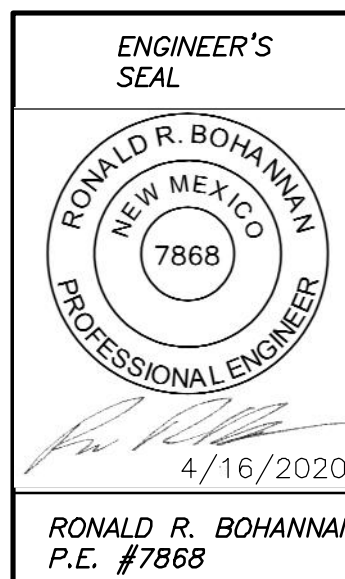
- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. CONSTRUCTIONS DETAILS
- C5. CONSTRUCTIONS DETAILS
- C6. CONSTRUCTIONS DETAILS
- L1. LANDSCAPING PLANS
- B1. BUILDING ELEVATIONS

SITE DATA

SITE AREA:	6.57 ACRES
BUILDING FOOTPRINTS: (Including Trash Enclosure)	63,490 SF 22.2%
SITE FURNITURE: (Signs, Gazebo, Garden Beds, Game Courts)	819 SF 0.3%
PERVIOUS SURFACES Landscape	122,433 SF 42.8%
IMPERVIOUS SURFACES (Road, Driveways, Parking, Sidewalks, Patios)	99,528 SF 34.7%
TOTAL SITE AREA:	286,270 SF 100%
PARKING	#SPACES
ACCESSIBLE SPACES	6
VAN SPACE	1
SURFACE PARKING	101
TOTAL PARKING:	108 SPACES

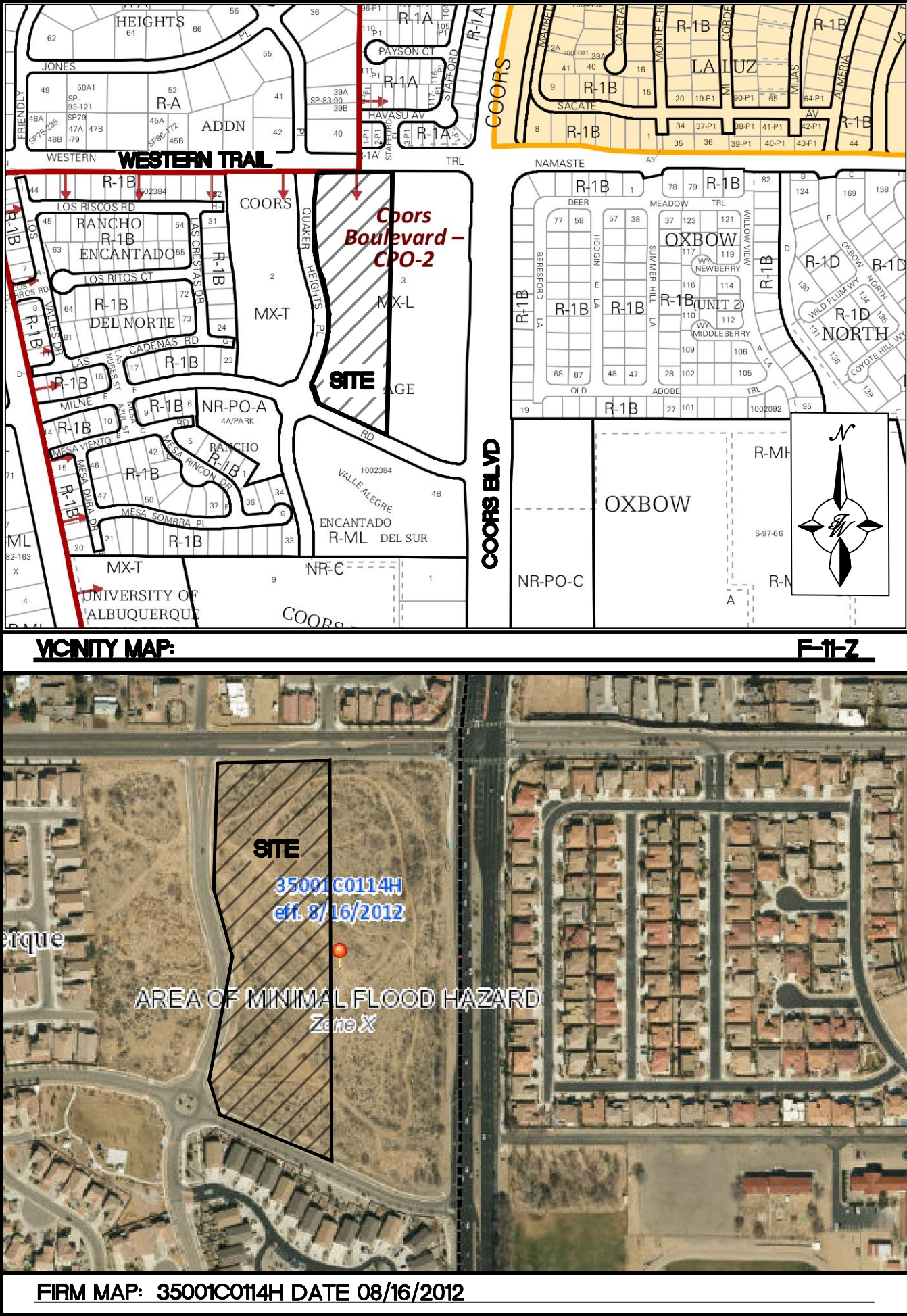
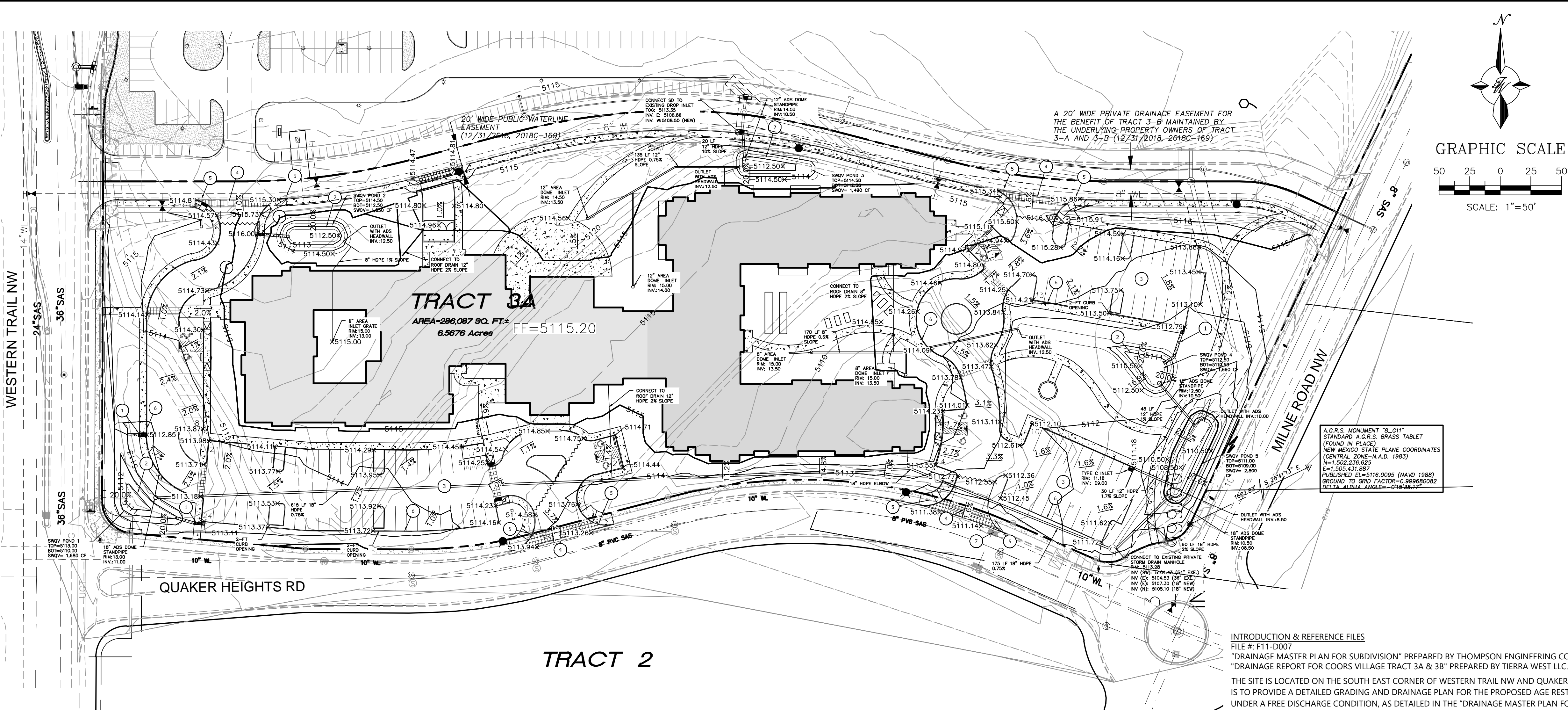
BUILDING DATA

CONSTRUCTION TYPE: 5A	MEMORY CARE
MAXIMUM HEIGHT: 3-STORY	PRIVATE 18 UNITS 18 BEDS
ROOF HEIGHT: 40'-0"	SEMI-PRIVATE 4 UNITS 8 BEDS
	TOTAL: 22 UNITS 26 BEDS
BUILDING AREA	ASSISTED LIVING
1ST FLOOR 63,083 SF	STUDIO 15
2ND FLOOR 38,774 SF	ONE BED 45
3RD FLOOR 42,049 SF	TWO BED 15
TOTAL: 143,906 SF	TOTAL: 75 UNITS
	INDEPENDENT LIVING
	ONE BED 36
	TWO BED 11
	TOTAL: 47 UNITS



TRACT 3A COORS VILLAGE 4500 QUAKER HEIGHTS ABO NM 87120	DRAWN BY RS
SITE PLAN FOR BUILDING PERMIT	DATE 4/16/2020
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	2019064_SP
	SHEET # C1
	JOB # 2019064

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LEGAL DESCRIPTION: TRACT 3-A-1 COORS VILLAGE

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- CONCRETE / SIDEWALK
- GRADE BREAK
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- CURB INLET
- GRADE BREAK AT ENTRANCE

Proposed Conditions

Basin Descriptions													100-Year, 6-Hr			10-Year, 6-Hr			SWQV	
Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs	Vol Required (cf)	Provided (cf)
					%	(acres)	%	(acres)	%	(acres)	%	(acres)								
B1	roadway	15,317	0.35	0.00055	0%	0.000	0%	0.000	15%	0.053	85%	0.299	1.823	0.053	1.46	1.120	0.033	0.94	N/A	0
B2	3A	63,798	1.46	0.00229	0%	0.000	35%	0.513	0%	0.000	65%	0.952	1.515	0.185	5.20	0.883	0.108	3.14	1,451	1,680
B3	3A	13,188	0.30	0.00047	0%	0.000	100%	0.303	0%	0.000	0%	0.000	0.670	0.017	0.61	0.220	0.006	0.23	0	1,850
B4	3A	25,343	0.58	0.00091	0%	0.000	0%	0.000	0%	0.000	100%	0.582	1.970	0.096	2.54	1.240	0.060	1.68	887	
B5	3A	10,331	0.24	0.00037	0%	0.000	0%	0.000	0%	0.000	100%	0.237	1.970	0.039	1.04	1.240	0.025	0.69	362	1,490
B6	3A	26,911	0.62	0.00097	0%	0.000	82%	0.507	0%	0.000	18%	0.111	0.904	0.047	1.51	0.404	0.021	0.71	170	
B7	3A	15,135	0.35	0.00054	0%	0.000	0%	0.000	0%	0.000	100%	0.347	1.970	0.057	1.52	1.240	0.036	1.00	530	1,690
B8	3A	15,273	0.35	0.00055	0%	0.000	0%	0.000	0%	0.000	100%	0.351	1.970	0.058	1.53	1.240	0.036	1.01	535	
B9	3A	60,815	1.40	0.00218	0%	0.000	68%	0.949	0%	0.000	32%	0.447	1.086	0.126	3.88	0.546	0.064	2.01	681	
B10	3A	27,224	0.62	0.00098	0%	0.000	55%	0.344	0%	0.000	45%	0.281	1.255	0.065	1.93	0.679	0.035	1.07	429	2,800
B11	3A	12,752	0.29	0.00046	0%	0.000	92%	0.269	0%	0.000	8%	0.023	0.774	0.019	0.65	0.302	0.007	0.27	36	0
Total		286,087	6.57	0.01026		0.000		2.884		0.053		3.631		0.761	21.872		0.430	12.763	5,079	9,510

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed
Volume = Weighted E * Total Area
Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

D (in)	Slope (%)	Area (ft^2)	R	Q Provided (cfs)	Velocity (ft/s)
12	0.50	0.79	0.250	2.53	3.22
12	1.00	0.79	0.250	3.57	4.55
12	1.70	0.79	0.250	4.66	5.93
18	0.75	1.77	0.375	9.12	5.16
18	2.00	1.77	0.375	14.90	8.43

Excess Precipitation, E (in.)	Zone 1	100-Year	10-Year
Ea	0.44	0.08	
Eb	0.67	0.22	
Ec	0.99	0.44	
Ed	1.97	1.24	

Peak Discharge (cfs/acre)	Zone 1	100-Year	10-Year
Qa	1.29	0.24	
Qb	2.03	0.76	
Qc	2.87	1.49	
Qd	4.37	2.89	

SWQP	Area At Mid Depth	Depth	Volume
1	840	2	1,680
2	925	2	1,850
3	745	2	1,490
4	845	2	1,690
5	1400	2	2,800

KEYED NOTES

- 2-FT CURB CUT AND 2-FT CONCRETE RUNDOWN W/ SIDEWALK CULVERT
- SWQV POND - SEE PLAN FOR NUMBER AND VOLUME THIS SHEET
- ASPHALT PAVING (SEE GEOTECH REPORT)
- BUILD NEW DRIVEWAY (CURB, GUTTER & SW) AND REPLACE WITH COA STD. CURB, GUTTER & SW. MATCH EXISTING FL AT GUTTER.
- NEW HC RAMP PER COA STD. DETAIL
- ONSITE CURB AND GUTTER
- MODIFY EXISTING CURB INLET TO BE FLUSH WITH FLOWLINE OF DRIVEWAY
- SURVEY PROVIDED BY PRECISION SURVEYS, INC. SEE SURVEY MONUMENT TIE THIS SHEET.
- A CROSS LOT DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS 3-A AND 3-B, TO BE MAINTAINED BY THE OWNERS OF EACH TRACT (12/31/2018, 2018C-169)

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL

RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER

2/19/2020

RONALD R. BOHANNAN
P.E. #7868

TRACT 3A COORS VILLAGE

4500 QUAKER HEIGHTS ABO NM 87120

GRADING & DRAINAGE PLAN

TERRIA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrowestllc.com

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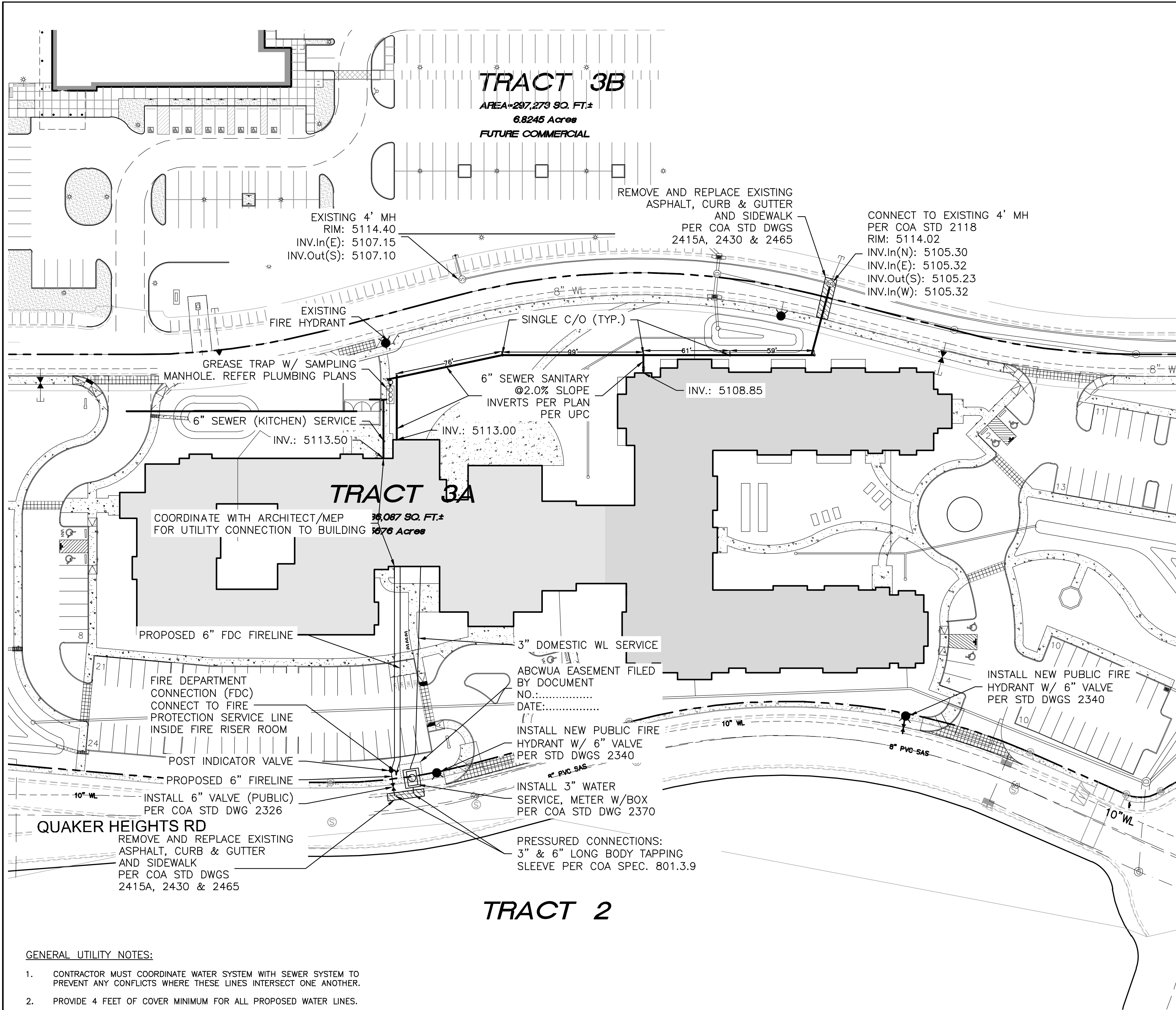
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JOB #
2019064

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GENERAL UTILITY NOTES:

- CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
- PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
- AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
- PROPOSED WATER LINE SHALL BE 8' FROM CENTERLINE (North and East), UNLESS OTHERWISE NOTED.
- NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
- INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
- P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
- CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

MATERIALS (OR EQUIVALENT APPROVED):

- SEWER TO BE SDR-35 PVC
- WATER LINE TO BE C900-PVC DR18

ABCWUA NOTES:

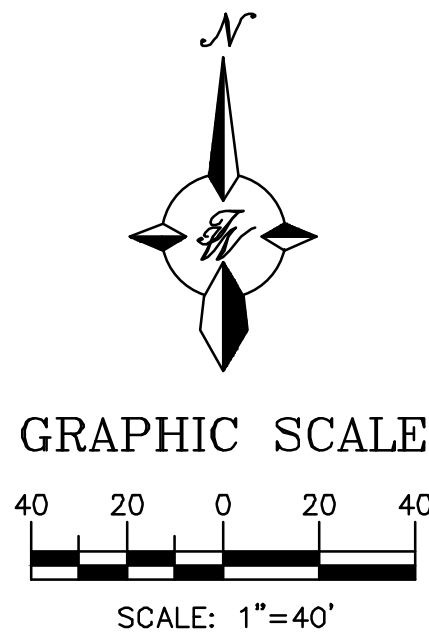
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/443/729/](http://abcwua.org/content/view/full/729/).

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD STORM SEWER LINE
- 8" SAS SANITARY SEWER LINE
- 8" WL WATERLINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS EXISTING GAS
- EX. 8" SAS EXISTING SANITARY SEWER LINE
- EX. 10" WL EXISTING WATER LINE
- EX. 18" RCP EXISTING STORM SEWER LINE

WATER NOTES:

- CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS - ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
- INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
- ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
- ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
- CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
- RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
- ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING 8" SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
- CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
- CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.



CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	TRACT 3A COORS VILLAGE 4500 QUAKER HEIGHTS ABO NM 87120		DRAWN BY RS
	MASTER UTILITY PLAN		DATE 3/5/2020
			2019064_MU
	<div></div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>		SHEET # C3 JOB # 2019064



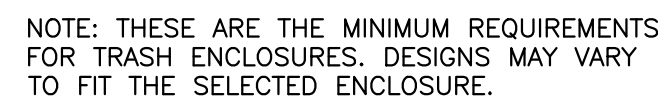
1. SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
2. BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557, TYPE A, GRADE 1 OR 2.
3. BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
4. PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
5. COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
6. C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
7. STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.

TRENCHING
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.



1. NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
2. CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
3. ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
4. CONCRETE: CLASS "A" 3000 PSI.
5. EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.
6. THIS DETAIL APPLIES TO PRIVATE CURB WORK ONLY.

SCALE: 1"=1'



NTS



1. CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
2. DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
3. EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMODIFIED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
4. EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR CURBS.
5. WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.



NOT TO SCALE



BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO
65% OF BD MAX



CC – CENTER TO CENTER SPACING 2.35"
BB – BASE TO BASE SPACING 1.48" MIN



BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO
65% OF BD MAX

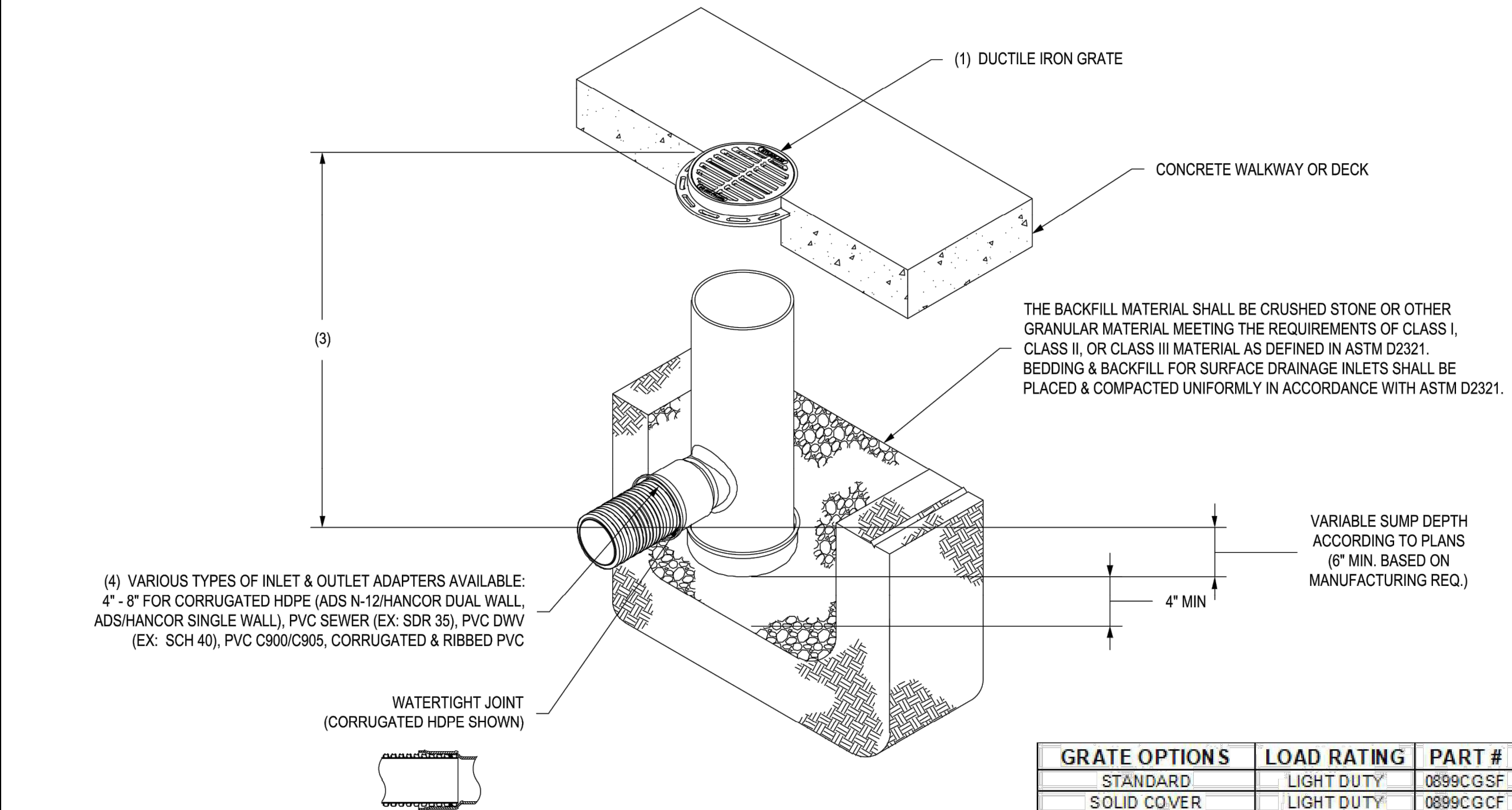


CC – CENTER TO CENTER SPACING 2.35"
BB – BASE TO BASE SPACING 1.48" MIN

<p>ENGINEER'S SEAL</p>	<p>TRACT 3A COORS VILLAGE</p>	<p>DRAWN BY RS</p>
	<p>4500 QUAKER HEIGHTS ABO NM 87120</p>	<p>DATE 3/5/2020</p>
 <p>3/6/2020</p>	<p>CONSTRUCTION DETAILS</p>	<p>2019064_DT</p>
<p>RONALD R. BOHANNAN P.E. #7868</p>	 <p>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>SHEET # C4</p>
		<p>JOB # 2019064</p>

Z:\2019\2019064 Coors Village Tract 3A.dwg AA\2019064_DT.dwg Mar 06, 2020 - 10:40am

NYLOPLAST 8" DRAIN BASIN: 2808AG __ X



- 1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- 2 - CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- 3 - STANDARD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS OF 0° & 180°. CUSTOM DRAIN BASIN ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL) & PVC SEWER (4" - 24").

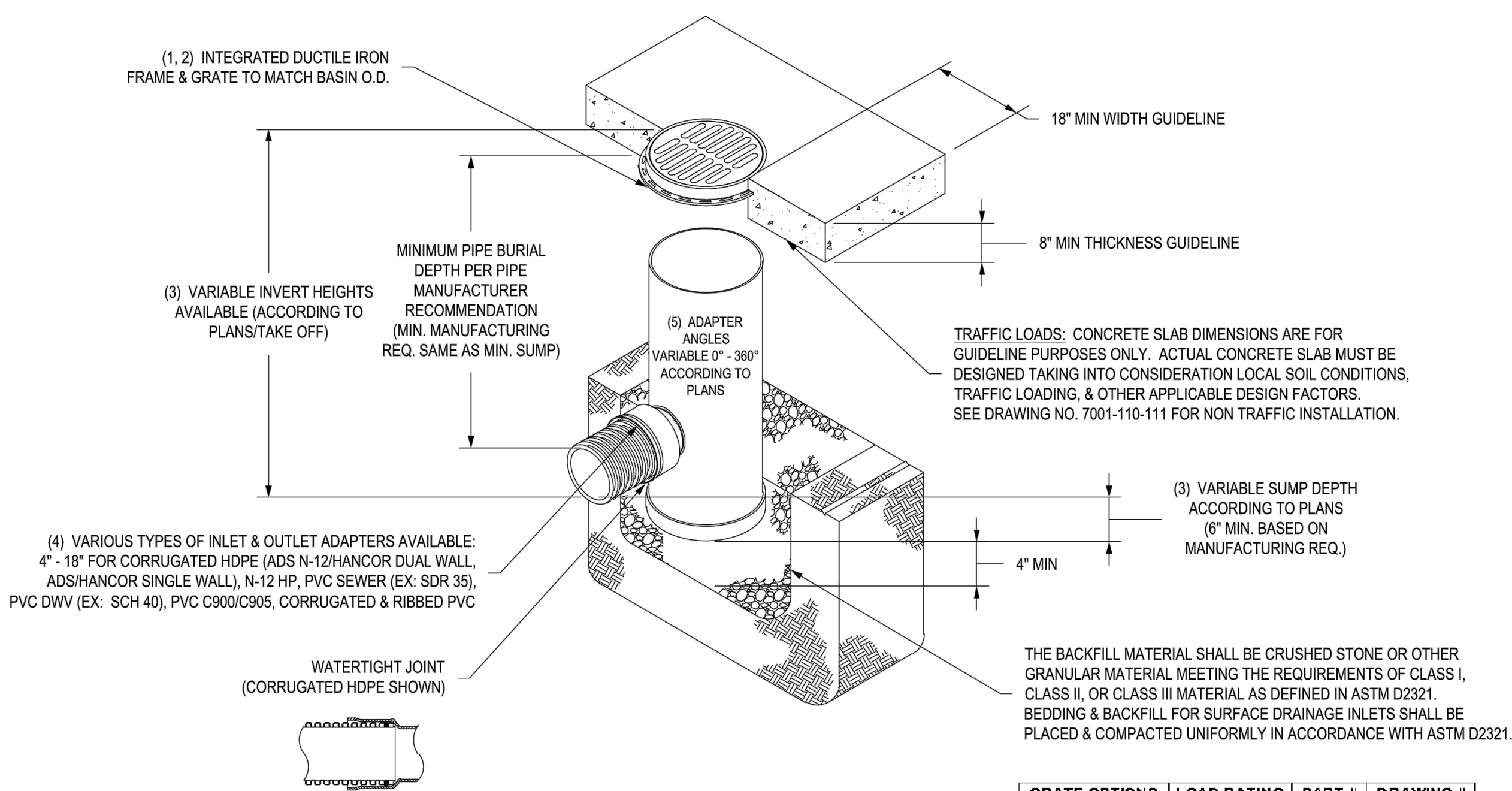
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DRAWN BY	NMH	MATERIAL	
DATE	6-25-18		
APPD BY	NMH	PROJECT NO./NAME	
DATE	6-25-18		
DWG SIZE	A	SCALE	1:12 SHEET 1 OF 1

Nyloplast	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
TITLE	8 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
DWG NO.	7001-110-272
REV	F

NYLOPLAST 18" DRAIN BASIN: 2818AG __ X



- 1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- 4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
- 5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

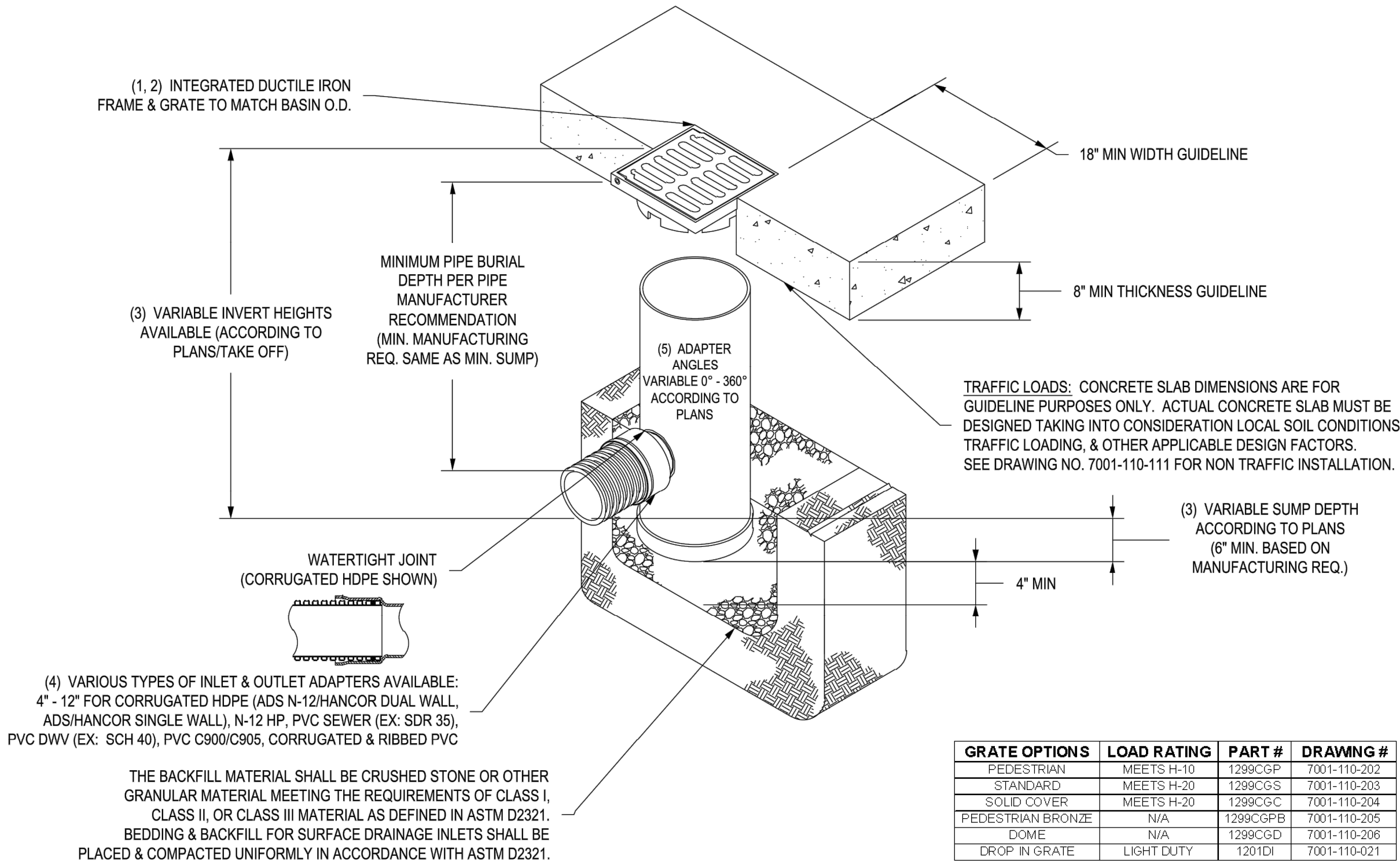
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DRAWN BY	EBC	MATERIAL	
DATE	04-03-06		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	03-14-16		
DWG SIZE	A	SCALE	1:30 SHEET 1 OF 1

Nyloplast	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
TITLE	18 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
DWG NO.	7001-110-191
REV	E

NYLOPLAST 12" DRAIN BASIN: 2812AG __ X



- 1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- 2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- 4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
- 5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

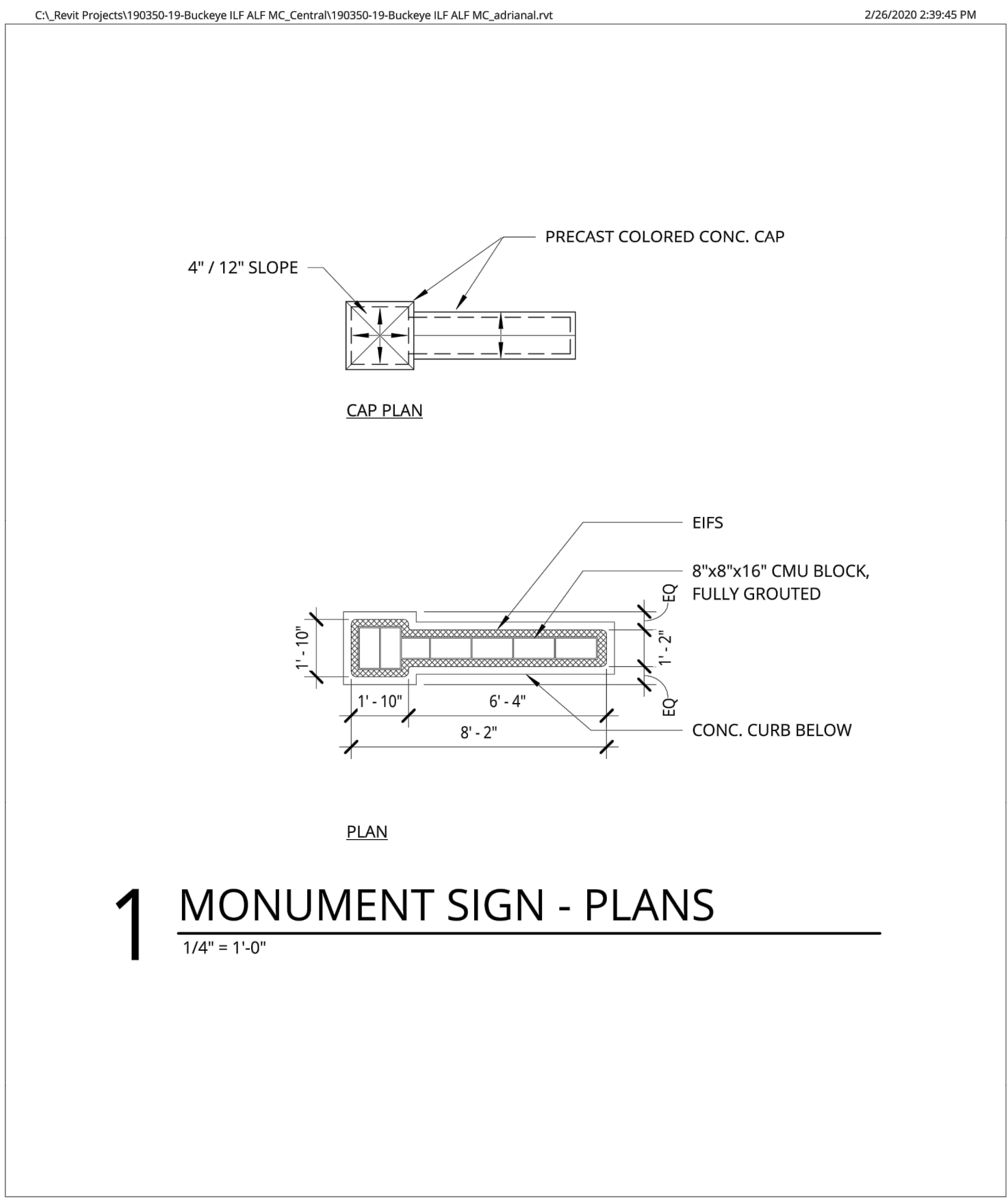
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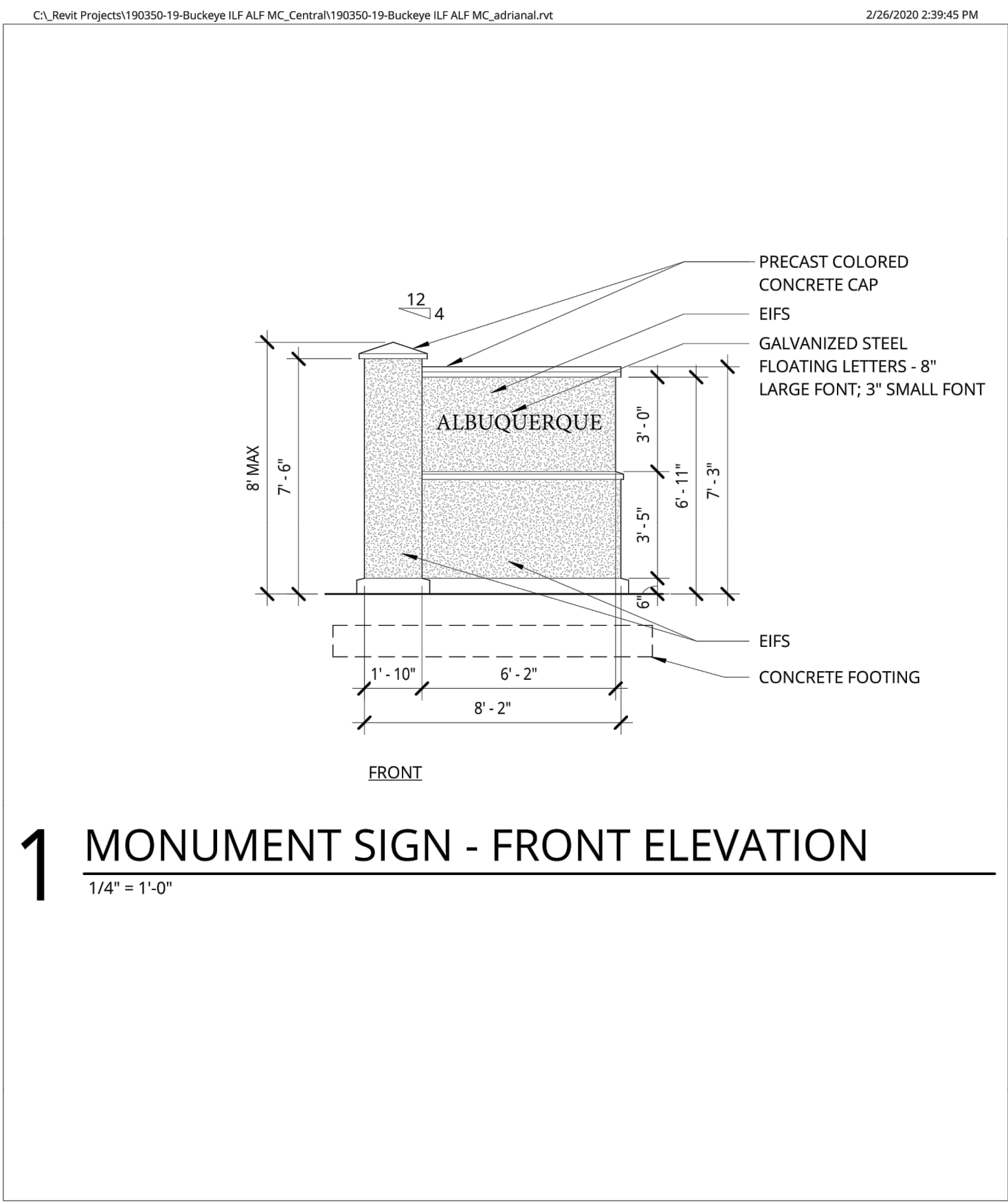
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DATE	03-29-06		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	03-11-16		
DWG SIZE	A	SCALE	1:20 SHEET 1 OF 1


Nyloplast	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
TITLE	12 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
DWG NO.	7001-110-189
REV	E

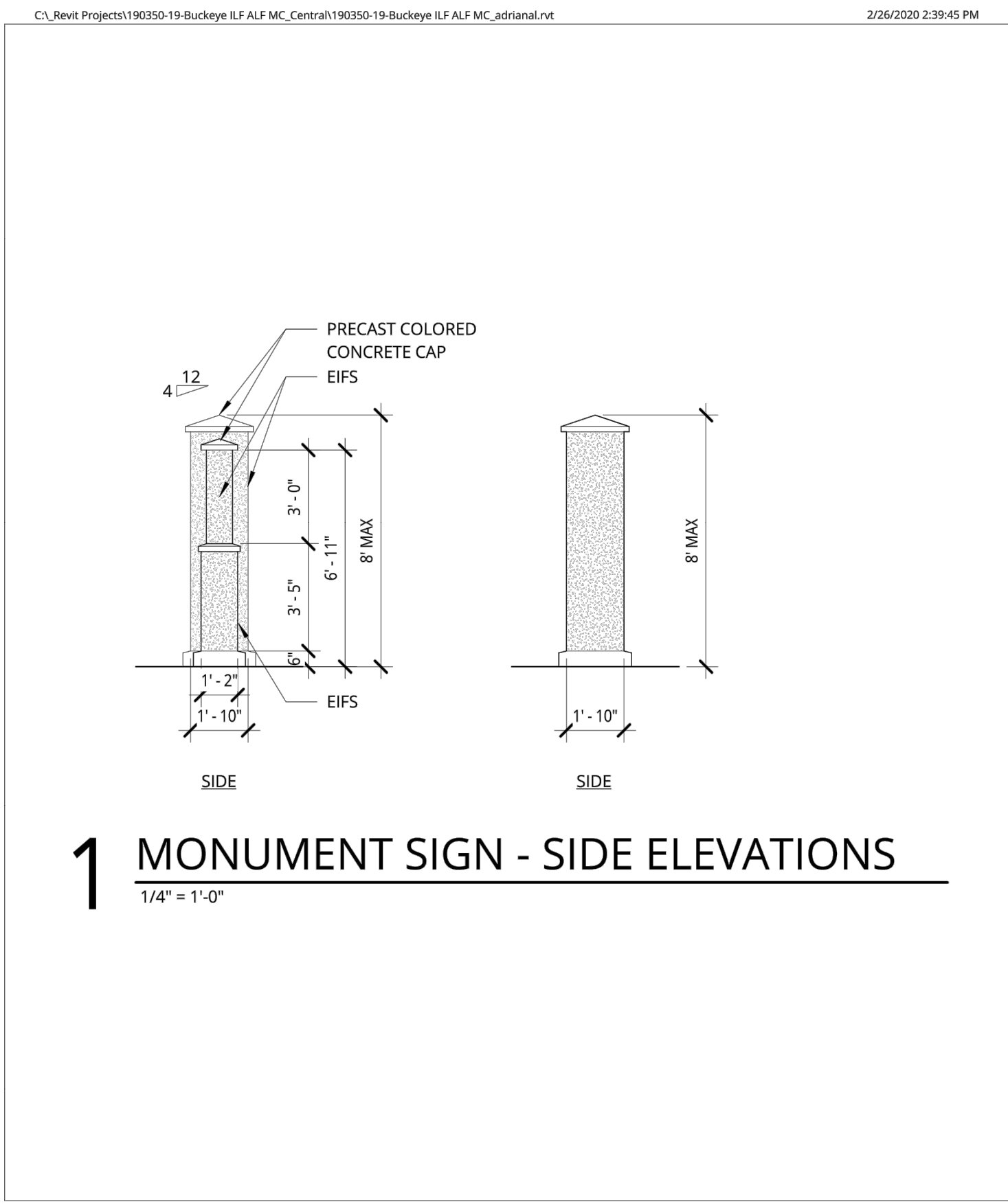
 RONALD R. BOHANNAN P.E. #7868	TRACT 3A COORS VILLAGE 4500 QUAKER HEIGHTS ABO NM 87120	DRAWN BY RS
	CONSTRUCTION DETAILS	DATE 3/5/2020
		2019064_DT
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C6
JOB # 2019064		




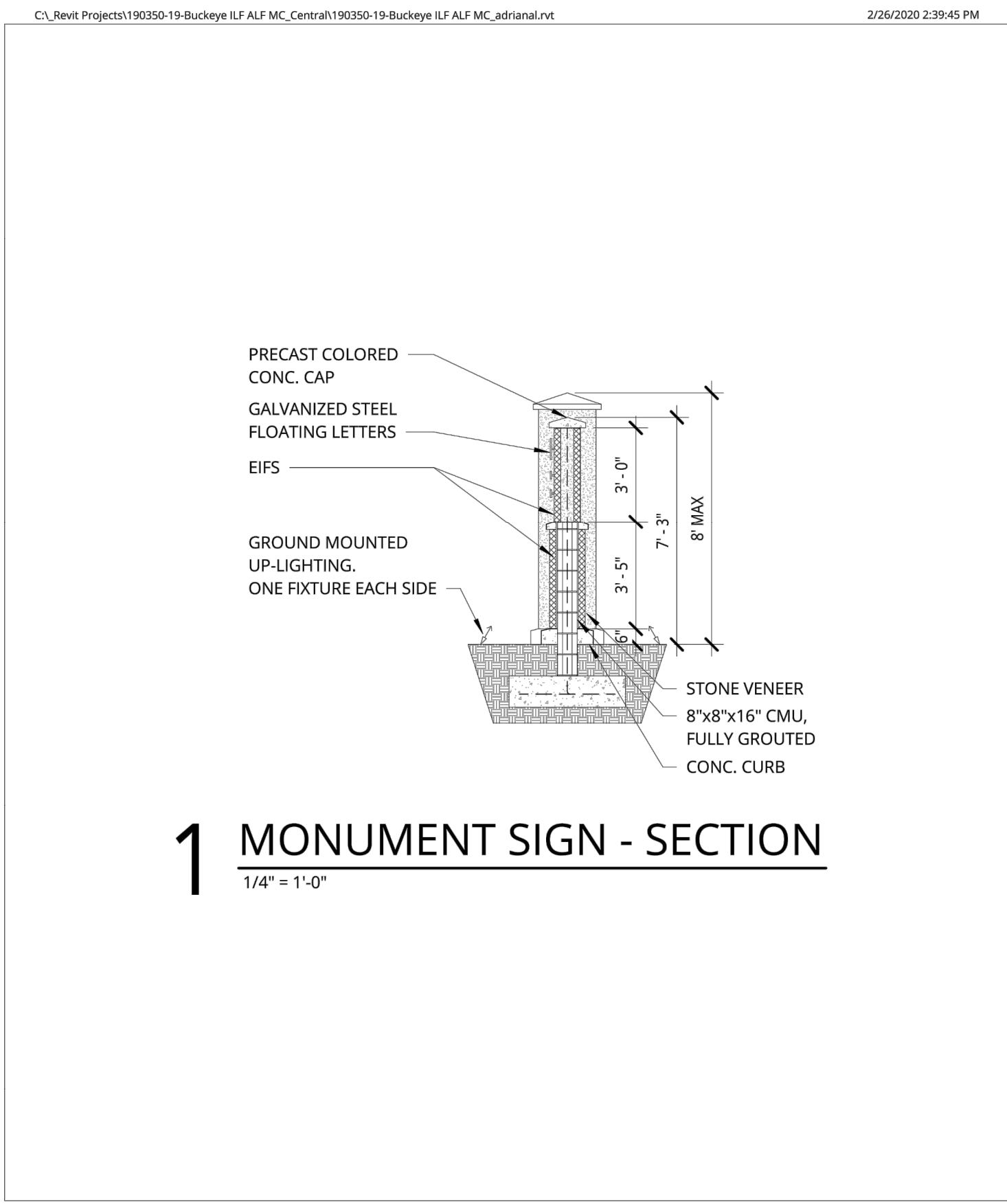
 Ankrom Moisan	38 NORTHWEST DAVIS, SUITE 300 PORTLAND, OR 97209 T. 503.245.7100	ALBUQUERQUE SENIOR LIVING	Approver	MONUMENT SIGN -
	1505 5TH AVE, SUITE 300 SEATTLE, WA 98101 T. 206.376.1500 © ANKROM MOISAN ARCHITECTS, INC.		DATE: ISSUE DATE	PLAN
			PROJECT #: 190350	1.00
			SCALE: 1/4" = 1'-0"	
			LINK DEVELOPMENT	




 Ankrom Moisan	38 NORTHWEST DAVIS, SUITE 300 PORTLAND, OR 97209 T. 503.245.7100 1505 5TH AVE, SUITE 300 SEATTLE, WA 98101 T. 206.376.1500 © ANKROM MOISAN ARCHITECTS, INC.	ALBUQUERQUE SENIOR LIVING LINK DEVELOPMENT	Approver		MONUMENT SIGN - FRONT ELEVATION
			DATE:	ISSUE DATE	
			PROJECT #:	190350	
			SCALE:	1/4" = 1'-0"	
					2.00

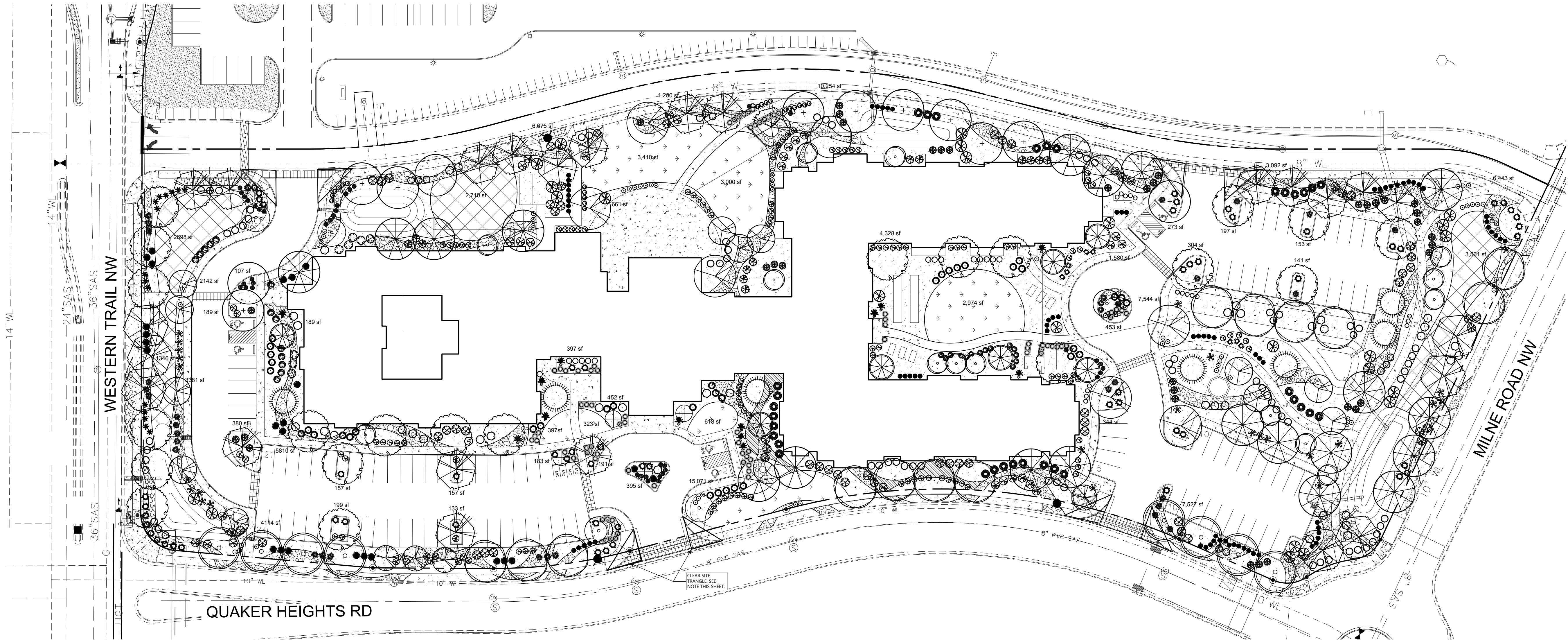


 Ankrom Moisan	38 NORTHWEST DAVIS, SUITE 300 PORTLAND, OR 97209 T. 503.245.7100	ALBUQUERQUE SENIOR LIVING	Approver		MONUMENT SIGN - ELEVATION
	1505 5TH AVE, SUITE 300 SEATTLE, WA 98101 T. 206.376.1500		DATE:	ISSUE DATE	
	© ANKROM MOISAN ARCHITECTS, INC.		PROJECT #:	190350	
	LINK DEVELOPMENT		SCALE:	1/4" = 1'-0"	
					3.00



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	TRACT 3A COORS VILLAGE	DRAWN BY
	4500 QUAKER HEIGHTS ABO NM 87120	RS
	MONUMENT SIGN	DATE
		3/5/2020
		2019064_DT
		SHEET #
		C7
		JOB #
		2019064



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Water Use	Drip Emitters
Trees						
20		Quercus muhlenbergii Chinquapin Oak	2" B&B	40'/40'	Medium+	6-2 gph
8		Zelkova Zelkova	2" B&B	40'/30'	Medium	+6-2 gph
13		Ulmus Lacebark Elm	2" B&B	50'/20'	Medium	6-2 gph
6		Crataegus Thornless Hawthorn	2" B&B	25'/15'	Medium	+6-2 gph
21		Pistacia chinensis Chinese Pistache	2" B&B	60'/60'	Medium	+6-2 gph
13		Gleditsia triacanthos inermis Honeylocust	2" B&B	80'/80'	Medium	6-2 gph
7		Quercus Texas red Oak	2" B&B	40'/35'	Medium	6-2 gph
6		Sophora japonica Japanese Pagoda Tree	2" B&B	35'/35'	Medium	6-2 gph
17		Celtis Hackberry	2" B&B	40'/40'	Medium	6-2 gph
14		Forestiera NM Olive	2" B&B	15'/15'	Medium	6-2 gph
4		Cercis reniformis Oklahoma Redbud	2" B&B	15'/12'	High	6-2 gph
12		Chilopsis Desert Willow	5-Gal	20'/25'	RW	6-2 gph
7		Vitex Agnus-Castus Chaste Tree	5-Gal	20'/20'	Medium	6-2 gph
7		Cedrus atlantica 'Glaucia' Blue Atlas Cedar	6" HT.	40'/30'	Medium	6-2 gph
Shrubs/Groundcovers						
39		Buddleia davidii Butterfly Bush	1-Gal	6'/6'	Medium	2-2 gph
13		Caryopteris clandonensis Blue Mist	1-Gal	4'/4'	Medium	2-2 gph
33		Cotoneaster parneyi Clusterberry	5-Gal	10'/10'	Medium	2-2 gph
81		Rhus aromatica Gro Low Sumac	5-Gal	2'/6'	Low +	2-2 gph
15		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	3'/4'	Low	2-1 gph
14		Ilex Burford Holly	5-Gal	4'/4'	Medium+	2-1 gph
61		Salvia greggii Cherry Sage	1-Gal	3'/3'	Medium	2-1 gph
25		Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	Low	2-2 gph
60		Juniperus horizontalis 'Blue chip' Blue Chip Juniper (female)	5-Gal	1'/6'	Low +	2-2 gph
77		Lavandula Lavender	1-Gal	3'/3'	Medium	2-2 gph
53		Perovskia atriplicifolia Russian Sage	1-Gal	5'/5'	Medium	2-2 gph
Grasses						
15		Muhlenbergia rigens Deer Grass	1-Gal	4'/4'	Low+	2-2 gph
39		Muhlenbergia Regal Mist Grass	1-Gal	3'/3'	Medium	2-2 gph
33		Panicum virgatum Switch Grass	1-Gal	8'/6'	Medium	2-2 gph
228		Calamagrotis x acutiflora Karl Foerster Grass	5-Gal	3'/2'	Medium	2-2 gph

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL. MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10 AND I.D.O.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY TO DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

SITE DATA

GROSS LOT AREA (6.5 ac) 286,087 SF
LESS BUILDING(S) 68,375 SF
NET LOT AREA 217,712 SF

REQUIRED LANDSCAPE 15% OF NET LOT AREA 32,927 SF
PROPOSED LANDSCAPE AREA 112,130 SF
PERCENT OF NET LOT AREA 51 %

HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA 23,504 SF
PROPOSED HIGH WATER USE TURF 12,607 SF
PERCENT OF LANDSCAPE AREA 11 %

REQUIRED STREET TREES 1 PER 30 L.F. OF WESTERN TRAIL NW 8
PROVIDED STREET TREES 9

REQUIRED PARKING LOT TREES 1 PER 10 SPACES 10
94 SPACES/10 PROVIDED PARKING LOT TREES 15

REQUIRED DWELLING UNIT TREES ONE PER FIRST FLOOR UNIT XX
ONE PER SECOND FLOOR UNIT XX
PROVIDED DWELLING UNIT TREES XX

TOTAL TREE REQUIRED/PROVIDED XXX/205

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL 84,098 SF MIN.
(112,130 SF PROPOSED LANDSCAPE X 75%)
PROVIDED GROUNDCOVER COVERAGE 136,868 SF
SOD LAWN/100 % COVERAGE 12,607 SF
NATIVE SEED 6,755 SF

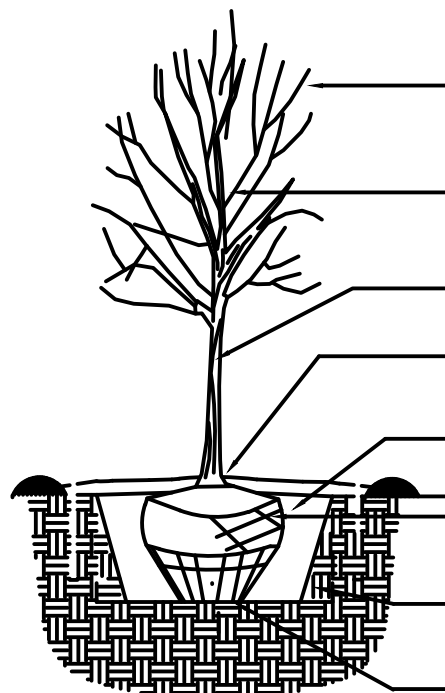
TOTAL PROVIDED GROUNDCOVER COVERAGE 156,230 SF

MATERIALS LEGEND

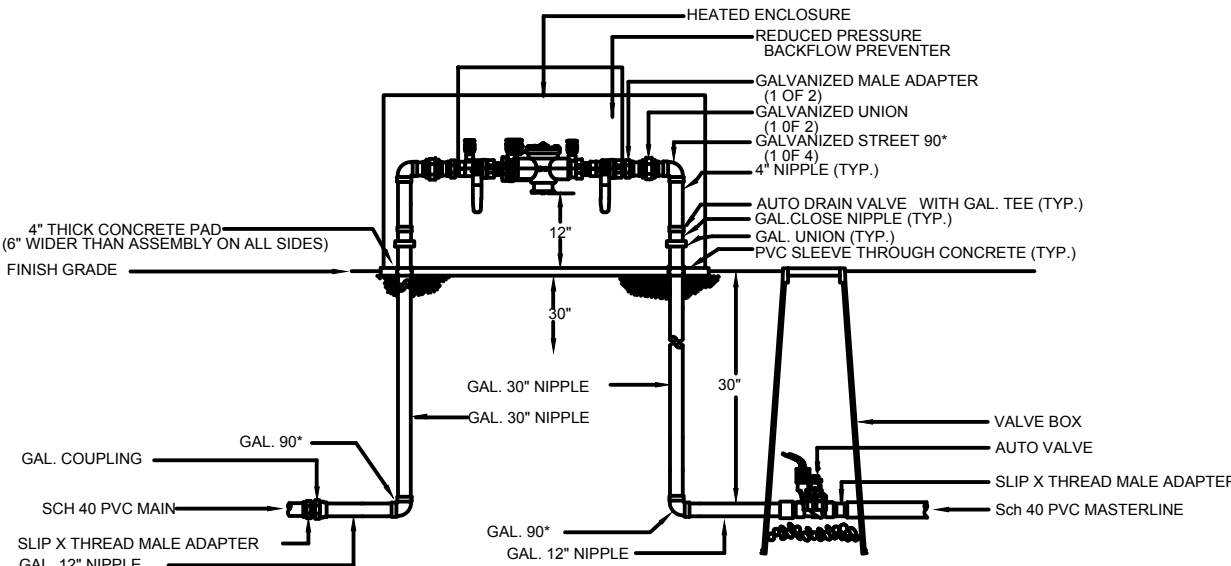
- GRAY CRUSHER FINES
- BROWN 3/4" GRAVEL
- 2"-4" COBBLESTONE
- PARK BLEND SOD LAWN
- NATIVE SEED
- ACCENT BOULDER

IRRIGATION NOTE

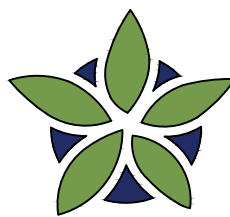
DRIP SYSTEM RUN CYCLES: ESTABLISHMENT AND SUMMER: 1 HOUR/4 DAYS A WEEK
SPRING: 1 HOUR/2-3 DAYS A WEEK
FALL: 1 HOUR/2-3 DAYS A WEEK
WINTER: 1 HOUR/2 DAYS PER MONTH



TREE PLANTING DETAIL

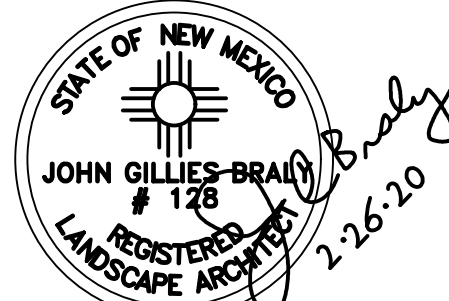


RP BACKFLOW/MASTER VALVE DETAIL



YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com
P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



Date: 02.26.2020

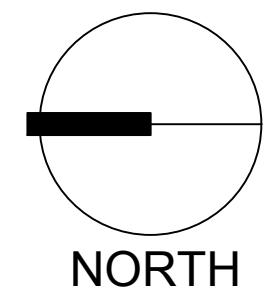
Revisions:

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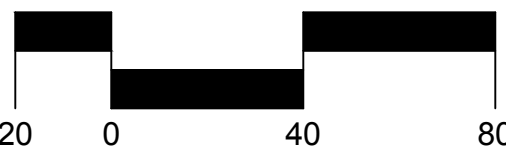
Drawn by: RMC

Reviewed by: JB

COORS VILLAGE
INDEPENDENT LIVING
QUAKER HEIGHTS PL NW & MILNE RD NW
ALBUQUERQUE, NM



Scale: 1" = 40'



Sheet Title:

OVERALL
PLAN

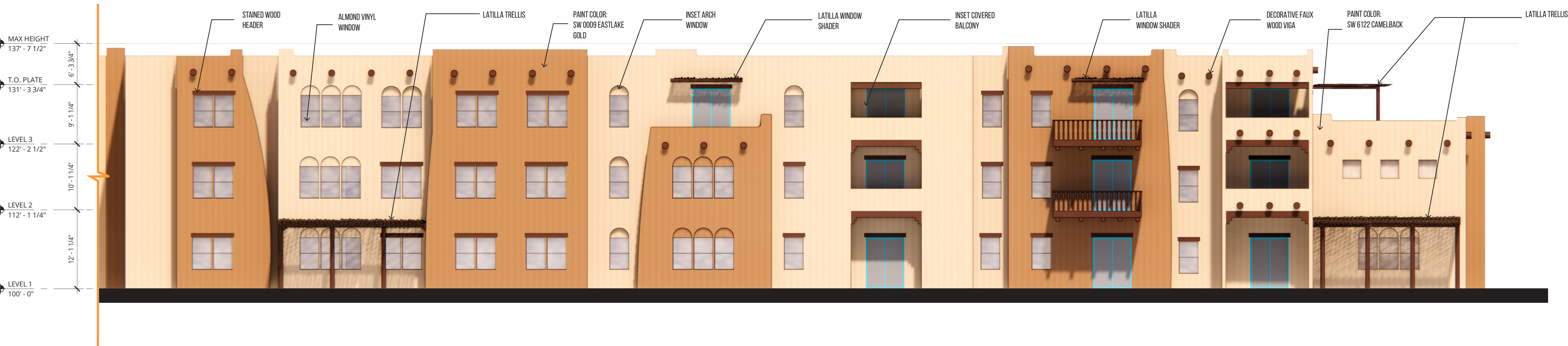
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LP-00

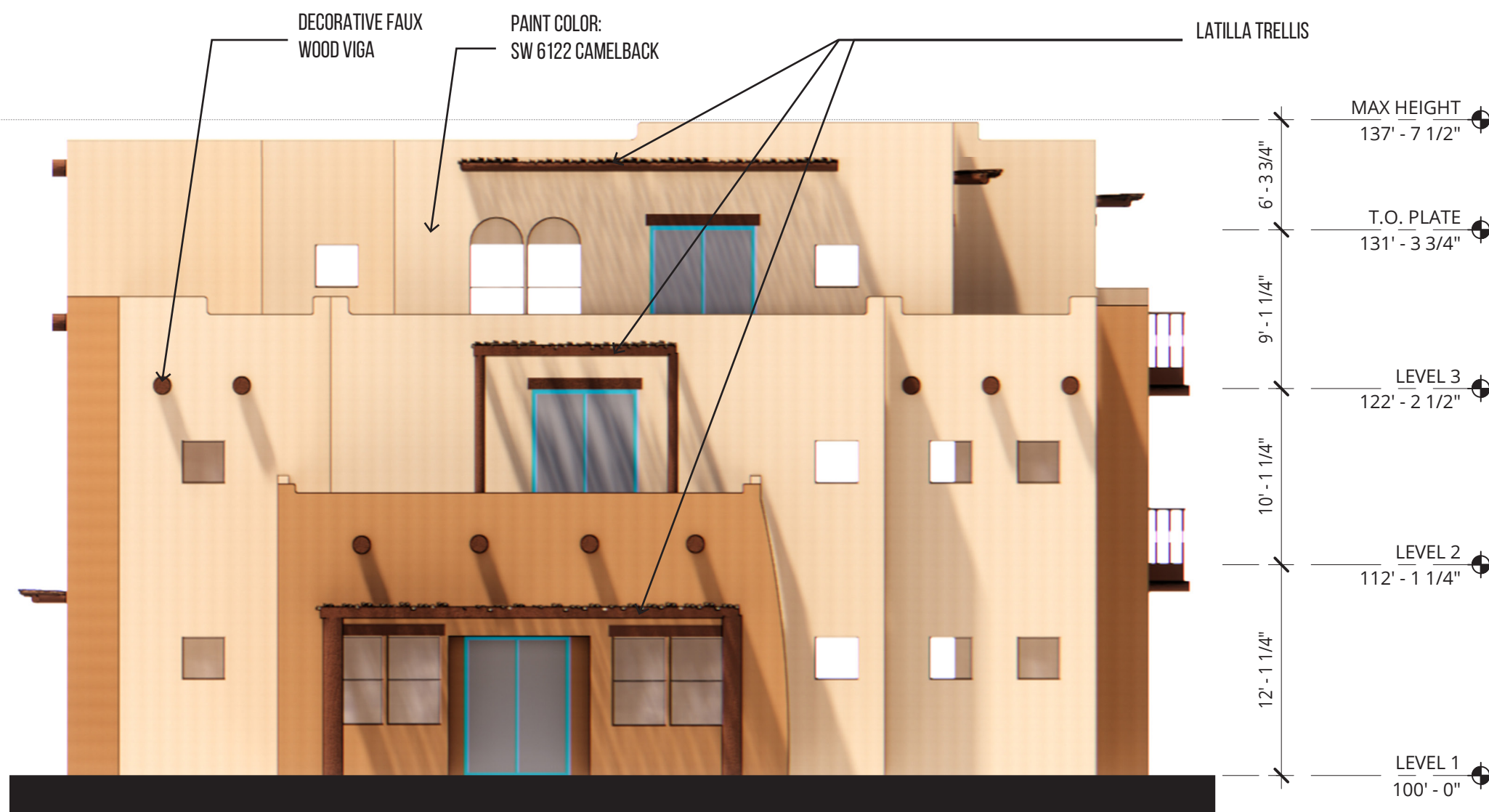
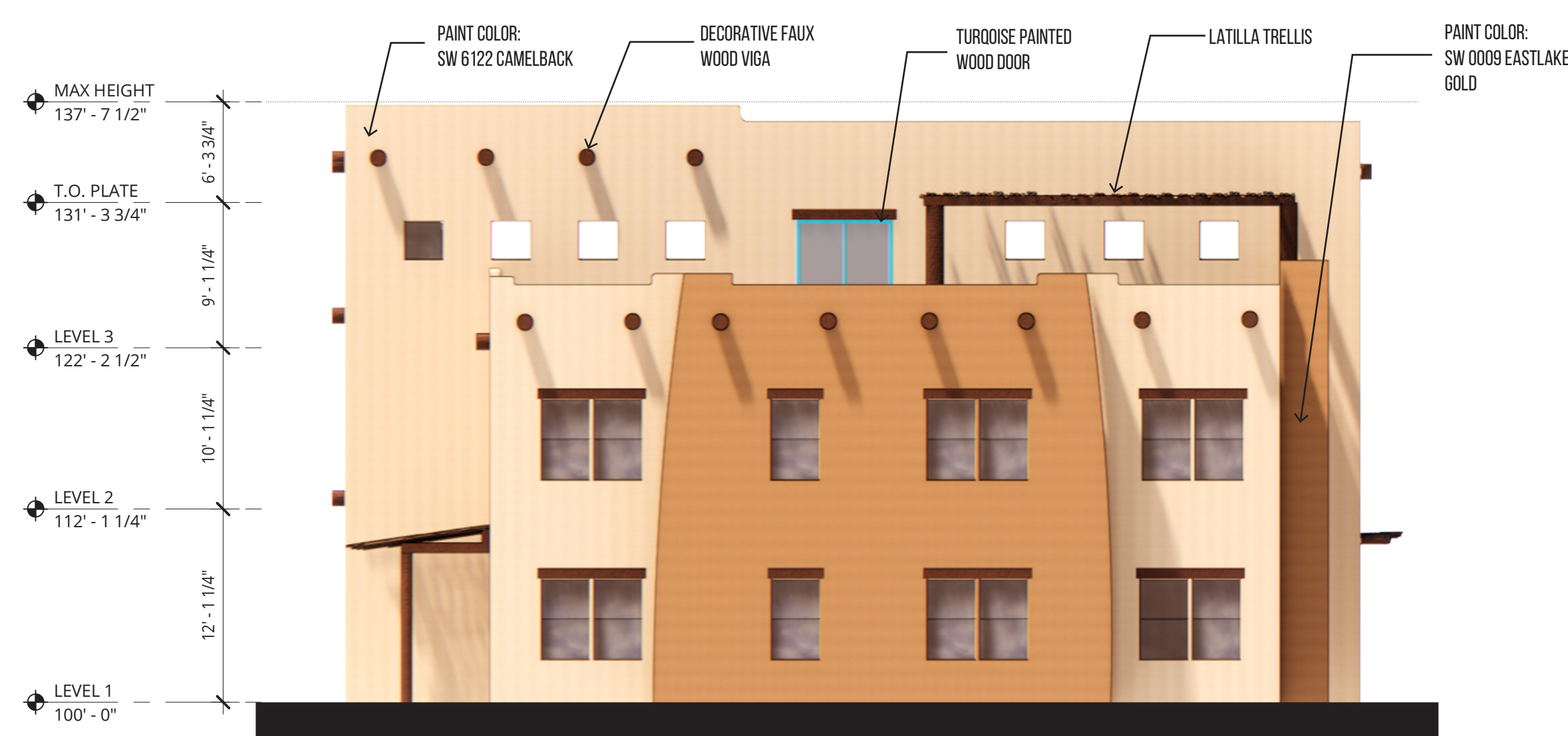
ALBUQUERQUE, NEW MEXICO



1 MAIN ENTRY
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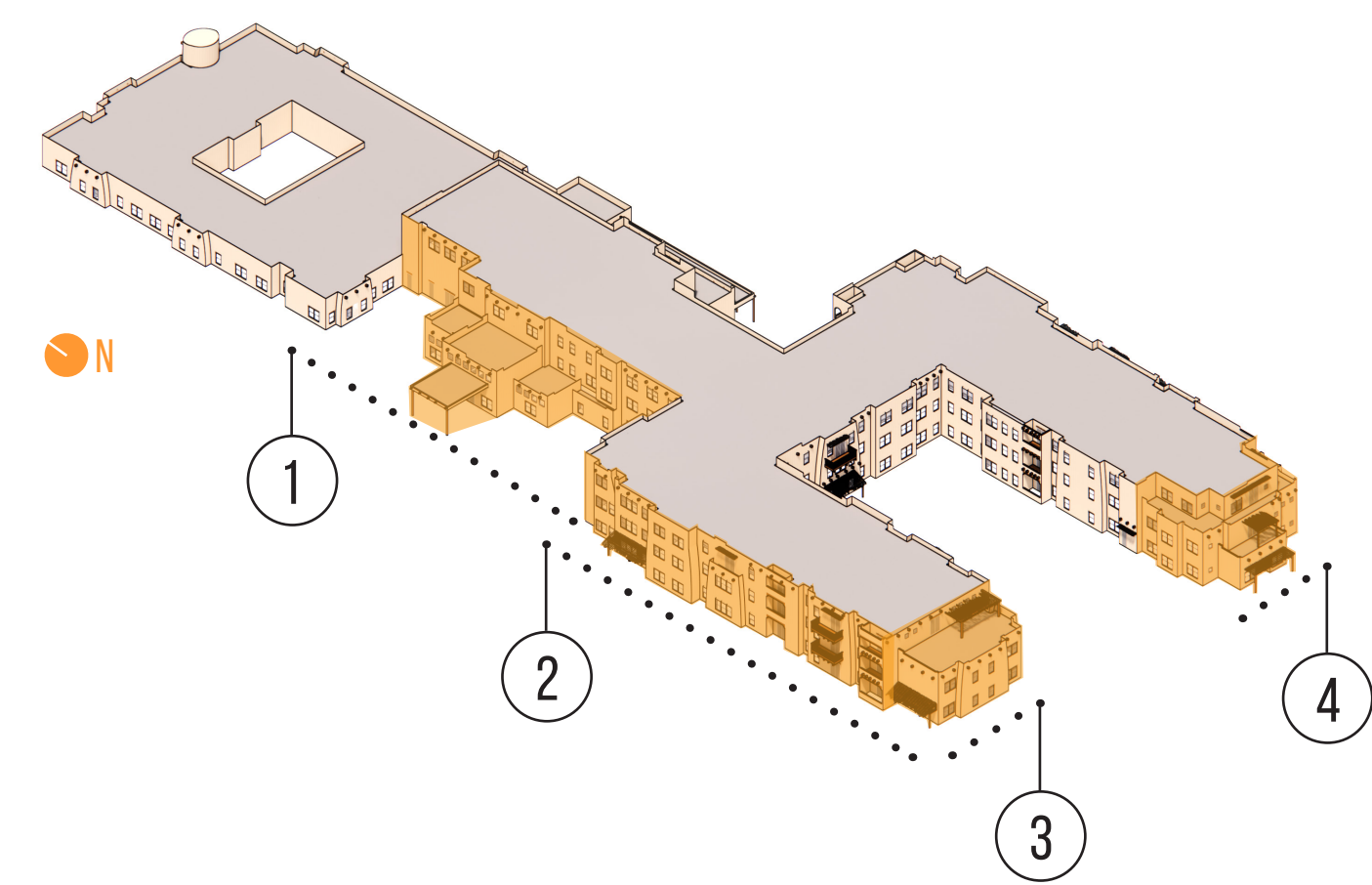


2 AL WING WEST
SCALE: 1/8" = 1'-0"



4 IL WING SOUTH
SCALE: 1/8" = 1'-0"

3 AL WING SOUTH
SCALE: 1/8" = 1'-0"



NOTE: ALL MECHANICAL EQUIPMENT SCREENED BY ROOF
PARAPETS AND WILL NOT BE VISIBLE FROM GROUND LEVEL.

ALBUQUERQUE, NEW MEXICO



5 AL WING EAST
SCALE: 1/8" = 1'-0"

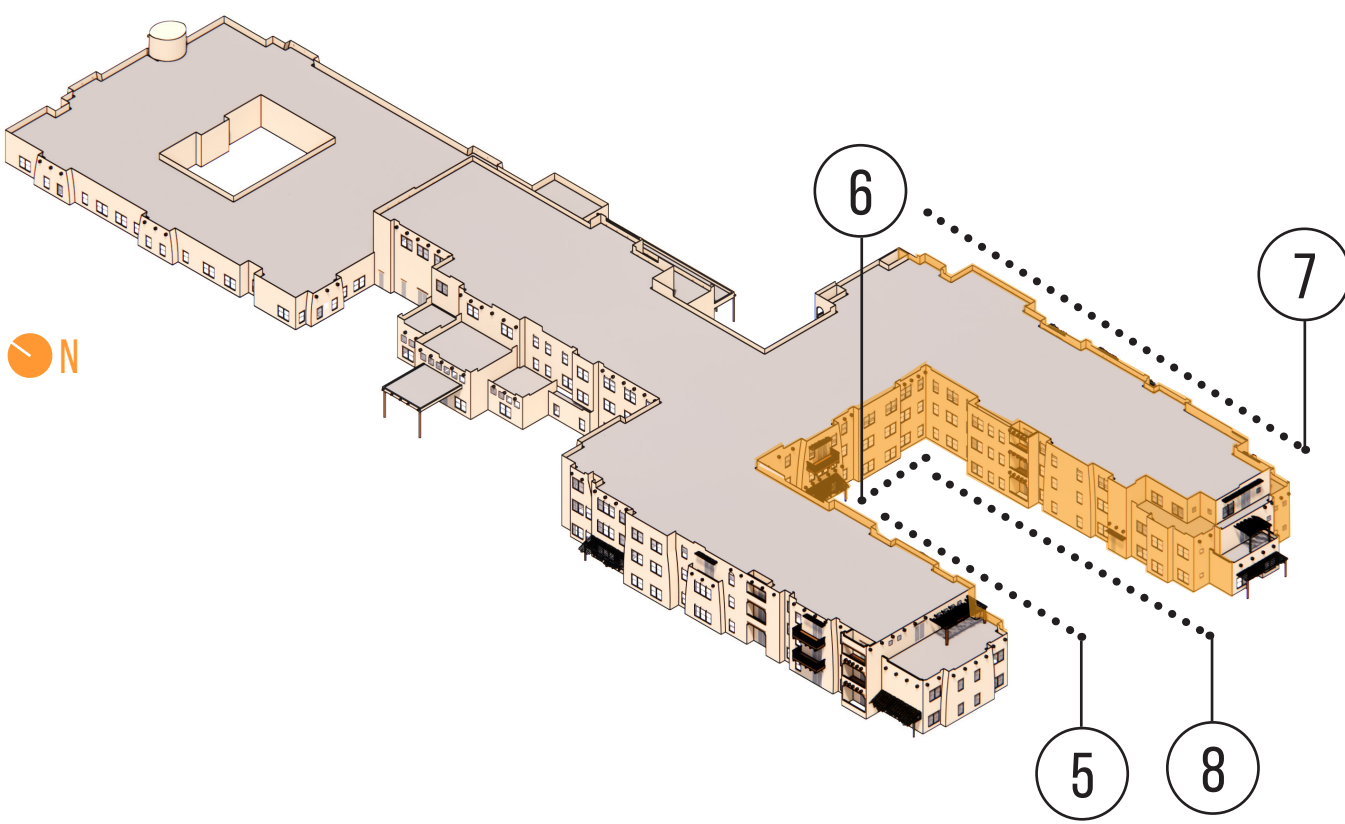
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SCALE: 1/8" = 1'-0"



7 IL WING EAST
SCALE: 1/8" = 1'-0"



8 IL WING EAST
SCALE: 1/8" = 1'-0"

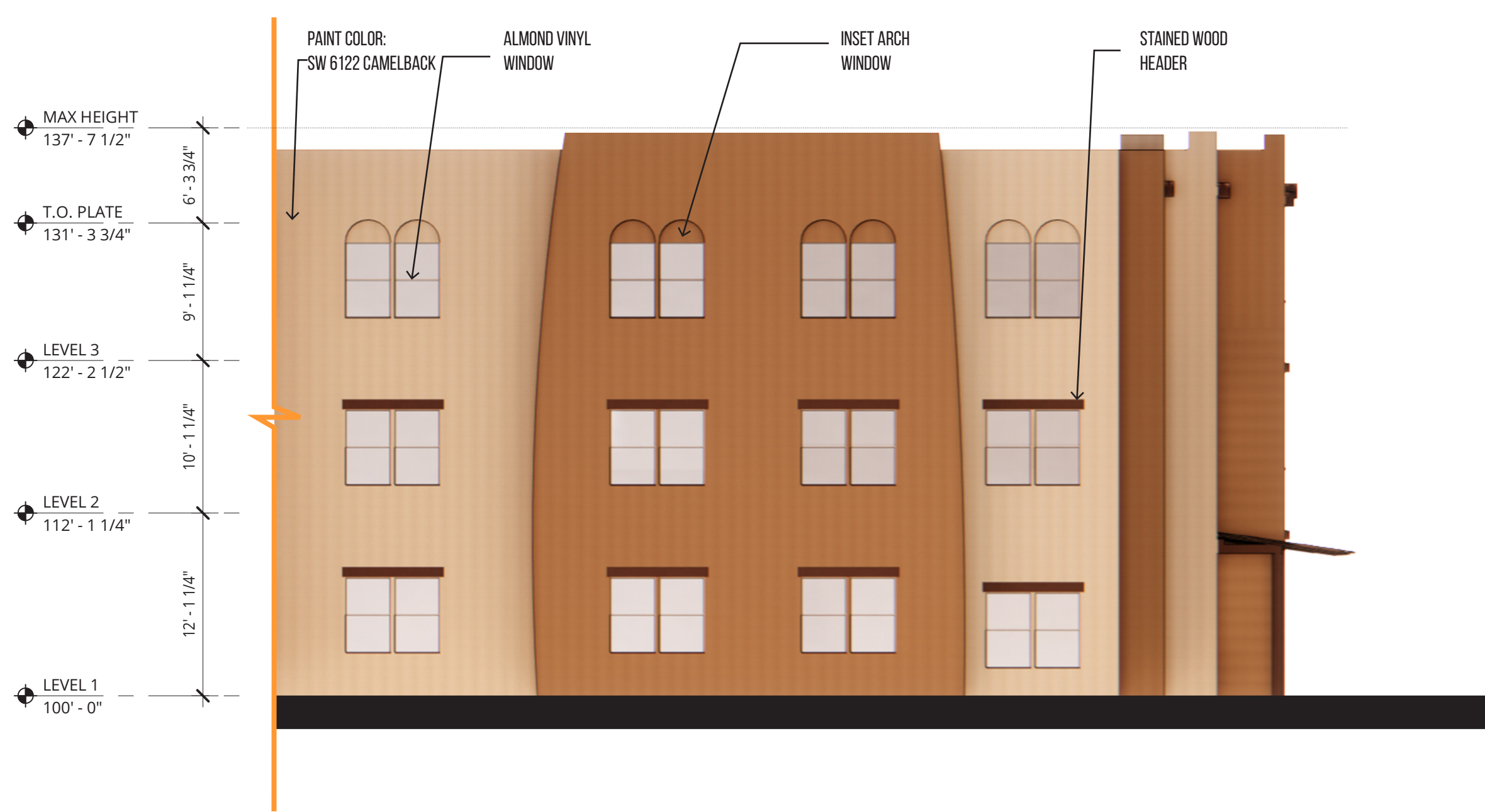


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ALBUQUERQUE, NEW MEXICO



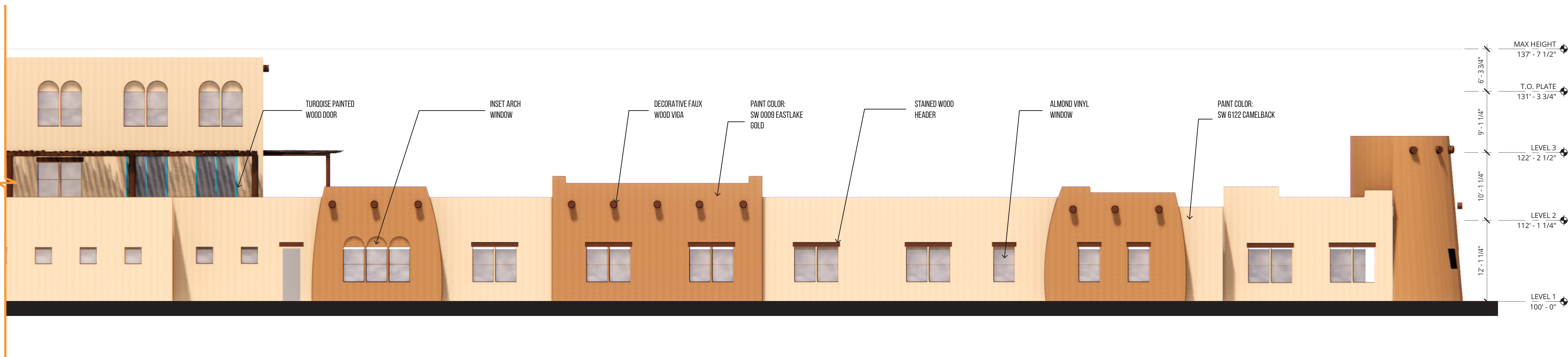
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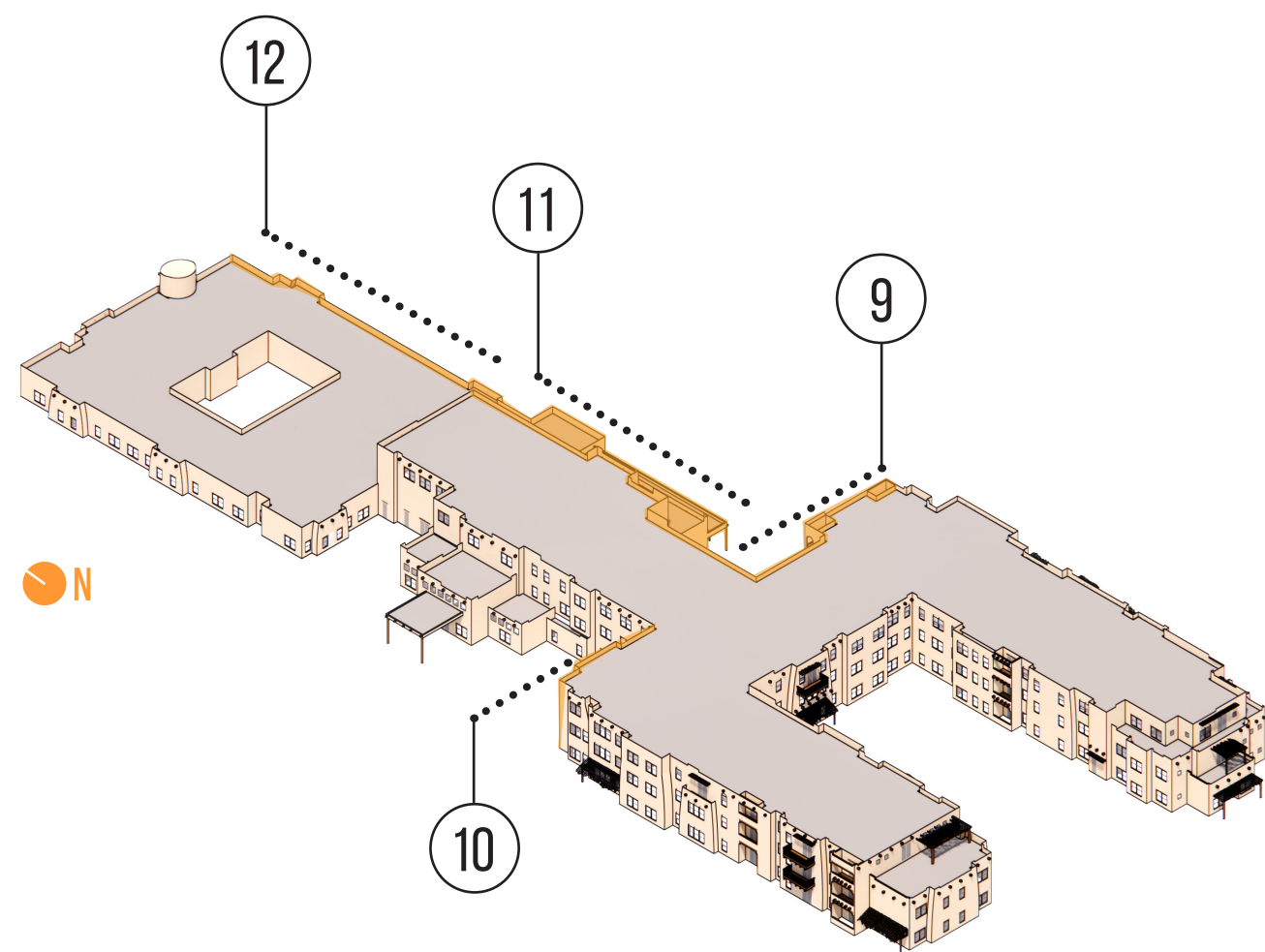
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11 IL/AL DINING EAST
SCALE: 1/8" = 1'-0"

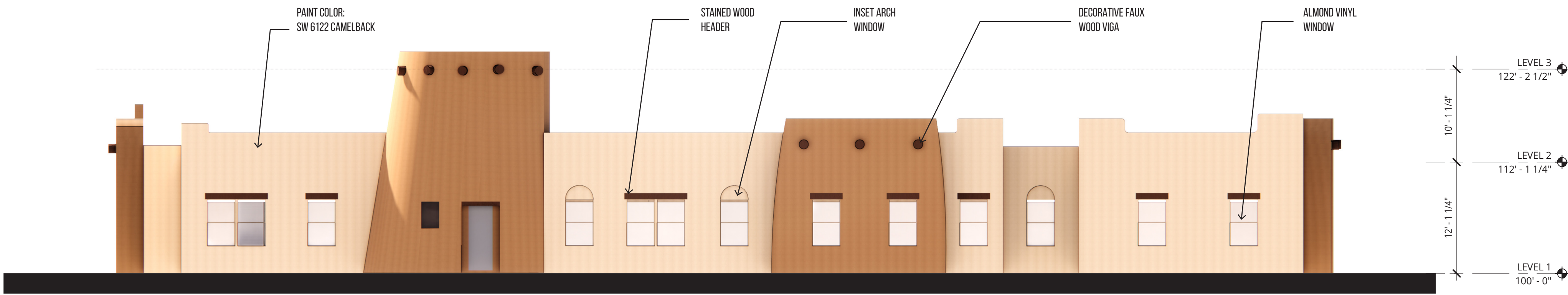


12 MC WING EAST
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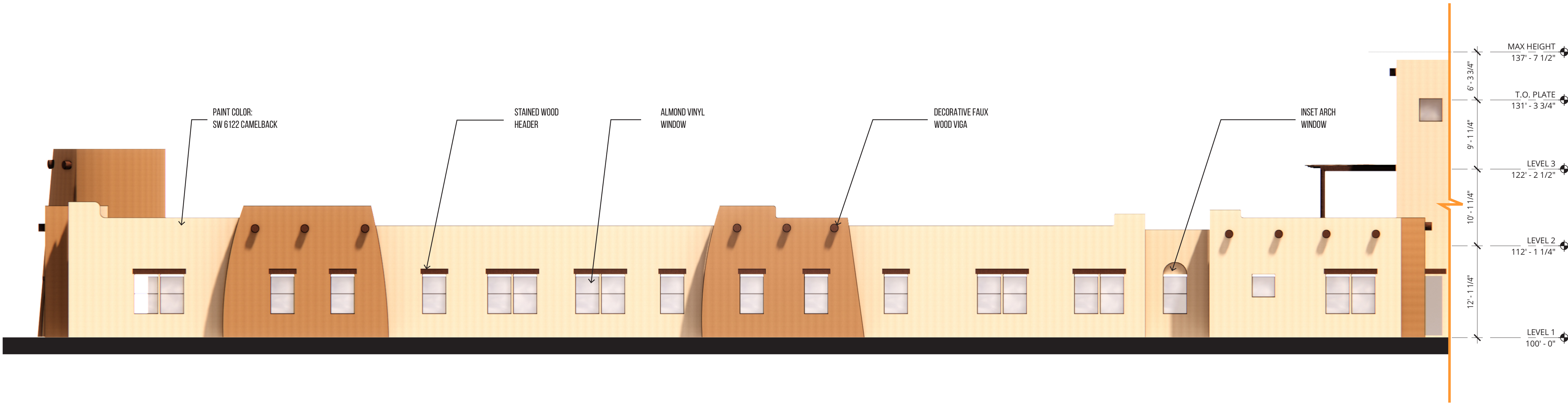


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PARAPETS AND WILL NOT BE VISIBLE FROM GROUND LEVEL.

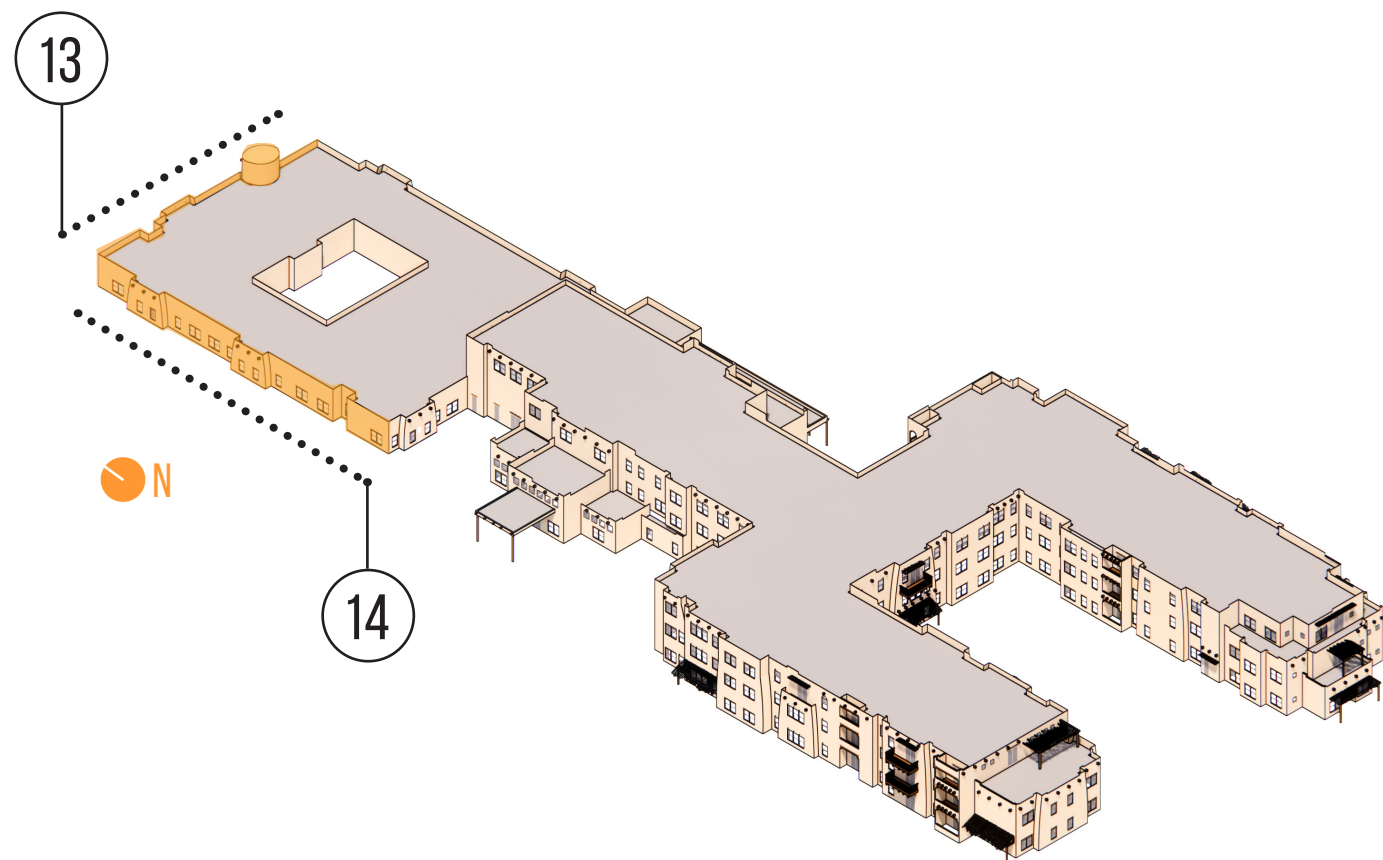
ALBUQUERQUE, NEW MEXICO



13 MC WING NORTH
SCALE: 1/8" = 1'-0"



14 MC WING WEST
SCALE: 1/8" = 1'-0"



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PARAPETS AND WILL NOT BE VISIBLE FROM GROUND LEVEL.