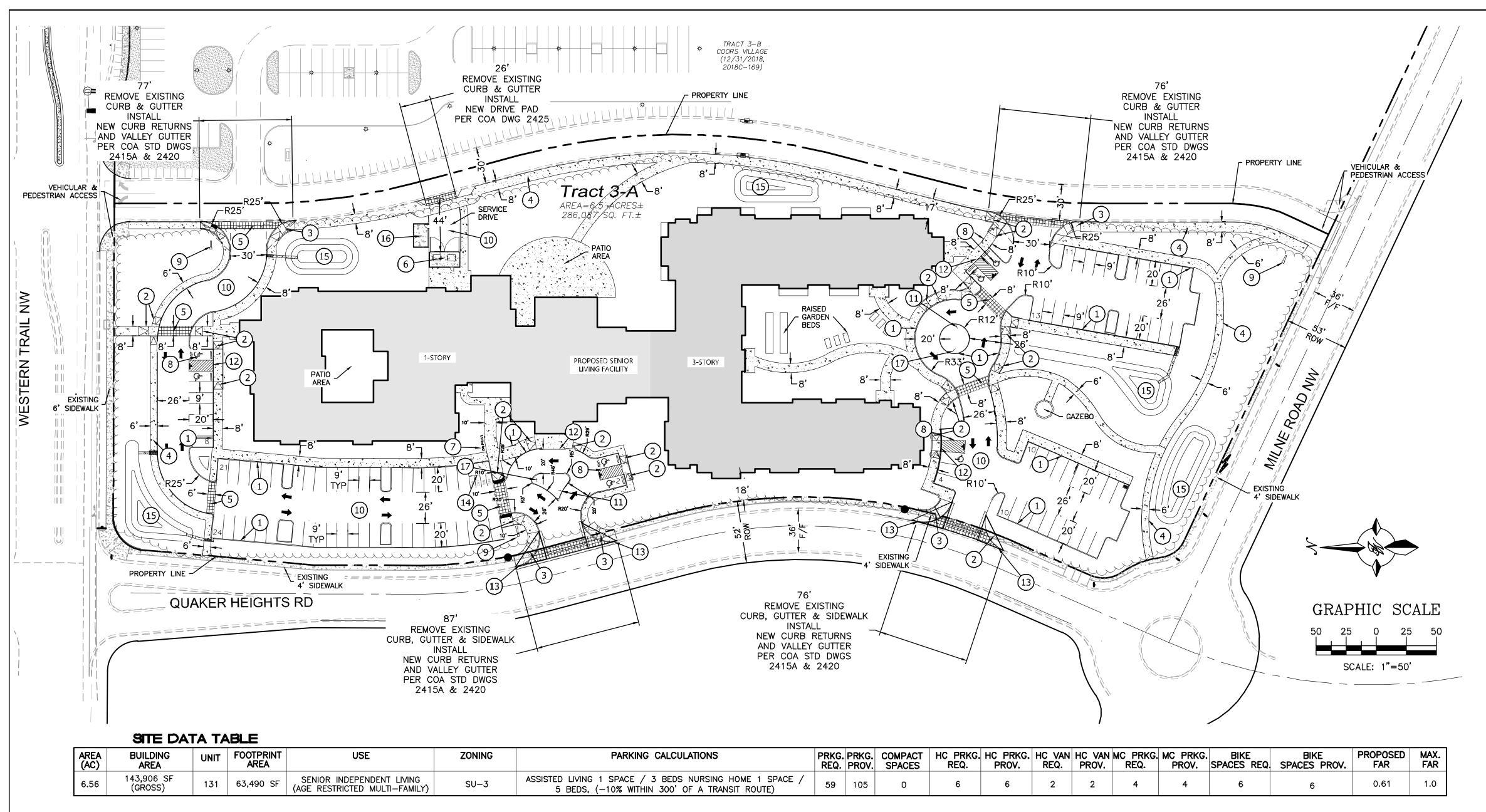
APPROVED BY DATE



LEGEND

CURB & GUTTER

EASEMENT

RIGHT-OF-WAY

LANE

----- Existing curb & gutter

————— EXISTING BOUNDARY LINE

**EXISTING SIDEWALK** 

\_\_\_\_\_\_\_

CENTERLINE

STREET LIGHTS

EXISTING LANE

**EXISTING STRIPING** 

— — — BOUNDARY LINE

BUILDING

SIDEWALK

SCREEN WALL

RETAINING WALL

NOTES:

ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.

2. THE SITE IS WITHIN 300' OF BUS ROUTE #96, #790 AND #155 ON COORS BOULEVARD.

- 4. STRUCTURE HEIGHT UP SHALL BE PER R-3 ZONE WITHIN TRACT 3-A AND SHALL ADDITIONALLY COMPLY WITH COORS CORRIDOR PLAN HEIGHT RESTRICTIONS.
- 5. SETBACKS SHALL BE PER THE R-3 ZONE WITHIN TRACT 3-A.
- 6. TRACT 3A SHALL ONLY BE OPERATED AS "HOUSING FOR OLDER PERSONS" AS THAT TERM IS DEFINED AT 42 U.S.C. SECTION 3607(B)(2). RESTRICTED TO RESIDENTS OF AGE 55 AND OLDER. THE FACILITY MAY PROVIDE SUPPORTIVE SERVICES SUCH AS MEALS, HOUSEKEEPING, SOCIAL ACTIVITIES, AND TRANSPORTATION.
- 7. BUILDING-MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.
- 8. DUMPSTER ENCLOSURE SHALL BE PAINTED TO COMPLIMENT THE BUILDING.
- 9. MINI CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS , TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER
- 10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER AS REQUIRED PER COA STD DWG 2430 AND 2415A.
- 11. PROPOSED DRIVE AISLE CROSSINGS TO BE ENHANCED INTEGRAL COLORED VEHICULAR CONCRETE PAVING WITH CONCRETE BANDS. SIDEWALKS TO BE CONCRETE.

- 3. LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. BUILDING MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS. ALL SITE AND ACCESS LIGHTING SHOULD BE DESIGNED AS ENERGY SAVING LED LIGHTS.

### **BUILDING DATA** SITE DATA CONSTRUCTION TYPE: 5A SITE AREA: 6.57 ACRES 18 UNITS 18 BEDS SEMI-PRIVATE 4 UNITS 8 BEDS TOTAL: 22 UNITS 26 BEDS MAXIMUM HEIGHT: 3-STORY BUILDING FOOTPRINTS: 63,490 SF 22.2% ROOF HEIGHT: 40'-0" (Including Trash Enclousure) SITE FURNITURE: 819 SF 0.3% 1ST FLOOR 63,083 SF STUDIO (Signs, Gazebo, Garden Beds, Game Courts) 2ND FLOOR 38,774 SF ONE BED 3RD FLOOR TOTAL: PERVIOUS SURFACES 122,433 SF 42.8% 75 UNITS Landscape INDEPENDENT LIVING IMPERVIOUS SURFACES 99,528 SF 34.7% (Road, Driveways, Parking, Sidewalks, Patios): TOTAL SITE AREA: 286,270 SF 100% 47 UNITS ACCESSIBLE SPACES VAN SPACE SURFACE PARKING TOTAL PARKING: 108 SPACES

VICINITY MAP:

LEGAL DESCRIPTION:

**OXBOW** 

Lot 3—A Coors Village Albuquerque, Bernalillo County, New Mexico January 2020

F-11-Z

*	Environmental	Health,	if	necessary

DRB Chairperson, Planning Department

\*Environmental Health Department (conditional)

PROJECT NUMBER: PR-2018-001584

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division

Parks & Recreation Department

City Engineer/Hydrology

Solid Waste Management

Code Enforcement

**ABCWUA** 

APPLICATION NUMBER: SI-2018-00151

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right—of—Way or for construction of public improvements.

Date

Date

Date

Date

Date

Date

Date

Date

## GENERATOR BUILDING (17) "ONE WAY DO NOT ENTER" SIGN

SHEET C5)

KEYED NOTES:

(1) CURB & GUTTER (SEE DETAIL SHEET C4)

2) STRAIGHT HC RAMP (SEE DETAIL SHEET C4)

(3) CURB RETURN HC RAMP (SEE DETAIL SHEET C4)

DUMPSTER ENCLOSURE RECYCLE & WASTE

SIGN AND SYMBOL ("VAN"-INDICATES VAN

PROPOSED MONUMENT SIGN (SEE ELEVATION

(10) ASPHALT PAVEMENT (REFER GEOTECH REPORT)

ACCESSIBLE SPACE). (SEE DETAIL SHEET C5)

(SEE DETAIL SHEET C4)

SHEET C7 FOR DETAILS)

(11) ONE WAY SIGN (RIGHT DIRECTION)

(12) ZERO CURB (SEE DETAIL SHEET C4)

(13) SIGHT TRIANGLE (SEE NOTE 9 THIS SHEET)

SWQV POND (SEE GRADING SHEET FOR DETAILS)

MOTORCYCLE PARKING SIGN (SEE DETAIL

(7) BIKE RACK (SEE DETAIL SHEET C5)

(4) SIDEWALK (DIMENSION ON PLAN) PER COA STD DWG #2430

ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET C7 FOR ACCESSIBLE PARKING SPACE SIZE,

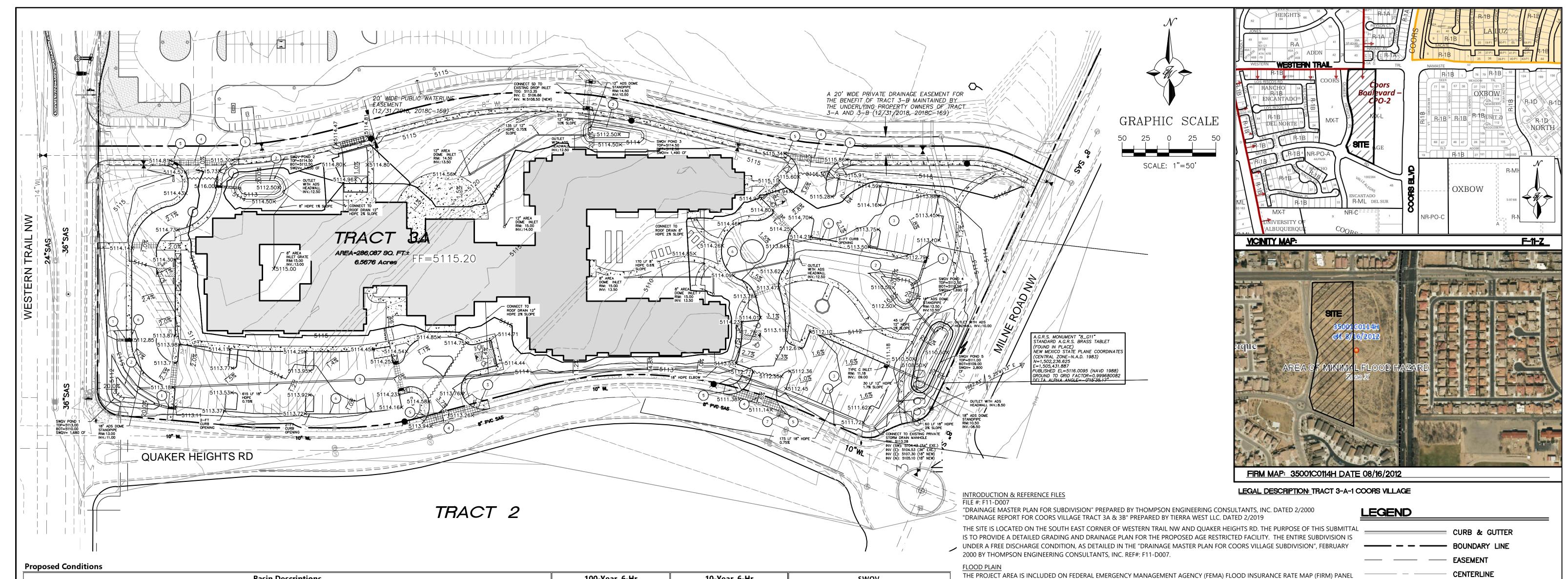
PAVED PEDESTRIAN CROSSING OF COLORED, TEXTURED

CONCRETE, DIMENSION ON PLAN (SEE NOTE 11 THIS SHEET)

# INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT C2. GRADING AND DRAINAGE PLAN
- - MASTER UTILITY PLAN CONSTRUCTIONS DETAILS CONSTRUCTIONS DETAILS
- C6. CONSTRUCTIONS DETAILS L1. LANDSCAPING PLANS
- **B1. BUILDING ELEVATIONS**

ENGINEER'S SEAL	TRACT 3A COORS VILLAGE	DRAWN BY RS
ON METICO Z	4500 QUAKER HEIGHTS ABQ NM 87120	DATE
STAN METICOZ	SITE PLAN FOR BUILDING	4/16/2020
( ( ( 7868 ) ) )	DEDMIT	2019064_SP
PROTEIN STONAL ENGINE		SHEET #
4/16/2020	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109	<b>C</b> 1
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	ЈОВ # 2019064



Basin Descriptions								100-Year, 6-Hr			10-Year, 6-Hr			swqv						
Basin	Tract	Area	Area	Area	Treatme	nt A	Treatr	nent B	Treat	ment C	Treatr	nent D	Weighted E	Volume	Flow	Weighted E	Volume	Flow	Vol Required	Provided
ID	Iract	(sf)	(acres)	(sq miles)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(in)	(ac-ft)	cfs	(in)	(ac-ft)	cfs	(cf)	(cf)
B1	roadway	15,317	0.35	0.00055	0%	0.000	0%	0.000	15%	0.053	85%	0.299	1.823	0.053	1.46	1.120	0.033	0.94	N/A	C
B2	3A	63,798	1.46	0.00229	0%	0.000	35%	0.513	0%	0.000	65%	0.952	1.515	0.185	5.20	0.883	0.108	3.14	1,451	1,680
В3	3A	13,188	0.30	0.00047	0%	0.000	100%	0.303	0%	0.000	0%	0.000	0.670	0.017	0.61	0.220	0.006	0.23	0	1,850
B4	3A	25,343	0.58	0.00091	0%	0.000	0%	0.000	0%	0.000	100%	0.582	1.970	0.096	2.54	1.240	0.060	1.68	887	
B5	3A	10,331	0.24	0.00037	0%	0.000	0%	0.000	0%	0.000	100%	0.237	1.970	0.039	1.04	1.240	0.025	0.69	362	1,490
В6	3A	26,911	0.62	0.00097	0%	0.000	82%	0.507	0%	0.000	18%	0.111	0.904	0.047	1.51	0.404	0.021	0.71	170	
В7	3A	15,135	0.35	0.00054	0%	0.000	0%	0.000	0%	0.000	100%	0.347	1.970	0.057	1.52	1.240	0.036	1.00	530	1,690
B8	3A	15,273	0.35	0.00055	0%	0.000	0%	0.000	0%	0.000	100%	0.351	1.970	0.058	1.53	1.240	0.036	1.01	535	
В9	3A	60,815	1.40	0.00218	0%	0.000	68%	0.949	0%	0.000	32%	0.447	1.086	0.126	3.88	0.546	0.064	2.01	681	
B10	3A	27,224	0.62	0.00098	0%	0.000	55%	0.344	0%	0.000	45%	0.281	1.255	0.065	1.93	0.679	0.035	1.07	429	2,800
B11	3A	12,752	0.29	0.00046	0%	0.000	92%	0.269	0%	0.000	8%	0.023	0.774	0.019	0.65	0.302	0.007	0.27	36	C
Total		286,087	6.57	0.01026		0.000		2.884		0.053		3.631		0.761	21.872		0.430	12.763	5,079	9,510

1,850

1,490

2,800

Equations:
Weighted $E = Ea*Aa + Eb*Ab + Ec*Ac + Ed$
Volume = Weighted E * Total Area
Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

	D	Slope	Area	R	Q Provided	Velocity
o*Ab + Ec*Ac + Ed	(in)	(%)	(ft^2)		(cfs)	(ft/s)
otal Area	12	0.50	0.79	0.250	2.53	3.22
- Qc*Ac + Qd*Ad	12	1.00	0.79	0.250	3.57	4.55
	12	1.70	0.79	0.250	4.66	5.93
	18	0.75	1.77	0.375	9.12	5.16
	18	2.00	1.77	0.375	14.90	8.43

Excess Precipitation, E (in.)					
Zone 1	100-Year	10-Year			
Ea	0.44	0.08			
Eb	0.67	0.22			
Ec	0.99	0.44			
Ed	1.97	1.24			

Zone i	100-real	10- real		Ľ
Ea	0.44	0.08		
Eb	0.67	0.22		
Ec	0.99	0.44		
Ed	1.97	1.24		
			•	

**Stormwater Quality Volume** Total Impervious Area =

Retainage depth = 0.42" Per DPM Pg. 272 Retention Volume =

Peak	Discharg	e (cfs/acre)	SWQP	Area At Mid Depth	I	
Zone 1	100-Year	10-Year			84	0
Qa	1.29	0.24		Ź	92	5
Qb	2.03	0.76		3	749	5
Qc	2.87	1.49			84	5
Qd	4.37	2.89		į	140	0

ΣArea in "Treatment D" =0.035 x area

KEYED NOTES

(1) 2-FT CURB CUT AND 2-FT CONCRETE RUNDOWN W/ SIDEWALK CULVERT

(2) SWQV POND - SEE PLAN FOR NUMBER AND VOLUME THIS SHEET

(3) ASPHALT PAVING (SEE GEOTECTH REPORT)

BUILD NEW DRIVEWAY (CURB, GUTTER & SW) AND REPLACE WITH COA STD. CURB, GUTTER & SW. MATCH EXISTING FLAT GUTTER

(5) NEW HC RAMP PER COA STD. DETAIL

(6) ONSITE CURB AND GUTTER

(7) MODIFY EXISTING CURB INLET TO BE FLUSH WITH FLOWLINE OF DRIVEWAY

(8) SURVEY PROVIDED BY PRECISION SURVEYS, INC. SEE SURVEY MONUMENT TIE THIS SHEET.

9 A CROSS LOT DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS 3-A AND 3-B, TO BE MAINTAINED BY THE OWNERS OF EACH TRACT (12/31/2018, 2018C-169)

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS, IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

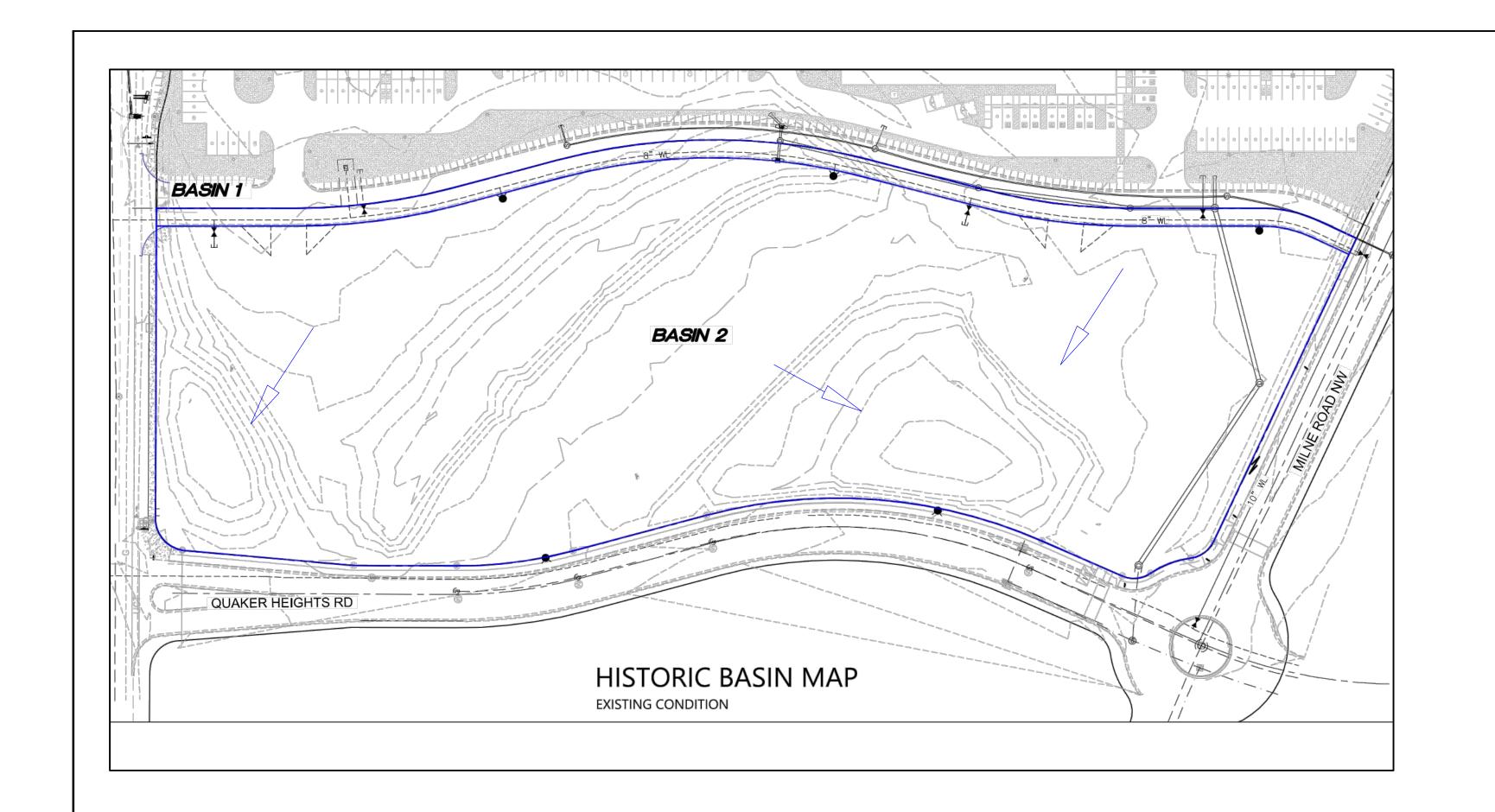
/	UNDER A FREE DISCHARGE CONDITION, AS DETAILED IN THE "DRAINAGE MASTER PLAN FOR COORS VILLAGE SUBDIVISION", FEBRUARY 2000 BY THOMPSON ENGINEERING CONSULTANTS, INC. REF#: F11-D007.		BOUNDARY LINE
	FLOOD PLAIN		EASEMENT
	THE PROJECT AREA IS INCLUDED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL		CENTERLINE
	35001C0114H DATED AUGUST 16, 2012 AND IS SHOWN ON THIS PAGE. THE MAP INDICATES THE SITE LIES WITHIN FLOOD ZONE X, AN AREA OF MINIMAL FLOOD HAZARD.		RIGHT-OF-WAY
	EXISTING DRAINAGE:		BUILDING
	TRACT 3-A-1 IS A 6.57 ACRE UNDEVELOPED PARCEL. IN 2018 A MASTER DRAINAGE PLAN WAS PREPARED FOR THE DEVELOPMENT OF THIS		CONCRETE / SIDEWALK
	TRACT AND THE ADJACENT TRACT 3B. TRACT 3B IS A PRESBYTERIAN URGENT CLINIC AND HALF OF THE PARCEL WAS DEVELOPED IN 2019. A COMMON STORMDRAIN WAS INSTALLED IN 2020 TO PROVIDE DRAINAGE FOR BOTH PARCELS IN THE DEVELOPED STATE PER THE	<b></b>	GRADE BREAK
	DRAINAGE MASTERPLAN. A PRIVATE STORM DRAIN EASEMENT IS DETAILED ON THE RECORDED PLAT 2018 FOR TRACT 3-A AND 3-B. THE STORMDRAIN CONNECTED TO AN EXISTING 54-INCH STORM DRAIN STUB AT THE SOUTH WEST CORNER OF TRACT 3A, WHICH CONNECTS		RETAINING WALL
	TO THE EXISTING SYSTEM EXISTS WITHIN QUAKER HEIGHTS PL, AS DETAILED ON THE PLANS FOR THE RANCHO ENCANTADO OFF-SITE IMPROVEMENTS FROM 2003. THE STORMWATER RUNOFF EVENTUALLY DRAINS TO THE LADERA DETENTION POND. PER THE 2019	5010	CONTOUR MAJOR
	DRAINAGE MASTERPLAN AN 85% IMPERVIOUS LAND TREATMENT WAS PROVIDED FOR THE DEVELOPED CONDITION OF TRACT 3A WITH A TOTAL RUNOFF OF 25.8 CFS FOR THE PARCEL. THIS EXCLUDES THE COMMON PRIVATE ROADWAY.	<del>5</del> 011 <del></del>	CONTOUR MINOR
	TOTAL RUNOFF OF 23.6 CF3 FOR THE FARCEL. THIS EXCLUDES THE COMMON FRIVATE ROADWAY.	x 5048.25	SPOT ELEVATION
	PROPOSED DRAINAGE:		FLOW ARROW
	THE WEIGHTED E METHOD FROM THE "CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME I - DESIGN CRITERIA, 2006 REVISION" WAS USED TO CALCULATE THE RUNOFF AND VOLUME FOR THE SITE. THE HYDROLOGY TABLES ARE SHOWN ON THIS PAGE. THE		EXISTING CURB & GUTTER
	SITE WAS DIVIDED INTO 11 BASINS WITH THE APPROPRIATE LAND TREATMENT DETERMINED AS SHOWN IN THE DRAINAGE TABLE. THE MAJORITY OF THE SITE WILL SHEET FLOW AND BE DIRECTED TO CONCRETE RUNDOWNS OR INLETS VIA CURB AND GUTTER WHICH SHALL		EXISTING BOUNDARY LINE
	FLOW INTO THE STORMWATER QUALITY VOLUME PONDS. THERE IS NO OFFSITE DRAINAGE ENTERING THE SITE. THE STORMDRAIN CONVEYS FLOWS FROM TRACT 3B THROUGH TRACT 3A PROPERTY.	5010	EXISTING CONTOUR MAJOR
	NEW DEVELOPMENT SITES ARE REQUIRED TO CAPTURE AND INFILTRATE THE "STORMWATER QUALITY VOLUME" FROM THE 90TH	— — — — 5011— — — — —	EXISTING CONTOUR MINOR
_	PERCENTILE STORM. THE METHODOLOGY USED IN THE EPA REPORT "ESTIMATING PREDEVELOPMENT HYDROLOGY IN THE MIDDLE RIO	× 5048.25	EXISTING SPOT ELEVATION
	GRANDE WATERSHED" APRIL 2014, YIELDS A RUNOFF VALUE OF 0.42 INCHES FOR THE 90TH PERCENTILE STORM. THEREFORE THE REQUIRED STORMWATER QUALITY VOLUME TO BE CAPTURED AND INFILTRATED IS THE PRODUCT OF THE IMPERVIOUS AREA MULTIPLIED BY 0.42 INCHES FOR NEW DEVELOPMENT SITES.		CURB INLET
	DI 0.42 INCHES I ON INEVV DEVELOFIVIENT SITES.	·····	GRADE BREAK AT ENTRANCE
	THE PEAK DISCHARGE FOR THE ENTIRE SITE IS 21.8 CFS WHICH IS LESS THAN THE FLOWS CALCULATED IN THE APPROVED DRAINAGE MASTERPLAN. ONCE THE SWQV PONDS ARE FULL THEY WILL FLOW INTO THE EXISTING STORMDRAIN VIA INLETS AND PIPE CONNECTING		

ENTITLEMENT PROCESS FOR THIS SITE

THE SITE WAS PREVIOUSLY APPROVED BY DRB AND HYDROLOGY FOR CONCEPTUAL GRADING & DRAINAGE WITH ENGINEERS STAMP DATE 08/22/18. AN ADMINISTRATIVE AMENDMENT TO THE PRIOR APPROVAL IS PROPOSED. THIS PLAN IS BEING SUBMITTED TO HYDROLOGY FOR APPROVAL FOR SITE PLAN FOR BUILDING PERMIT.

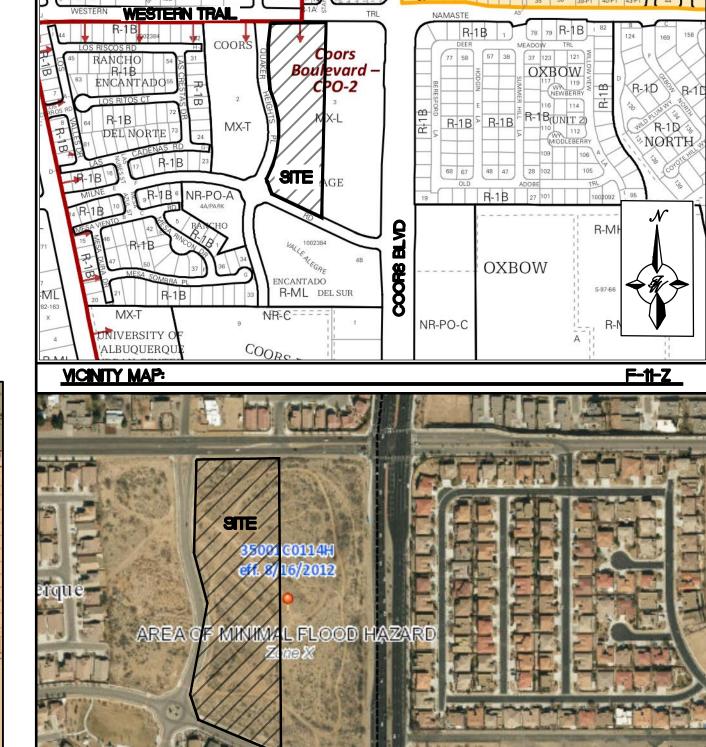
TO THE EXISTING DRAIN. BASIN 11 HAS MINIMAL OPPORTUNITY TO ACHIEVE THE REQUIRED STORM WATER QUALITY VOLUME AND IS 8%

TRACT 3A COORS VILLAGE	DRAWN BY RS
4500 QUAKER HEIGHTS ABQ NM 87120	DATE
GRADING & DRAINAGE	2/19/2020
PLAN	2019064_GR
	SHEET #
TIERRA WEST, LLC  5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109	C2
(505) 858—3100 www.tierrawestllc.com	JOB # 2019064
	GRADING & DRAINAGE PLAN  TIERRA WEST, LLC  5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100



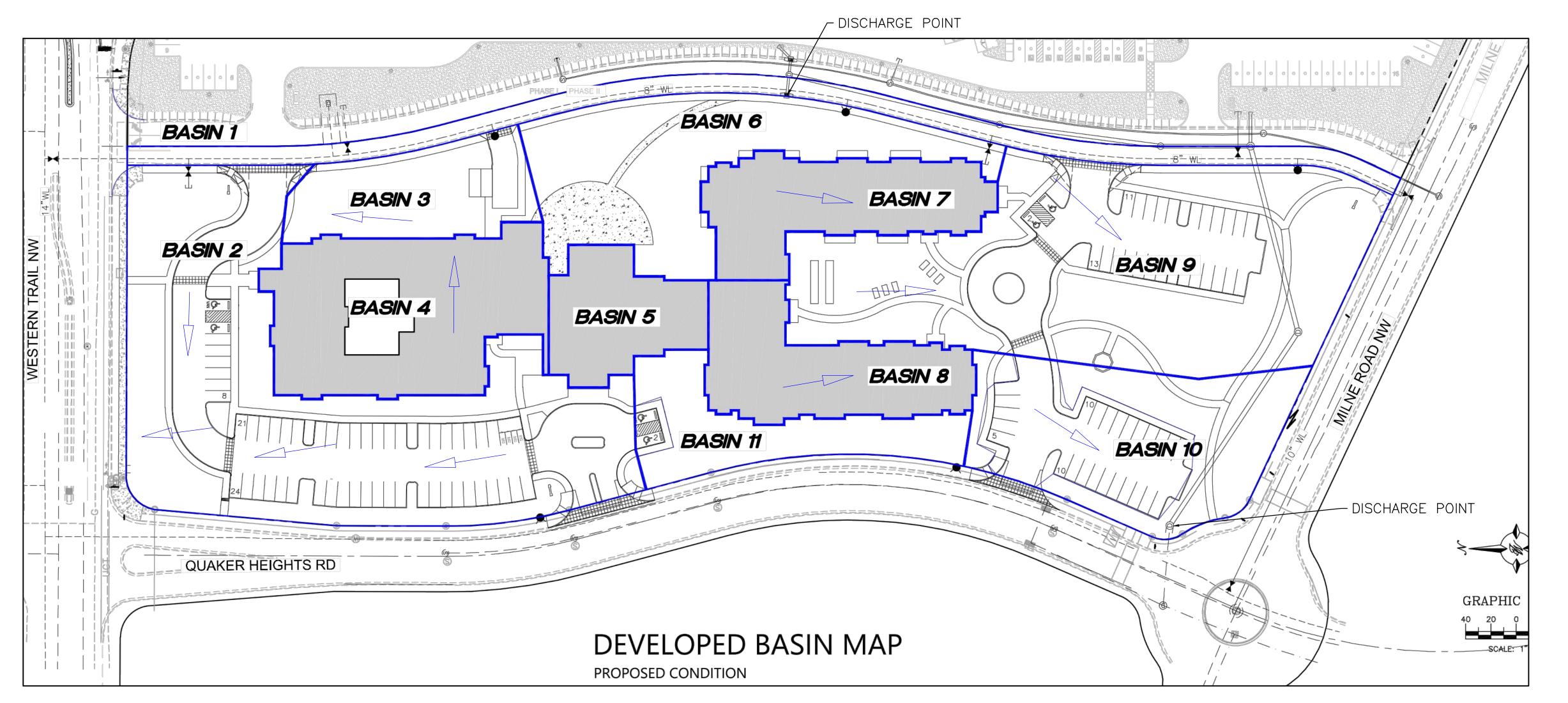
# COA HYDRONUM FILES NO. ON FIECORD IN SITE VICINITY



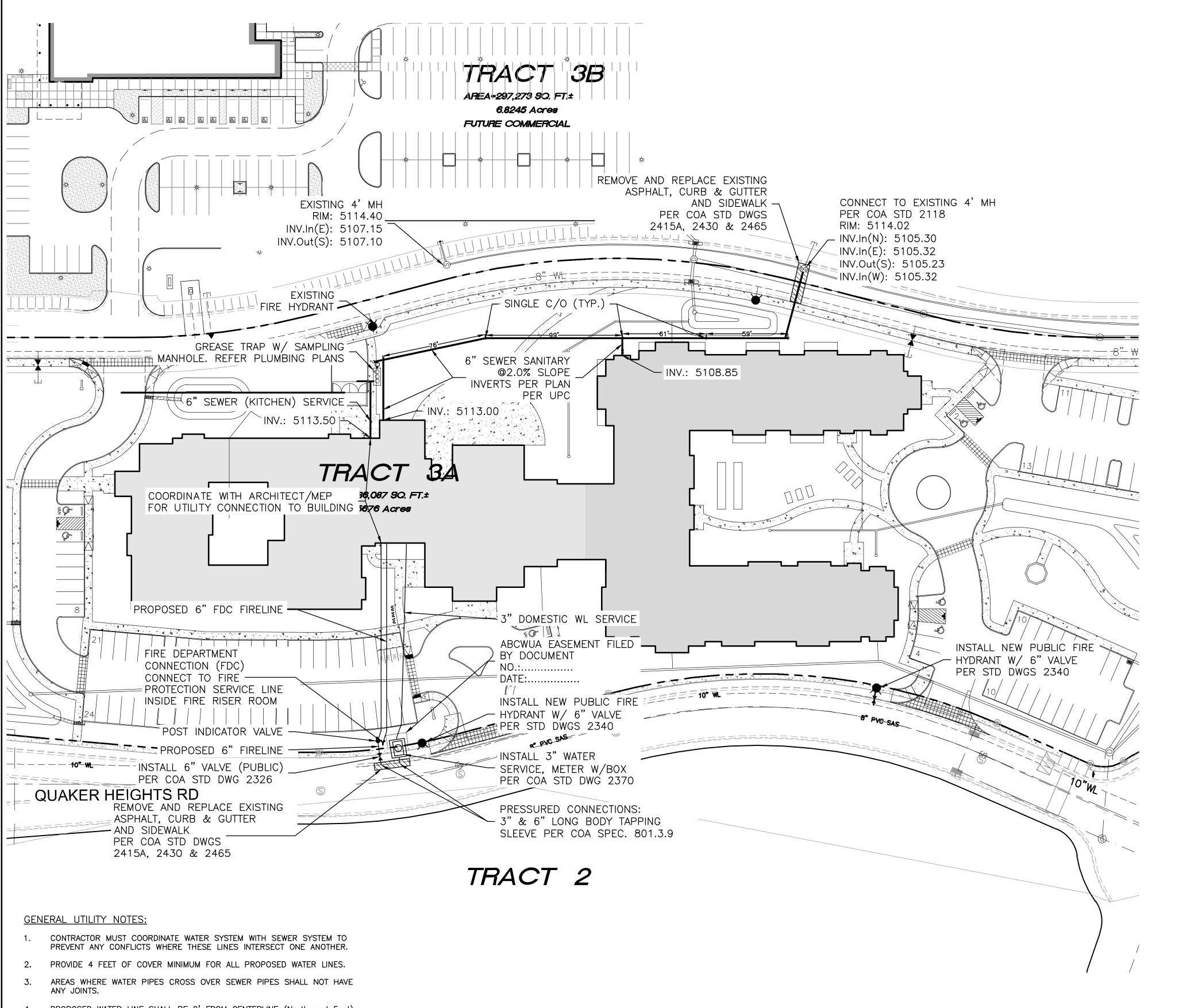


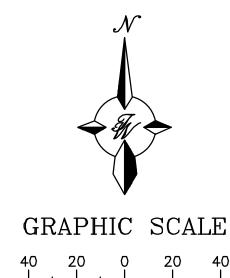
LEGAL DESCRIPTION: TRACT 3-A-1 COORS VILLAGE

FIRM MAP: 35001C0114H DATE 08/16/2012



ENGINEER'S	TRACT 3A COORS VILLAGE	DRAWN BY
SEAL		RS
DR. BOH	4500 QUAKER HEIGHTS ABQ NM 87120	DATE
ON METIC Z	BASIN MAP	2/19/2020
( (7868 ) )		2019064_GR
PROTEIN		SHEET #
2/19/2020	T 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109	C2-A
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	ЈОВ # 2019064





- 4. PROPOSED WATER LINE SHALL BE 8' FROM CENTERLINE (North and East), UNLESS OTHERWISE NOTED.
- 5. NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
- 6. CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
- 7. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
- 9. P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
- 10. CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

# MATERIALS (OR EQUIVALENT APPROVED):

- 1. SEWER TO BE SDR-35 PVC
- 2. WATER LINE TO BE C900—PVC DR18

## ABCWUA NOTES:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT HTTP://ABCWUA.ORG/CONTENT/MEW/463/729/.

# CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS—BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

SCALE: 1"=40'

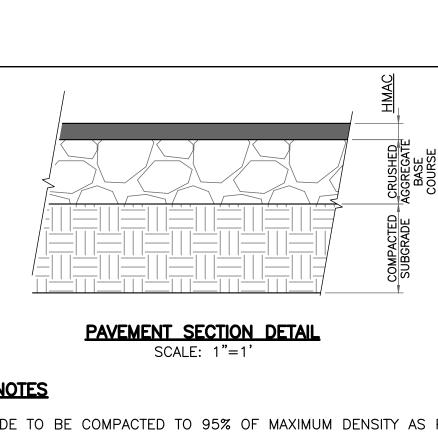
# LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
36" SD	STORM SEWER LINE
8" SAS	SANITARY SEWER LINE
8" WL	WATERLINE
•	SINGLE CLEAN OUT
œ	DOUBLE CLEAN OUT
D	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
wv D	EXISTING WATER VALVE
	EXISTING WATER METER
•	EXISTING POWER POLE
©	EXISTING GAS VALVE
U	EXISTING OVERHEAD UTILITIES
— — — EX. UGE — — —	EXISTING UNDERGROUND UTILITIES
— — —EX. 2" GAS— — —	EXISTING GAS
——————————————————————————————————————	EXISTING SANITARY SEWER LINE
— — —EX. 10" WL— — —	EXISTING WATER LINE
—— · ——EX. 18" RCP———	EXISTING STORM SEWER LINE

## WATER NOTES

- 1. CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS — ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
- 3. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER 0.S.H.A. STANDARDS.
- 4. ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
- 5. ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
- 6. CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
- 7. RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
- 8. ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING 8" SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
- 10. CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
- 11. CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
- 12. CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE

SEAL	TRACT 3A COORS VILLAGE	DRAWN BY RS
ON METICOZ	4500 QUAKER HEIGHTS ABO NM 87120	<i>DATE</i> 3/5/2020
ON MET		3/3/2020
( ( ( 7868 ) ) )	MASTER UTILITY PLAN	2019064_MU
PROFITS CO. CHICAGO		SHEET #
3/6/2020	TIERRA WEST, LLC  5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109	C3
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	ЈОВ # 2019064

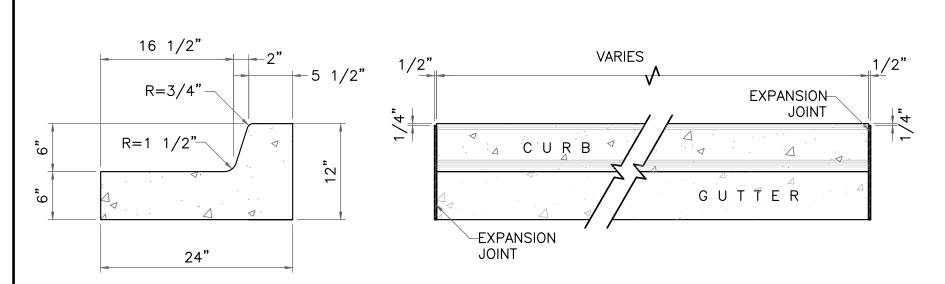


### **PAVEMENT NOTES**

- 1. SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM
- BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557. TYPE A, GRADE 1 OR 2.
- BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
- PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE)
- COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
- C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500
- 7. STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.

### **TRENCHING**

ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.



# **END SECTION**

- 1. NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENGY WITH STRAIGHT LINE).
- 2. CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER. 3. ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
- 4. CONCRETE: CLASS "A" 3000 PSI.

CONC. HC RAMP

SLOPE 12:1 MAX.

**PLAN** 

CONC. HC RAMP

SECTION A-A

UNIDIRECTIONAL HC RAMP

SLOPE 12:1 MAX.

NOT TO SCALE

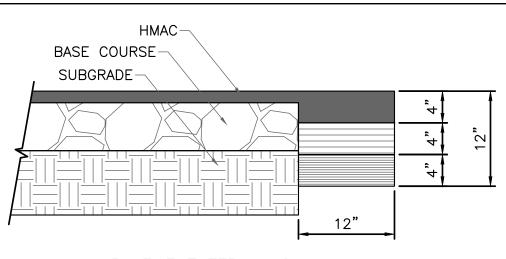
→ 5' MIN. LANDING

SIDEWALK

- 5. EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.
- 6. THIS DETAIL APPLIES TO PRIVATE CURB WORK ONLY.

· A · A · A ·

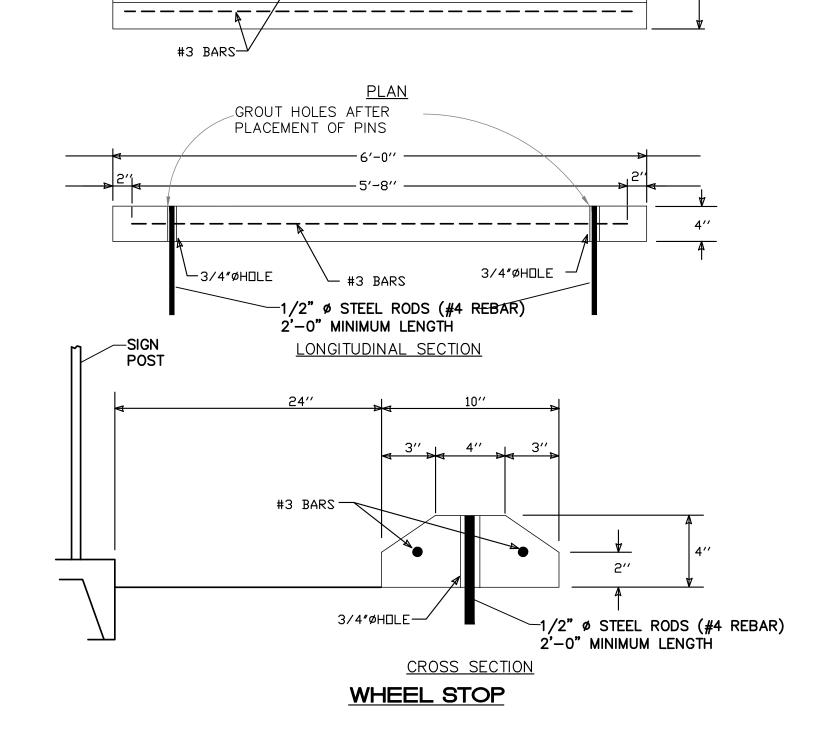
### STANDARD 6" CURB & GUTTER <u>DETAIL</u> SCALE: 1"=1'



### **PAVEMENT TERMINUS** SCALE: 1"=1"

## NOTE:

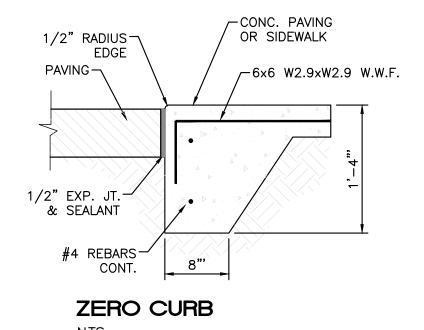
THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE. FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.

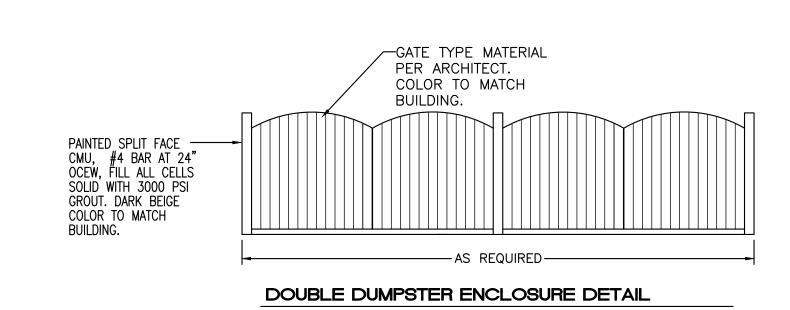


3/4″ØH□LE

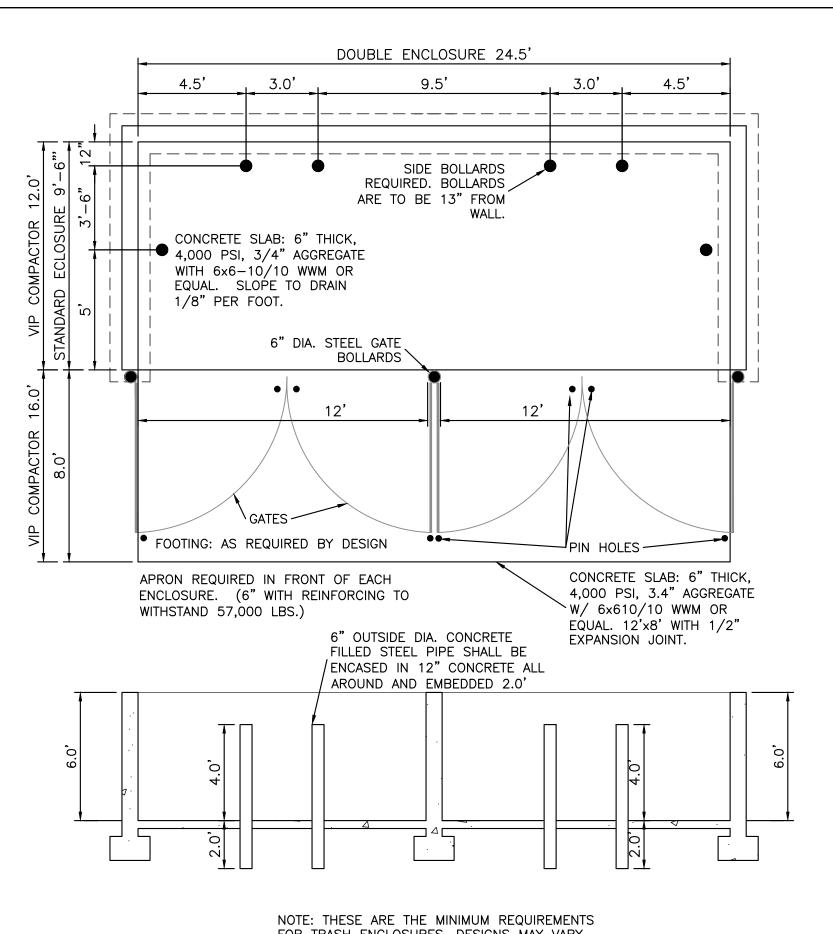
\_\_ 3/4″øH□LE

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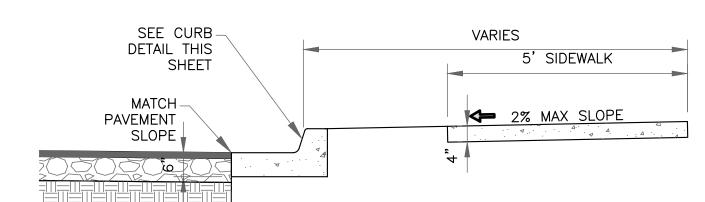


NTS



FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DOUBLE DUMPSTER ENCLOSURE DETAIL



# NOTES:

DETECTABLE WARNING

50:1 MAX

SURFACE (TRUNCATED DOME)

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.

PLAN VIEW

2. CONSTRUCT PER A.D.A. STANDARDS.

DETECTABLE WARNING

SURFACE

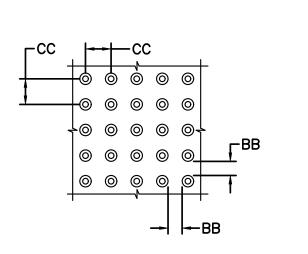
CONC. HC RAMP

SLOPE 50:1 MAX.

\_0.25" MAX

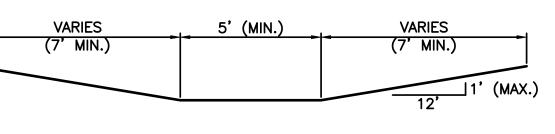
# DOME SECTION

BD - BASE DIAMETER 0.9" MIN TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



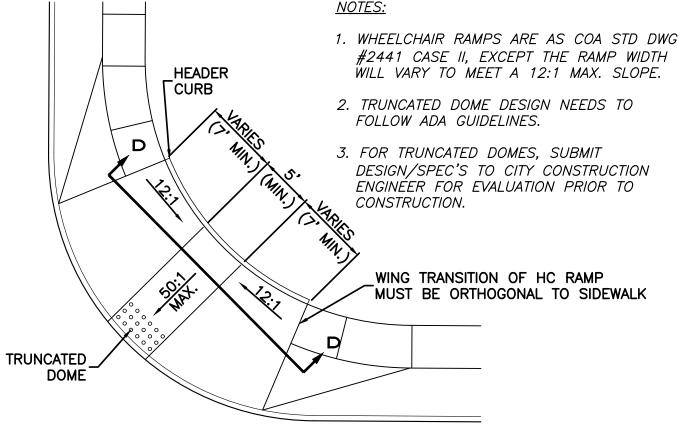
# DOME SPACING

CC - CENTER TO CENTER SPACING 2.35" BB - BASE TO BASE SPACING 1.48" MIN



# SECTION D-D

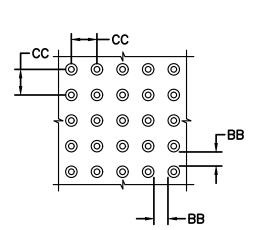
CURB RETURN HC RAMP DETAIL (TYP.)



# BB - BASE TO BASE SPACING 1.48" MIN

### DOME SECTION BD - BASE DIAMETER 0.9" MIN TD - TOP DIAMETER 50% OF BD MIN TO

65% OF BD MAX



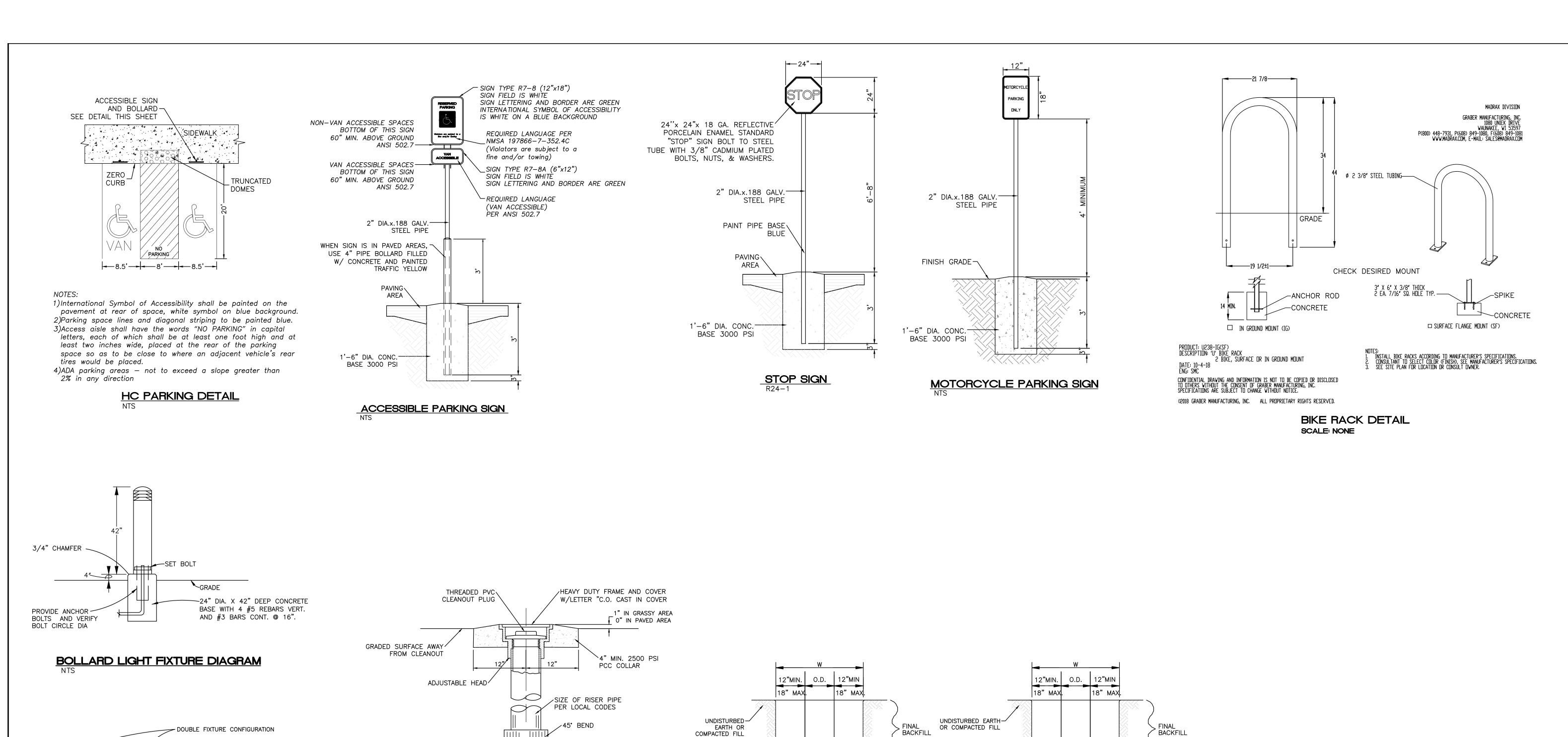
# **DOME SPACING**

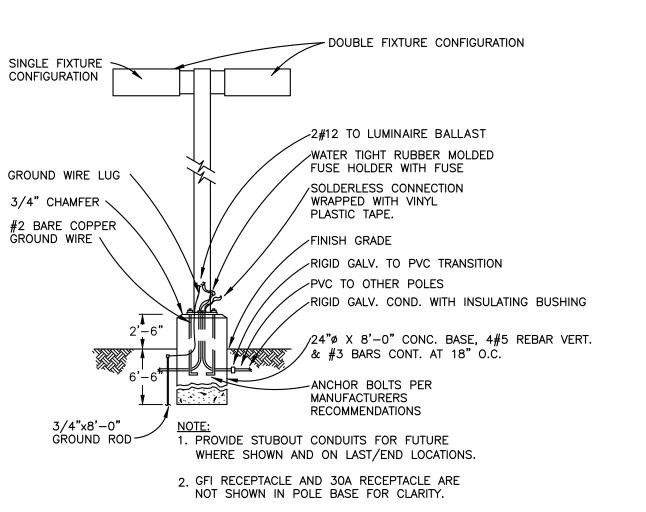
CC - CENTER TO CENTER SPACING 2.35"



- CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
- DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
- EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLDED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
- EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR CURBS.
- WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.







PARKING LOT LIGHTING FIXTURE

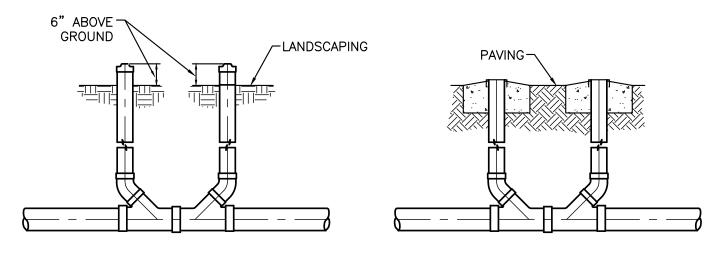
LIGHT POLE DETAIL

1. LIGHTING SHALL COMPLY WITH

ZONING CODE §14-16-3-9.

2. HEIGHT LIMITED TO 16'.

NO SCALE



SANITARY SEWER DOUBLE CLEAN-OUTS

SANITARY SEWER CLEAN-OUT

SEE PLAN FOR PIPE SIZE,

TYPE, AND ELEVATION

1. BEDDING SHALL BE CLASS I—A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I—B COMPACTED TO 95% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)

WATER LINE

2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I—A OR CLASS I—B OR CLASS II COMPACTED TO 95% PROCTOR.

- 3. INITIAL BACKFILL SHALL BE CLASS I—A WORKED BY HAND, OR CLASS I—B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
- 4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 95% STANDARD PROCTOR.
- 5. FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.

6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.

SANITARY SEWER

> INITIAL BACKFILL

{HAUNCHING

4" BEDDING

(MIN.)

- 7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
- 9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- 10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)



PIPE SPRING

CRUSHED STONE

PLUG WYE IF SERVICE LATERIAL

DOES NOT CONTINUE

 $\circ$  $^{\circ}$  $^{\circ}$  $^{\circ}$  $^{\circ}$  $^{\circ}$ 

PER LOCAL CODES

DIRECTION OF FLOW

UTILITY TRENCH AND BEDDING DETAIL

BACKFILL

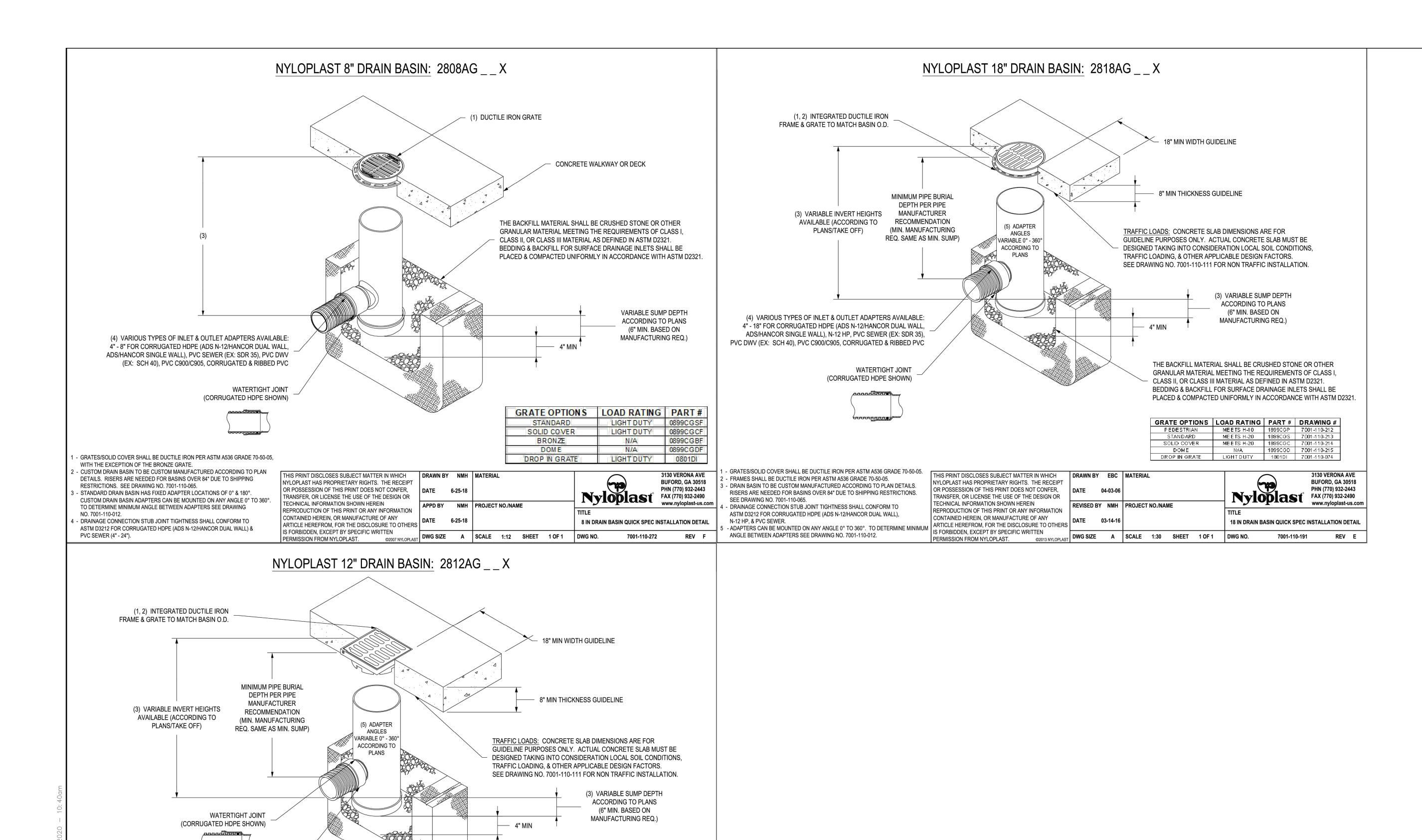
HAUNCHING

(MIN.)

4" BEDDING

PIPE SPRING-

**GENERAL NOTES** 



GRATE OPTIONS LOAD RATING | PART# | DRAWING#

SOLID COVER MEETS H-20 1299CGC 7001-110-204

DROP IN GRATE LIGHT DUTY 1201DI 7001-110-021

1299CGPB 7001-110-205 1299CGD 7001-110-206

Nyloplast FAX (770) 932-2490 www.nyloplast-us.com

12 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

7001-110-189

3130 VERONA AVE

BUFORD, GA 30518

PHN (770) 932-2443

REV E

PEDESTRIAN BRONZE N/A

REVISED BY NMH | PROJECT NO./NAME

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH | DRAWN BY EBC | MATERIAL

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(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4" - 12" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05,

- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.

RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS.

FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05

- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO

ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL),

ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

WITH THE EXCEPTION OF THE BRONZE GRATE.

SEE DRAWING NO. 7001-110-065

N-12 HP, & PVC SEWER.

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I,

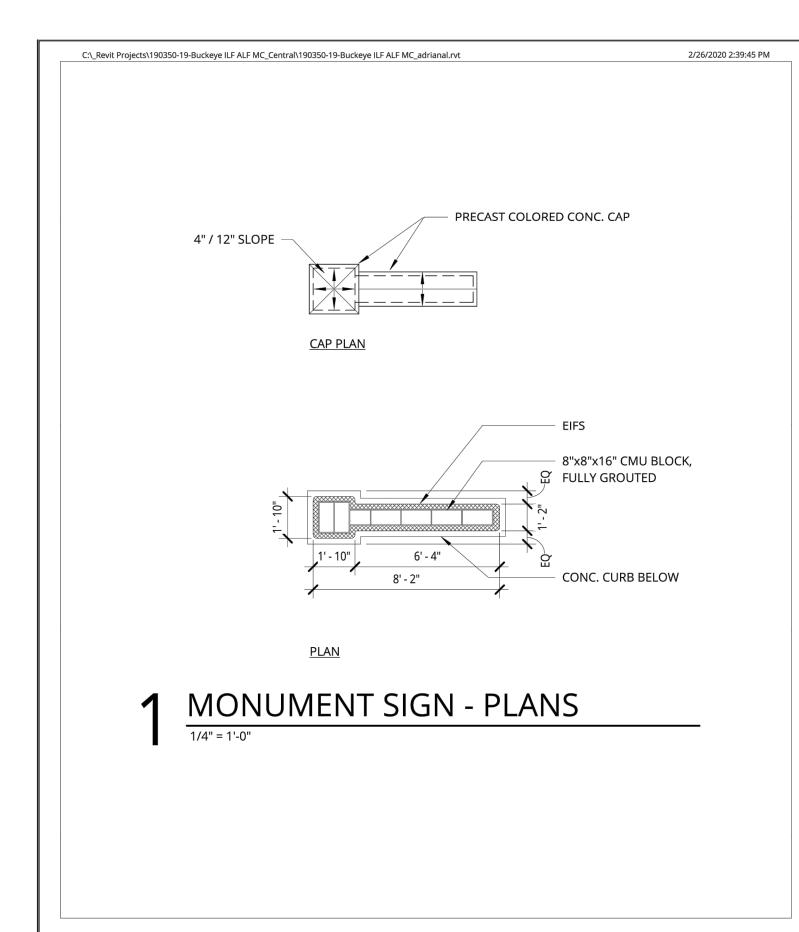
CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321.

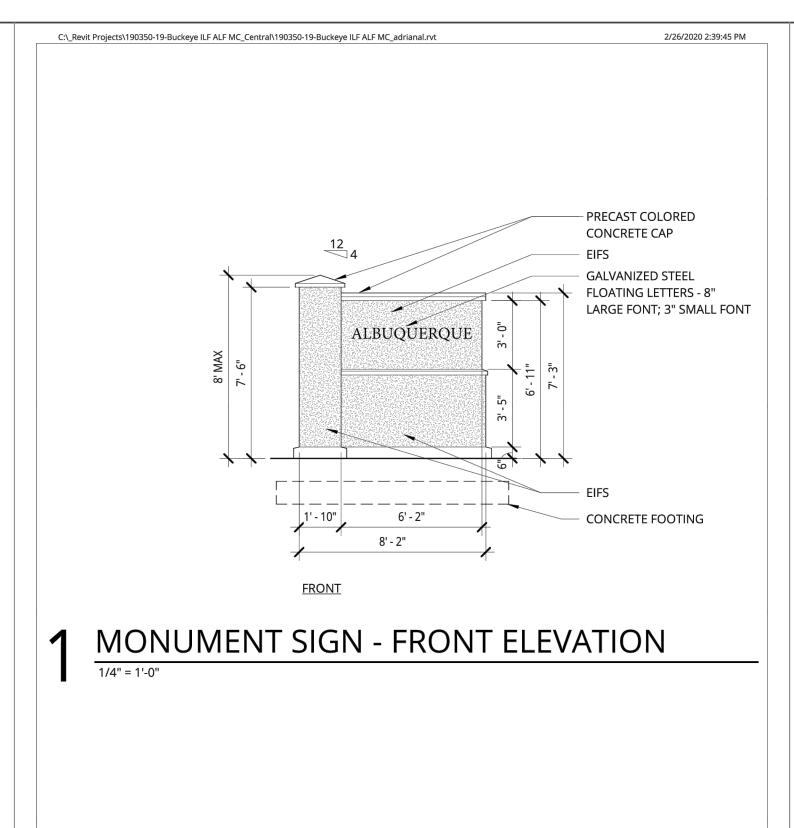
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN

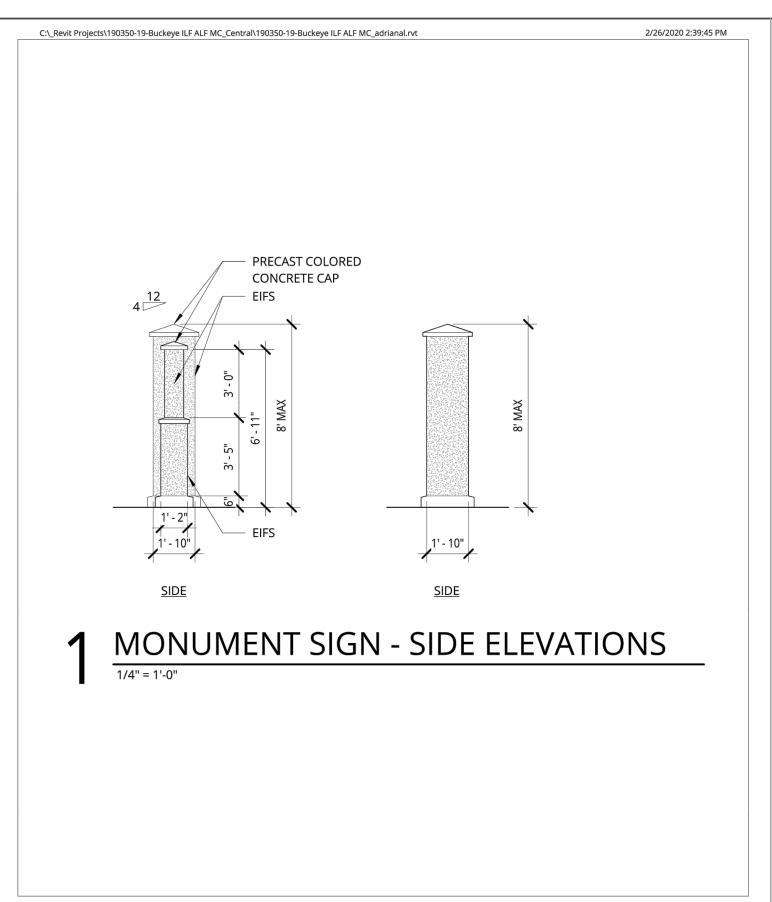
BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE

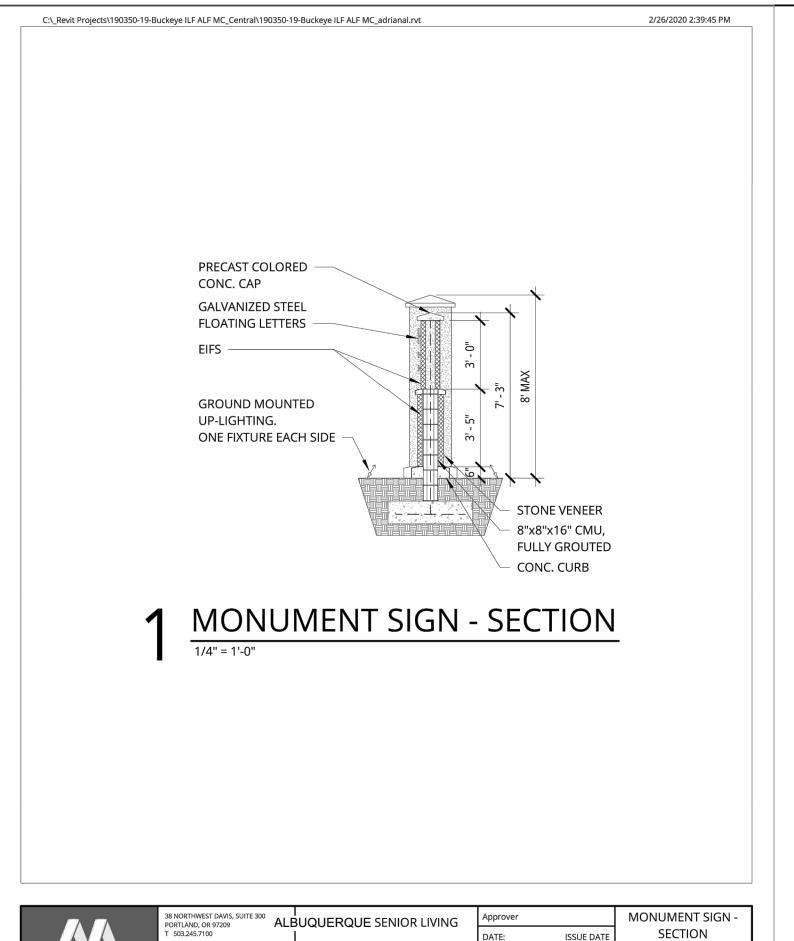
PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

ENGINEER'S SEAL	TRACT 3A COORS VILLAGE 4500 QUAKER HEIGHTS ABO NM 87120	DRAWN BY  RS  DATE
TRESSIONAL ENGINEERS 3/6/2020		3/5/2020 2019064_DT
	TIERRA WEST, LLC  5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109	SHEET # C6
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	ЈОВ # 2019064









LINK DEVELOPMENT

1505 5TH AVE, SUITE 300 SEATTLE, WA 98101 T 206.576.1600

**MONUMENT SIGN -**

SECTION

4.00

ISSUE DATE

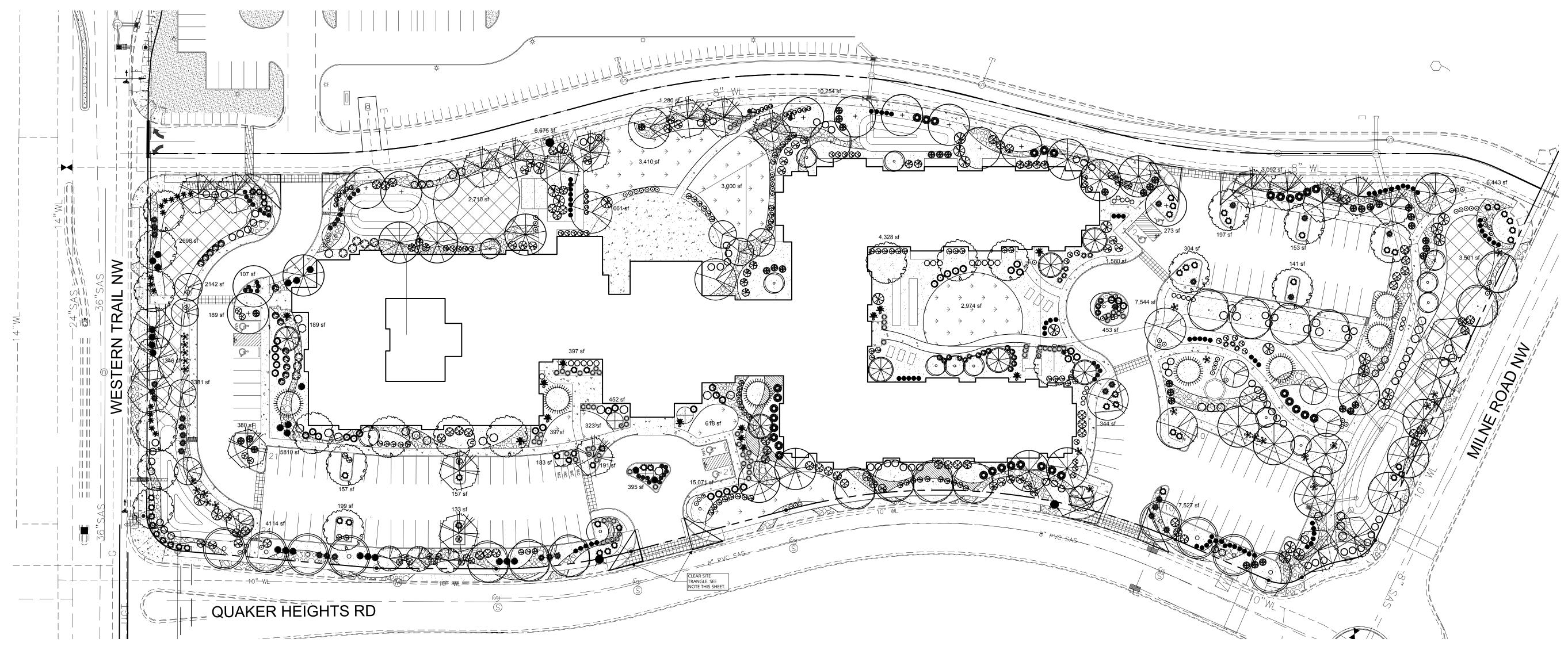
1/4" = 1'-0"

Ankrom Moisan	38 NORTHWEST DAVIS, SUITE 300 PORTLAND, OR 97209 ALE	BUQUERQUE SENIOR LIVING	Approver		MONUMENT SIGN -	
	T 503.245.7100		DATE:	ISSUE DATE	PLAN	
	1505 5TH AVE, SUITE 300 SEATTLE, WA 98101 T 206.576.1600 © ANKROM MOISAN ARCHITECTS, INC.		PROJECT #:	190350	1.00	
		LINK DEVELOPMENT	SCALE:	1/4" = 1'-0"	1.00	

Ankrom Moisan	38 NORTHWEST DAVIS, SUITE 300 PORTLAND, OR 97209 ALBUQUERQUE SENIOR LIVING		Approver		MONUMENT SIGN -
	T 503.245.7100		DATE:	ISSUE DATE	FRONT ELEVATION
	1505 5TH AVE, SUITE 300 SEATTLE, WA 98101		PROJECT #:	190350	2.00
	T 206.576.1600 © ANKROM MOISAN ARCHITECTS, INC.	LINK DEVELOPMENT	SCALE:	1/4" = 1'-0"	2.00







PLAN <sup>®</sup>	TLE	GEND
. —/ \ \ \		<u> </u>

		Scientific Name				
Qty.	Symbol	Common Name	Installed	Mature	Water	Drip
	Trees		Size F	leight/Spread	Use E	mitters
20		Quercus muhlenbergii Chinquapin Oak	2" B&B	40'/40'	Medium+	6-2 gph
8	$\circ$	Zelkova Zelkova	2" B&B	40'/30'	Medium	+6-2 gph
13	$\overline{(\cdot)}$	Ulmus Lacebark Elm	2" B&B	50'/20'	Medium	6-2 gph
6	·	Crataegus Thornless Hawthorn	2" B&B	25'/15'	Medium	+6-2 gph
21		Pistacia chinensis Chinese Pistache	2" B&B	60'/60'	Medium	+6-2 gph
13	+	Gleditsia triacanthos inermis Honeylocust	2" B&B	80'/80'	Medium	6-2 gph
7		Quercus Texas red Oak	2" B&B	40'/35'	Medium	6-2 gph
6		Sophora japonica Japanese Pagoda Tree	2" B&B	35'/35'	Medium	6-2 gph
17		Celtis Hackberry	2" B&B	40'/40'	Medium	6-2 gph
14	$\odot$	Forestiera NM Olive	2" B&B	15'/15'	Medium	6-2 gph
4	$\bigoplus$	Cercis reniformis Oklahoma Redbud	2" B&B	15'/12'	High	6-2 gph
12		Chilopsis Desert Willow	5-Gal	20'/25'	RW	6-2 gph
7		Vitex Agnus-Castus Chaste Tree	5-Gal	20'/20'	Medium	6-2 gph
7	A STATE OF THE STA	Cedrus atlantica 'Glauca' Blue Atlas Cedar	6' HT.	40'/30'	Medium	6-2 gph
Shrub	s/Groundco	overs				
39	$\bigcirc$	Buddleia davidii Butterfly Bush	1-Gal	6'/6'	Medium	2-2 gph
13		Caryopteris clandonensis Blue Mist	1-Gal	4'/4'	Medium	2-2 gph
33		Cotoneaster parneyi Clusterberry	5-Gal	10'/10'	Medium	2-2 gph
81	$\circ$	Rhus aromatica Gro Low Sumac	5-Gal	2'/6'	Low +	2-2 gph
15	$\otimes$	Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	3'/4'	Low	2-1 gph
14	$\bigcirc$	llex Burford Holly	5-Gal	4'/4'	Medium-	+ 2-1 gph
61	+	Salvia greggii Cherry Sage	1-Gal	3'/3'	Medium	2-1 gph
25	X	Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	Low	2-2 gph
60	milling the state of the state	Juniperus horizontalis 'Blue ch Blue Chip Juniper (female)	iip'5-Gal	1'/6'	Low +	2-2 gph
77	0	Lavandula Lavender	1-Gal	3'/3'	Medium	2-2 gph

5'/5'

Medium 2-2 gph

Perovskia atriplicifolia

Russian Sage

14		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	3'/3'	Medium+ 2-2 gph
37		Prunus cistena Dwarf Red Leaf Plum	5-Gal	6'/6'	Medium 2-2 gph
13		Rosmarinus officinalis Rosemary	5-Gal	6'/6'	Low + 2-2 gph
11	ZWZ	Rosa Knockout Rose	5-Gal	3'/3'	Medium+ 2-2 gph
12		Lagerstroemia Crape Myrtle	5-Gal	15'/10'	Medium+ 2-2 gph
23	<b>(</b>	Nepeta Catmint	1-Gal	1'/3'	Medium 2-2 gph
18	$\bigcirc$	Spirea Dwarf Red Spirea	5-Gal	3'/3'	Medium+ 2-2 gph
27		Caesalpinia Bird of Paradise	1-Gal	3'/3'	Medium 2-2 gph
18		Rhaphiolepis India Hawthorn	5-Gal	3'/3'	Medium 2-2 gph
18		Viburnum Burkwood Viburnum	5-Gal	6'/6'	Medium+ 2-2 gph
73		Euonymus Burning Bush	5-Gal	4'/4'	Medium 2-2 gph
38	0	Pinus mugo Mugho Pine	5-Gal	4'/4'	Medium 2-2 gph
25		Dasylirion Sotol	5-Gal	5'/5'	RW 2-2 gph
8		Rhus trilobata Three Leaf Sumac	5-Gal	6'/6'	Low+ 2-2 gph
30		Yucca baccata Banana Yucca/Datil	1-Gal	4'/5'	RW 2-2 gph
Grasses					
15	*	Muhlenbergia rigens Deer Grass	1-Gal	4'/4'	Low+ 2-2 gph
39		Muhlenbergia Regal Mist Grass	1-Gal	3'/3'	Medium 2-2 gph
33		Panicum virgatum Switch Grass	1-Gal	8'/6'	Medium 2-2 gph
228		Calamagrotis x acutiflora Karl Foerster Grass	5-Gal	3'/2'	Medium 2-2 gph

# NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100'

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY TO DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

# SITE DATA

NET LOT AREA REQUIRED LANDSCAPE 15% OF NET LOT AREA 32,927 SF \_\_\_\_112,130 SF PROPOSED LANDSCAPE AREA PERCENT OF NET LOT AREA \_\_\_\_\_<u>51</u> % HIGH WATER USE TURF 23,504 SF

XX

XX

XX

XXX/205

84,098 SF MIN.

136,868 SF

12,607 SF

12,607 SF PROPOSED HIGH WATER USE TURF PERCENT OF LANDSCAPE AREA REQUIRED STREET TREES 1 PER 30 L.F. OF WESTERN TRAIL NW

REQUIRED PARKING LOT TREES

PROVIDED PARKING LOT TREES

REQUIRED DWELLING UNIT TREES

ONE PER FIRST FLOOR UNIT

ONE PER SECOND FLOOR UNIT

PROVIDED DWELLING UNIT TREES

TOTAL TREE REQUIRED/PROVIDED

REQUIRED LANDSCAPE COVERAGE

PROVIDED GROUNDCOVER COVERAGE

(112,130 SF PROPOSED LANDSCAPE X 75%)

75% LIVE VEGETATIVE MATERIAL

SOD LAWN/100 % COVERAGE

TREE PLANTING DETAIL

STREET TREES TO CONFORM TO STREET TREE ORDINANCE

ORDINANCE14-16-3-10 AND I.D.O.

AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE

# GROSS LOT AREA (6.5 ac)

LESS BUILDING(S) <u>66,575</u> SF 219,512 SF

MAX. 20% OF LANDSCAPE AREA

PROVIDED STREET TREES

1 PER 10 SPACES 94 SPACES/10

(2" cal or 6' ht.)

FROM A TREE.

(AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

# MATERIALS LEGEND

GRAY CRUSHER FINES BROWN 3/4" GRAVEL 2"-4" COBBLESTONE PARK BLEND SOD LAWN

NATIVE SEED

ACCENT BOULDER

# **IRRIGATION NOTE**

DRIP SYSTEM RUN CYCLES: ESTABLISHMENT AND SUMMER: 1 HOUR/4 DAYS A WEEK 1 HOUR/2-3 DAYS A WEEK 1 HOUR/2-3 DAYS A WEEK

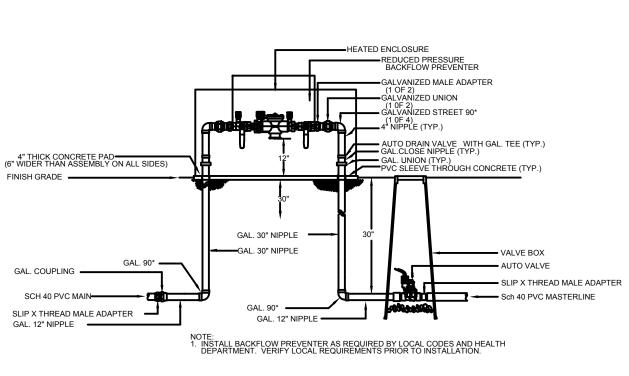
1 HOUR/2 DAYS PER MONTH

WINTER:

NATIVE SEED 6,755 SF TOTAL PROVIDED GROUNDCOVER COVERAGE 156,230 SF

## LIGHT PRUNING: RUBBING, CROSSED OR DAMAGED BRANCHES ARE REMOVED TRUNK PROTECTED BY LOOSE TREE GUARD, REMOVED AFTER ONE YEAR 2"-3" DEPTH ORGANIC MULCH APPLIED WELL AWAY FROM TRUNK ONLY USE EXISTING SOIL AS BACKFILL ALL ROPES REMOVED, TOP HALF OF BURLAP AND WIRE BASKET REMOVED, BURLAP SLIT FOR ROOT EXTENSION PLANTING HOLE 2-3 TIMES ROOT BALL WIDTH, DEPTH SAME AS ROOT BALL

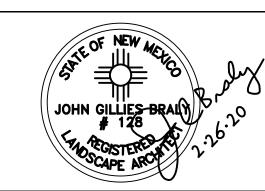
UNDISTURBED PIT BOTTOM FOR ROOTBALL BASE



RP BACKFLOW/MASTER VALVE DETAIL



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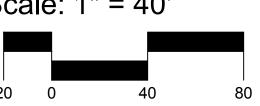
02.26.2020 Date: Revisions:

Drawn by: RMC Reviewed by: <u>JB</u>

HEIGHTS PL NW & ALBUQUERQUE

NORTH

Scale: 1" = 40'



**Sheet Title:** 

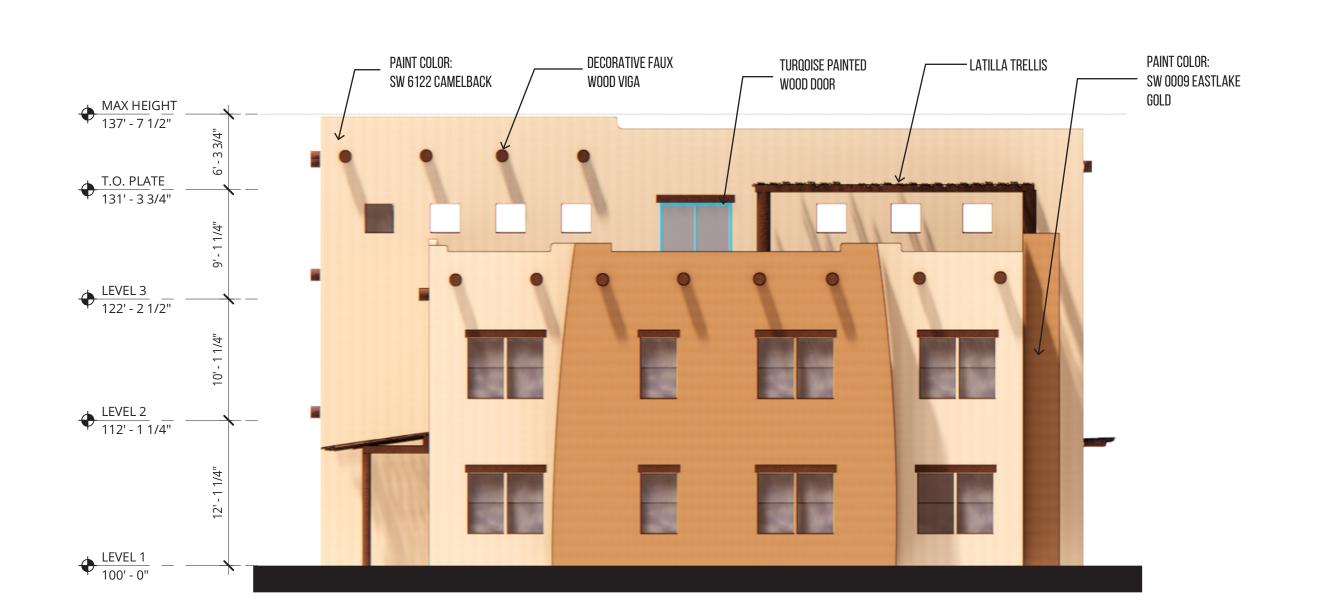
**OVERALL** PLAN

Sheet Number:

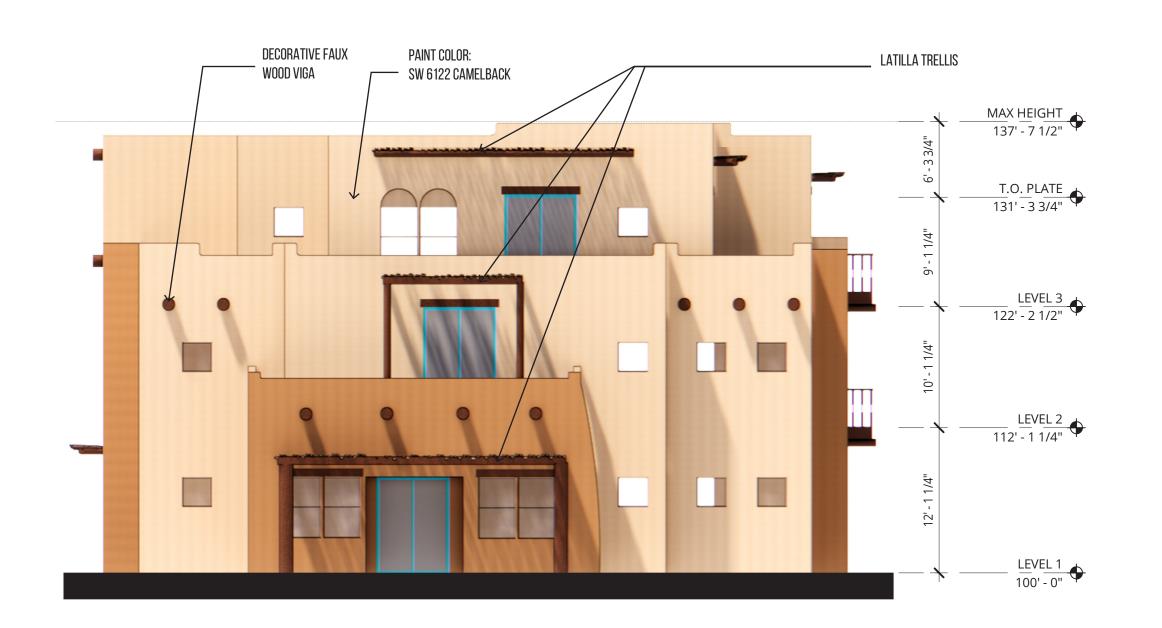




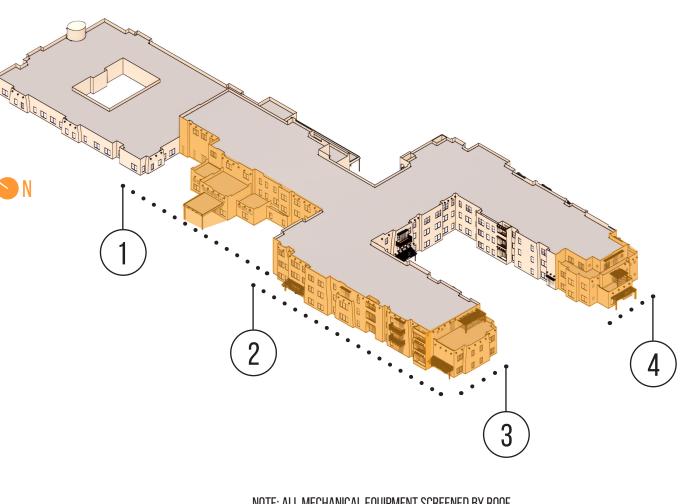




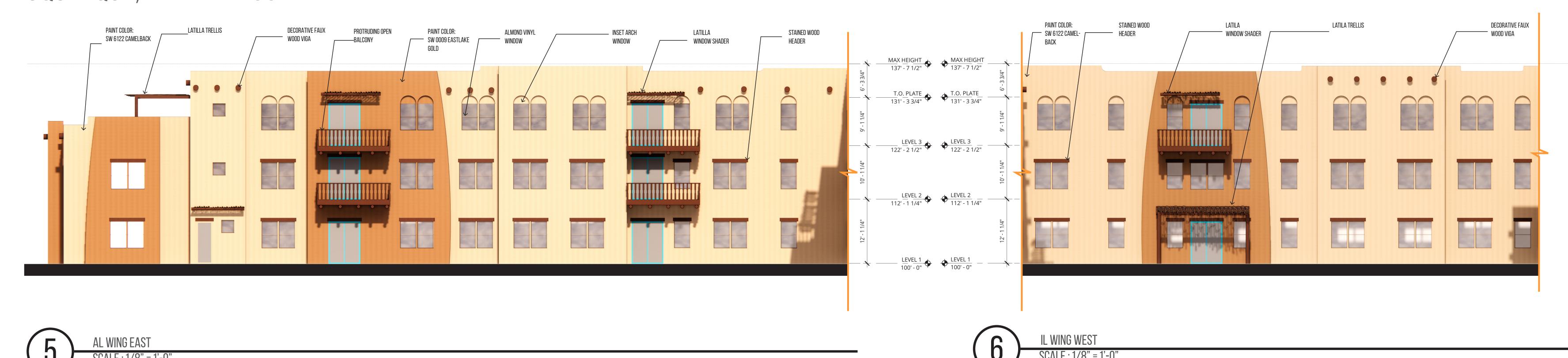






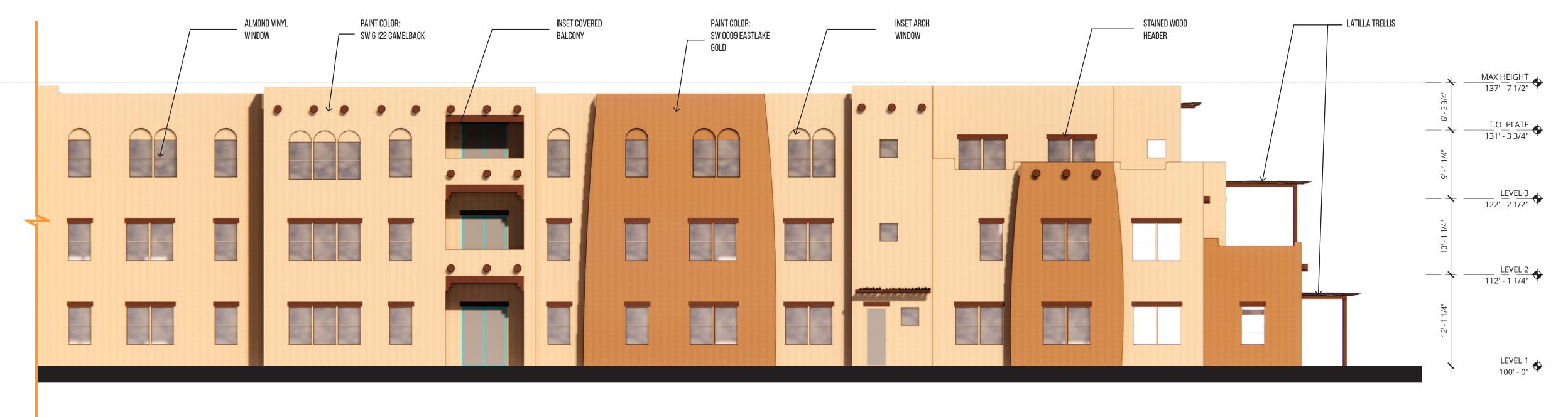


NOTE: ALL MECHANICAL EQUIPMENT SCREENED BY ROOF PARAPETS AND WILL NOT BE VISIBLE FROM GROUND LEVEL.

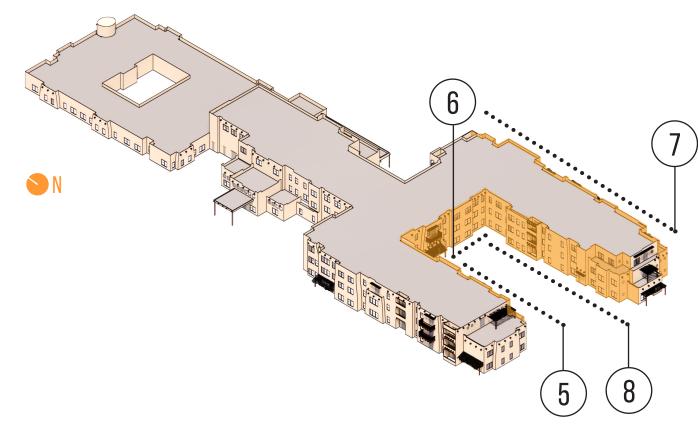


LATILA TRELLIS —— LATILA TRELLIS PAINT COLOR: STAINED WOOD \_\_\_\_ LATILA TRELLIS PROTRUDING OPEN-OPEN BALCONY SW 6122 CAMELBACK WOOD DOOR BALCONY — SW 0009 EASTLAKE HEADER WINDOW GOLD 122' - 2 1/2" • 112' - 1 1/4" •



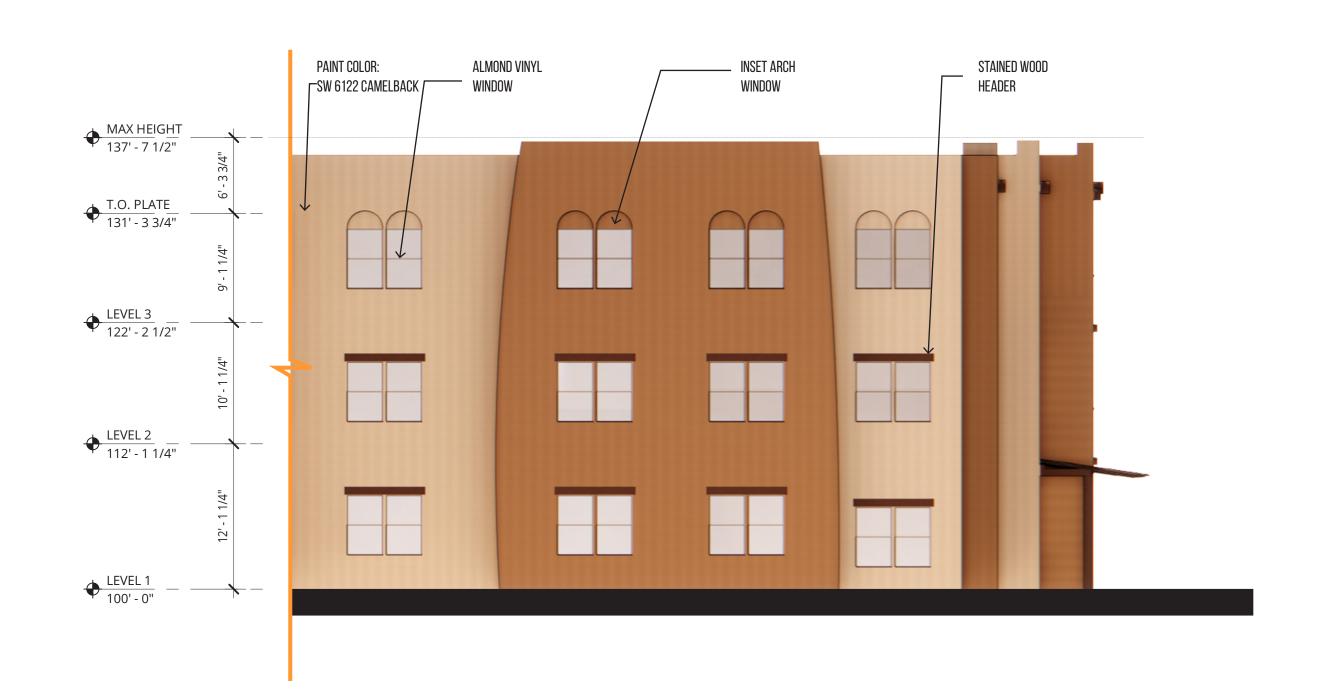






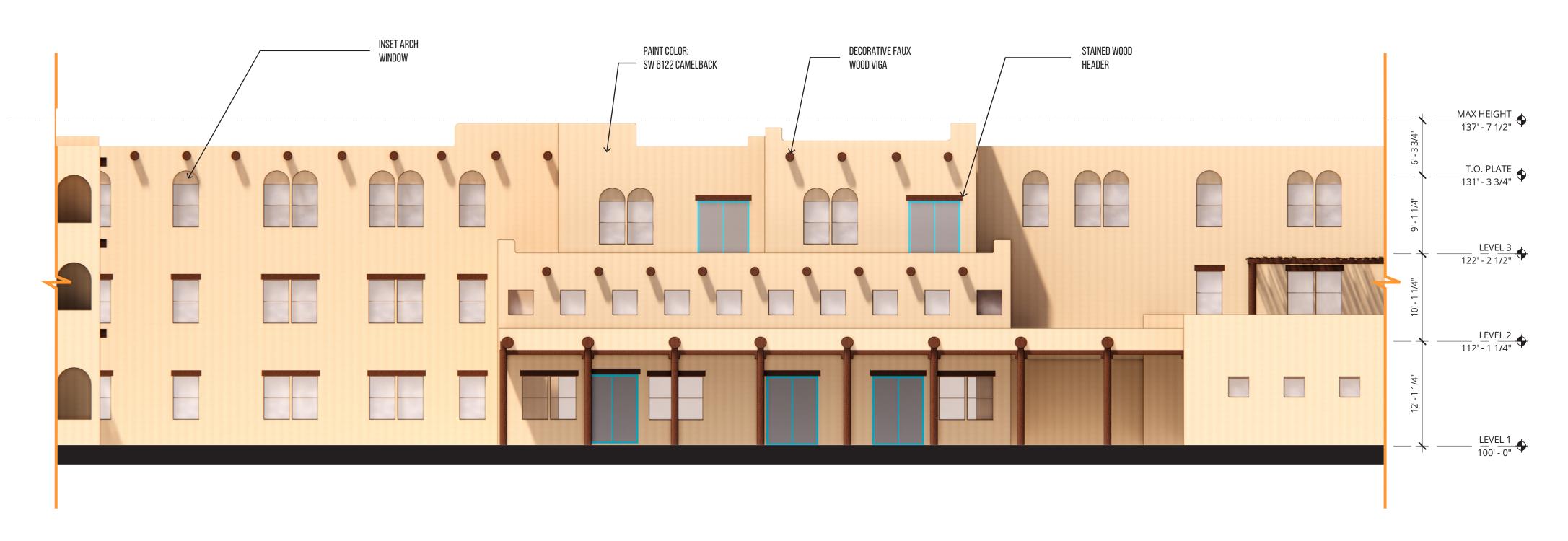
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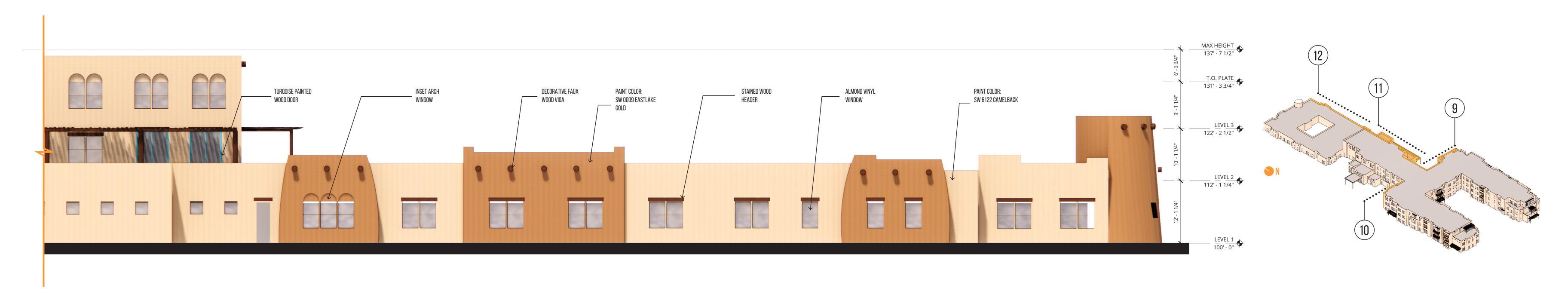


9 IL WING NORTH
SCALE: 1/8" = 1'-0"



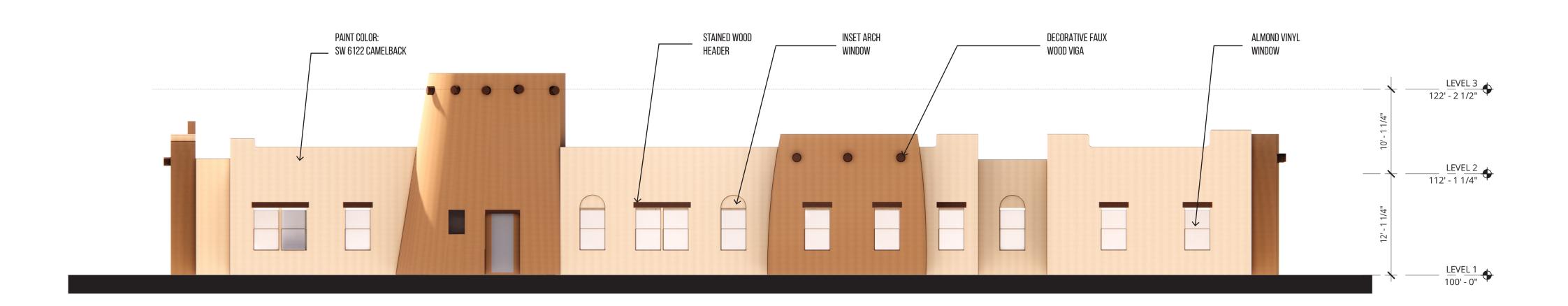


11 IL/AL DINING EAST SCALE: 1/8" = 1'-0

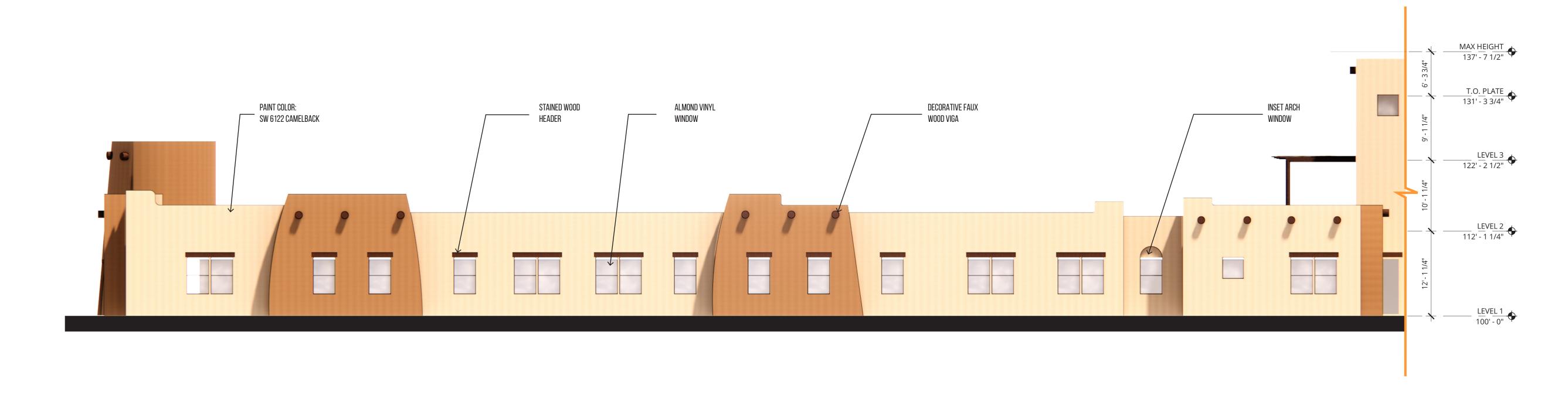


MC WING EAST
SCALE: 1/8" = 1'-0"

NOTE: ALL MECHANICAL EQUIPMENT SCREENED BY ROOF PARAPETS AND WILL NOT BE VISIBLE FROM GROUND LEVEL.

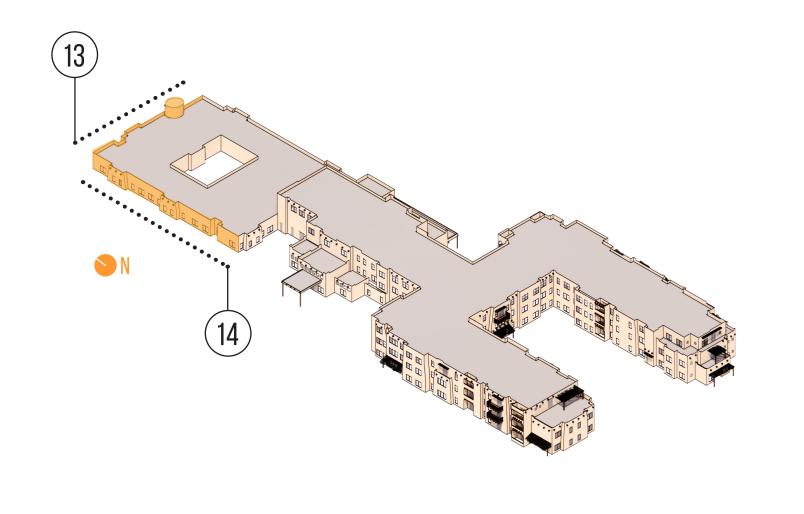






MC WING WEST

SCALE: 1/8" = 1'-0



NOTE: ALL MECHANICAL EQUIPMENT SCREENED BY ROOF PARAPETS AND WILL NOT BE VISIBLE FROM GROUND LEVEL.