



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: Jess Martinez / COA Family & Community Services		Phone: (505)767-5886
Address: P.O. Box 1293		Email: jrmartinez@cabq.gov
City: Albuquerque	State: NM	Zip: 87103
Professional/Agent (if any): Rebekah Bellum (CSR Architects)		Phone: (505)842-1278 / cell: 514-3549
Address: 220 Gold Ave. SW		Email: rbellum@cherryseereames.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Architect	List all owners: City of Albuquerque	

### BRIEF DESCRIPTION OF REQUEST

Admin. approval of minor changes made to the EPC approved Site Plan to avoid existing utility lines that were not located correctly on the site survey (relocating dumpster enclosure); and to address constructability and durability concerns (minor adjustments to ext. facades).

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract A & Tract F-1	Block:	Unit:
Subdivision/Addition: Canada Village, SA Park, 4 Hills Shopping Ctr.	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): L-22	Existing Zoning: NR-PO-A & MX-M	Proposed Zoning: NR-PO-A
# of Existing Lots: 2	# of Proposed Lots: 1	Total Area of Site (acres): 17.3

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 13200 Wenonah Ave.	Between: Dorado	and: Tramway Blvd.
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### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

EPC #20018-001760 / SI-2018-00223; City Council Hearing File # AC-19-2; SI-2019-00308

Signature: <i>Rebekah C. Bellum</i>	Date: 3/12/2021
Printed Name: Rebekah C. Bellum	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00344	AA	\$50			

Meeting/Hearing Date:	Fee Total: \$50
Staff Signature: <i>Vanessa A Segura</i>	Date: 3/12/21 Project # PR-2018-001760



## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

### ☐ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

### ☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archaeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

### ☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
  - ☒ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
  - ☒ Copy of the Official Notice of Decision associated with the prior approval
  - ☒ Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
  - ☐ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
  - ☐ Copy of the Official Notice of Decision associated with the prior approval
  - ☐ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)(6)
  - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
  - ☐ Sign Posting Agreement

### ☐ ALTERNATIVE LANDSCAPE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Rebekah C. Bellum

Date: 3/12/2021

Printed Name: Rebekah C. Bellum

☐ Applicant or ☒ Agent

#### FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

PR-2018-001760

SI-2021-00344

-

-

Staff Signature:

Date:





*Department of Family and Community Services*

Carol M. Pierce, Director

Timothy M. Keller, Mayor

March 12, 2021

Maggie Gould, Planning Manager  
Land Development Coordination  
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Dear Ms. Gould:

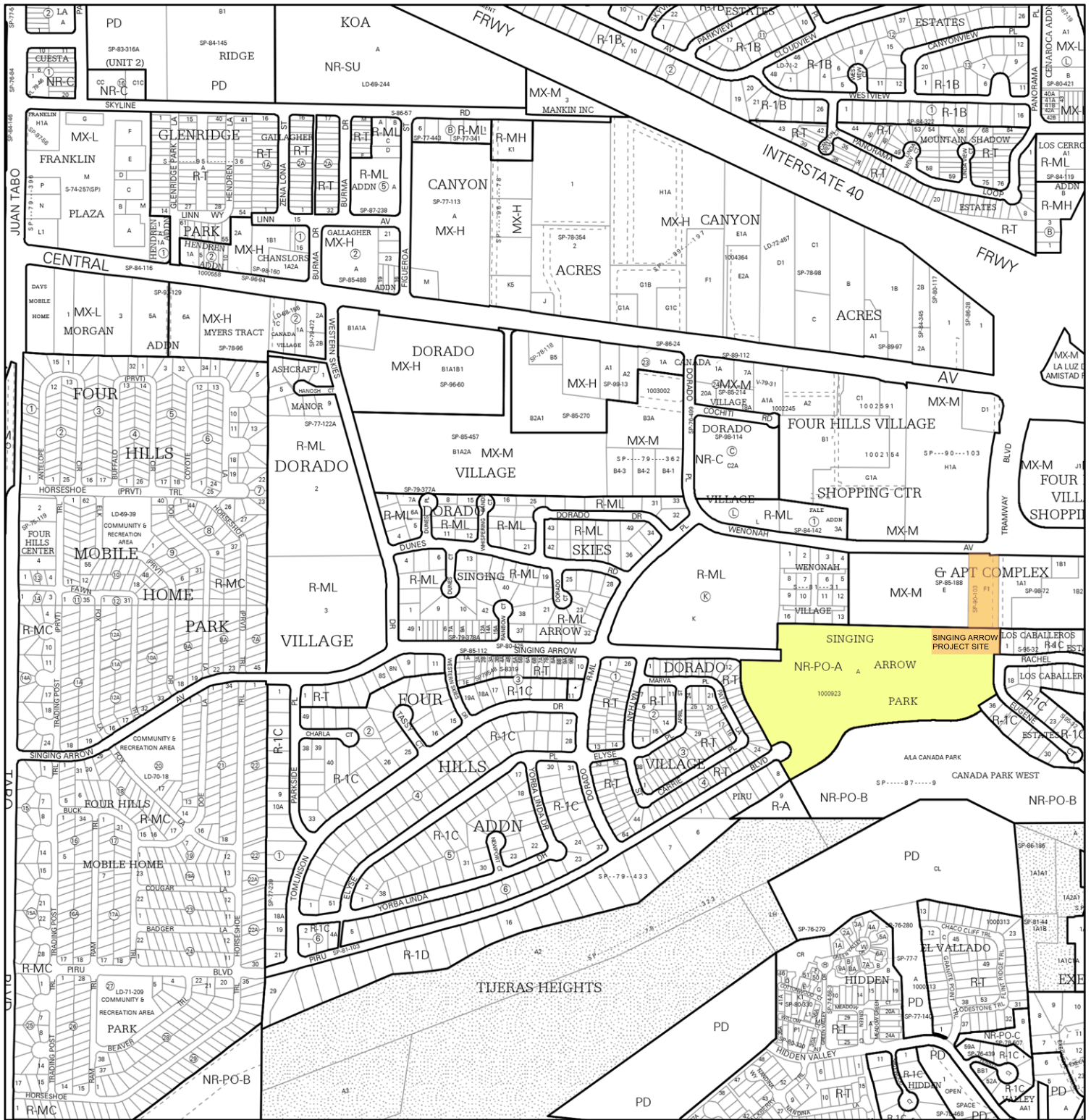
This letter provides authorization to Cherry/See/Reames Architects PC to represent the City of Albuquerque Department of Municipal Development and Family and Community Services in all matters regarding the Administrative Amendment to the Environmental Planning Commission (EPC) approved Site Plan for the Singing Arrow Community Center, currently under construction at the site identified in the Site Plan at the northeast corner of Singing Arrow Park, 13200 Wenonah Avenue SE, Albuquerque, NM 87123. (Project #2018-001760).

Sincerely,



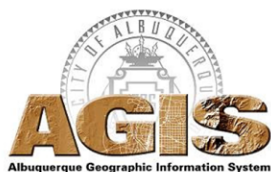
Jess R. Martinez,  
Deputy Director, Family & Community Services.





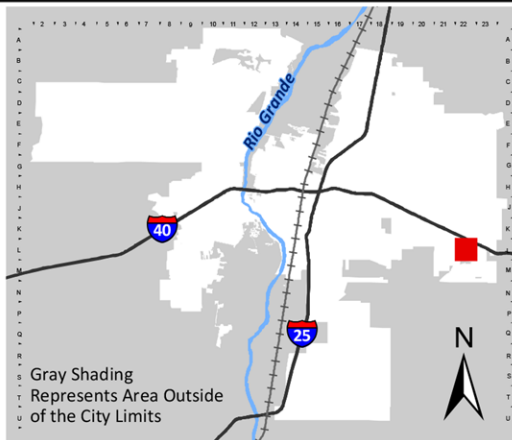
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page:

**L-22-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet





March 12, 2021

Maggie Gould, Planning Manager  
Land Development Coordination  
City of Albuquerque  
Planning Department  
600 2nd Street NW  
Albuquerque, NM 87102

Dear Ms. Gould:

The purpose of this letter is to provide justification for the minor changes that have been made to the Environmental Planning Commission (EPC) approved Site Plan for the Singing Arrow Community Center located at 13200 Wenonah Avenue SE, in the Canada Village – Second Unit Subdivision in response to issues that have arisen during the construction of the project. The relevant project numbers for this project are: EPC Project #20018-001760/SI-2018-00223, City Council Public Hearing File #AC-19-2; and SI-2019-00308.

Below, I provide descriptions, explanations, and justifications for the minor changes that have been made to the Site Plan in response to the existing site conditions that have been uncovered in the site, and to constructability and durability concerns. See red boxes, circles, and letters noted on the specific drawing sheets for locations of the following items. Items in blue text below denote items that provide clarification or more information, but do not make a change to the approved Site plan.

Sheet TCL:

We have not resubmitted the TCL, but have communicated the proposed change in dumpster enclosure location with CABQ Transportation and Solid Waste. See description and record of communication below:

- A. We contacted Jeanne Wolfenbarger, Transportation Manager, CABQ Transportation, regarding the relocation of the dumpster enclosure and asking if we need to resubmit the TCL for the project. Her response is “From a Transportation perspective, as long as you have met parking requirements and are not blocking any traffic movements, this is mostly what we are looking for.”
  - a. Parking requirements are met, and none of the changes have blocked any traffic movements. We have not resubmitted the TCL.
  - b. See email exchange with Jeanne Wolfenbarger, attached.
- B. We contacted Herman Gallegos, Code Enforcer/Dispatch Supervisor, CABQ Solid Waste, regarding the relocation of the dumpster enclosure. He reviewed the proposed plan, and approved the plan for “Access Solid Waste Department.”
  - a. See email exchange with Herman Gallegos, attached.
  - b. See proposed plan approved by Herman Gallegos (02-16-2021), attached.

Sheet AS101:

- C. We added a “Shade Structure Horizontal Control Points” chart to AS101 to provide additional information to the contractor, so they can accurately lay out the columns and footings for the shade structure. This does not change any information previously approved by the EPC and City Council, rather it draws out the information in a different format. Refer to Overall Site Plan drawing for notations of Points 4 through 7 as related to the property line and building.
- D. A 20’-0” public waterline easement was added per requirements from the ABCWUA.





- E. The dumpster enclosure was moved from the east edge of the parking lot to the west edge of the parking lot to avoid existing utility lines uncovered at the east edge of the site. An existing water line was shown on the survey approximately 15'-0" away from its actual location in the field. (MCR #020)

Sheet AS102:

- F. Six bollards were added at the transformer pad to meet PNM requirements. (MCR #010).
- G. The dumpster enclosure was moved from the east edge of the parking lot to the west edge of the parking lot to avoid existing utility lines uncovered at the east edge of the site. An existing water line was shown on the survey approximately 15'-0" away from its actual location in the field. (MCR #020)
  - a. Modify curbs, planting areas, and parking spaces to provide proper clearances and access.
  - b. Shift 3 parking spaces north, and shift adjacent graded retention planting area south to provide all required access to the dumpster enclosure. Area of graded retention planter to be the same or equal as that approved in the Site Development Plan.
  - c. A total of 2 of 70 parking spaces will be removed to accommodate new location of dumpster enclosure. IDO requirement is for 30 total parking spaces.
  - d. At east side of parking lot, modify curb and planter area to smooth out curbs at the old location for the dumpster enclosure.
- H. Update Parking Calculations per changes listed in G.c. above.
- I. Remove two trees that were identified to be retained on the Site Plan to provide required access for all grading equipment to maneuver the site, and clear (ASI #04). Provide two new deodar cedar trees to replace the two removed trees (ASI #09). Total number of trees included on the approved Site Plan will be the same.
- J. At west end of the building and at the north fire lane, modify the curb details and gabion bench locations. Remove small portion (approximately 115 sf) of concrete at southwest end of building. (ASI #08).
  - a. Relocate gabion benches on west side of site to be located under shade structure, and to provide improved edge condition at concrete drive pad. Total quantity of gabions provided is unchanged.
- K. Make minor modification to layout of concrete walkway outside of door 121B on east side of building to meet all ADA accessibility requirements (ASI #29). Total amount of concrete is approximately 10 sf more than what is included on the approved Site Plan.
- L. For project clarity, add General Sheet Notes to read:
  - a. E. ADA access aisles shall have the words "no parking" in capital letters, each of which shall be at least one foot high and at least two inches wide, painted at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed; see plan.
  - b. F. All curbs in parking lot to be curb and gutter. See detail E4/AS502.
- M. Add detail C1/AS102, 15 in Drain Basin Quick Spec Installation Detail. Detail was added by Civil Engineer by Addendum during the bidding of this project to provide additional information for the Contractor.

L-101:

- N. The dumpster enclosure was moved from the east edge of the parking lot to the west edge of the parking lot to avoid existing utility lines uncovered at the east edge of the site. An existing





water line was shown on the survey approximately 15'-0" away from its actual location in the field. (MCR #020)

- a. Shift trees and plants to fit in the modified planter areas. The same number and types of plants and trees as were included on the approved Site Plan have been maintained.
- O. Remove two trees that were identified to be retained on the Site Plan to provide required access for all grading equipment to maneuver the site, and clear (ASI #04). Provide two new deodar cedar trees to replace the two removed trees (ASI #09). Total number of trees included on the approved Site Plan will be the same.
- P. Revise shape of south pond and grading area south of the building to avoid existing water line that was located closer to the surface than anticipated. (ASI #11).

A-201:

- Q. At the north and south facades of the building, the size and shape of the stucco portions of the wall were modified slightly to provide for cleaner details at the base and overhangs of the wall, and to ensure improved durability at the areas under the windows. In response, the areas that are finished in exterior tile expanded slightly. (MCR #011).
  - a. The total opaque square footage remains unchanged. See façade calculations chart on A-201 for updated calculations.
  - b. The total square footage of exterior tile changed from 1,098 sf to 1,160 sf (a 5% change).
  - c. The total square footage of stucco changed from 9,559.3 sf to 9,157 sf (a 4% change).
- R. Corten steel cover plates were added at all exterior roof drain/overflow roof drain penetrations to provide improved durability and weather tightness in those areas (MCR #011). An additional set of roof drain/overflow roof drain penetrations was added on the north side of the building to allow for improved sloping of the roof drain piping inside the building (ASI #15).
  - a. The total square footage of the added corten steel panels is 4 sf.
- S. Clerestory window S7 on south wall of building to be 10'-0" wide in lieu of 15'-1" wide clerestory unit shown on approved Site Plan exterior elevations to avoid structural column running through opening. (ASI #21). Only 1 clerestory window out of a total of 16 clerestory windows was modified. Percentage of change of total clerestory windows is less than 10%.

Thank you for your consideration of this administrative amendment application.

Sincerely,

*Rebekah C. Bellum*

Rebekah Bellum



## Rebekah Bellum

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**From:** Wolfenbarger, Jeanne <jwolfenbarger@cabq.gov>  
**Sent:** Friday, February 12, 2021 1:12 PM  
**To:** 'rbellum@cherryseereames.com'  
**Cc:** Gomez, Ernest P.; Gallegos, Herman P.  
**Subject:** RE: BP-2019-35124 Singing Arrow Community Center

Good afternoon. This question is best-directed toward Solid Waste Management. I have cc'd Herman, Gallegos, a representative from Solid Waste Management for you.

From a Transportation perspective, as long as you have met parking requirements and are not blocking any traffic movements, this is mostly what we are looking for.



### JEANNE WOLFENBARGER, P.E.

Transportation manager  
development review services  
o 505.924.3991  
e [jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov)  
[cabq.gov/planning](http://cabq.gov/planning)

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**From:** Rebekah Bellum <rbellum@cherryseereames.com>  
**Sent:** Friday, February 12, 2021 12:51 PM  
**To:** Wolfenbarger, Jeanne <jwolfenbarger@cabq.gov>  
**Subject:** FW: BP-2019-35124 Singing Arrow Community Center

#### External

Good afternoon Jeanne,  
I just sent the below email to Ernie Gomez, and got his automatic office reply that he's out of the office, and that I should contact you for Transportation questions, and questions on the TCL.  
Could you see my email below, and let me know what's required, and how to start this process?  
Thanks,  
Rebekah

**Rebekah Bellum**  
p\_505-842-1278 c\_505-514-3549

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**From:** Rebekah Bellum <rbellum@cherryseereames.com>  
**Sent:** Friday, February 12, 2021 12:49 PM  
**To:** 'cwilkins@cabq.gov' <cwilkins@cabq.gov>; 'Gomez, Ernest P.' <epgomez@cabq.gov>



**Cc:** tmreames@cherryseereames.com

**Subject:** BP-2019-35124 Singing Arrow Community Center

Good afternoon Carla and Ernie,

I am writing in regards to the Singing Arrow Community Center project. You both were the plan check reviewers for this project back in 2019.

Construction at the Singing Arrow Community Center project is moving along – and is more than 50% complete. Last week, the contractor let us know that the location of the existing 12” diameter water main line was approximately 15’-0” off from where the survey had shown it. As a result, the water line is running directly through the location we had designed for the trash enclosure to be sited.

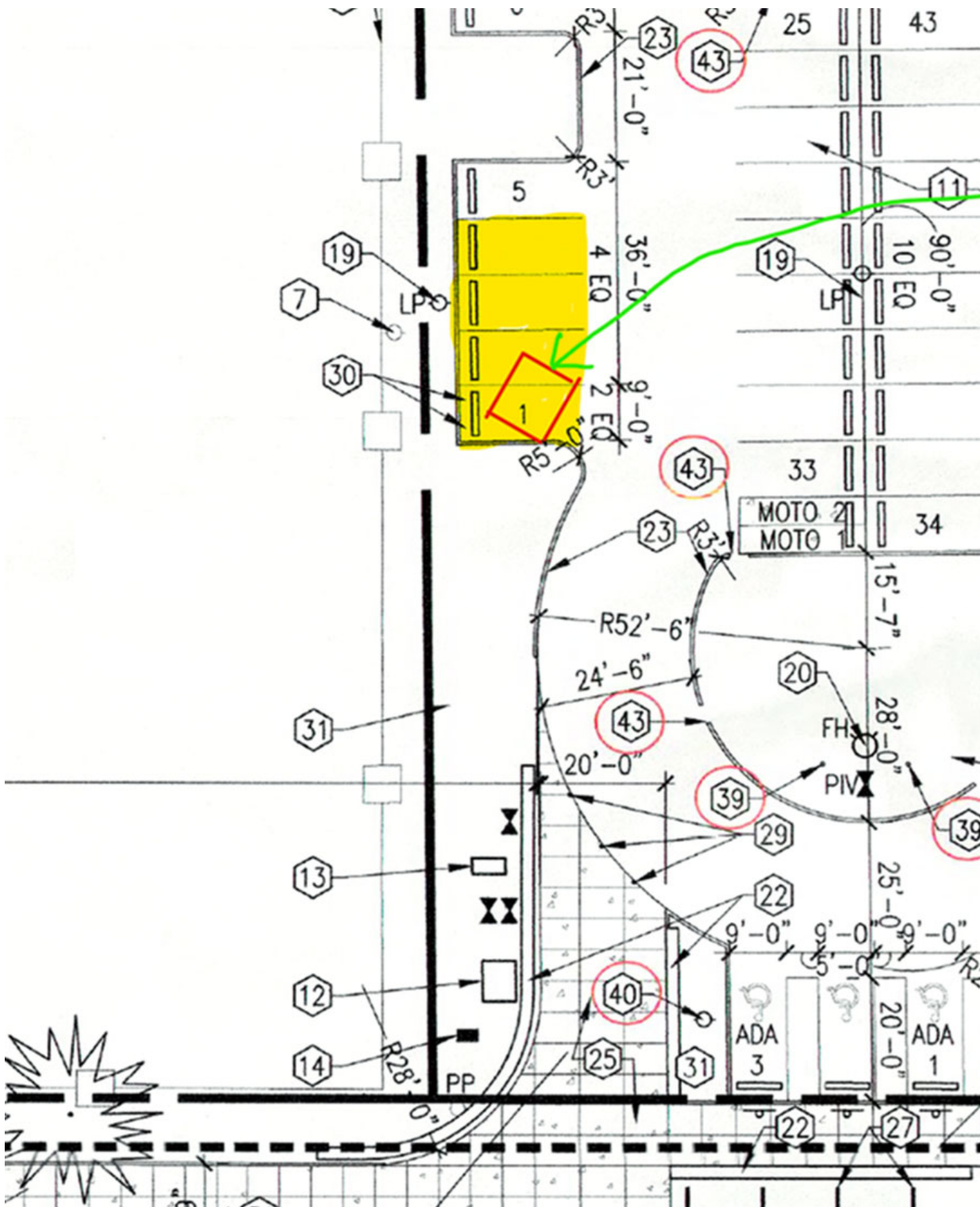
I have spoken with ABCWUA, and there isn’t a way to shift or rotate the trash enclosure enough to leave them adequate clearance at the water line – while meeting all of the other requirements for fire truck access, traffic circulation, etc.

So, we are trying to figure out where we can relocate the trash enclosure so that all site requirements are met.

At this moment, our best option is to move the trash enclosure to the west side of the site. In this move, in order to not affect any of the necessary drainage that has been approved by hydrology, the trash enclosure would displace 2 parking spaces, and require that 3 parking spaces be shifted slightly north, switching places with the planter area.

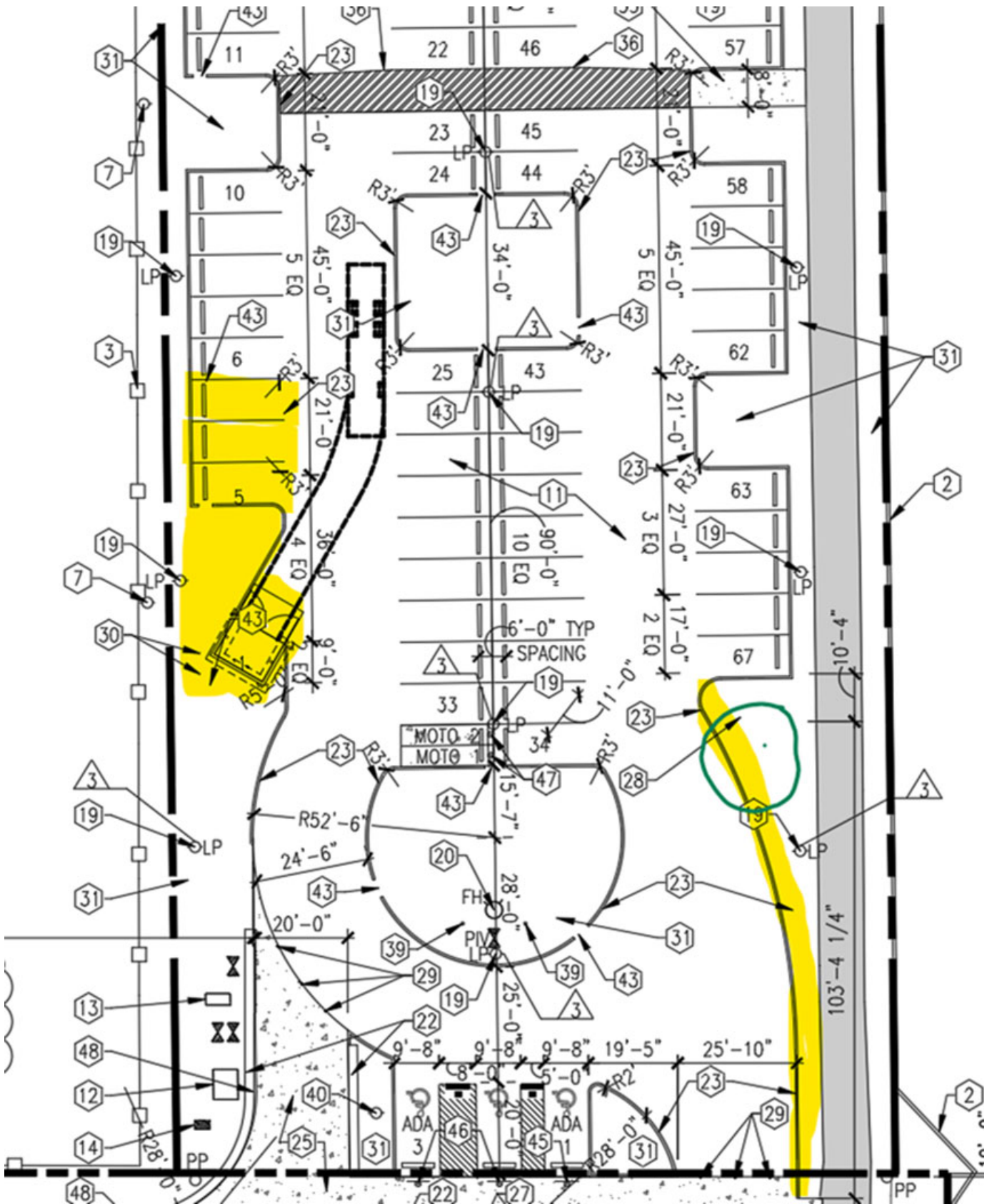
See cropped view of the site plan below for reference. In yellow, I’ve shown the 4 spaces that will have to be removed or shifted to accommodate access for waste management.





See proposed site plan sketch below.





I need to know if this proposed plan will be acceptable. Will we be required to update the approved TCL? What is the process for getting this change approved?

We are trying to figure out the best process to get all of the approvals needed to make this change. We're in a bit of a time crunch, because the contractor is already pouring the site concrete. I know we need to process this through solid



waste, and transportation. I'm not sure if I need to update our TCL? I'm also talking to the Planning Department to see if I need to do an Administrative Amendment (Staff Decision) to the Site Development Plan.

Please let me know if either of you are available to discuss this issue. Or, feel free to call my cell (listed below).

Thanks so much,  
Rebekah

**Rebekah Bellum**

Architect

**Cherry/See/Reames Architects, PC**

220 Gold Ave. SW

Albuquerque, NM 87102

p\_505-842-1278 c\_505-514-3549

[rbellum@cherryseereames.com](mailto:rbellum@cherryseereames.com)



Virus-free. [www.avast.com](http://www.avast.com)

=====  
This message has been analyzed by Deep Discovery Email Inspector.



## Rebekah Bellum

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**From:** Gallegos, Herman P. <hgallegos@cabq.gov>  
**Sent:** Tuesday, February 16, 2021 2:41 PM  
**To:** rbellum@cherryseereames.com; Gomez, Ernest P.  
**Cc:** tmreames@cherryseereames.com  
**Subject:** RE: 5441.95 SACC - Trash Enclosure Relocation (BP-2019-35124)  
**Attachments:** Singing Arrow Community Center 02-16-21.pdf

Rebekah,

Attached you will find a site plan approved for access by the Solid Waste Department.

Should you have any additional questions or concerns, please don't hesitate to contact me.

Regards,



**HERMAN GALLEGOS**  
code enforcer/dispatch supervisor  
o 505.761.8125  
m 505.681.2767  
[cabq.gov/solidwaste](http://cabq.gov/solidwaste)

---

**From:** Rebekah Bellum [mailto:rbellum@cherryseereames.com]  
**Sent:** Tuesday, February 16, 2021 1:51 PM  
**To:** Gallegos, Herman P. <hgallegos@cabq.gov>; Gomez, Ernest P. <epgomez@cabq.gov>  
**Cc:** tmreames@cherryseereames.com  
**Subject:** RE: 5441.95 SACC - Trash Enclosure Relocation (BP-2019-35124)

### External

Hi Herman,

Thanks so much.

Attached is the 1"=30' scaled site plan with the proposed location for the trash enclosure on the west side of the parking lot.

Let me know if this is sufficient for your review, or if you need a hard copy.

And thanks so much for your help.

Rebekah

**Rebekah Bellum**  
p\_505-842-1278 c\_505-514-3549



---

**From:** Gallegos, Herman P. <[hgallegos@cabq.gov](mailto:hgallegos@cabq.gov)>  
**Sent:** Tuesday, February 16, 2021 12:16 PM  
**To:** [rbellum@cherryseereames.com](mailto:rbellum@cherryseereames.com); Gomez, Ernest P. <[epgomez@cabq.gov](mailto:epgomez@cabq.gov)>  
**Cc:** [tmreames@cherryseereames.com](mailto:tmreames@cherryseereames.com)  
**Subject:** RE: 5441.95 SACC - Trash Enclosure Relocation (BP-2019-35124)

Rebekah,

I don't have anything scheduled for this week. So I am free to meet, or you can send me a site plan to scale 1"=30'. Either one works for me.

Thanks,



**HERMAN GALLEGOS**  
code enforcer/dispatch supervisor  
o 505.761.8125  
m 505.681.2767  
[cabq.gov/solidwaste](http://cabq.gov/solidwaste)

---

**From:** Rebekah Bellum [<mailto:rbellum@cherryseereames.com>]  
**Sent:** Tuesday, February 16, 2021 10:55 AM  
**To:** Gallegos, Herman P. <[hgallegos@cabq.gov](mailto:hgallegos@cabq.gov)>; Gomez, Ernest P. <[epgomez@cabq.gov](mailto:epgomez@cabq.gov)>  
**Cc:** [tmreames@cherryseereames.com](mailto:tmreames@cherryseereames.com)  
**Subject:** RE: 5441.95 SACC - Trash Enclosure Relocation (BP-2019-35124)

**External**

Good morning Herman,  
Thank you for looking at this.

Is there a time that I could come and meet with you, with a scaled site plan, so we can discuss this? If you would prefer not to have an in-person meeting, let me know where to drop off a scaled site plan. Our drawing scale is 1" = 30'-0". Will that work for you?

And thank you for the update on Carla Wilkins' status.  
Rebekah

**Rebekah Bellum**  
p\_505-842-1278 c\_505-514-3549



---

**From:** Gallegos, Herman P. <[hgallegos@cabq.gov](mailto:hgallegos@cabq.gov)>  
**Sent:** Tuesday, February 16, 2021 10:49 AM  
**To:** [rbellum@cherryseereames.com](mailto:rbellum@cherryseereames.com); Gomez, Ernest P. <[epgomez@cabq.gov](mailto:epgomez@cabq.gov)>  
**Cc:** Wilkins, Carla <[cwilkins@cabq.gov](mailto:cwilkins@cabq.gov)>; [tmreames@cherryseereames.com](mailto:tmreames@cherryseereames.com)  
**Subject:** RE: 5441.95 SACC - Trash Enclosure Relocation (BP-2019-35124)

Good morning Rebekah,

Attached you will find a photo of our refuse vehicle having possible accessibility to the proposed trash enclosure.

I will need a site plan to scale (preferably 1"=20') before I can approve a site for access.

Please remove Carla Wilkins from your Solid Waste contacts, she is no longer with the Solid Waste Department.

Regards,



**HERMAN GALLEGOS**  
code enforcer/dispatch supervisor  
o 505.761.8125  
m 505.681.2767  
[cabq.gov/solidwaste](http://cabq.gov/solidwaste)

---

**From:** Rebekah Bellum [<mailto:rbellum@cherryseereames.com>]  
**Sent:** Tuesday, February 16, 2021 8:59 AM  
**To:** Gallegos, Herman P. <[hgallegos@cabq.gov](mailto:hgallegos@cabq.gov)>; Gomez, Ernest P. <[epgomez@cabq.gov](mailto:epgomez@cabq.gov)>  
**Cc:** Wilkins, Carla <[cwilkins@cabq.gov](mailto:cwilkins@cabq.gov)>; [tmreames@cherryseereames.com](mailto:tmreames@cherryseereames.com)  
**Subject:** 5441.95 SACC - Trash Enclosure Relocation (BP-2019-35124)

**External**

Good afternoon Herman, Carla, and Ernie,  
I am writing to follow up on the emails I sent out last week regarding the Singing Arrow Community Center project – Trash Enclosure Relocation. I have heard back from Jeanne Wolfenbarger at Transportation, but still need input from Solid Waste. I'm wondering if the proposed location below is acceptable for the purposes of Solid Waste.

Construction at the Singing Arrow Community Center project is moving along – and is more than 50% complete. Last week, the contractor let us know that the location of the existing 12" diameter water main line was approximately 15'-0" off from where the survey had shown it. As a result, the water line is running directly through the location we had designed for the trash enclosure to be sited.

I have spoken with ABCWUA, and there isn't a way to shift or rotate the trash enclosure enough to leave them adequate clearance at the water line – while meeting all of the other requirements for fire truck access, traffic circulation, etc.

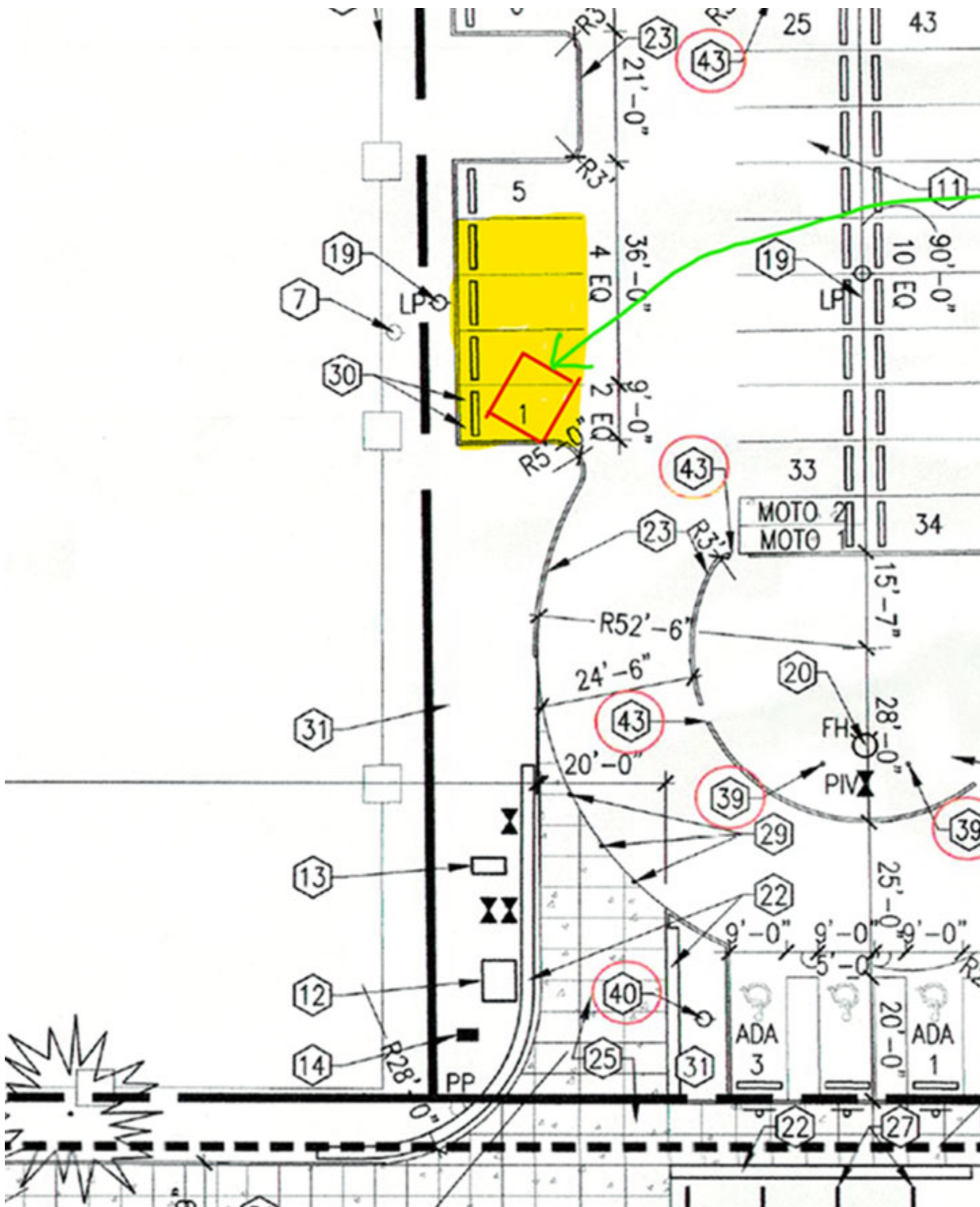


So, we are trying to figure out where we can relocate the trash enclosure so that all site requirements are met.

At this moment, our best option is to move the trash enclosure to the west side of the site. In this move, in order to not affect any of the necessary drainage that has been approved by hydrology, the trash enclosure would displace 2 parking spaces, and require that 3 parking spaces be shifted slightly north, switching places with the planter area.

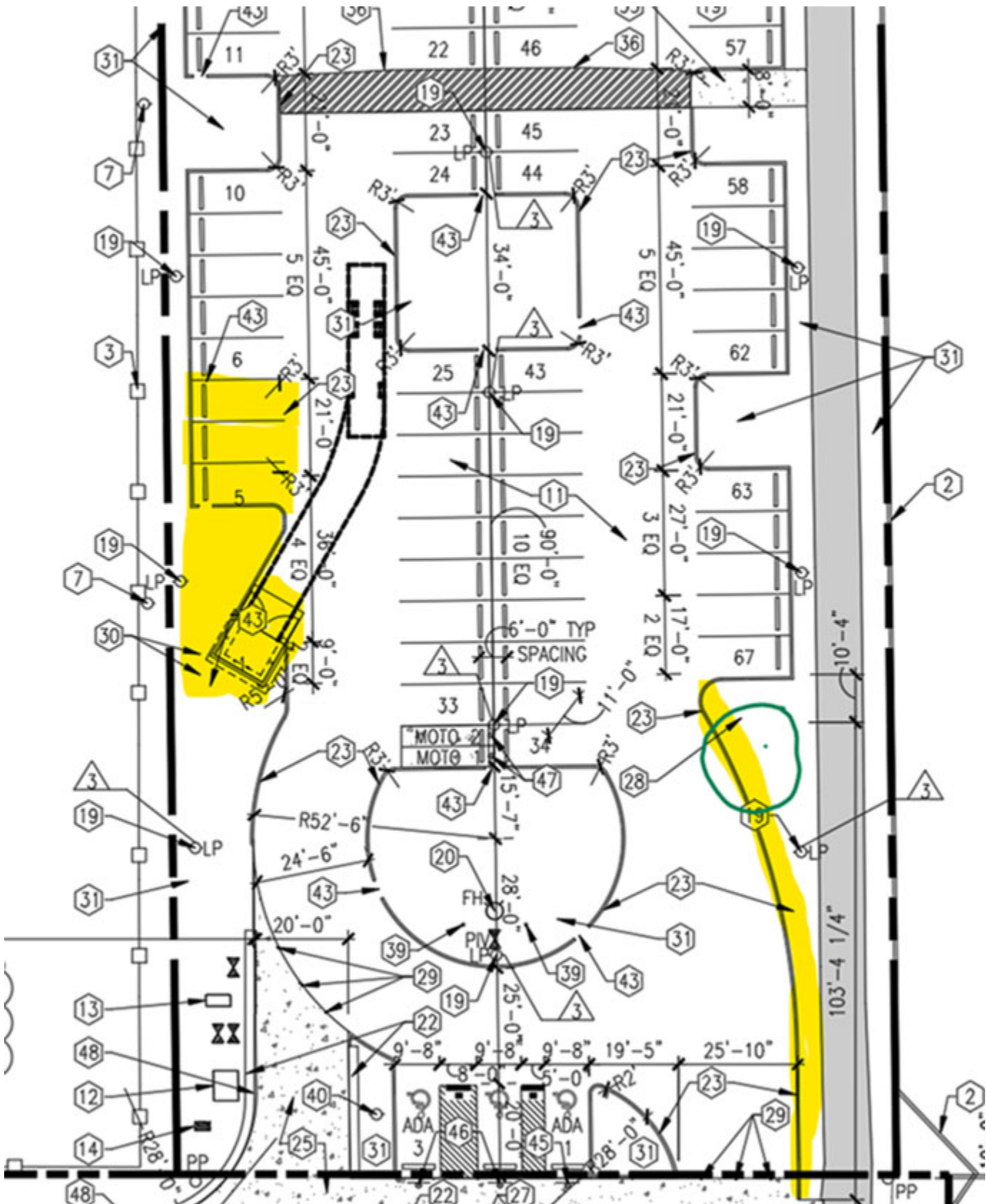
See cropped view of the site plan below for reference. In yellow, I've shown the 4 spaces that will have to be removed or shifted to accommodate access for waste management.





See proposed site plan sketch below.





I need to know if this proposed plan will be acceptable. Will we be required to update the approved TCL? What is the process for getting this change approved?

We are trying to figure out the best process to get all of the approvals needed to make this change. We're in a bit of a time crunch, because the contractor is already pouring the site concrete. I know we need to process this through solid



waste, and transportation. I'm not sure if I need to update our TCL? I'm also talking to the Planning Department to see if I need to do an Administrative Amendment (Staff Decision) to the Site Development Plan.

Please let me know if either of you are available to discuss this issue. Or, feel free to call my cell (listed below).

Thanks so much,  
Rebekah

**Rebekah Bellum**

Architect

**Cherry/See/Reames Architects, PC**

220 Gold Ave. SW

Albuquerque, NM 87102

p\_505-842-1278 c\_505-514-3549

[rbellum@cherryseereames.com](mailto:rbellum@cherryseereames.com)



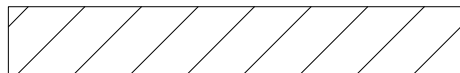












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LEGEND	
	EXISTING BUILDING TO REMAIN; NOT PART OF PROJECT
	EXISTING ASPHALT PATH TO REMAIN
	EXISTING GRASS
	PROPERTY LINE
FH 	FIRE HYDRANT
HC 	HANDICAP PARKING SIGN (SEE DETAIL C2/AS502)
LP 	LIGHT POLE
WS 	WHEEL STOP BUMPERS (SEE DETAIL E4/AS501)
PP 	POWER POLE
  	EXISTING TREES AND SHRUBS TO REMAIN
	LIMITS OF CONSTRUCTION

## GENERAL SHEET NOTES; CONT.

F. ALL CURBS IN PARKING LOT TO BE CURB AND GUTTER. SEE DETAIL E4/AS502.

## SITE DATA

PROPOSED SINGING ARROW COMMUNITY CENTER: 14,716 SF  
ZONE: NR-PD-A

## GENERAL SHEET NOTES

- EASEMENT AND PROPERTY LINES NOT SHOWN ON THIS PLAN FOR CLARITY. SEE OVERALL SITE PLAN, SHEET AS102.
- THERE ARE NO STRUCTURES WITHIN 20' OF SITE.

## GENERAL SHEET NOTES; CONT.

- GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- APPLY ANTI-GRAFFITI TREATMENT AT ALL EXTERIOR SITE ELEMENTS TO A HEIGHT OF 8'-0" AFF. THIS INCLUDES AT ALL GABION WALLS, MONUMENT SIGNAGE, LIGHT POLES, AND THE SHADE STRUCTURE. SEE SPECIFICATIONS.
- ADA ACCESS ISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PAINTED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED; SEE PLAN.

## SHEET KEYNOTES

- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING GRAY BLOCK SITE WALL, 6'-0" TALL, TO REMAIN.
- EXISTING BRONZE PAINTED STEEL FENCE, APPROXIMATELY 5'-0" TALL, TO REMAIN AT NEIGHBORING PROPERTY.
- EXISTING SITE FURNITURE TO REMAIN.
- EXISTING CURB CUT TO REMAIN AND TO SERVE NEW PARKING LOT FOR VEHICULAR INGRESS & EGRESS TO SITE.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING SITE LIGHT TO REMAIN. THE EXISTING SITE LIGHTING LOCATED IN THE PARK AREA ARE MOUNTED TO WOOD POLES APPROXIMATELY 20'-0" TALL. THE EXISTING SITE LIGHTING LOCATED IN THE PARKING LOT ARE MOUNTED ON A 3'-0" HIGH CONCRETE BASE WITH A 20'-0" STEEL POLE & DOUBLE LIGHT FIXTURES.
- NEW SINGING ARROW COMMUNITY CENTER BUILDING.
- LINE OF BUILDING FOOTPRINT AT GROUND LEVEL.
- NEW CORTEN STEEL SHADE STRUCTURE. STRUCTURE TO BE 12'-2" AFF TO TOP.
- NEW ASPHALT SURFACE AND STRIPING AT PARKING LOT, TYP., SEE DETAIL D4/AS502.
- NEW HOT BOX WITH 2" & 6" RPPBS. SEE UTILITY PLAN, SHEET C102.
- NEW 2" WATER METER. SEE UTILITY PLAN, SHEET C102.
- NEW FDC. SEE UTILITY PLAN, SHEET C102.
- NEW GAS METER. SEE UTILITY PLAN, SHEET C102.
- NEW ROOF-TOP MECHANICAL UNITS. TYPICAL DIMENSIONS ARE 4'-5" X 7'-5" X 3'-6" TALL.
- NEW TRANSFORMER AND CONCRETE PAD, COORDINATED WITH PNM. SEE UTILITY PLAN, SHEET C102.
- EXISTING CITY BUS STOP TO REMAIN.
- NEW SITE LIGHTING. TO BE 15' AFF. STEEL POLE, W/ DARK BRONZE FINISH. TYP. FIXTURE TYPE TO BE LINEA 450 LVC. SEE OUT SHEET. SEE ALSO DETAIL A1/AS501.
- NEW FIRE HYDRANT AND PIV. SEE UTILITY PLAN, SHEET C102.
- NEW KNOX BOX TO BE MOUNTED ON NEW BUILDING AT 6'-0" AFF.
- NEW GABION BENCH, 18" HIGH X 2'-0" DEEP. LENGTH VARIES DEPENDING ON LOCATION. SEE SITE PLAN. SEE DETAILS C4/AS501 & D4/AS501.
- RED FIRE LANE CURB PAINT & LABELING MARKED ON BOTH SIDES OF ROAD AT ALL CURBS. CONTINUOUS. SEE DETAIL E4/AS502.
- NEW 120" HAMMERHEAD TURN-AROUND PER IFPC APPENDIX D.
- NEW FIRE TRUCK ACCESS TO SITE; HEAVY DUTY ENGINEERED DRIVING SURFACE AS REQUIRED TO SUPPORT 75,000 LBS; GRADE NOT TO EXCEED FOR THIS CONCRETE AREA. DOUBLES AS ADA PEDESTRIAN ACCESS TO BUILDING. SEE CITY STANDARD DETAIL 2405A FOR ROAD PAVEMENT SECTION.
- NEW SITE IDENTIFICATION SIGN. SEE DETAIL E1/AS501.
- 4 NEW BICYCLE RACKS. SEE DETAIL A4/AS501.
- NEW GATED REFUSE ENCLOSURE. SEE ENLARGED PLAN B2/AS501 AND ELEVATION A2/AS501.
- 3'-0" TALL RETRACTABLE BOLLARDS, TO BE POLISHED STAINLESS STEEL, GRADE 316, PER COA STANDARDS. SEE DETAIL D3/AS501.
- 2 MOTORCYCLE PARKING SPACES.
- NEW PLANTING AREA.
- EXISTING ASPHALT PEDESTRIAN PATH OPEN AND UNIMPEDED BY ANY WALLS, TO REMAIN.
- NEW ADA PEDESTRIAN PATH, CONNECTING BUILDING TO EXISTING PEDESTRIAN PATH NETWORK AND TO NEARBY ROADS. SEE DTLS AS501 & AS502.
- EXISTING STOP SIGN TO REMAIN.
- ACCESSIBLE PEDESTRIAN CONNECTION TO EXISTING PEDESTRIAN TRAIL.
- CROSSWALK MARKED ON ASPHALT TO PROVIDE PEDESTRIAN ACCESS FROM WEST SIDE OF PARKING LOT TO EXISTING PEDESTRIAN TRAIL ALONG EAST EDGE OF SITE.
- CONCRETE SIDEWALK IN THIS AREA. COORDINATE LOCATION TO BE OUTSIDE OF FIRE RISER.
- NEW CONCRETE PEDESTRIAN PATH. PATH TO BE 5'-0" WIDE. ALL TREES AND EXISTING UTILITIES TO BE PROTECTED, SEE DTLS AS501 & AS502. SEE CITY STANDARD DETAIL 2430J.
- NEW BOLLARD, SEE DETAIL C1/AS502.
- PROVIDE NEW INTEGRALLY LIGHTED FLAGPOLE. COORDINATE WITH ELECTRICAL DRAWING ES101. (FLAGPOLE WAREHOUSE INTERNAL HEAVY FLAGPOLE OR EQUAL) COORDINATE WITH MANUFACTURER FOR INSTALLATION. SEE DETAIL D1/AS502.
- NEW LIGHT POLE AT PEDESTRIAN PATH. SEE ELECTRICAL SHEET ES101.
- EXISTING PLANTER AND CONCRETE MOW CURB TO REMAIN. SEE L101.
- EXISTING CURB CUT, SEE DETAIL C5/AS501.
- NEW MOW CURB TO MATCH EXISTING. SEE COA STD. DWG. 2726.
- ADA ACCESSIBLE PARKING SIGN. SEE DETAILS C2 AND D3/AS502.
- VAN ACCESSIBLE ADA PARKING SIGN. SEE DETAILS C2 AND D3/AS502.
- MOTORCYCLE PARKING SIGN.
- NEW HEADER CURB AT NORTH AND WEST SIDES OF FIRE LANE. SEE C-101. SEE CITY STANDARD DRAWING 2415B FOR HEADER CURB.
- NEW CLEAN-OUT. SEE SHEET PL102.

## PARKING CALCULATIONS

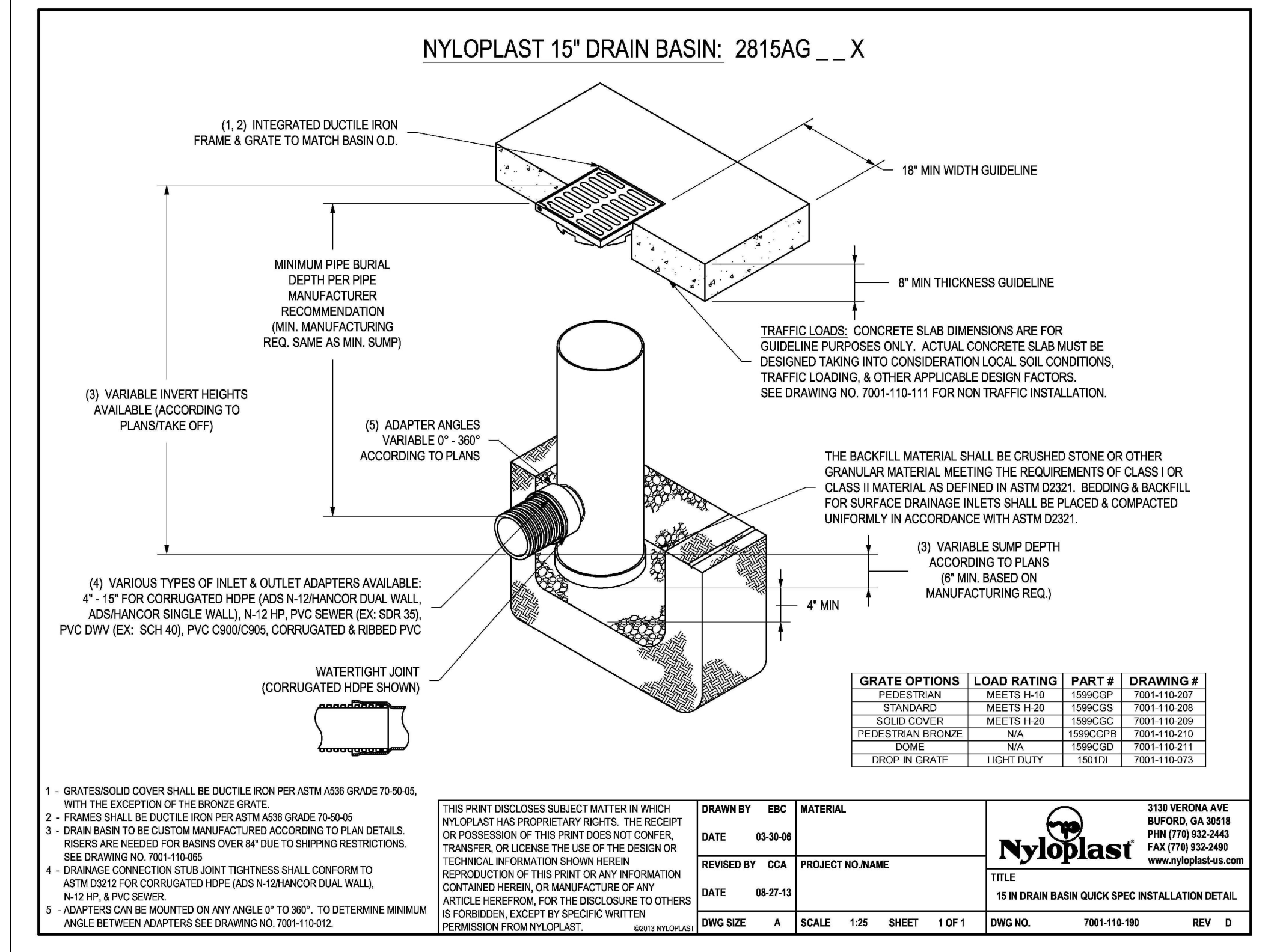
- OFF-STREET PARKING PER IDO 14-16-5:
- PER TABLE 5-5-1: FOR A COMMUNITY CENTER OR LIBRARY, 2 SPACES REQUIRED/1000 GSA
  - 14,716 GSA/1000 GSA = 15
  - 2 X 15 = 30 SPACES REQUIRED
  - 67 REGULAR SPACES PROVIDED
  - ± 3 ADA ACCESSIBLE SPACES PROVIDED (INCL. 2 VAN ACCESSIBLE)
  - = 70 TOTAL SPACES PROVIDED
- ACCESSIBLE PARKING PER SECTION 5-5(C)(7):
- ACCESSIBLE PARKING MUST BE PROVIDED AS PART OF THE ABOVE MINIMUM REQUIRED SPACES. NUMBER OF ACCESSIBLE SPACES AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES & NM STATUTES ANNOTATED.
  - ADAA GUIDELINES = TOTAL # OF PARKING SPACES PROVIDED BETWEEN 51 AND 75 REQUIRES 3 ACCESSIBLE SPACES.
  - 3 ACCESSIBLE SPACES PROVIDED
- MOTORCYCLE PARKING PER TABLE 5-5-4:
- TOTAL PARKING SPACES REQUIRED PER TABLE 5-5-1 BETWEEN 26-50 REQUIRES 2 MOTORCYCLE SPACES
  - 2 MOTORCYCLE SPACES PROVIDED
- BICYCLE PARKING PER TABLE 5-5-5:
- FOR NON-RESIDENTIAL USES, 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER, IS REQUIRED.
  - 30 SPACES REQUIRED X 10% = 3 BICYCLE SPACES REQUIRED
  - 28 BICYCLE SPACES PROVIDED
- ON-STREET PARKING:
- NONE REQUIRED; NONE PROVIDED

CITY OF ALBUQUERQUE / FAMILY & COMMUNITY SERVICES  
SINGING ARROW COMMUNITY CENTER

## TITLE: ENLARGED SITE PLAN

Design Review Committee	City Engineer Approval	Last Design Update	NO. 2617/26	NO. 2617/26
			100% DD	2/15/2019
			50% CD	4/15/2019
			95% CD	7/15/2019
			100% CD	9/3/2019
City Project No.	Zone Map No.	Sheet	Of	
5441.95	L-22-Z	AS102	9	85

## WENONAH AVENUE SE



## 15 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

DETAIL REFERENCES AREA DRAINS SHOWN ON C-100, GRADING & DRAINAGE PLAN

SCALE: N.T.S.

## LIMITS OF CONSTRUCTION PER 2016 ARCHAEOLOGICAL SURVEY

REMOVE GABION BENCHES FROM INDICATED AREAS (50 LF OF GABION BENCHES REMOVED). RELOCATE GABION BENCHES AT SOUTH AND WEST SIDES OF CONCRETE (50 LF OF GABION BENCHES RELOCATED)

A2  
AS102

## SINGING ARROW COMMUNITY CENTER ENLARGED SITE PLAN

## RACHEL ROAD SE

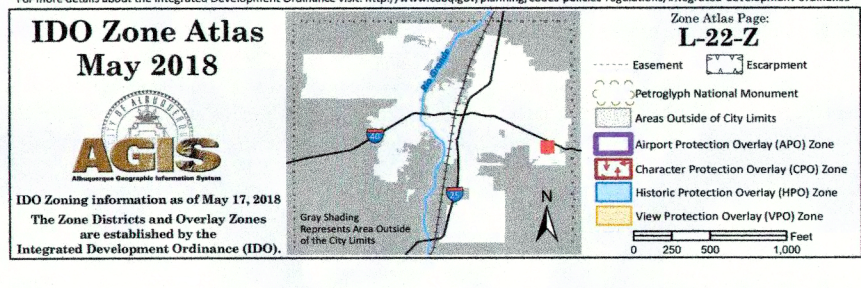
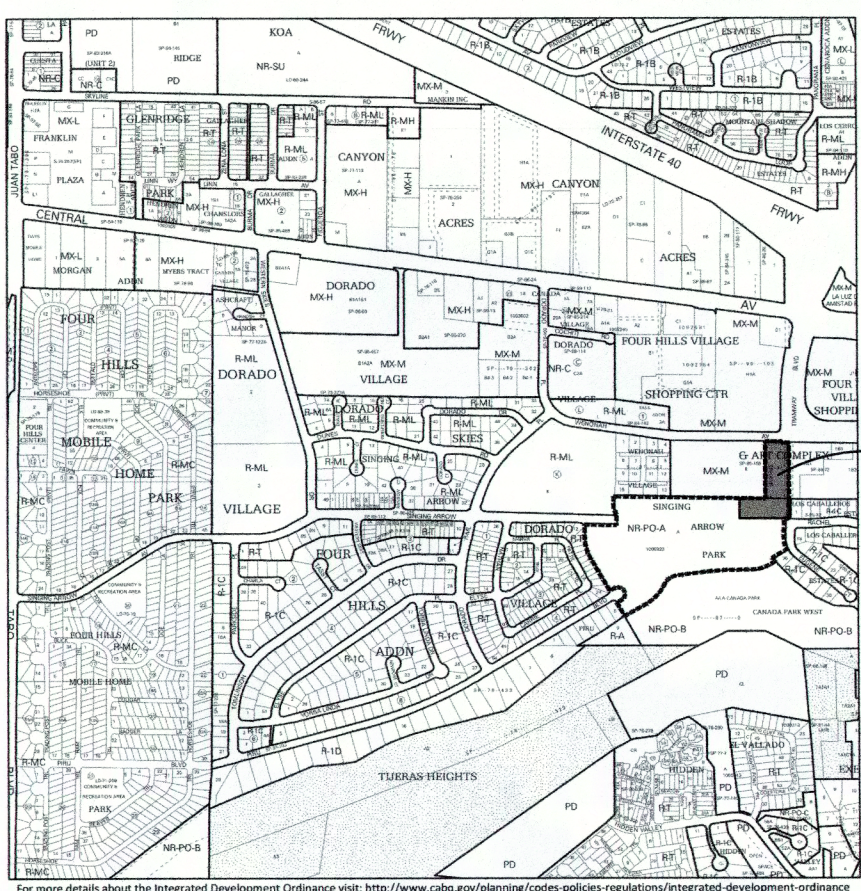
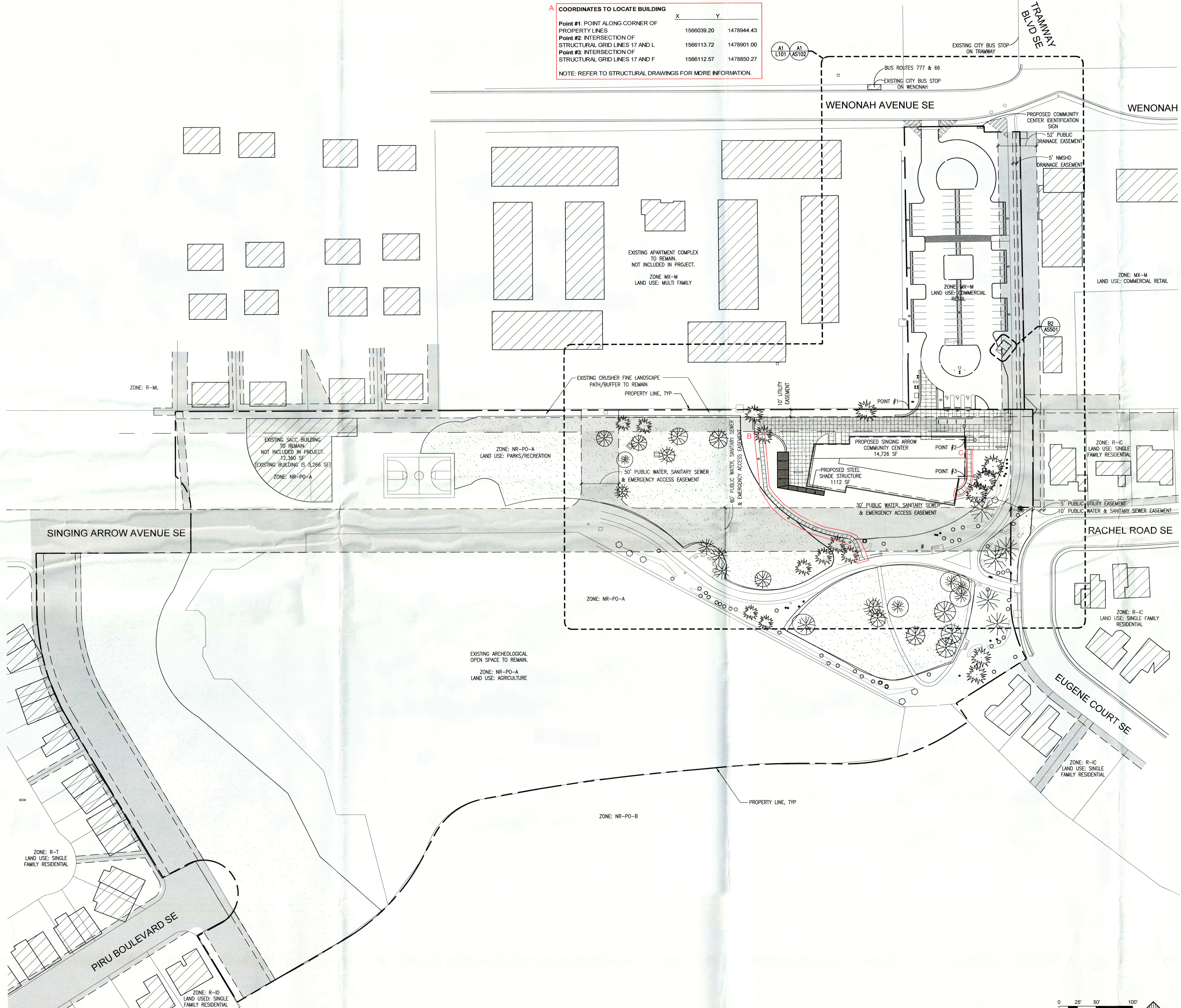
SCALE: 1" = 30'-0"



**APPLICABLE SHEETS OF THE  
APPROVED SITE PLAN BEING AMENDED**



COORDINATES TO LOCATE BUILDING		
	X	Y
Point #1: POINT ALONG CORNER OF PROPERTY LINES	1566039.20	1478944.43
Point #2: INTERSECTION OF STRUCTURAL GRID LINES 17 AND L	1566113.72	1478901.00
Point #3: INTERSECTION OF STRUCTURAL GRID LINES 17 AND F	1566112.57	1478850.27
NOTE: REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.		

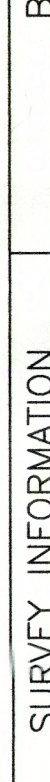
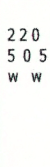


#### GENERAL SHEET NOTES

- ZONING PER CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE ZONE ATLAS PAGE L-22-Z. THE PARK SITE IS ZONED NR-PO-A FOR PARKS & RECREATION LAND USE, AND THE EXISTING PARKING LOT IS ZONED MX-M FOR COMMERCIAL RETAIL LAND USE.
- LEGAL DESCRIPTIONS FOR EACH PARCEL:
  - NR-PO-A: TRACT A PLAT OF TRACT A SINGING ARROW PARK LOCATED WITHIN CANADA VILLAGE SECOND UNIT CONT 15.9407 AC.
  - MX-M: TR F-1 REPL OF TRS F, H-1, J & UNPLATTED LAND FOUR HILLS VILLAGE SHOPPING CENTER & APARTMENT COMPLEX CONT 1.3847 AC M/L.
- THE SINGLE VEHICULAR INGRESS AND EGRESS POINT TO THE SITE IS EXISTING AND WILL REMAIN. NO NEW CURB CUTS WILL BE INSTALLED.
- ALL PEDESTRIAN SIDEWALKS AND PATHWAYS ARE EXISTING TO REMAIN.
- CONDITIONS AND TERMS OF ALL EXISTING UTILITY EASEMENTS IN OR ADJACENT TO THE SITE ARE TO BE ABIDED BY.
- CONTRACTOR MUST CONTACT PHM'S NEW SERVICE DELIVERY DEPARTMENT PRIOR TO INITIATING ANY WORK ON SITE. COORDINATE ALL ELECTRICAL SERVICE REGARDING THIS PROJECT.
- THERE ARE TWO BUS STOPS NEAR THE WENONAH AND TRAMWAY INTERSECTION. THESE SERVE THE 777 AND 66 ROUTES.
- THE CITY SHALL TAKE STEPS TO PREVENT DISTURBANCE OF SOIL AND VEGETATION ON THE ADJACENT MAJOR PUBLIC OPEN SPACE DURING CONSTRUCTION. PURSUANT TO IDO 5-2(h)(2)(a)(1), "THE CITY IS RESPONSIBLE FOR MITIGATING ANY DISTURBANCE THAT DOES OCCUR."
- A GRADING AND DRAINAGE PLAN SHALL BE APPROVED BY CITY HYDROLOGY PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- PEDESTRIAN ACCESS SHALL BE VIA THE EXISTING PEDESTRIAN TRAIL SYSTEM THROUGH THE PARK AND OUT TO WENONAH AVENUE VIA THE EXISTING TRAIL ON THE EAST SIDE OF THE PARKING LOT.
- THE PORTION OF THE EXISTING PARK BEING DEVELOPED FOR THE NEW COMMUNITY CENTER IS APPROXIMATELY 1.045 ACRES.

#### LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING BUILDING TO REMAIN; NOT PART OF PROJECT
- EXISTING GRASS
- CLEAR SITE TRIANGLES
- AREA OF ENLARGED PLAN; SEE ENLARGED SITE PLAN/SHEET AS102; LANDSCAPE PLAN/SHEET L101; & REFUSE ENCLOSURE ENLARGED PLAN/SHEET ASS01
- EXISTING TREES AND SHRUBS TO REMAIN

220 gold avenue sw albuquerque, nm 87102 505-842-1278 fax: 505-766-9269 www.cherryseereames.com																													
COMMUNITY SERVICES CENTER										AS BUILT INFORMATION										BENCH MARK									
NO. DATE										CONTRACTOR DATE:										CONTRACTOR DATE:									
REVISIONS/REMARKS										WORK STAKED BY DATE:										INSPECTOR'S APPROVAL DATE:									
BY										FIELD VERIFICATION BY DATE:										DRAWING CORRECTED BY DATE:									
DESIGNED BY: TMR										MICRO-FILM INFORMATION										RECORDED BY DATE:									
DRAWN BY: RCB										NO.										NO.									
CHECKED BY: ---																													
100% DD										2/15/2019																			
50% CD										4/15/2019																			
95% CD										7/15/2019																			
100% CD										9/3/2019																			
AS101										8										OF 25									



LEGEND

EXISTING BUILDING TO REMAIN;  
NOT PART OF PROJECT

EXISTING ASPHALT PATH TO REMAIN

EXISTING GRASS

PROPERTY LINE

FH □ FIRE HYDRANT

HC — HANDICAP PARKING SIGN  
(SEE DETAIL C2/ASS02)

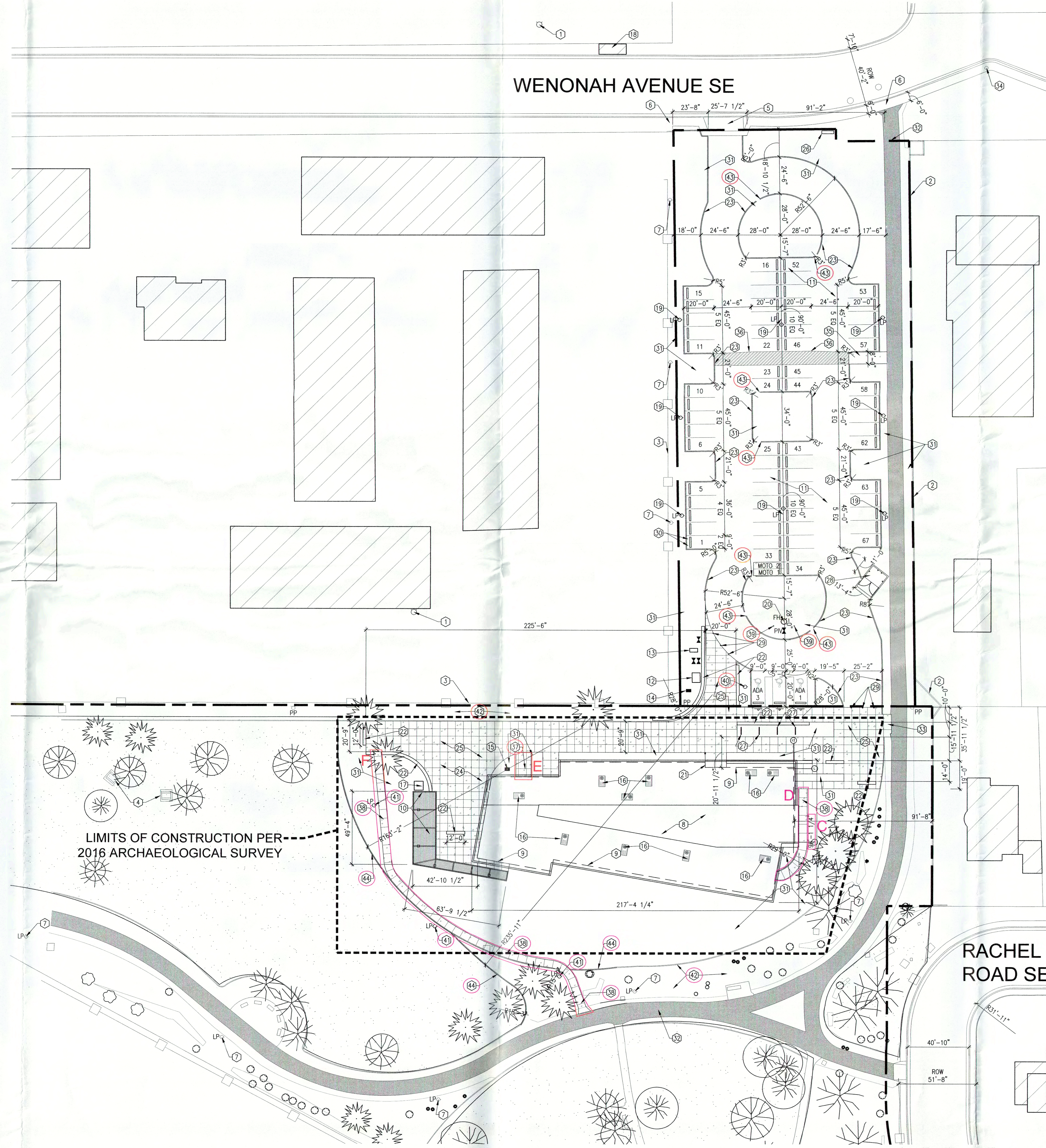
LP ○ LIGHT POLE

WS — WHEEL STOP BUMPERS  
(SEE DETAIL E4/ASS01)

PP □ POWER POLE

EXISTING TREES AND SHRUBS  
TO REMAIN

LIMITS OF CONSTRUCTION



WENONAH AVENUE SE

RACHEL ROAD SE

SINGING ARROW COMMUNITY CENTER ENLARGED SITE PLAN

SCALE: 1" = 30'-0"

SITE DATA

PROPOSED SINGING ARROW COMMUNITY CENTER: 14,716 SF  
ZONE: NR-PD-A

GENERAL SHEET NOTES

- EASEMENT AND PROPERTY LINES NOT SHOWN ON THIS PLAN FOR CLARITY. SEE OVERALL SITE PLAN, SHEET AS102.
- THERE ARE NO STRUCTURES WITHIN 20' OF SITE.
- GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- APPLY ANTI-GRAFFITI TREATMENT AT ALL EXTERIOR SITE ELEMENTS TO A HEIGHT OF 8'-0" AFF. THIS INCLUDES AT ALL GABION WALLS, MONUMENT SIGNAGE, LIGHT POLES, AND THE SHADE STRUCTURE. SEE SPECIFICATIONS.

SHEET KEYNOTES

- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING GRAY BLOCK SITE WALL, 6'-0" TALL, TO REMAIN.
- EXISTING BRONZE PAINTED STEEL FENCE, APPROXIMATELY 5'-0" TALL, TO REMAIN AT NEIGHBORING PROPERTY.
- EXISTING SITE FURNITURE TO REMAIN.
- EXISTING CURB CUT TO REMAIN AND TO SERVE NEW PARKING LOT FOR VEHICULAR INGRESS & EGRESS TO SITE.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING SITE LIGHT TO REMAIN. THE EXISTING SITE LIGHTING LOCATED IN THE PARK AREA ARE MOUNTED TO WOOD POLES APPROXIMATELY 20'-0" TALL. THE EXISTING SITE LIGHTING LOCATED IN THE PARKING LOT ARE MOUNTED ON A 3'-0" HIGH CONCRETE BASE WITH A 20'-0" STEEL POLE & DOUBLE LIGHT FIXTURES.
- NEW SINGING ARROW COMMUNITY CENTER BUILDING.
- LINE OF BUILDING FOOTPRINT AT GROUND LEVEL.
- NEW CORTEN STEEL SHADE STRUCTURE. STRUCTURE TO BE 12'-2" AFF TO TOP.
- NEW ASPHALT SURFACE AND STRIPING AT PARKING LOT, TYP., SEE DETAIL D4/ASS02.
- NEW HOT BOX WITH 2" & 6" RPBPs. SEE UTILITY PLAN, SHEET C102.
- NEW 2" WATER METER. SEE UTILITY PLAN, SHEET C102.
- NEW FDC. SEE UTILITY PLAN, SHEET C102.
- NEW GAS METER. SEE UTILITY PLAN, SHEET C102.
- NEW ROOF-TOP MECHANICAL UNITS. TYPICAL DIMENSIONS ARE 4'-5" X 7'-5" X 3'-6" TALL.
- NEW TRANSFORMER AND CONCRETE PAD, COORDINATED WITH PNM. SEE UTILITY PLAN, SHEET C102.
- EXISTING CITY BUS STOP TO REMAIN.
- NEW SITE LIGHTING, TO BE 15' AFF, STEEL POLE, W/ DARK BRONZE FINISH, TYP. FIXTURE TYPE TO BE LINEA 450 LVC. SEE CUT SHEET. SEE ALSO DETAIL A1/ASS01.
- NEW FIRE HYDRANT AND PIV. SEE UTILITY PLAN, SHEET C102.
- NEW KNOX BOX TO BE MOUNTED ON NEW BUILDING AT 6'-0" AFF.
- NEW GABION BENCH, 18" HIGH X 2'-0" DEEP. LENGTH VARIES DEPENDING ON LOCATION. SEE SITE PLAN. SEE DETAILS C4/ASS01 & D4/ASS01.
- RED FIRE LANE CURB PAINT & LABELING MARKED ON BOTH SIDES OF ROAD AT ALL CURBS, CONTINUOUS, SEE DETAIL C4/ASS02.
- NEW 120' HAMMERHEAD TURN-AROUND PER IFC APPENDIX D.
- NEW FIRE TRUCK ACCESS TO SITE; HEAVY DUTY ENGINEERED DRIVING SURFACE AS REQUIRED TO SUPPORT 75,000 LBS; GRADE NOT TO EXCEED 10%. THIS CONCRETE AREA DOUBLES AS ADA PEDESTRIAN ACCESS TO BUILDING.
- NEW SITE IDENTIFICATION SIGN. SEE DETAIL E1/ASS01.
- 4 NEW BICYCLE RACKS. SEE DETAIL A4/ASS01.
- NEW GATED REFUSE ENCLOSURE. SEE ENLARGED PLAN B2/ASS01 AND ELEVATION A2/ASS01.
- 3'-0" TALL RETRACTABLE BOLLARDS, TO BE POLISHED STAINLESS STEEL, GRADE 316, PER COA STANDARDS. SEE DETAIL D3/ASS01.
- 2 MOTORCYCLE PARKING SPACES.
- NEW PLANTING AREA.
- EXISTING ASPHALT PEDESTRIAN PATH OPEN AND UNIMPEDED BY ANY WALLS, TO REMAIN.
- NEW ADA PEDESTRIAN PATH, CONNECTING BUILDING TO EXISTING PEDESTRIAN PATH NETWORK AND TO NEARBY ROADS, SEE DTLS ASS01 & ASS02.
- EXISTING STOP SIGN TO REMAIN.
- ACCESSIBLE PEDESTRIAN CONNECTION TO EXISTING PEDESTRIAN TRAIL.
- CROSSWALK MARKED ON ASPHALT TO PROVIDE PEDESTRIAN ACCESS FROM WEST SIDE OF PARKING LOT TO EXISTING PEDESTRIAN TRAIL ALONG EAST EDGE OF SITE.
- CONCRETE FILL IN THIS AREA. COORDINATE LOCATION TO BE OUTSIDE OF FIRE RISER.
- NEW CONCRETE PEDESTRIAN PATH. PATH TO BE 5'-0" WIDE. ALL TREES AND EXISTING UTILITIES TO BE PROTECTED, SEE DTLS ASS01 & ASS02.
- NEW BOLLARD. SEE DETAIL C1/ASS02.
- PROVIDE NEW INTEGRALLY LIGHTED FLAGPOLE. COORDINATE WITH ELECTRICAL DRAWING ES101. (FLAGPOLE WAREHOUSE INTERNAL HEAVY DUTY FLAGPOLE OR EQUAL) COORDINATE WITH MANUFACTURER FOR INSTALLATION. SEE DETAIL D1/ASS02.
- NEW LIGHT POLE AT PEDESTRIAN PATH. SEE ELECTRICAL SHEET ES101.
- EXISTING PLANTER AND CONCRETE MOW CURB TO REMAIN, SEE L101.
- TYPICAL CURB CUT. SEE DETAIL C5/ASS01.
- NEW MOW CURB TO MATCH EXISTING, SEE COA STD. DWG. 2726.

PARKING CALCULATIONS

- OFF-STREET PARKING PER IDO 14-16-5:
- PER TABLE 5-5-1, FOR A COMMUNITY CENTER OR LIBRARY, 2 SPACES REQUIRED/1000 GSA
  - 14,716 GSA/1000 GSA = 15
  - 2 X 15 = 30 SPACES REQUIRED
  - 67 REGULAR SPACES PROVIDED
  - + 3 ADA ACCESSIBLE SPACES PROVIDED
  - = 70 TOTAL SPACES PROVIDED
- ACCESSIBLE PARKING PER SECTION 5-5(0)(7):
- ACCESSIBLE PARKING MUST BE PROVIDED AS PART OF THE ABOVE MINIMUM REQUIRED SPACES. NUMBER OF ACCESSIBLE SPACES AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES & NM STATUTES ANNOTATED.
  - ADA GUIDELINES = TOTAL # OF PARKING SPACES PROVIDED BETWEEN 51 AND 75 REQUIRES 3 ACCESSIBLE SPACES.
  - 3 ACCESSIBLE SPACES PROVIDED
- MOTORCYCLE PARKING PER TABLE 5-5-4:
- TOTAL PARKING SPACES REQUIRED PER TABLE 5-5-1 BETWEEN 26-50 REQUIRES 2 MOTORCYCLE SPACES
  - 2 MOTORCYCLE SPACES PROVIDED
- BICYCLE PARKING PER TABLE 5-5-5:
- FOR NON-RESIDENTIAL USES, 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER, IS REQUIRED.
  - 30 SPACES REQUIRED X 10% = 3 BICYCLE SPACES REQUIRED
  - 28 BICYCLE SPACES PROVIDED
- ON-STREET PARKING:
- NONE REQUIRED; NONE PROVIDED

CITY OF ALBUQUERQUE / FAMILY & COMMUNITY SERVICES  
SINGING ARROW COMMUNITY CENTER

TITLE: ENLARGED SITE PLAN						
Design Review Committee		City Engineer Approval		Last Design Update	NO./DATE/REV	
					NO./DATE/REV	
					100% DD	2/15/2019
					50% CD	4/15/2019
					95% CD	7/15/2019
					100% CD	9/3/2019
City Project No.		Zone Map No.		Sheet		Of
5441.95		L-22-Z		AS102		9 85

cherry/see/reames architects, PC  
220 gold avenue sw albuquerque, nm 87102  
505-842-1278 fax 505-766-9269  
www.cherryseereames.com




AS BUILT INFORMATION		DATE	
CONTRACTOR	DATE	WORK STAGED BY	DATE
INSPECTOR'S APPROVAL	DATE	FIELD VERIFICATION BY	DATE
DRAWING CORRECTED BY	DATE	MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE		
NO.			















SURVEY INFORMATION		DATE	
FIELD NOTES	BY		
NO.			









REVISIONS/REMARKS		DATE	
NO.	DATE		
DESIGNED BY: TMR	DATE: 11/1/2018		
DRAWN BY: RCB	DATE: 11/1/2018		
CHECKED BY:	DATE:		



EXISTING PLANT SCHEDULE - SHRUBS			
	SYMBOL	QUANTITY	COMMON NAME
SHRUBS		3	VITEX
		9	CHAMISA
		9	BEAR GRASS

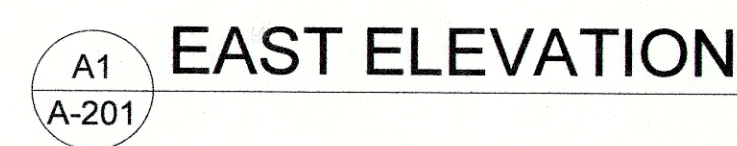
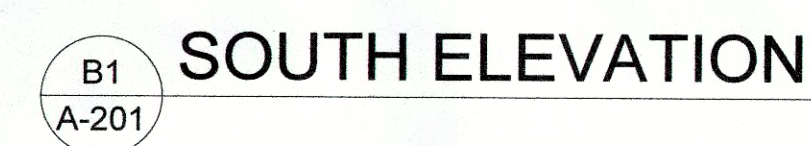
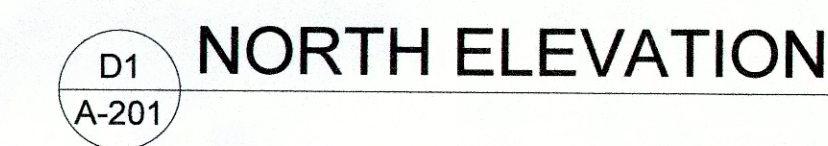
PLANT SCHEDULE – SHRUBS – BASE BID, PROPOSED FOR GENERAL LANDSCAPING							
	SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT/CANOPY 0.7854 X DIA. FT <sup>2</sup>	SPREAD
SHRUBS		A 9	AGAVE (CENTURY PLANT)	AGAVE AMERICANA	5 GAL.	4'	4'
		AP 5	APACHE PLUME	FALLUGIA PARADOXA	5 GAL.	6'-8"/280 SF	TO 5'
		BG 105	BEAR GRASS	MOLINA MICROCARPA	5 GAL.	TO 5'/115.5 SF	6'-8'
		C 17	CHAMISA	CHRYSOETHAMNUS NAUSEOSUS	5 GAL.	6'-8"/640 SF	TO 5'
							
							
		KF 3	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA	5 GAL.	4'-5"	2'
		MG 3	MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS "MORNING LIGHT"	5 GAL.	4'-5"	4'-5"
		RO 40	RED OSIER DOGWOOD	CORNUS SERICEA	5 GAL.	3'-6"	4'-5"
		RY 53	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL.	3'-4'	3'-4'
		RM 101	REGAL MIST	MUHLENBERGIA CAPILLARIS	5 GAL.	3'-4"/119 SF	3'
		SO 16	SOTOL	DASYLIRON WHEELERI	5 GAL.	5'	6'
	TG 78.75	THREAD GRASS	NASSELLA (STIPA) TENUISSIMA	5 GAL.	18"	1'	
	ZG 6	ZEBRA GRASS	MISCANTHUS SINENSIS "ZEBRINUS"	5 GAL.	5'-7"	3'-5'	

PLANT SCHEDULE - TREES - BASE BID, PROPOSED FOR GENERAL LANDSCAPING								
	SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT/CANOPY 0.7854 X DIA Ft²	SPREAD	
TREES		DW	2	DESERT WILLOW	CHILIPUS LINEARIS	2" CAL	TO 30'/2946 SF	20'-30'
		LE	9	LACEBARK ELM	ULMUS PARVIFOLIA	2" CAL	30'-40'	TO 40'
		MA	2	MODESTO ASH	FRAXINUS VELLUTINA 'MODESTO'	2" CAL	25'-40'	TO 35'
		PLP	4	PURPLE LEAF PLUM	PRUNUS CERASIFERA	2" CAL	TO 20'	TO 20'
		SHL	7	SHADEMASTER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS "SHADEMASTER"	2-1/2" CAL	30'-50'	30'-45'
		SL	2	SUNBURST HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS	2" CAL	30'-40'	30'-40'

SYMBOL NOT SHOWN TO SCALE IN LEGEND

PERVIOUS/ IMPERVIOUS IMPROVEMENTS  
PERVIOUS: 43,239 SF  
IMPERVIOUS: 50,832 SF





- A. ALL EXTERIOR WINDOWS AND DOORS TO BE ANODIZED ALUMINUM STOREFRONT. SEE SHEETS A-601 AND A-602, AND SPECIFICATIONS.
  - a. DOOR 114A TO BE A GLAZED SLIDING DOOR.
  - b. DOORS 101A, 118, AND 121B TO BE PAINTED HOLLOW METAL DOORS IN REINFORCED ALUMINUM FRAMES; COLOR TO MATCH NATURAL STONE.
  - c. ALL CLERESTORY WINDOWS TO BE INSULATED TRANSLUCENT SAUNDERS 1200 SERIES; KALLWALD OR SIMILAR. SEE SPECIFICATIONS.
- B. PER TABLE 5-12-2, "ON-PREMISES SIGNS, IN MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS, ZONE DISTRICT NR-PO SHOULD BE PER APPROVED PLAN."
  - a. TOTAL SQUARE FOOTAGE OF NORTH FACADE = 4,292 SF
  - b. TOTAL SQUARE FOOTAGE OF SIGN = 60 SF
  - c. 60 SF/4,292 SF = 1.4% (2.4% OF FACADE AREA)
- C. CORTEN STEEL NATURALLY PATINATES TO BE A REDDISH BROWN COLOR. ACCELERATE CORTEN STEEL WEATHERING PRIOR TO INSTALLATION. SEAL WITH POR-15 CLEAR COAT TO INHIBIT RUST DRIPS.
- D. APPLY ANTI-GRAFFITI FILM AT ALL EXTERIOR GLAZING TO A HEIGHT OF 8'-0" AFF. SEE SPECIFICATIONS.
- E. APPLY ANTI-GRAFFITI FILM WITH ANTI-GRAFFITI TREATMENT AT ALL EXTERIOR WALLS AND OTHER BUILT SURFACES TO A HEIGHT OF 8'-0" AFF. THIS INCLUDES AT ALL STUCCO, EXTERIOR WALL TILE, CONCRETE STEM WALL, WINDOW FRAMES, DOORS AND DOOR FRAMES, AND CORTEN TUBE STEEL AND PANELS. SEE SPECIFICATIONS.
- F. AT STUCCO WALLS, CARRY THE STUCCO DOWN THE STEM WALL A MINIMUM OF 6" BELOW FINISHED GRADE.
- G. SEE FLOOR PLAN FOR HAIR PIN DOOR SCHEDULING.
- H. FIELD VERIFY ANGLE OF SLANTED COLUMNS (SEE KN 8, THIS SHEET). SLANTED COLUMNS TO BE LOCATED IN CENTER OF ASSOCIATED SLANTED WALLS.

ITEM	MANUFACTURER	COLOR & NUMBER	LRV
CONCRETE STEM WALL	DAVIS	AUTUMN GOLD 5844	24
STUCCO	EL REY	113 DOVE GRAY	50
SHADE STRUCTURE		CORTEN STEEL	**
UPPER MASS NORTH & SOUTH WALLS		CORTEN STEEL	**
PORCELAIN TILE (24"x48"x3/8") (LESS THAN 20% OF OPAQUE FACADE)	DALTILE	AMBASSADOR VOYAGER BLACK	*
WINDOW FRAMES (LESS THAN 20% OF OPAQUE FACADE)	KAWNEER	#40 DARK BRONZE	19*
STUCCO ACCENT (LESS THAN 20% OF OPAQUE FACADE)	EL REY	MATCH SW6622 HEARTY ORANGE	15*
DIMENSIONAL SIGNAGE	CENTURY SIGN BUILDERS	MATCH #40 DARK BRONZE	19*

\* THE COMBINED SQUARE FOOTAGES OF INDICATED ITEMS CONSTITUTE LESS THAN 20% OF THE TOTAL OPAQUE FACADE SQUARE FOOTAGE. SEE FACADE CALCULATIONS ON THIS SHEET.

\*\* THE LRV OF CORTEN STEEL CANNOT BE TESTED, AS THE MATERIAL CHAGES OVER THE COURSE OF ITS LIFE. THE FULL PATINA OF THE MATERIAL WILL HAVE AN LRV BETWEEN 20 AND 50.

FRAME	TOTAL OPAQUE SF	FRAME SF	NATURAL STONE SF	DIMENSIONAL SIGNAGE SF	STUCCO ACCENT SF
NORTH	3,866.0	116.0	77	60	0
EAST	1,740.1	36.0	492	0	9.0
SOUTH	4,125.9	97.7	485	0	0
WEST	1,281.4	53.0	44	0	5.4
<b>TOTALS</b>	<b>11,013.4</b>	<b>281.7</b>	<b>1,098.0</b>	<b>60.0</b>	<b>14.4</b>

2817 + 1,098 + 60 + 144 = 1,454.1 SF / 1,454.1 SF / 11013.4 SF = .132 = 13.2%  
PER IDO SECTION 5.2(H)(1)(ya), ALL MATERIALS USED ON THE EXTERIOR OF THE BUILDING  
HAVE AN LRV BETWEEN 20 AND 50, WITH THE EXCEPTION OF THE WINDOW AND DOOR  
FRAMES, DIMENSIONAL SIGNAGE, NATURAL STONE SIDING ACCENTS, AND STUCCO  
ACCENTS.  
PER IDO SECTION 5.2(H)(1)(yb), UP TO 20% OF THE OPAQUE FACADE SQUARE FOOTAGE  
CAN BE ANY COLOR. THE ABOVE CALCULATIONS SHOW THAT ALL TRIM AND ACCENT  
MATERIALS THAT DO NOT HAVE AN LRV BETWEEN 20 AND 50 CONSTITUTE ONLY 13.2%  
OF THE TOTAL OPAQUE SQUARE FOOTAGE OF THE BUILDING'S FACADES.

10	PAINTED HAIRPIN DOORSTOP. COLOR TO BE SELECTED BY ARCHITECT. SEE DETAIL C4/AS502.	22	ALUMINUM BREAK METAL.
11	24 GA. KYNAR FINISHED METAL COPING EDGE, TYP. COLOR TO BE SELECTED BY ARCHITECT. <span style="color: red;">TO MATCH COLOR OF WALL</span>	23	SHADE STRUCTURE CONSTRUCTED OF CORTEN TUBE STEEL AND PLATE STEEL. SEE STRUCTURAL SHEETS S-104 AND AS401.
12	ALUMINUM WINDOW FRAME. SEE WINDOW FRAME ELEVATIONS, SHEET A-601, FOR DETAILS.	24	CONCRETE COLUMN FOOTER. COLOR TO MATCH STEM WALLS. SEE SHEET S-104.
13	PAINTED HOLLOW METAL DOOR AND ALUMINUM	25	HOSE BIBB. SEE PP102.

- 1 3-COAT PORTLAND CEMENT PLASTER ON METAL LATH ON 2 LAYERS BUILDING PAPER. SEE COLOR SCHEDULE, SHEET A-201.
- 2 CONCRETE STEM WALL. SEE COLOR SCHEDULE. SEE SHEETS A-201 AND S-101.
- 3 ARCHITECTURALLY FINISHED BOARD FORMED CONCRETE WALL. INTEGRAL COLOR TO MATCH STEM WALLS. SEE SPECIFICATIONS. SEE SHEET S-201.
- 4 24" X 48" X 3/8" PORCELAIN WALL TILE INSTALLED IN 12" OFFSET OVER WEATHER AND CRACK ISOLATION MEMBRANE. USE 1/4" GROUT LINES WITH 1/4" EXPANSION JOINTS EVERY 8'-0". SEE SPECIFICATIONS. SEE COLOR SCHEDULE.
- 5 SURFACE MOUNTED EXTRUDED ANODIZED ALUMINUM BUILDING SIGNAGE. LETTERS TO BE 18" HIGH, FONT STYLE TO BE ARIAL. COLOR TO BE DARK BRONZE. SEE SECTION A21A-305 FOR DETAILING. WALL TO BE RECESSED AT SIGNAGE, AS SHOWN.
- 6 MECHANICAL EQUIPMENT IS ROOF MOUNTED AND WILL BE SCREENED BEHIND HIGH PARAPET WALLS. SEE SHEET A-105 FOR LOCATIONS OF EQUIPMENT ON ROOF PLANT.
- 7 CORTEN STEEL FACED WALL. EXTERIOR METAL PANEL ROUGHEN FACADE. SIMILAR TO NORTH CLAD. SEE SPECIFICATIONS.
- 8 CORTEN TUBE STEEL COLUMN. SEE SHEET S-104.
- 9 EXTERIOR VIDEO CAMERA, WALL MOUNTED AT 14'-0" AFF. COORDINATE WITH ELECTRIC AND OPTICAL SYSTEMS PLAN, SHEET ET101. SEE SPECIFICATIONS. SEE DETAIL C21A-503.



**COPY OF THE  
OFFICIAL NOTICE OF DECISION  
ASSOCIATED WITH THE  
PRIOR APPROVAL**



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT**  
**URBAN DESIGN & DEVELOPMENT DIVISION**  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339

## OFFICIAL NOTIFICATION OF DECISION

January 10, 2018

City of Albuquerque, DMD  
Pat Montoya  
1 Civic Plaza NW  
Albuquerque, NM 87102

**Project #2018-001760**  
SI-2018-00223 – Site Plan for Building Permit

### LEGAL DESCRIPTION:

Tract A Singing Arrow Park, Canada Village Second Unit, zoned NR-PO-A, located at 13,001 Singing Arrow Ave. SE, between Dorado Pl. SE, and Four Hills Rd. SE, containing approximately 16 acres. (L-22)

and

Tract F-1 Replat of Tracts F, H-1, J and unplatted land, Four Hills Village Shopping Center and Apartment Complex, zoned MX-M, located at 13,200 Wenonah Ave. SE, between Dorado Pl. SE, and Four Hills Rd. SE, containing approximately 1.4 acres. (L-22)

Staff Planner: Russell Brito

On January 10, 2018 the Environmental Planning Commission (EPC) voted to Approve Project 2018-001760/SI-2018-00223, Site Plan - EPC, based on the following findings:

1. The request is for a site plan for an approximately 14,716 square foot building on a portion of a larger, approximately 16 acre site known as Singing Arrow Park. The City of Albuquerque owns Singing Arrow Park, zoned NR-PO-A, and proposes to develop a new community center on a portion of the park's northeastern side. A community center is a permissive use in the NR-PO-A zone district.
2. An approximately 1.4 acre parking lot, which the City acquired to provide parking for the proposed community center, is also part of the subject site. The parking lot, zoned MX-M, is located directly north of the proposed location for the community center. The existing community center building, which will remain, is approximately 12,360 sf and is sited at the western side of the park. A community center is a permissive use in the MX-M zone district.
3. Both sites, Singing Arrow Park and the parking lot, are included in the proposed site plan, which is in the Environmental Planning Commission (EPC) process because the subject



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**Project #2018-001760**

**January 10, 2018**

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site is greater than five acres in size and is located adjacent to designated Major Public Open Space (MPOS) [IDO 14-16-6-6(H)(1)(a)].

4. The subject site is located in both an Area of Change (the parking lot) and an Area of Consistency (the park) as designated in the Comprehensive Plan. The Major Public Open Spaced (MPOS) Plan also applies.
5. The Albuquerque/Bernalillo County Comprehensive Plan, the MPOS Plan, and the Integrated Development Ordinance are incorporated herein by reference and made part of the record for all purposes.
6. The EPC continued the case from the December 13, 2018 hearing to allow time for review of the minor changes and updates to the site plan.
7. The Site Plan – EPC application is consistent with the ABC Comp Plan and complies with all applicable provisions of the IDO, including but not limited to Site Design and Sensitive Lands, parking, and landscape standards per IDO Section 14-16-6-6(H)(3).
8. The request is consistent with the following Comprehensive Plan Goal and policy in Chapter 4- Community Identity:
  - A. Goal 4.1-Character: Enhance, protect, and preserve distinct communities.

The community surrounding Singing Arrow Park is distinct based on its location near the Tijeras Arroyo and its diversity. It includes single-family homes (smaller and larger lots), and multi-family apartments. Generally, improvements to the park will help enhance the community by providing additional services that will contribute to protecting and preserving the community's distinct identity.
  - B. Policy 4.1.5- Natural Resources: Encourage high-quality development and redevelopment that responds appropriately to the natural setting and ecosystem functions.

The request would result in high-quality development that will respond appropriately to its natural setting because it is required to comply with the IDO Design Standards for Site Design and Sensitive Lands, which help ensure this compatibility between development, its setting, and the ecosystem around it.
9. The request is consistent with the following Comprehensive Plan Goals and policies in Chapter 5- Land Use:
  - A. Goal 5.2-Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

A community center generally fosters complete communities where residents can live, work, learn, shop, and play because it is a use that contributes to a sense of community



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and provides opportunities for residents to come together in various ways.

- B. Policy 5.2.1 -Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.**

The proposed community center will contribute to creating a healthy and sustainable community by providing additional services that enhance the existing community center's offerings. The location is accessible by transit and is within walking distance from many single-family and multi-family residences in the surrounding neighborhoods.

- C. Goal 5.3-Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.**

The request will promote development patterns that maximize the utility of existing infrastructure because it will use existing infrastructure near the park's northern boundary and be sited on land that is already developed as a park, thus not altering existing development patterns in the area. The parking lot will become part of the City facilities and serve as a link to existing transit stops, all which generally will promote the efficient use of land to support the public good.

- D. Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.**

The subject site is in both an Area of Change (the parking lot) and an Area of Consistency (the park). Though not growth, the re-use of the parking lot would be consistent with what is generally expected in Areas of Change. The proposed community center is subject to IDO requirements regarding adjacency to MPOS, which function to ensure that a development is consistent with the intensity of the surrounding area (the park, single-family and multi-family residential uses) and that it reinforces the character of the area.

- E. Policy 5.6.3- Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.**

The park portion of the subject site is located in an Area of Consistency that is outside of a designated Center or Corridor. The area is characterized by single-family homes, multi-family homes, commercial uses, and MPOS (the Tijeras Arroyo). Overall, the request will contribute to enhancing the character of the surrounding neighborhoods because it will support the existing community center and park, which contribute to neighborhood character. The request will also utilize and clean-up the existing parking lot, which would also contribute to protecting and enhancing neighborhood character.



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- 10. The request is consistent with the following, applicable Goal and policy from Chapter 7- Urban Design:**

- A. Goal 7.5-Context-Sensitive Site Design: Design sites, buildings, and landscape elements to respond to the high desert environment.**
- B. Policy 7.5.1- Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.**

Due to the subject site's adjacency to MPOS, certain IDO requirements (in addition to general requirements regarding building design, parking, landscaping, and dimensional standards) apply. Section 5-2: Development Standards for Site Design and Sensitive Lands contain requirements to ensure that development is sensitive to its special context and responds to the high-desert environment, including landscape treatments.

- 11. The request is consistent with the following, applicable Goals and policy from Chapter 10- Parks & Open Space:**

- A. Goal 10.1-Facilities & Access: Provide parks, Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.**

The request will provide a community center, which will have a variety of recreation facilities (outdoor, indoor, meeting rooms) that will be available to all area residents who want to participate. The natural resources in the remaining, approximately 15 acres of the park and the adjacent MPOS are not a part of the request. The Parks & Recreation Department has issued an RFP to update the previous archaeological survey.

- B. Goal 10.2-Parks: Provide opportunities for outdoor education, recreation, and cultural activities that meet community needs, enhance quality of life, and promote community involvement for all residents.**

The request will facilitate development of a new community center that will provide additional services for more area residents, and therefore there will be more opportunities for residents to engage in outdoor education, recreation, and cultural activities related to the community center, the park, and the adjacent open space.

- C. Policy 10.2.2- Security: Increase safety and security in parks.**

The proposed community center will provide a presence in the eastern side of the park, and would have lighting, people coming and going, and Staff to provide "eyes on the street". The vacant parking lot will be re-used and become part of the new community facility, so it will be less of a nuisance to neighbors.

- D. Goal 10.3-Open Space: Protect the integrity and quality of the region's natural features and environmental assets and provide opportunities for outdoor recreation and education.**

The Tijeras Arroyo and its associated open space is a regional natural feature and



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**January 10, 2018**

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environmental asset adjacent to the subject site. The request will help to protect it by providing community uses, such as the proposed facility, at the northernmost edge of the park that is closest to existing development.

**12. The request is consistent with the following, applicable Goal and policy from Chapter 11- Heritage Conservation:**

- A. Goal 11.4-Archaeological & Paleontological Resources: Identify, acquire, and manage significant archaeological and paleontological sites for research, education, tourism, and recreational use.**

The subject site contains an identified, significant archaeological site, which has been documented previously. An archeological certificate is required and is included with the request, which will facilitate development of a community facility that would provide additional opportunities for education and recreational use.

- B. Policy 11.4.2 -Proactive Protection: Identify, evaluate, and protect archaeological and paleontological sites and items on a proactive, ongoing basis.**

An archaeological certificate is required and is included with the request, which acknowledges that existing archaeological site on the subject site. The Open Space Division has determined that the request would not adversely affect the existing archaeological site, which has been previously evaluated and would continue to be protected on a proactive, on-going basis.

**13. The request is consistent with the following, applicable Goal from Chapter 12- Infrastructure, Community Facilities & Services**

**Goal 12.2-Community Facilities: Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.**

The request will provide a community facility that promotes community involvement and generally has convenient access for nearby residents and would offer a wide range of programs, from children's programs, to a fitness center, to meeting spaces, which all residents can participate in to enhance their quality of life.

**14. The request will be consistent with the following policies provided that some site improvements are incorporated:**

- A. Policy 5.6.2-Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.**

The parking lot portion of the subject site is in a designated Area of Change. The parking lot will become part of the proposed community center facility and will be re-developed and re-activated. Therefore, the request is consistent with Policy 5.6.2-Areas of Change.



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**January 10, 2018**

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**B. Policy 7.2.1- Walkability: Ensure convenient and comfortable pedestrian travel.**

The proposed design would generally provide for walkability near the new center's entrance and around it. The existing parking lot does not have dedicated pedestrian connections to the center, but the pedestrian path along the east side of the parking area provides some connectivity. Maintaining a pedestrian connection from the north to the community center is important to promote and support walkability in the area. For neighbors to the east, pedestrian travel would be convenient and comfortable. For those coming from the north or west, improved connections to the pedestrian path will ensure convenient, comfortable, and safe pedestrian travel.

**15. The request furthers Goal 3 of the Major Public Open Space (MPOS) Facility Plan: Identify community needs and desires related to MPOS.**

Part of the development process for the proposed community center consisted of public involvement of area residents. Throughout the process, including public meetings and hearings, residents have expressed concern about how the request relates to the archaeological site. This community need is related to the MPOS, because its preservation is essential to maintaining the integrity of the archaeological site. The Parks & Recreation Department has issued an RFP to update the previous archaeological survey.

**16. The applicant notified the following affected neighborhood organizations as required: the Coronado Terrace Homeowners' Association (HOA), the Willow Wood Neighborhood Association (NA), the Singing Arrow NA, the Juan Tabo Hills NA, the Sandia Vista NA, the Mirabella Miravista NA, the Four Hills Village HOA, the Supper Rock NA, the Hidden Valley Community Services Association, Inc., and the East Gateway Coalition. Property owners within 100 feet of the subject site were also notified as required.**

**17. A facilitated meeting was held on November 29, 2018. Meeting participants had differing views about the proposed project. Those opposed are skeptical about the process and question the need for a new community center, some do not want a community center on the eastern edge of the park so close to their neighborhood. Other participants expressed support for the childrens' programs that would be offered. Specific details are included in the facilitated meeting report.**

**18. The Planning Department has received both letters of opposition and letters of support for the community center site plan.**

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **JANUARY 25, 2018**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6 of the IDO,



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**January 10, 2018**

**Page 7 of 8**

Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,

  
David S. Campbell  
Planning Director

DSC/RB

cc: COA, Dept. Municipal Development (DMD), Attn: Pat Montoya, 1 Civic Plaza, ABQ, NM 87102  
Consensus Planning, Inc, 302 Eight St., NW, ABQ, NM 87102  
Coronado Terrace HOA, Debra Sessa, 13100 Calle Azul SE, ABQ, NM 87123  
Coronado Terra HOA, Bob Martinson, 13104 Calle Azul SE, ABQ, NM 87123  
Willow Wood NA, Samatha Martinez, 823 Glacier Bay St. SE, ABQ, NM 87123  
Willow Wood NA, Jonathan Hollinger, 11700 Isle Royale Rd SE, ABQ, NM 87123  
Singing Arrow, Ilena Estrella, 12928 Marva Pl. SE, ABQ, NM 87123  
Singing Arrow, Wanda Umber, 12520 Piru SE, ABQ, NM 87123  
Juan Tabo Hills NA, Richard Lujan, 11819 Blue Ribbon NE, ABQ, NM 87123  
Juan Tabo Hills NA, Catherine Cochrane, 11705 Blue Ribbon SE, ABQ, NM 87123  
Sandia Vista NA, Brenda Gebler, P.O. Box 50219, ABQ, NM 87181  
Sandia Vista NA, Lucia Munoz, 316 Dorothy St NE, ABQ, NM 87123  
Mirabella Miravista NA, Laurie Estrada, 11231 Kalibab Rd SE, ABQ, NM 87123  
Mirabella Miravista NA, David McGrogan, 344 Via Vista St. SE, ABQ, NM 87123  
Four Hills Village HOA, Herb Wright, P.O. Box 50505, ABQ, NM 87181  
Four Hills Village HOA, James Cochran, P.O. Box 50505, ABQ, NM 87181  
Supper Rock NA, Kathleen Schindler-Wright, 407 Monte Largo DR. NE, ABQ, NM 87123  
Supper Rock NA, Ken O'Keefe, 600 Vista Abajo Dr. NE, ABQ, NM 87123  
Hidden Valley Community Serv. Asso., Inc., Michael Carroll, 610 Green Valley Dr. SE, ABQ, NM 87123  
Hidden Valley Community Serv. Assoc., Inc. Wayne Plemons, 13332 Lodestone Tr. SE, ABQ, NM 87123  
East Gateway Coalition, Michael Brasher, 216 Zena Lona NE, ABQ, NM 87123  
East Gateway Coalition, James Andrews, 13121 Nandina Ln SE, ABQ, NM 87123  
John Dubois, [jdubois@cabq.gov](mailto:jdubois@cabq.gov)  
Mark Burton, 601 Dorado Pl. SE, ABQ, NM 87123  
Lynn Wilson, 501 Eugene Ct. SE, ABQ, NM 87123  
Bonnie Wilson, 501 Eugene Ct. SE, ABQ, NM 87123



**OFFICIAL NOTICE OF DECISION**

**Project #2018-001760**

**January 10, 2018**

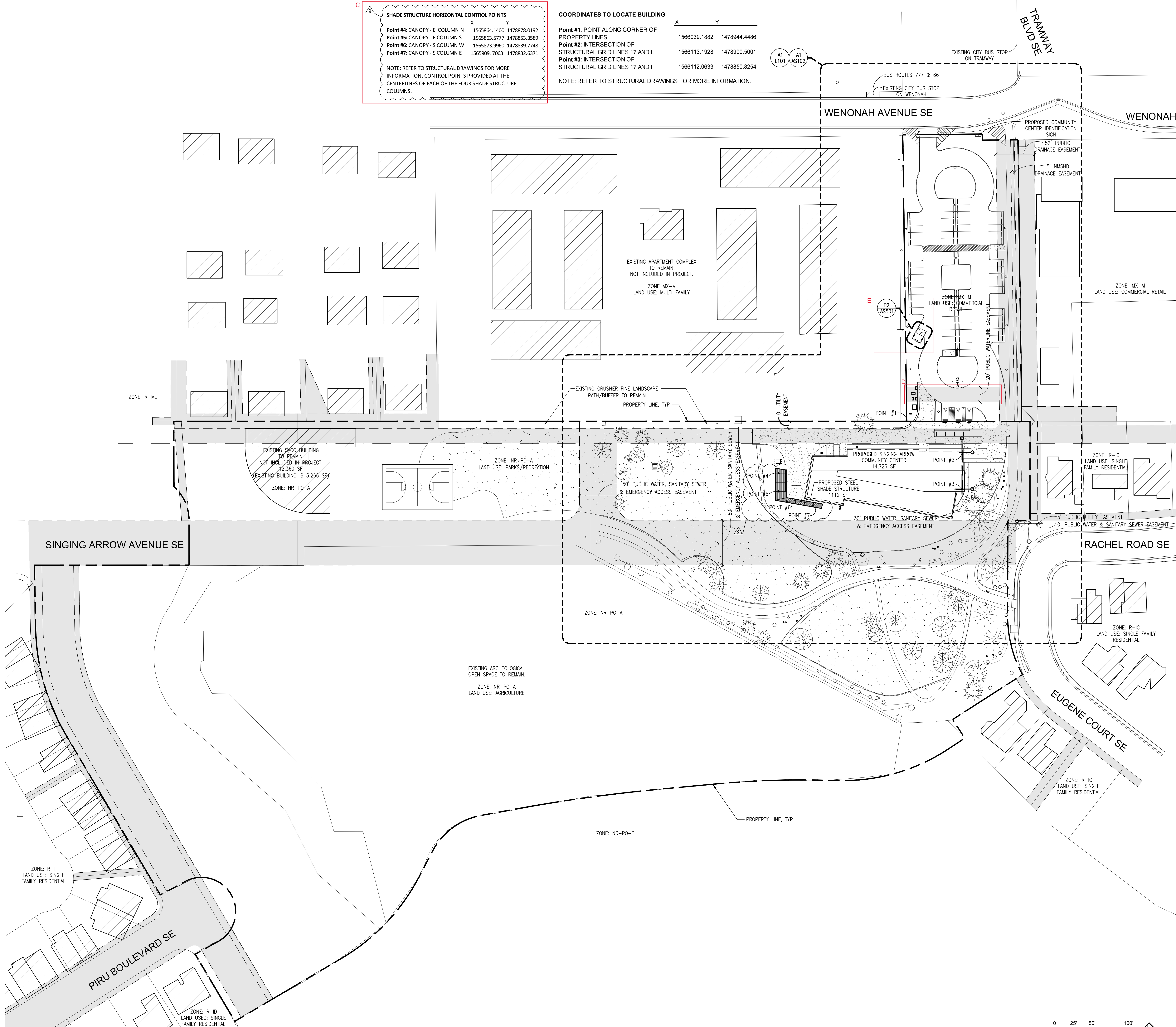
**Page 8 of 8**

Judy Young, 13309 Rachel Rd, SE, ABQ, NM 87123  
Lois Stearns, 1128 Castellano SE, ABQ, NM 87123  
Anita Zadeh, 4323 San Pedro Dr. NE #G101, ABQ, NM 87109  
Michael Jolley, 13700 Covered Wagon SE, ABQ, NM 87123  
Sarah Delgado, 12608 Tomlinson Dr. SE, ABQ, NM 87123  
Paul Delgado, 12608 Tomlinson Dr. SE, ABQ, NM 87123  
Laura Rummmler, 1536 Willyes Knight Dr., ABQ, NM 87112  
Martina Mesmer, 511 Eugene Ct. SE, ABQ, NM 87123  
Ilena Estrella, 933 San Mateo NE Ste 500-224, ABQ, NM 87108  
Christy Sigmon, JKSA, 9717 Indian School Rd NE, ABQ, NM 87112  
Leah Lopez, c/o Christy Sigmon, JKSA, 9717 Indian School Rd NE, ABQ, NM 87112  
Esmeralda Marquez-Chavez, c/o Christy Sigmon, JKSA, 9717 Indian School Rd NE, ABQ, NM 87112  
Amarinth King, c/o Christy Sigmon, JKSA, 9717 Indian School Rd NE, ABQ, NM 87112  
Jahzara Erby, c/o Christy Sigmon, JKSA, 9717 Indian School Rd NE, ABQ, NM 87112  
Layla Rustvoid, c/o Christy Sigmon, JKSA, 9717 Indian School Rd NE, ABQ, NM 87112  
Beyance Berdayes, c/o Christy Sigmon, JKSA, 9717 Indian School Rd NE, ABQ, NM 87112  
Connie Vigil, 1315 2<sup>nd</sup> NW, ABQ, NM 87102  
Debbie Owen, 1621 Catron Ave SE, ABQ, NM 87123  
Peggy Norton, 3810 11<sup>th</sup> St. NW, ABQ, NM 87107  
Moises Gonzales, c/o School of Architecture and Planning, MSC04 2530, 1 University of New Mexico, ABQ, NM 87123  
Colleen Aycock, 1743 Soplo Rd. SW, ABQ, NM 87123



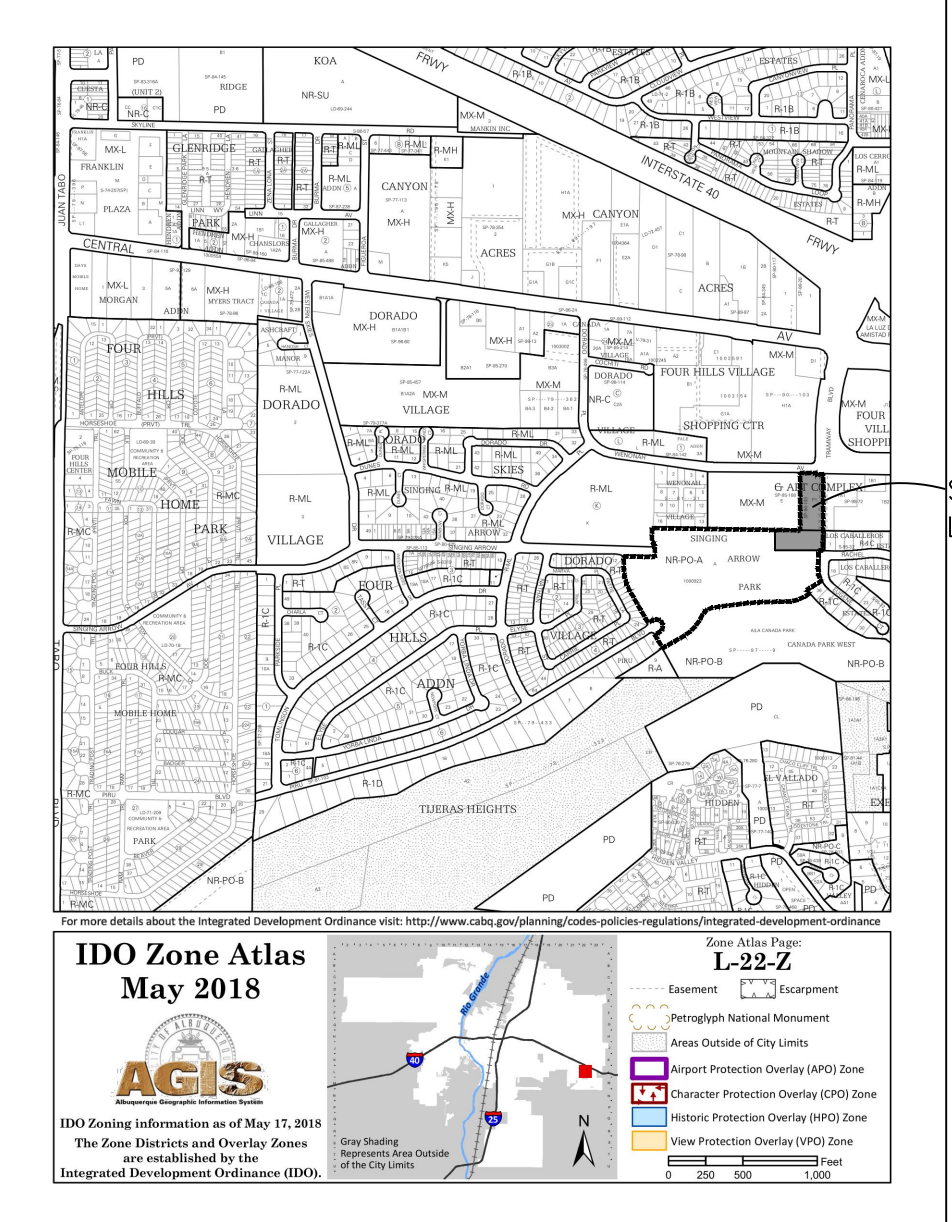
**PROPOSED SITE PLAN WITH  
CHANGES CIRCLED AND  
NOTED**





SHADE STRUCTURE HORIZONTAL CONTROL POINTS		
	X	Y
Point #4: CANOPY - E COLUMN N	1565864.1400	1478878.0192
Point #5: CANOPY - E COLUMN S	1565863.5777	1478853.3589
Point #6: CANOPY - S COLUMN W	1565873.9960	1478839.7748
Point #7: CANOPY - S COLUMN E	1565909.7063	1478832.6371
NOTE: REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION. CONTROL POINTS PROVIDED AT THE CENTERLINES OF EACH OF THE FOUR SHADE STRUCTURE COLUMNS.		

COORDINATES TO LOCATE BUILDING		
	X	Y
Point #1: POINT ALONG CORNER OF PROPERTY LINES	1566039.1882	1478944.4486
Point #2: INTERSECTION OF STRUCTURAL GRID LINES 17 AND L	1566113.1928	1478900.5001
Point #3: INTERSECTION OF STRUCTURAL GRID LINES 17 AND F	1566112.0633	1478850.8254
NOTE: REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.		



### GENERAL SHEET NOTES

- A. ZONING PER CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE ZONE ATLAS PAGE L-22-Z, THE PARK SITE IS ZONED NR-PO-A FOR PARKS & RECREATION LAND USE, AND THE EXISTING PARKING LOT IS ZONED MX-M FOR COMMERCIAL RETAIL LAND USE.
- B. LEGAL DESCRIPTIONS FOR EACH PARCEL:
- NR-PO-A: TRACT A PLAT OF TRACT A SINGING ARROW PARK LOCATED WITHIN CANADA VILLAGE SECOND UNIT CONT 15.9407 AC.
- MX-M: TR F-1-1 REPL OF TRS F, H-1, J & UNPLATTED LAND FOUR HILLS VILLAGE SHOPPING CENTER & APARTMENT COMPLEX CONT 1.3847 AC M/L
- C. THE SINGLE VEHICULAR INGRESS AND EGRESS POINT TO THE SITE IS EXISTING AND WILL REMAIN. NO NEW CURB CUTS WILL BE INSTALLED.
- D. ALL PEDESTRIAN SIDEWALKS AND PATHWAYS ARE EXISTING TO REMAIN.
- E. CONDITIONS AND TERMS OF ALL EXISTING UTILITY EASEMENTS IN OR ADJACENT TO THE SITE ARE TO BE ABIDED BY.
- F. CONTRACTOR MUST CONTACT PNW'S NEW SERVICE DELIVERY DEPARTMENT PRIOR TO INITIATING ANY WORK ON SITE. COORDINATE ALL ELECTRICAL SERVICE REGARDING THIS PROJECT.
- G. THERE ARE TWO BUS STOPS NEAR THE WENONAH AND TRAMWAY INTERSECTION. THESE SERVE THE 777 AND 66 ROUTES.
- H. THE CITY SHALL TAKE STEPS TO PREVENT DISTURBANCE OF SOIL AND VEGETATION ON THE ADJACENT MAJOR PUBLIC OPEN SPACE DURING CONSTRUCTION. PURSUANT TO IDO 5-2(h)(2)(a)(11), "THE CITY IS RESPONSIBLE FOR MITIGATING ANY DISTURBANCE THAT DOES OCCUR." A GRADING AND DRAINAGE PLAN SHALL BE APPROVED BY CITY HYDROLOGY PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- I. PEDESTRIAN ACCESS SHALL BE VIA THE EXISTING PEDESTRIAN TRAIL SYSTEM THROUGH THE PARK AND OUT TO WENONAH AVENUE VIA THE EXISTING TRAIL ON THE EAST SIDE OF THE PARKING LOT.
- K. THE PORTION OF THE EXISTING PARK BEING DEVELOPED FOR THE NEW COMMUNITY CENTER IS APPROXIMATELY 1.045 ACRES.

### LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING BUILDING TO REMAIN; NOT PART OF PROJECT
- EXISTING GRASS
- CLEAR SITE TRIANGLES
- AREA OF ENLARGED PLAN; SEE ENLARGED SITE PLAN/SHEET AS102; LANDSCAPE PLAN/SHEET L101; & REFUSE ENCLOSURE ENLARGED PLAN/SHEET AS501
- EXISTING TREES AND SHRUBS TO REMAIN

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230 gold avenue nw albuquerque, nm 87102  
505.842.1275 fax 505.768.9268  
www.cherryseereames.com

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY	DATE:
MICRO-FILM INFORMATION	DATE:
RECORDED BY	DATE:
NO.	

### BENCH MARK

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	



BY	DATE
NO.	
REVISIONS/REMARKS	
NO.	DATE
AS1	106 REV
6/26/2020	
DESIGNED BY: TMR	DATE: 11/11/2018
DRAWN BY: RCB	DATE: 11/17/2018
CHECKED BY: -	DATE: -

CITY OF ALBUQUERQUE / FAMILY & COMMUNITY SERVICES SINGING ARROW COMMUNITY CENTER			
TITLE: OVERALL SITE PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	NO. DATE / REV.
			100% DD 2/15/2019
			50% CD 4/15/2019
			95% CD 7/15/2019
			100% CD 9/3/2019
City Project No. 5441.95	Zone Map No. L-22-Z	Sheet AS101	8 of 85

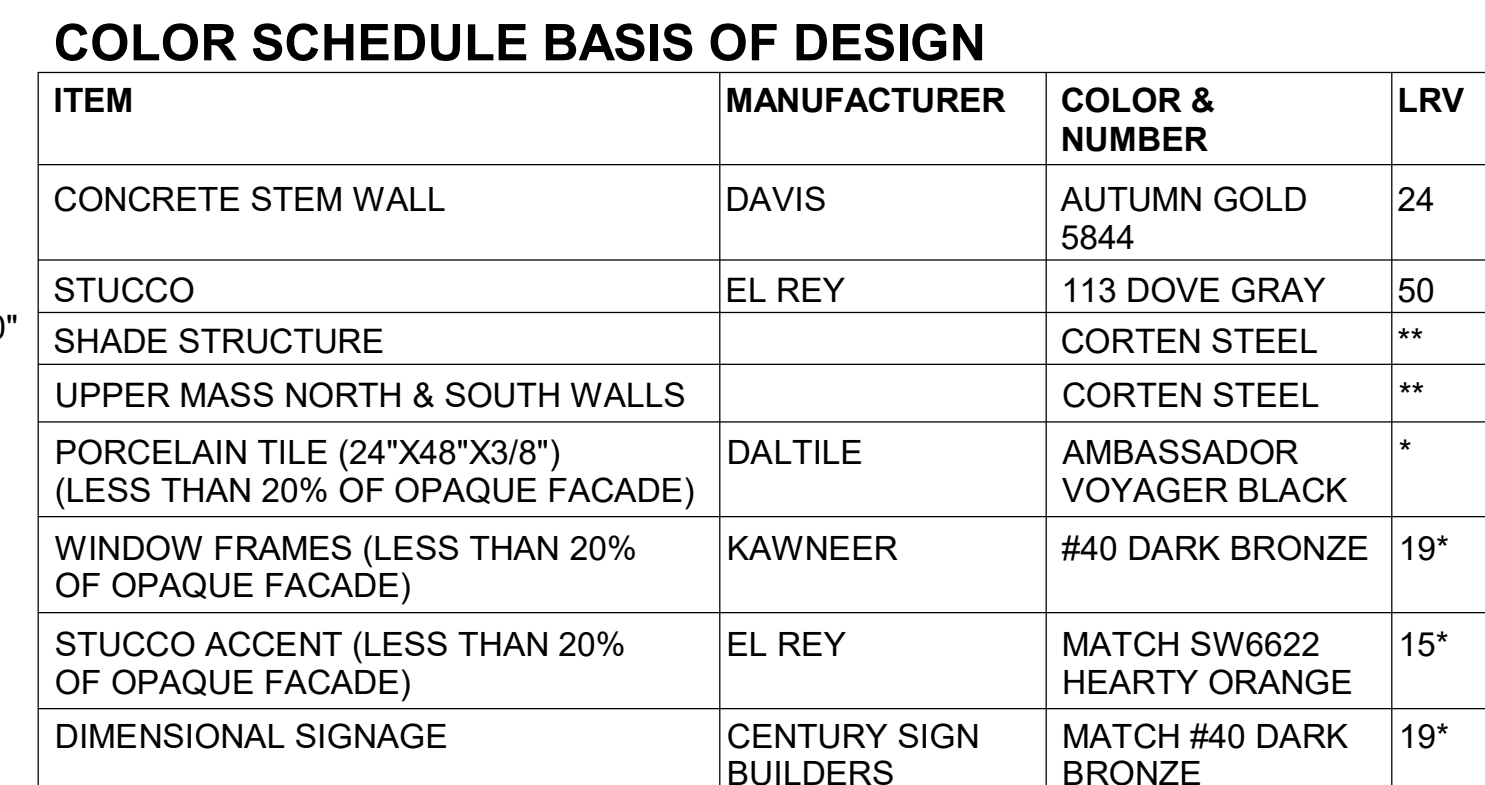












FAÇADE CALCULATIONS					
FAÇADE	TOTAL OPAQUE SF	FRAME SF	TILE SF	DIMENSIONAL SIGNAGE SF	STUCCO ACCENT SF
NORTH	3,866.0	116.0	111	60	0
EAST	1,740.1	36.0	492	0	9.0
SOUTH	4,125.9	97.7	513	0	0
WEST	1,281.4	53.0	44	0	5.4
TOTALS	11,013.4	281.7	1,160.0	60.0	14.4

## GENERAL SHEET NOTES

- A. ALL EXTERIOR WINDOWS AND DOORS TO BE ANODIZED ALUMINUM STOREFRONT. SEE SHEETS A-601 AND A-602, AND SPECIFICATIONS.
  - a. DOOR 114A TO BE A GLAZED SLIDING DOOR.
  - b. DOORS 101A, 118, AND 121B TO BE PAINTED HOLLOW METAL DOORS WITH REINFORCED ALUMINUM FRAMES; COLOR TO MATCH NATURAL STONE.
  - c. ALL CLERESTORY WINDOWS TO BE INSULATED TRANSLUCENT SANDWICH PANELS, KALLWALL OR SIMILAR. SEE SPECIFICATIONS.
- B. PER TABLE 5-12-2: "ON-PREMISES SIGNS IN MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS. ZONE DISTRICT NR-PO SHOULD BE PER APPROVED PLAN."
  - a. TOTAL SOLID FOOTAGE OF NORTH FACADE = 4,292 SF
  - b. TOTAL SQUARE FOOTAGE OF SIGN = 80 SF
  - c.  $60 \text{ SF}/4,292 \text{ SF} = 0.014 = 1.4\% \text{ OF FACADE AREA}$
- C. CORTEN STEEL NATURALLY PATINATES TO BE A REDDISH BROWN COLOR. ACCELERATE CORTEN STEEL WEATHERING PRIOR TO INSTALLATION. SEAL WITH POR-15 CLEAR COAT TO INHIBIT RUST DIPS.
- D. APPLY ANTI-GRAFFITI FILM AT ALL EXTERIOR GLAZING TO A HEIGHT OF 8'-0" AFF. SEE SPECIFICATIONS.
- E. APPLY ANTI-GRAFFITI TREATMENT AT ALL EXTERIOR WALLS AND OTHER BUILD SURFACES TO A HEIGHT OF 8'-0" AFF. THIS INCLUDES AT ALL STUCCO, EXTERIOR WALL TILE, CONCRETE STEM WALL, WINDOW FRAMES, DOORS AND DOOR FRAMES, AND CORTEN TUBE STEEL AND PANELS. SEE SPECIFICATIONS.
- F. AT STUCCO WALLS, CARRY THE FINISHED GROUND STEM WALL A MINIMUM OF 6" BELOW FINISHED GROUND.
- G. SEE FLOOR PLAN FOR HORIZONTAL DOOR STOP LOCATIONS.
- H. FIELD VERTICAL ANGLE OF SLANTED COLUMNS (SEE KN 8, THIS SHEET), SLANTED COLUMNS TO BE LOCATED IN CENTER OF ASSOCIATED SLANTED WALLS.

