



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input checked="" type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Meri C Fox-Szauter or Jeremy Pollaro, SignPlex LLC		Phone: (505) 341-0213
Address: 4901 Edith BLVD NE		Email: meri@signplex.biz or jeremy@signplex.biz
City: Albuquerque	State: NM	Zip: 87107
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

Approval of installation of non-illuminated, dimensional letters and logo on South building facade and installation of non-illuminated printed DiBond signs on west facade over bay doors.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <small>TH C BULK LAND PLAT OF TRACTS A THRU D MERIDIAN BUSINESS PARK & SUBDIVISION OF LOT 3 & TRACTS B-1A, B-2A, & ATRUSCO BUSINESS PARK UNIT 2 (AKA 7601 LOS VOLCANES CONDOMINIUM)</small>	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101005814917430701
Zone Atlas Page(s): J10	Existing Zoning: NR-BP (Was IP)	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 22.43

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 7601 Los Volcanes RD NW, Unit C, Suite 102	Between: Los Volcanes RD NW	and: Gallatin PL NW (Ben E Keith Way - New Name?)
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

2018: PR-2018-001914; SI-2019-00040; Current Application: GP-2020-23407

Signature:	Date: 7/9/2020
Printed Name: Jeremy Pollaro	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-00597	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2018-01914

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - ☒ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
 - ☒ Copy of the Official Notice of Decision associated with the prior approval
 - ☒ Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
 - ☐ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
 - ☐ Copy of the Official Notice of Decision associated with the prior approval
 - ☐ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature:

Date:

Printed Name: Jeremy Pollaro

☒ Applicant or ☐ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

PR-2018-01914

SI-2020-00597

Staff Signature:

Date:





BRUNACINI CO.

July 7, 2020

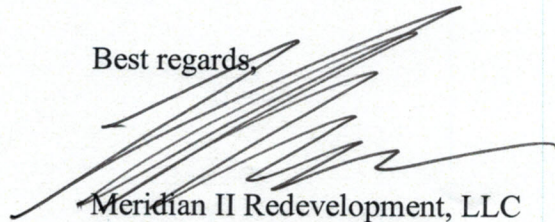
Sun Country Industries, LLC
Attn: Kevin Frank, Controller
7601 Los Volcanes Road NW,
Unit C, Suite 102
Albuquerque, NM 87121

RE: Approval for Bay Door Signage at 7601 Los Volcanes Road NW, Unit C, Suite 102, Albuquerque, NM 87121

Good afternoon Kevin,

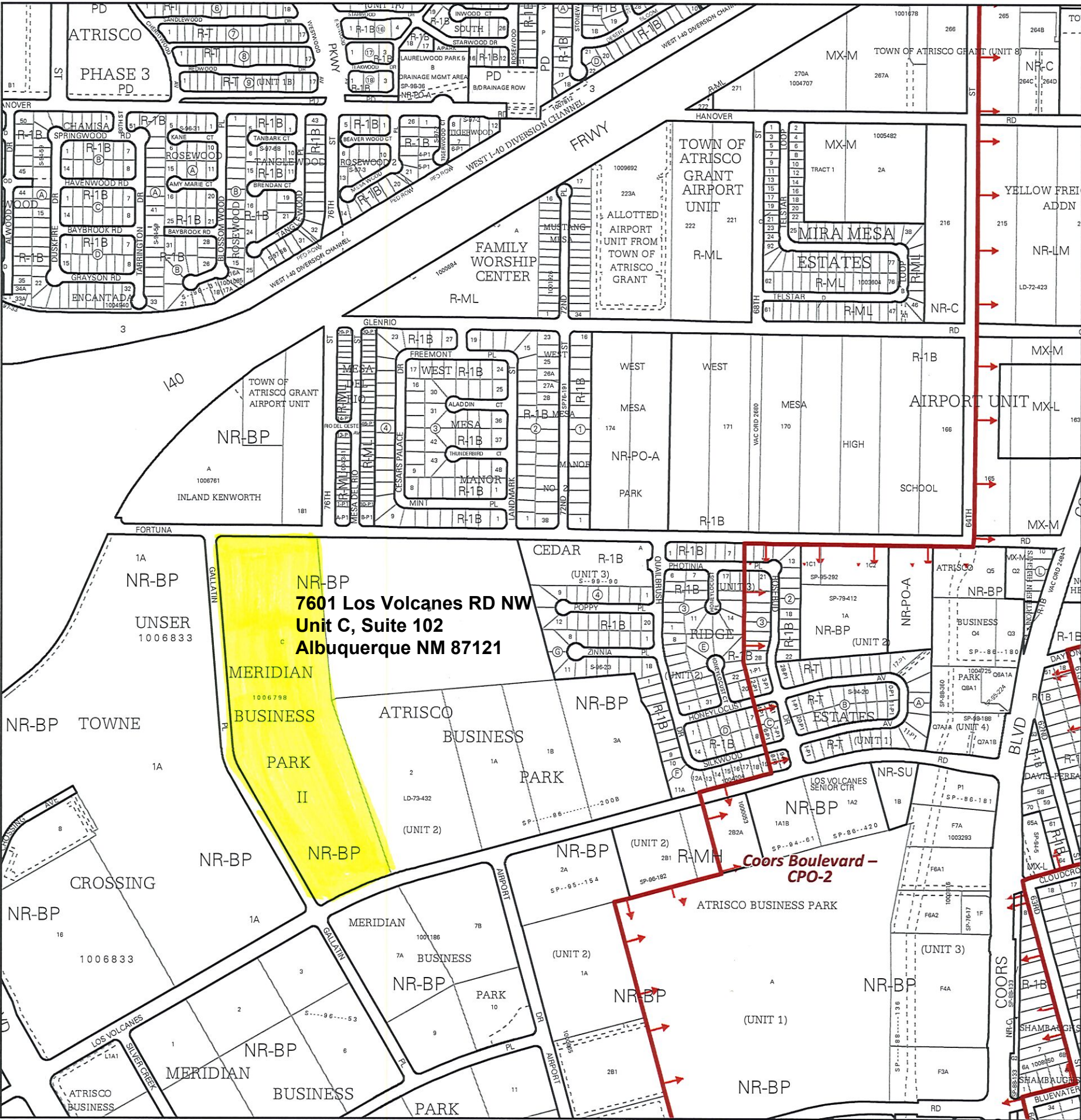
You have owner approval to create two signs for the east side of the building above the two bay doors. Per your submission – one sign will say “incoming” and the other sign will say “outgoing.” Your licensed sign company will affix, in a professional manner, the two City approved signs to the concrete tilt up wall above the bay doors using four small screws per sign.

Best regards,

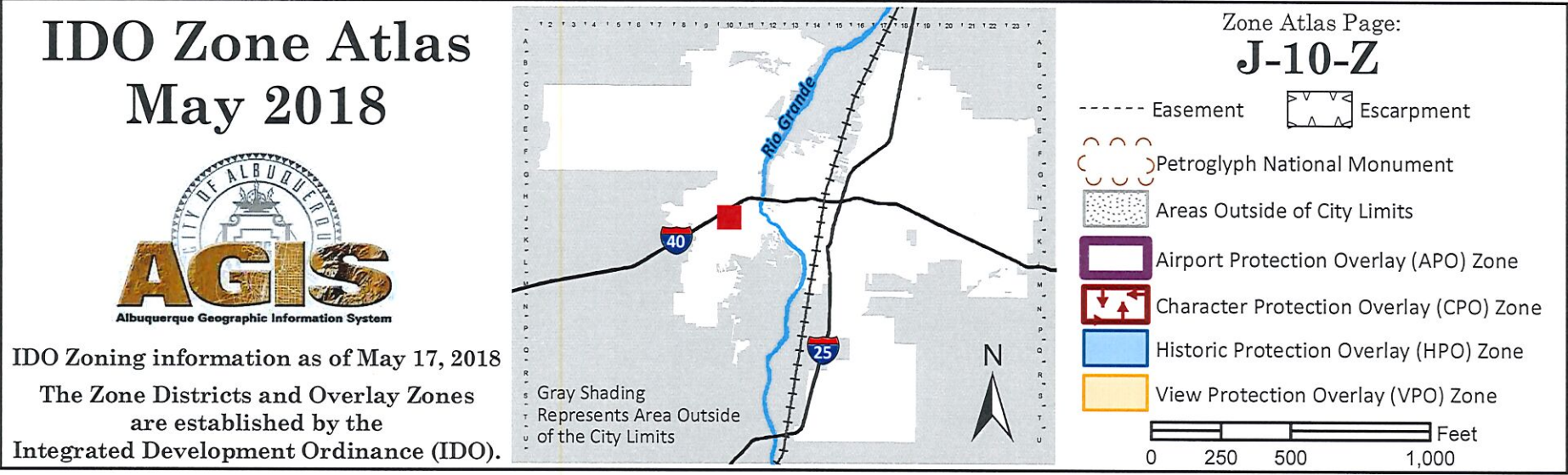


Meridian II Redevelopment, LLC

Angelo Brunacini, Manager



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>





Sun Country Industries, LLC
7601 Los Volcanes Road NW
Unit C, Suite 102
Albuquerque, NM 87121
505-344-1611
www.suncountryindustries.com

7/7/20

To whom it may concern,

Our request for an Incoming & Outgoing sign is to direct the freight companies to utilize the correct bay door at our facility. As a manufacturing company, we are required to separate out our incoming Raw Material inventory from our outgoing Finished Goods inventory to ensure there is no mix. Our building's indoor storage racks have been similarly segregated and stationed near these two corresponding bay doors. Overall, we are trying to produce a clean and efficient work environment with regulated product flow.

Regards,

Kevin Frank
Controller
Sun Country Industries, LLC
7601 Los Volcanes Rd NW
Unit C, Suite 102
Albuquerque, NM 87121
505-234-9901
kfrank@suncountryindustries.com



June 17, 2020

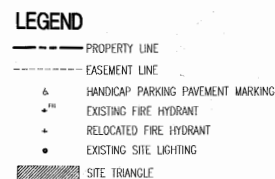
RE: GP-2020-23407 Sun Country Industries – Applicant Revisions

Attached please find the Approved Site Development Plan for the above referenced Sign Permit. Requested information can be found on Pages 1, 13 and 16.

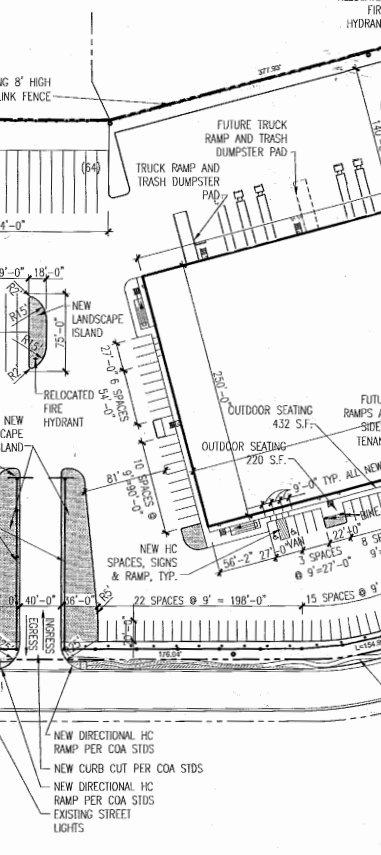
If you have any questions or need further information, please let us know.

Thank you.

Meri C Fox-Szauter
Graphic Designer
meri@signplex.biz
505-341-0213 x206



1. ALL SITE LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-9, AREA LIGHTING REGULATIONS & NIGHT SKY ORDRINANCE.
2. PARKING LOT POLE MOUNTED LIGHTING SHALL BE 20'-0" HIGH, "CARCADO LIGHTING" GLOW TOP MAG 18-1 OR EQUAL IN EARTHSTONE COLOR.
3. PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUMINATION REQUIREMENTS.
4. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR GRILL PROTRUDING BELOW THE BOTTOM OF THE COU-OUT FIGHTURE IN ORDER THAT NO FLIGHTURE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
5. ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDINGS BASIC MATERIALS. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
6. SIGN HANDICAP RAMPS SHALL BE BUILT BY CQA STANDARD DRAWING #2241.
7. STREETLIGHTS SHALL MEET THE FOLLOWING SPECIFICATIONS: GE 100 WATT, BRONZE, LUMEN SHOEBOX TYPE WITH LEXINGTON BRONZE POLE PER PAM SPECIFICATION SLS3.



1. 本行在 2015 年 12 月 31 日止的年度内，共发生 1 宗关联交易，其交易金额占本行 2015 年 12 月 31 日止的年度末净资产的 0.01%，占本行 2015 年 12 月 31 日止的年度末总资产的 0.01%，占本行 2015 年 12 月 31 日止的年度末总负债的 0.01%，占本行 2015 年 12 月 31 日止的年度末所有者权益的 0.01%，占本行 2015 年 12 月 31 日止的年度末总资产的 0.01%，占本行 2015 年 12 月 31 日止的年度末总负债的 0.01%，占本行 2015 年 12 月 31 日止的年度末所有者权益的 0.01%。

EXISTING WROUGHT IRON FENCING WITH STUCCO FINISH PLASTER ON STREET SIDES OF PROPERTY

EXISTING OFFICE WAREHOUSE BUILDING 10' INDUSTRIAL PARK ZONE

EXISTING 4' WIDE SIDEWALK

EXISTING FIRE HYDRANT

ROAD

ROAD SIGN

EXISTING PAVING, PARKING AND ISLANDS

GATE

DRAINAGE

PROJECT

SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT

7601 LOS VOCANES ROAD NW
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE

MARCH 13, 2019

NORTH



SCALE

1"=80'
OR AS NOTED

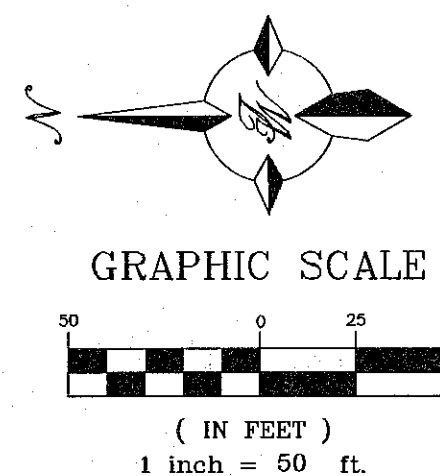
DRAWING NAME

SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT

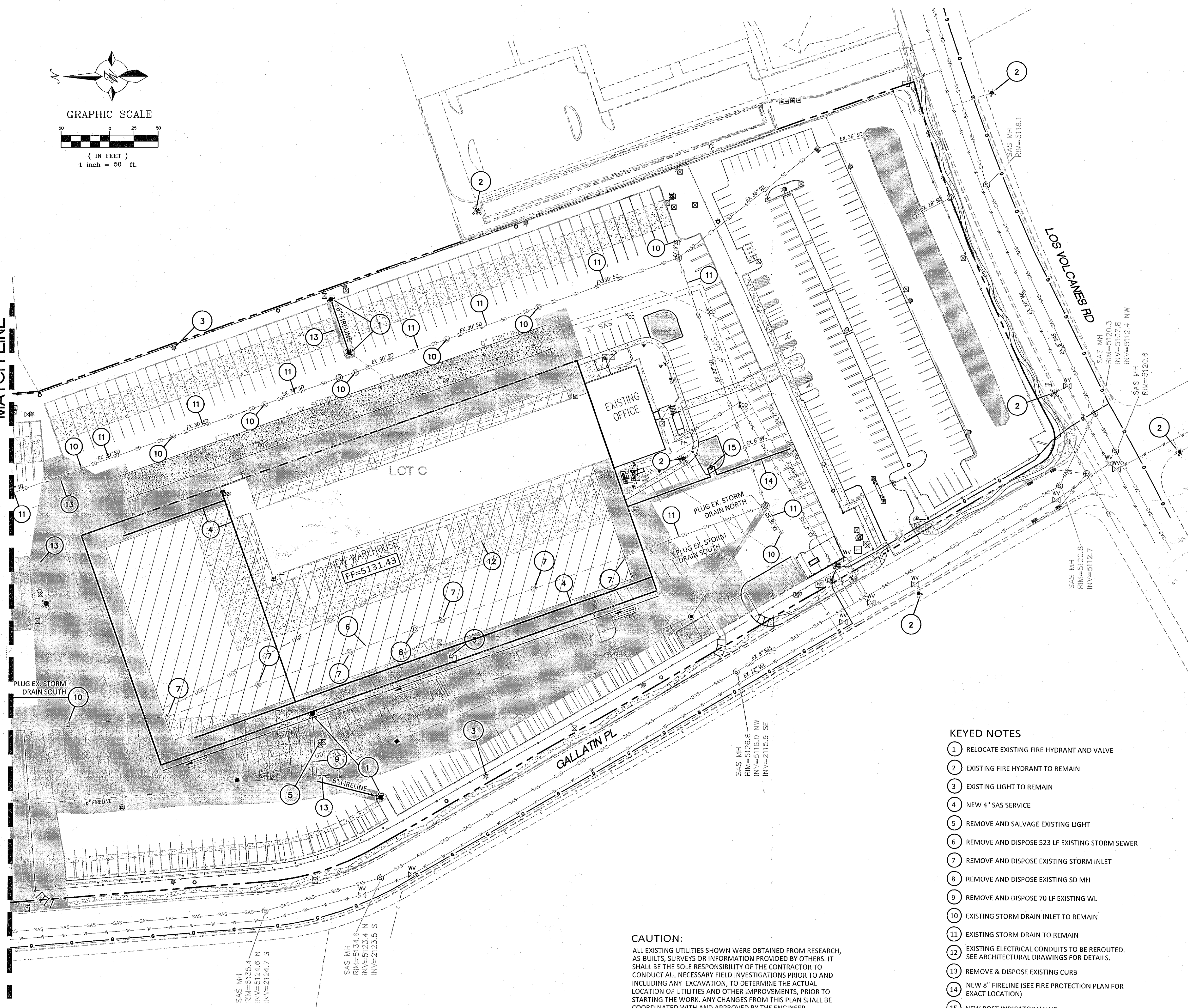
SHEET NUMBER

SDP-1

<div style="text-align: center;">REVISIONS</div>	
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: left;">DATE</div> <div style="text-align: center;">MARCH 13, 2019</div> </div>	
NORTH 	SCALE <div style="display: flex; align-items: center; justify-content: center;"> 1"=80' </div> <div style="text-align: center; font-weight: bold;">OR AS NOTED</div>
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: left;">DRAWING NAME</div> <div style="text-align: center;"> SITE DEVELOPMENT PLAN FOR BUILDING PERMIT </div> </div>	
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: left;">SHEET NUMBER</div> <div style="text-align: center; font-size: 2em; font-weight: bold;">SDP-1</div> </div>	



MATCH LINE



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- CONCRETE
- LIMITS OF ONSITE CONSTRUCTION
- EXISTING CURB & GUTTER
- SD — EXISTING STORM SEWER LINE (TO REMAIN)
- EXISTING STORM SEWER LINE (TO BE REMOVED)
- ADJUST EXISTING MH RIM AND INLET GRATE TO GRADE
- SAS — EXISTING SANITARY SEWER LINE
- EXISTING WATERLINE (TO REMAIN)
- EXISTING WATERLINE (TO BE REMOVED)
- EXISTING ELECTRIC LINE
- EXISTING SINGLE CLEAN OUT
- 8 — DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING LIGHT STANDARD (TO REMAIN)
- EXISTING LIGHT STANDARD (TO BE REMOVED)
- PROPOSED FIRE HYDRANT

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS - CONSTRUCTION TYPE IS II-B

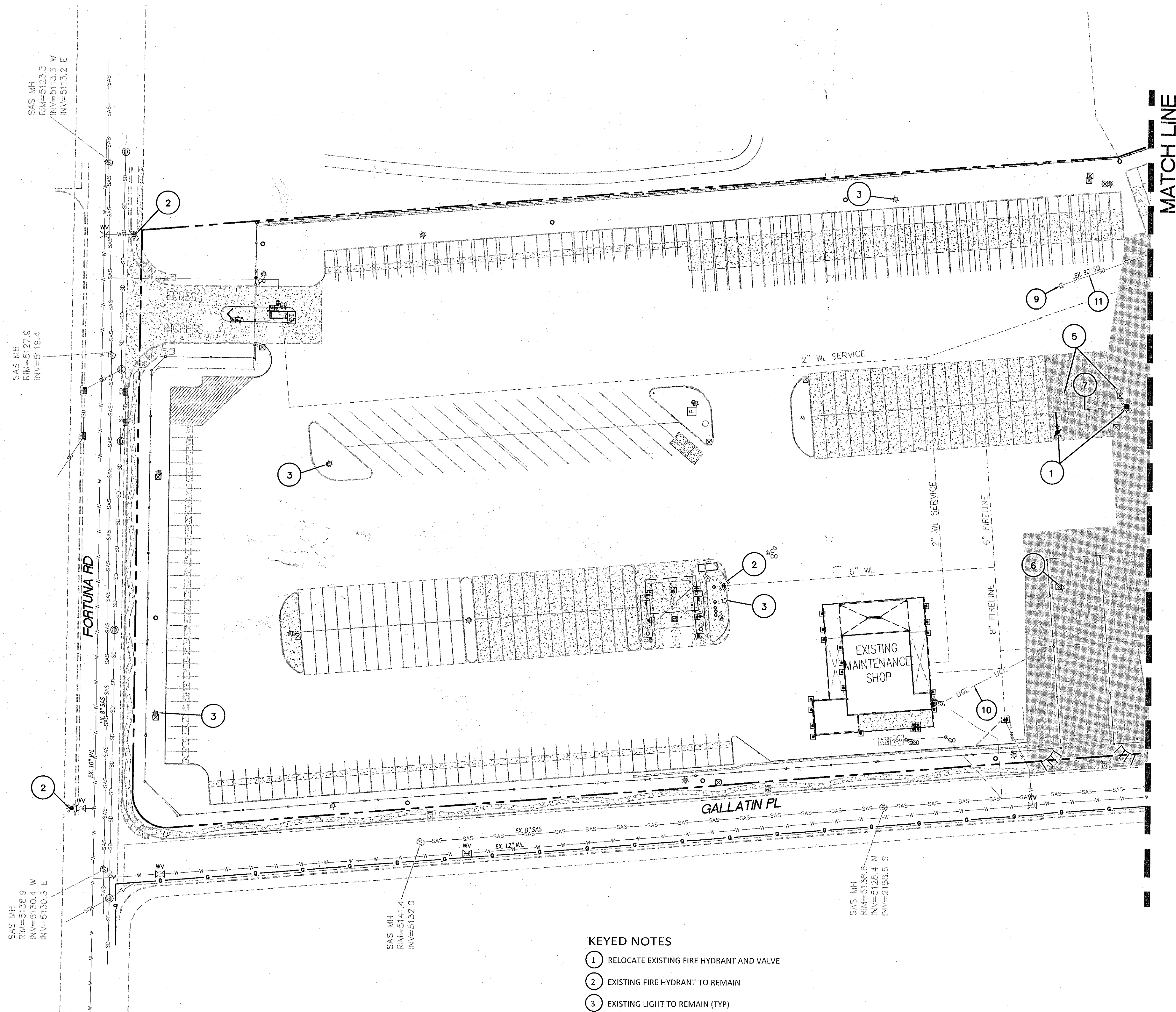
KEYED NOTES

- 1 RELOCATE EXISTING FIRE HYDRANT AND VALVE
- 2 EXISTING FIRE HYDRANT TO REMAIN
- 3 EXISTING LIGHT TO REMAIN
- 4 NEW 4" SAS SERVICE
- 5 REMOVE AND SALVAGE EXISTING LIGHT
- 6 REMOVE AND DISPOSE 523 LF EXISTING STORM SEWER
- 7 REMOVE AND DISPOSE EXISTING STORM INLET
- 8 REMOVE AND DISPOSE EXISTING SD MH
- 9 REMOVE AND DISPOSE 70 LF EXISTING WL
- 10 EXISTING STORM DRAIN INLET TO REMAIN
- 11 EXISTING STORM DRAIN TO REMAIN
- 12 EXISTING ELECTRICAL CONDUITS TO BE REROUTED. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 13 REMOVE & DISPOSE EXISTING CURB
- 14 NEW 8" FIRELINE (SEE FIRE PROTECTION PLAN FOR EXACT LOCATION)
- 15 NEW POST INDICATOR VALVE

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>7601 LOS VOLCANES RD NW ALBUQUERQUE, NM 87121</p> <p>MASTER UTILITY PLAN</p> <p>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>DRAWN BY pm</p> <p>DATE 1-25-19</p> <p>DRAWING 2018074-MU</p> <p>SHEET # MU-1</p> <p>JOB # 2018074</p>
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LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	CONCRETE
	EXISTING CURB & GUTTER
	EXISTING STORM SEWER LINE (TO REMAIN)
	EXISTING STORM SEWER LINE (TO BE REMOVED)
	ADJUST EXISTING MH RIM AND INLET GRATE TO GRADE
	EXISTING SANITARY SEWER LINE
	EXISTING WATERLINE (TO REMAIN)
	EXISTING WATERLINE (TO BE REMOVED)
	EXISTING ELECTRIC LINE
	EXISTING SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING LIGHT STANDARD (TO REMAIN)
	EXISTING LIGHT STANDARD (TO BE REMOVED)
	PROPOSED FIRE HYDRANT

GENERAL UTILITY NOTES:

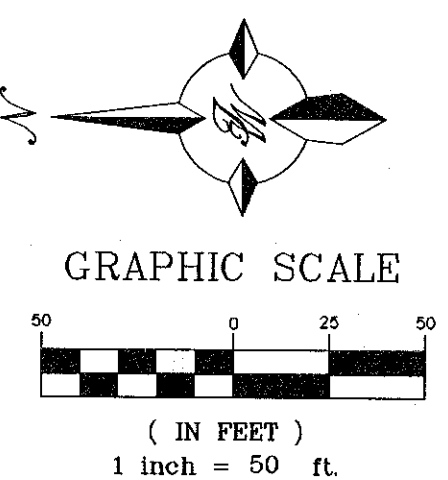
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- ALL BUILDINGS - CONSTRUCTION TYPE IS II-B

KEYED NOTES

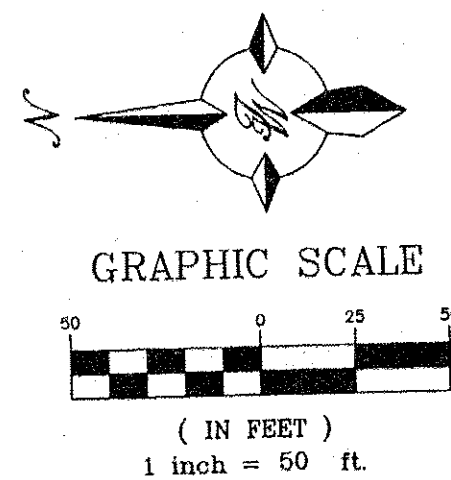
- RELOCATE EXISTING FIRE HYDRANT AND VALVE
- EXISTING FIRE HYDRANT TO REMAIN
- EXISTING LIGHT TO REMAIN (TYP)
- NEW 4" SAS SERVICE
- REMOVE AND SALVAGE EXISTING LIGHT
- REMOVE AND SALVAGE EXISTING LIGHT
- REMOVE AND DISPOSE 62 LF EXISTING WL
- EXISTING STORM DRAIN TO REMAIN
- EXISTING STORM DRAIN INLET TO REMAIN
- EXISTING ELECTRICAL CONDUITS TO BE REROUTED. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.

CAUTION:

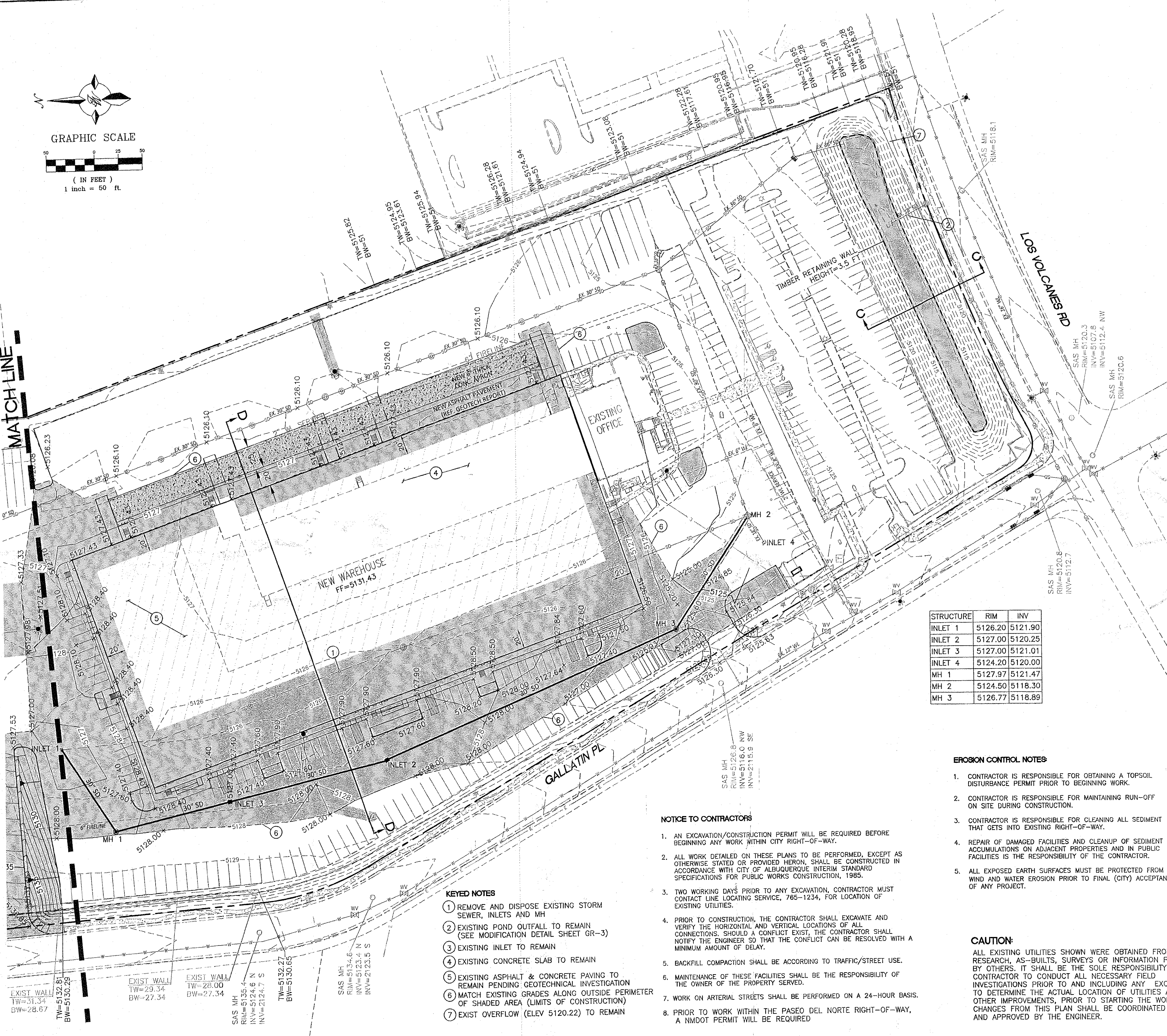
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ENGINEER'S SEAL	7601 LOS VOLCANES RD NW ALBUQUERQUE, NM 87121	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 1-25-19
		DRAWING 2018074-MU
		SHEET # MU-2
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2018074



MATCH LINE



KEYED NOTES

- 1 REMOVE AND DISPOSE EXISTING STORM SEWER, INLETS AND MH
- 2 EXISTING POND OUTFALL TO REMAIN (SEE MODIFICATION DETAIL SHEET GR-3)
- 3 EXISTING INLET TO REMAIN
- 4 EXISTING CONCRETE SLAB TO REMAIN
- 5 EXISTING ASPHALT & CONCRETE PAVING TO REMAIN PENDING GEOTECHNICAL INVESTIGATION
- 6 MATCH EXISTING GRADES ALONG OUTSIDE PERIMETER OF SHADED AREA (LIMITS OF CONSTRUCTION)
- 7 EXIST OVERFLOW (ELEV 5120.22) TO REMAIN

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. PRIOR TO WORK WITHIN THE PASEO DEL NORTE RIGHT-OF-WAY, A NMDOT PERMIT WILL BE REQUIRED

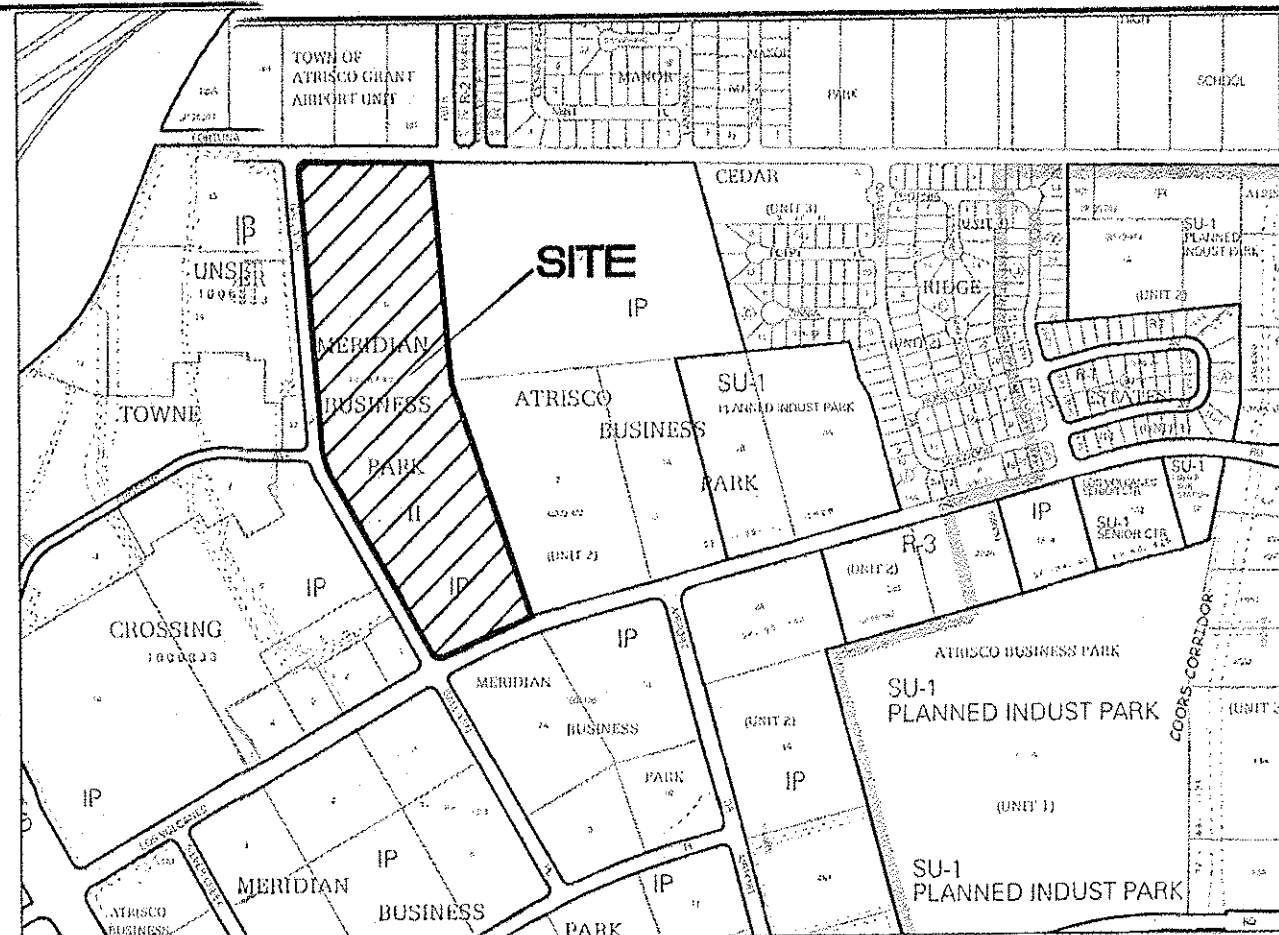
STRUCTURE	RIM	INV
INLET 1	5126.20	5121.90
INLET 2	5127.00	5120.25
INLET 3	5127.00	5121.01
INLET 4	5124.20	5120.00
MH 1	5127.97	5121.47
MH 2	5124.50	5118.30
MH 3	5126.77	5118.89

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

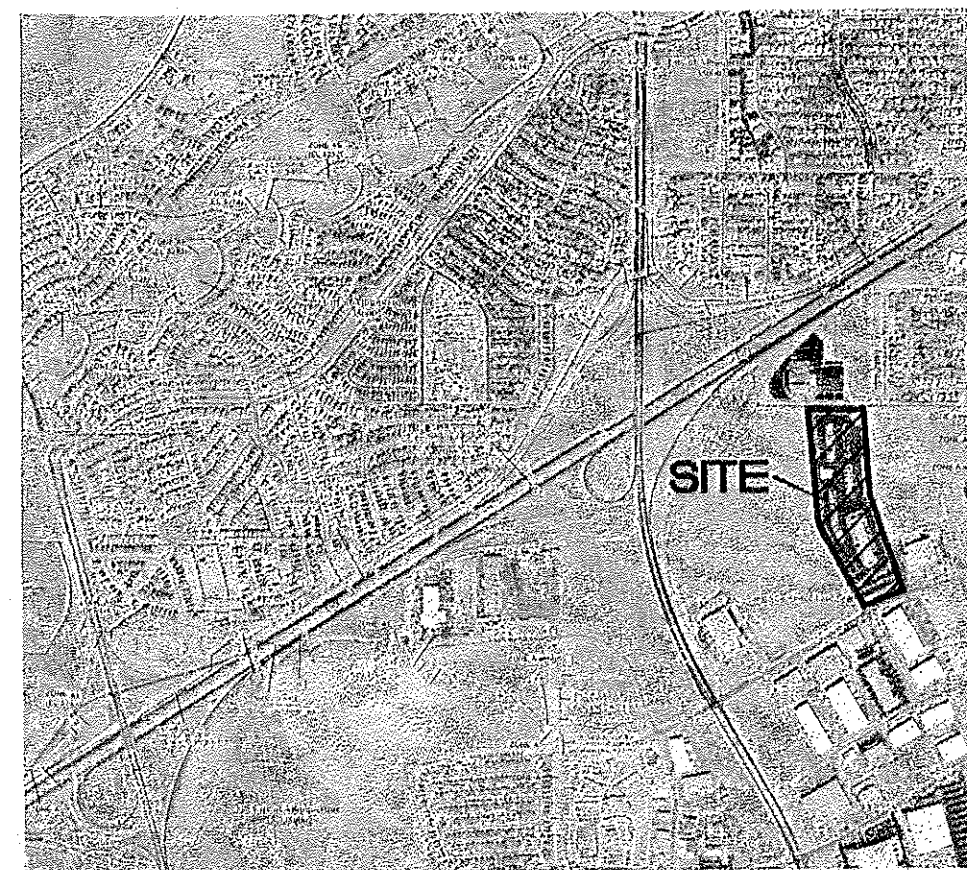
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VICINITY MAP

J-10

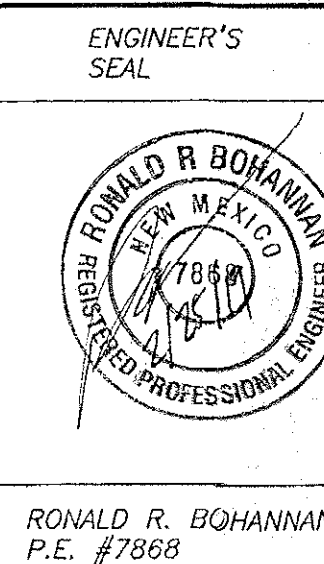


FIRM MAP

35001C0328J

LEGEND

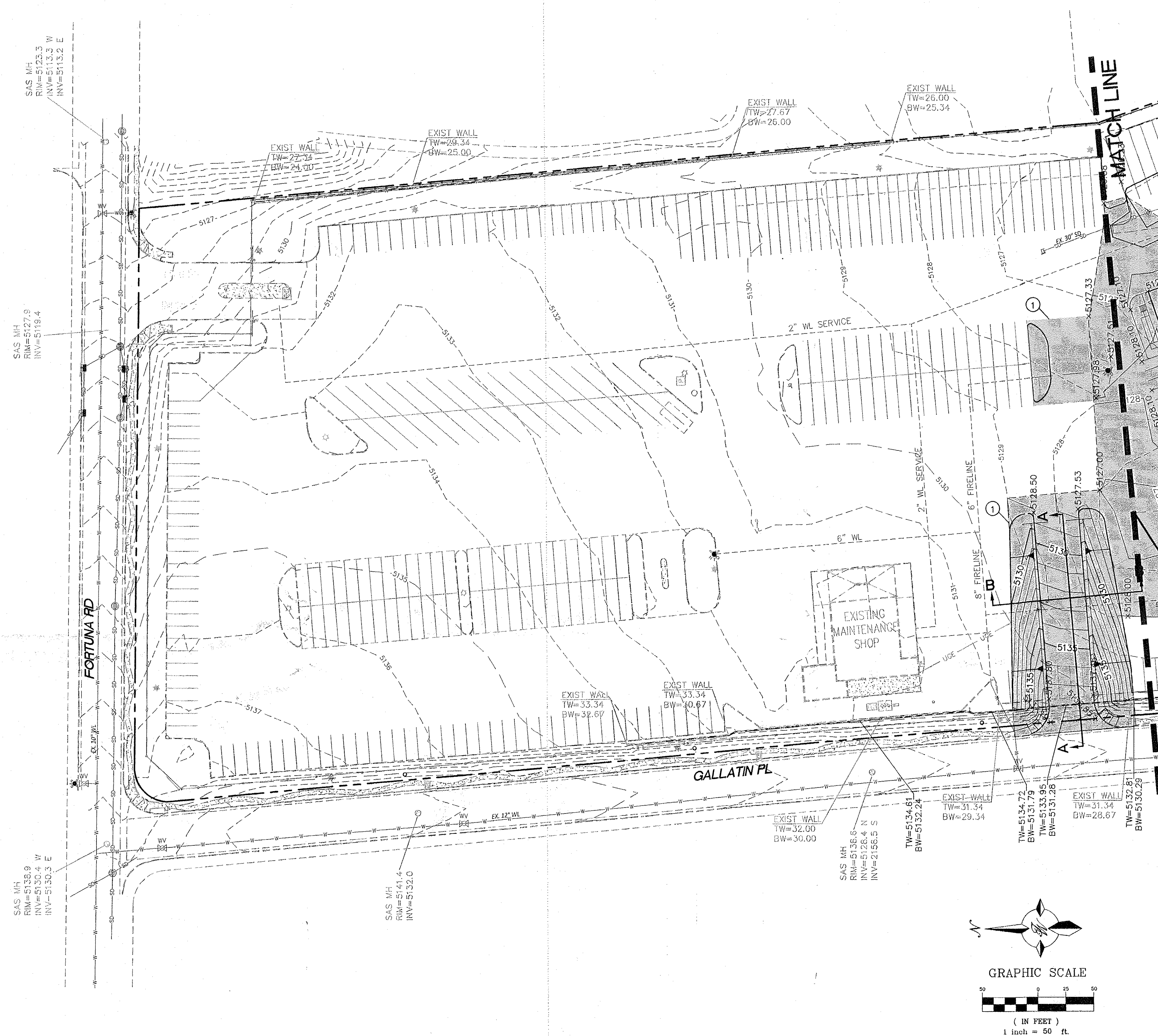
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- CONCRETE
- LIMITS OF ONSITE CONSTRUCTION
- EXISTING CURB & GUTTER
- SD EXISTING STORM SEWER LINE (TO REMAIN)
- EXISTING STORM SEWER LINE
- ADJUST EXISTING MH RIM AND INLET GRATE TO GRADE
- SAS EXISTING SANITARY SEWER LINE
- EXISTING WATERLINE (TO REMAIN)
- EXISTING WATERLINE (TO BE REMOVED)
- E EXISTING ELECTRIC LINE
- EXISTING SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING LIGHT STANDARD (TO REMAIN)
- EXISTING LIGHT STANDARD (TO BE REMOVED)
- PROPOSED FIRE HYDRANT



7601 LOS VOLCANES RD NW
ALBUQUERQUE, NM 87121
**GRADING AND DRAINAGE
PLAN**

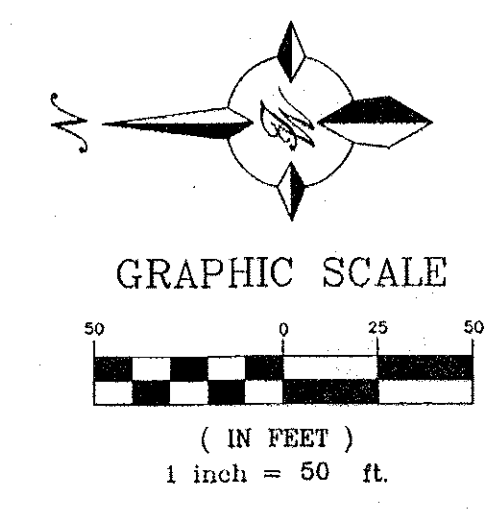
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ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

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pm
DATE
2-25-19
DRAWING
2018074-GR
SHEET #
GR-1
JOB #
2018074

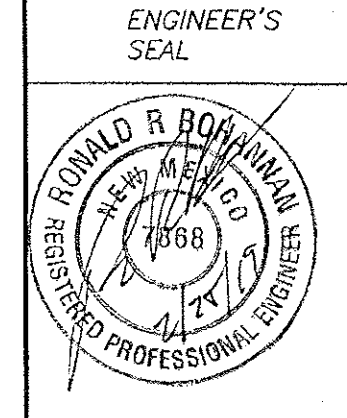


- ### LEGEND
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - BUILDING
 - CONCRETE
 - LIMITS OF ONSITE CONSTRUCTION
 - EXISTING CURB & GUTTER
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 - EXISTING LIGHT STANDARD (TO BE REMOVED)
 - PROPOSED FIRE HYDRANT

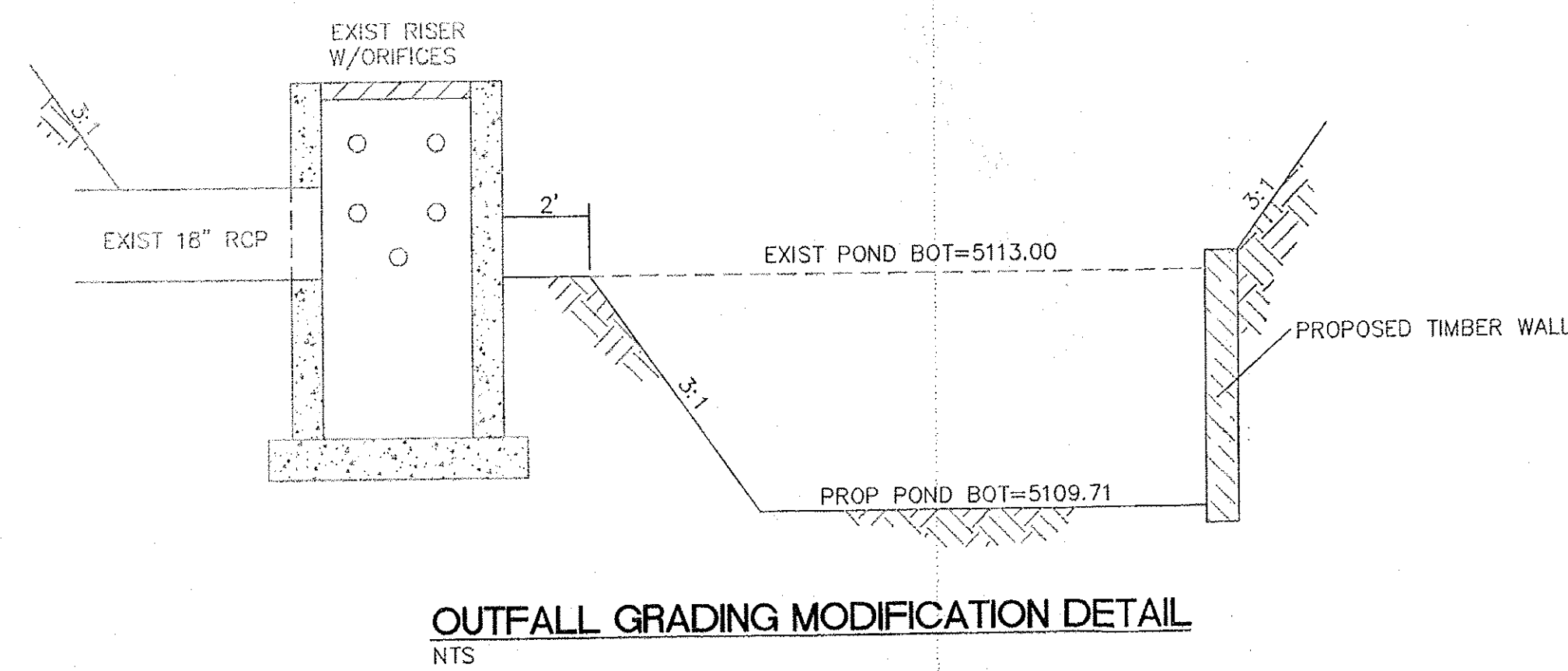
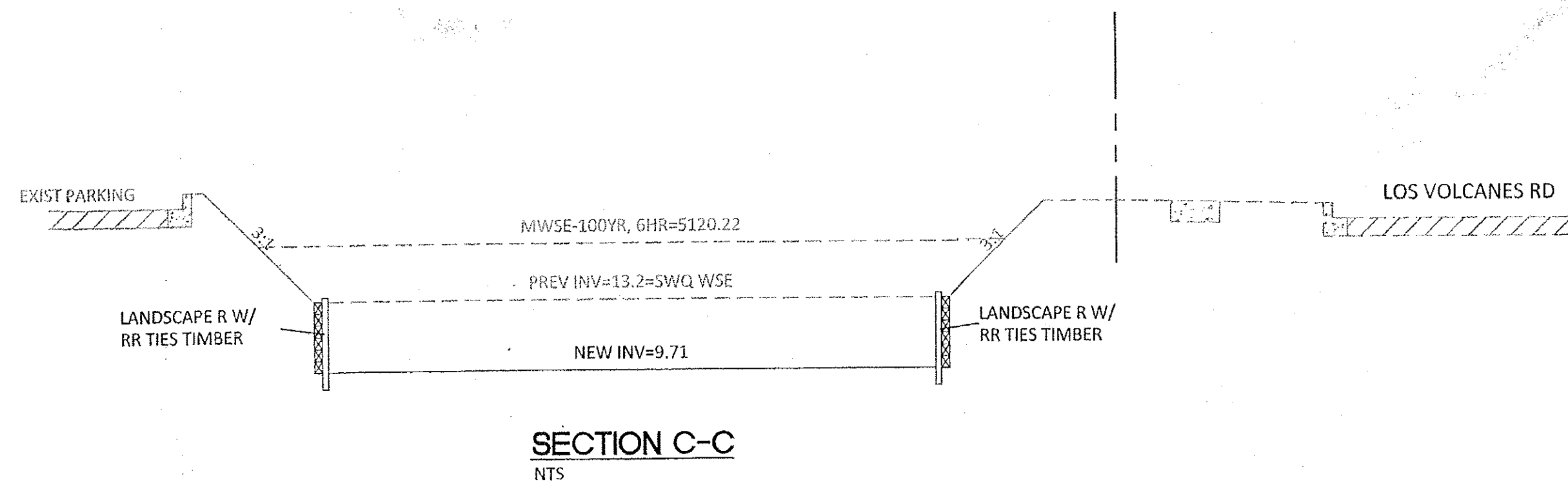
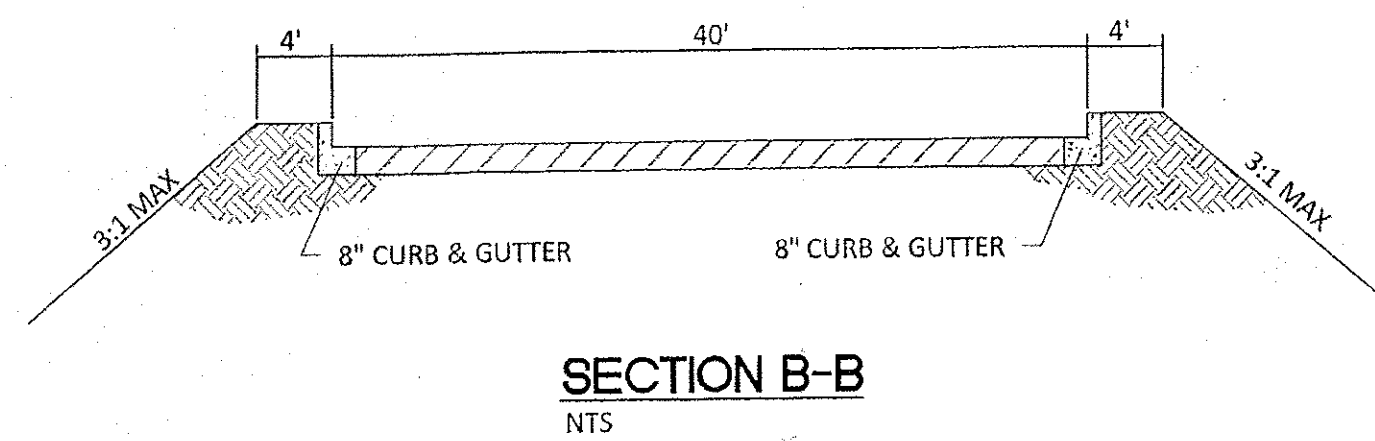
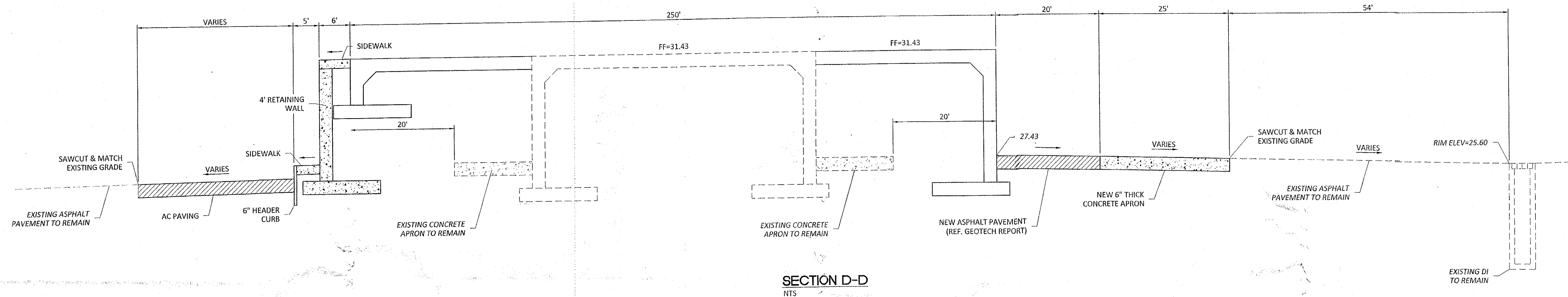
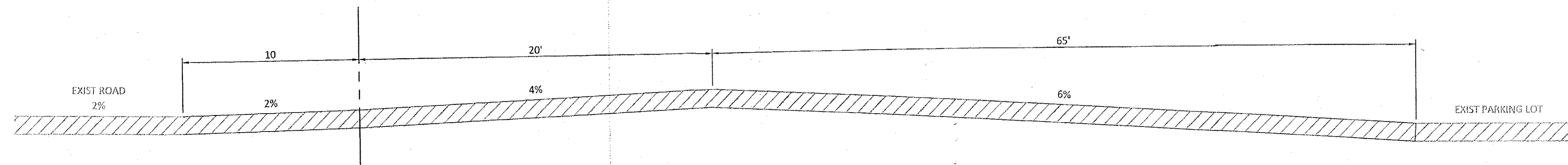
KEYED NOTES
 ① MATCH EXISTING GRADES ALONG OUTSIDE PERIMETER OF SHADED AREA (LIMITS OF CONSTRUCTION)

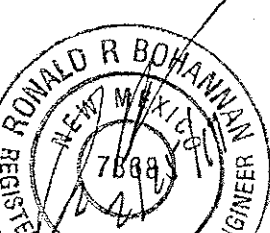



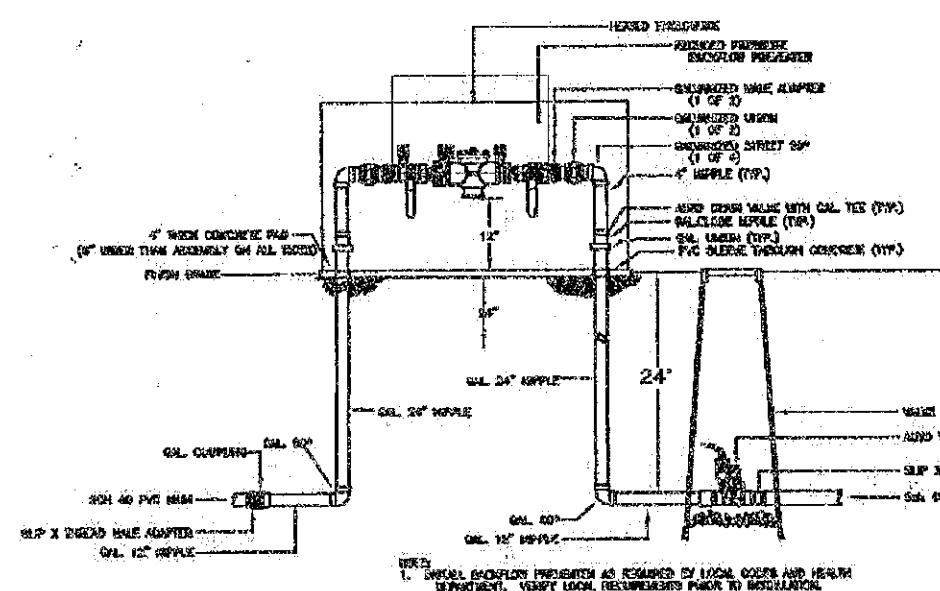
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			SHEET # GR-2

JOB #
2018074



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		SHEET # GR-3
		JOB # 2018074
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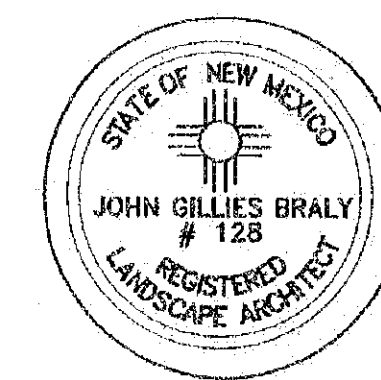
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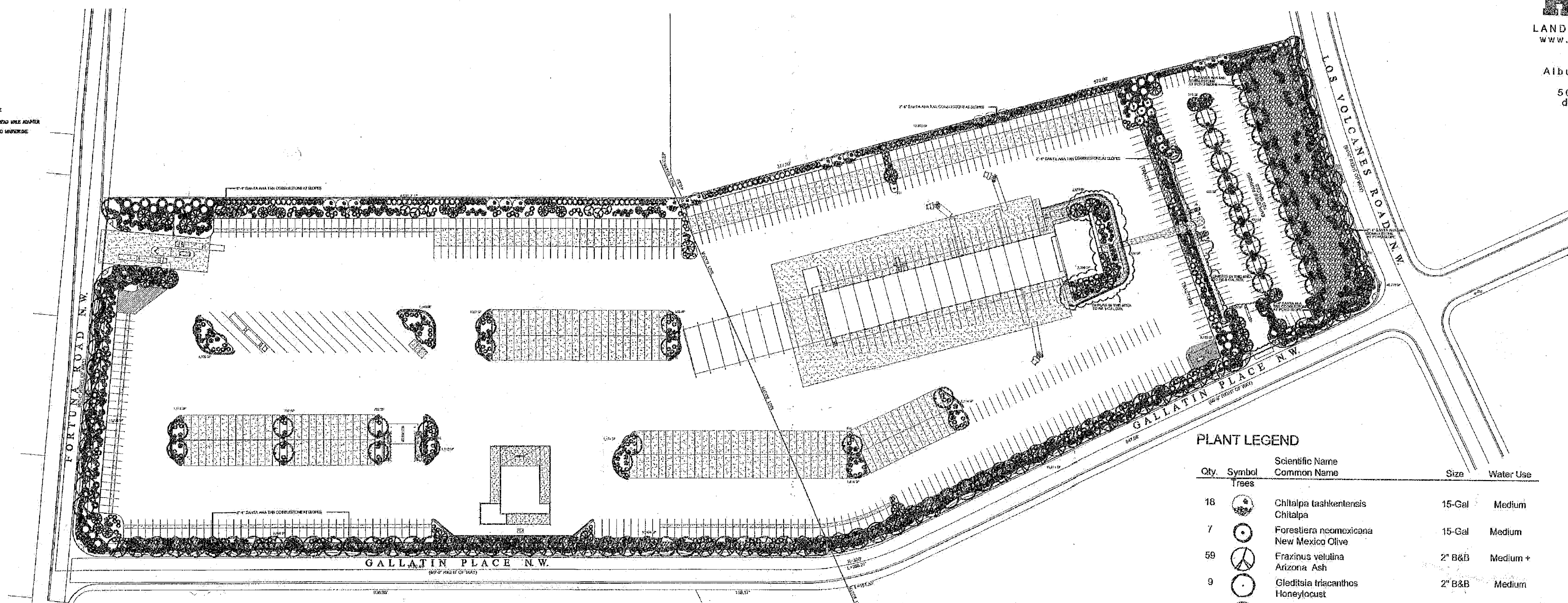
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2/18/08
3/20/08
4/21/08
Final Revision

MARK	DATE	DESCRIPTION
-	1/18/08	
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-	11/20/07	
-	10/22/07	
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-	9/24/07	

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SHEET TITLE
LANDSCAPE SITE PLAN

SHEET NUMBER
L-100



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
18	●	Chilopsis lasiolepis Chilopsis	15-Gal	Medium
7	●	Forestiera neomexicana New Mexico Olive	15-Gal	Medium
59	●	Fraxinus velutina Arizona Ash	2" B&B	Medium +
9	●	Gleditsia triacanthos Honeylocust	2" B&B	Medium
33	●	Pinus nigra Austrian Pine	2" B&B	Medium
48	●	Pistacia chinensis Chinese Pistache	2" B&B	Medium +
2	●	Pyrus calleryana Aristocrat Flowering Pear	15-Gal	Medium +
18	●	Quercus buckleyi Texas Red Oak	2" B&B	Medium
32	●	Koeleria cristata Golden Rain Tree	15-Gal	Medium
15	●	Caesalpinia Bird of Paradise	5-Gal	Low
9	●	Chilopsis Desert Willow	5-Gal	Medium
12	●	Vitex Chaste Tree	5-Gal	Medium
Shrubs/Groundcovers 262 Trees @ 625 ea. = 163750				
80	●	Buddleia davidii Butterfly Bush	1-5-Gal	Medium
299	●	Caryopteris clandovensis Blue Mist	1-5-Gal	Medium
92	●	Coloneaster parviflorus Clusterberry	1-5-Gal	Low +
38	●	Eriogonum fasciculatum 'Aguirre' Turpentine Bush	1-5-Gal	Low +
232	●	Hesperaloe parviflora Red Yucca	1-Gal	Low +
35	●	Baccharis pilularis Dwarf Coyote Brush	1-5-Gal	Low +
93	●	Lavandula angustifolia English Lavender	1-5-Gal	Low
118	●	Cornus Red Twig Dogwood	1-5-Gal	Medium +
128	●	Vauquelinia Arizona Rosewood	1-Gal	Low +
46	●	Prunus besseyi Western Sand Cherry	1-5-Gal	Medium
58	●	Rhus trilobata Three-leaf Sumac	1-Gal	Low +
20	●	Rosmarinus officinalis Rosemary	1-5-Gal	Low +
171	●	Fallugia Apache Plume	1-Gal	Low +
116	●	Rhus Gro Low Sumac	1-Gal	Low +
Ornamental Grasses				
76	●	Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium
190	●	Miscanthus sinensis 'Gracillimus' Maiden Grass	1-Gal	Medium

1792 Shrubs @ 30.25 ea. = 54208

SITE DATA

GROSS LOT AREA	976,759 SF
LESS BUILDING(S)	42,230 SF
LESS R.O.W. LANDSCAPE	15,017 SF
NET LOT AREA	919,512 SF
REQUIRED LANDSCAPE	137,928 SF
15% OF NET LOT AREA	137,928 SF
PROPOSED LANDSCAPE	137,928 SF
PERCENT OF NET LOT AREA	15.75 %

REQUIRED 2" CAL STREET TREES	93
PROVIDED AT 30' O.C. SPACING ALONG STREET	
REQUIRED 2" CAL PARKING LOT TREES	16
PROVIDED AT 1 PER 10 SPACES (153 SPACES/10)	
TOTAL REQUIRED 2" CAL TREES	109
TOTAL PROVIDED 2" CAL TREES	167

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH 3/4" SANTA ANA TAN GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

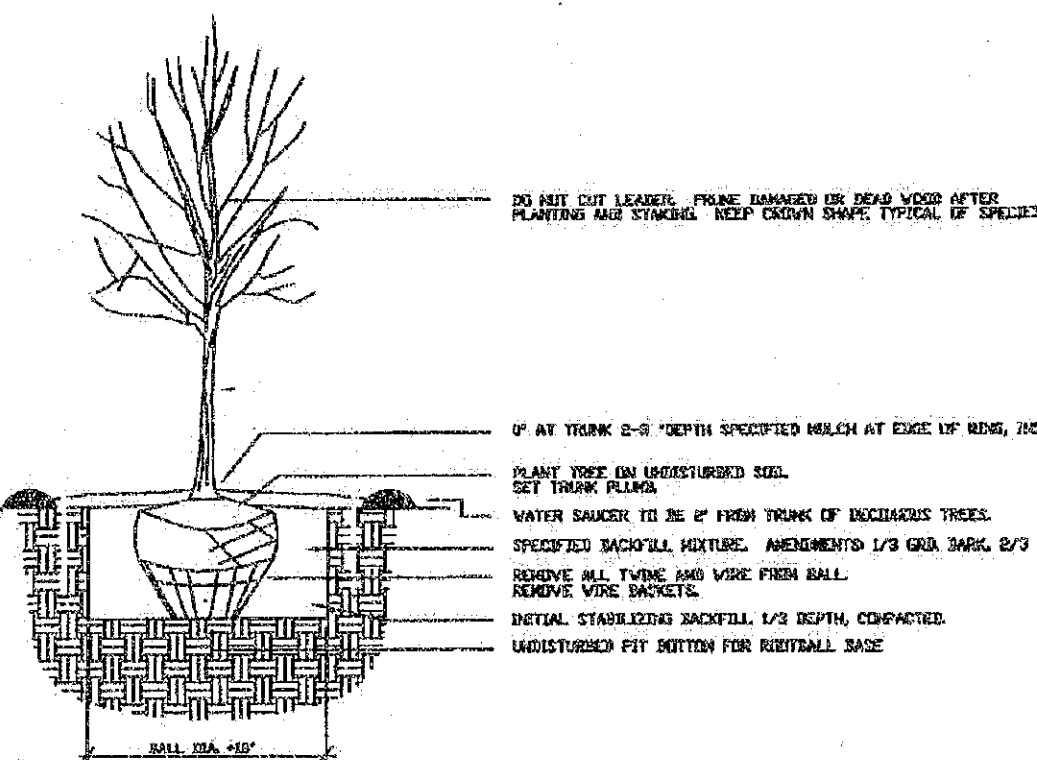
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE

ALL PLANTERS, LANDSCAPE AREAS AND GREEN SPACES TO BE IRRIGATED PER SECTION 2.6

Planting "As-Built"



1 Deciduous Tree
L100

L1

SCALE 1" = 100'-0"

MASTER LANDSCAPE PLAN



0 25' 50' 100'

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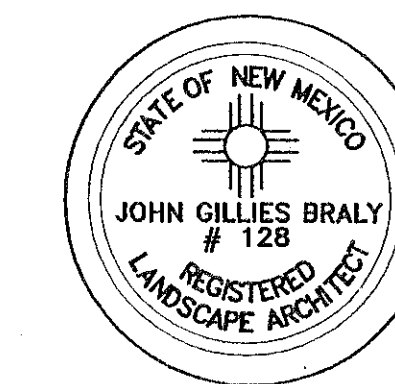
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-	12/11/07	-
-	11/20/07	-
-	10/22/07	-
-	10/1/07	-
-	9/24/07	-

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SHEET TITLE
**ENLARGED
PARTIAL
LANDSCAPE PLAN**

SHEET NUMBER
L-101

FORTUNA ROAD N.W.
(60'-0" RIGHT OF WAY)

GALLATIN PLACE N.W.
(60'-0" RIGHT OF WAY)

62'-0"

377.93'

R=380'
L=168.27'

2/4/08

2/18/08

3/20/08

L=181.55'

PLAN
NORTH

TRUE
NORTH

L2

SCALE: 1" = 40'-0"

ENLARGED PARTIAL LANDSCAPE PLAN

0 10 20 30 40 50 60

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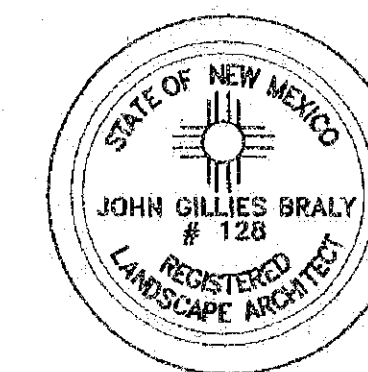
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SHEET TITLE
**ENLARGED
PARTIAL
LANDSCAPE PLAN**

SHEET NUMBER
L-101

FORTUNA ROAD N.W.
(60'-0" RIGHT OF WAY)

GALLATIN PLACE N.W.
(60'-0" RIGHT OF WAY)

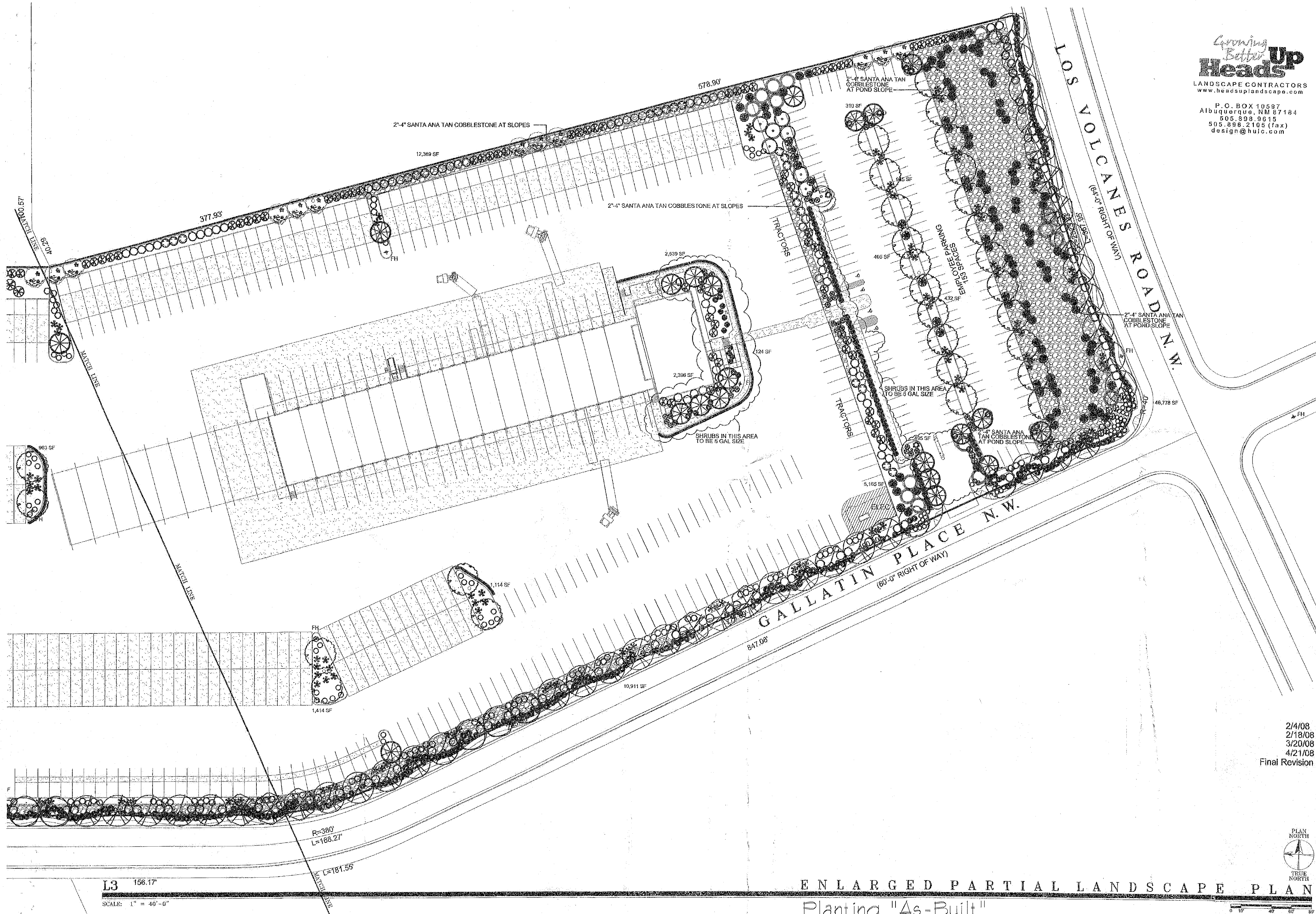
ENLARGED PARTIAL LANDSCAPE PLAN

Planting "As-Built"

L2

SCALE: 1" = 40'-0"

0 10 20 30 40 50



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 Final Revision

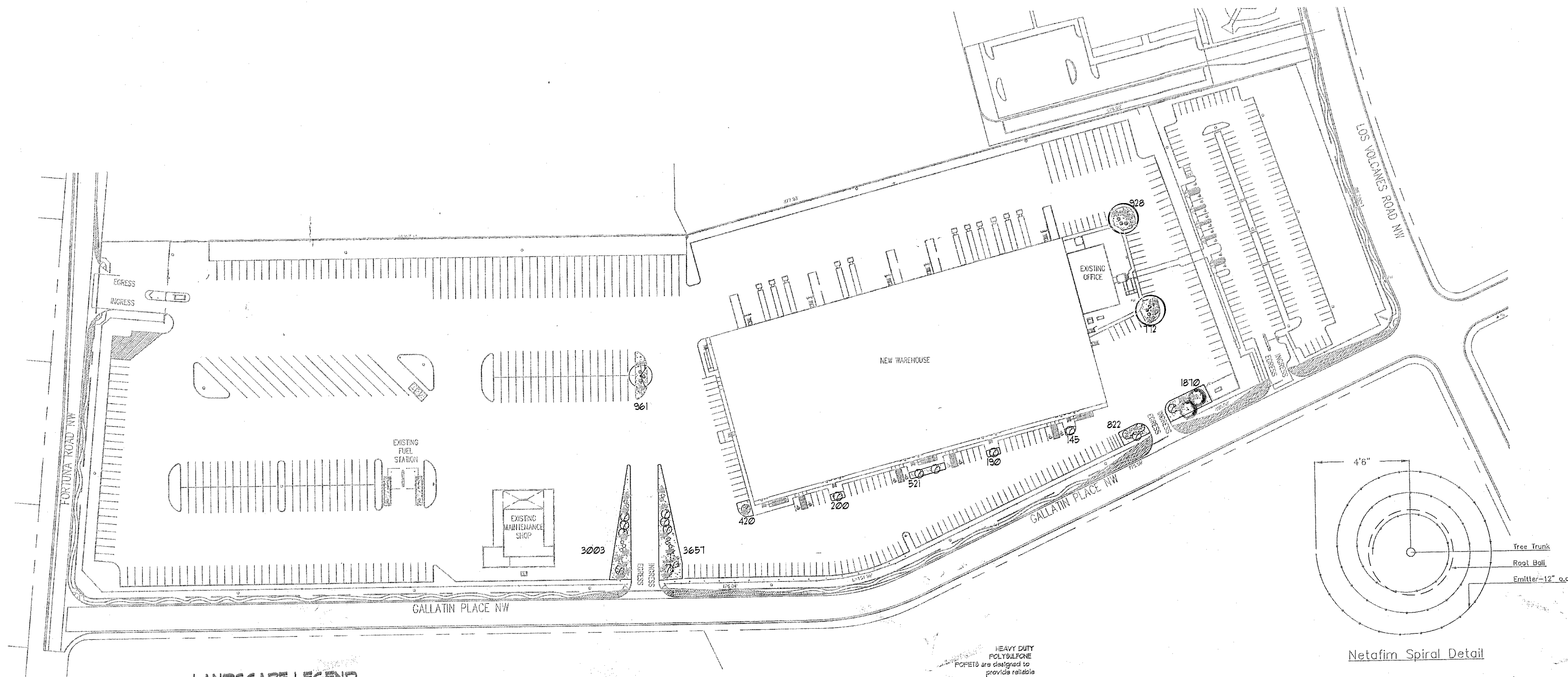
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DESCRIPTION	

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 DATE: APRIL 21, 2008

ENLARGED PARTIAL LANDSCAPE PLAN

SHEET NUMBER
L-102

ENLARGED PARTIAL LANDSCAPE PLAN
 Planting "As-Built"



LANDSCAPE LEGEND

SIZE	COMMON/BOTANICAL	H2O USE
15 Gal.	Oklahoma Redbud 15x12	144 2136 M
2" cal	Cercis reniformis	2025 4050 M
2" cal	Honey Locust 50x45	1225 1225 M
2" cal	Gleditsia triacanthos	1225 1225 M
6 - 8"	Chinese Pistache 40x35	625 1250 M
5 Gal	Austrian Pine 35x25	625 1250 M
5 Gal	India Hawthorne 3x5	25 225 M
5 Gal	Raphiolepis indica	36 792 M
5 Gal	Wintergreen Barberry 5x6	36 792 M
5 Gal	Berberis julianae	36 792 M
5 Gal	Buffalo Juniper 1x12	144 4464 M
5 Gal	Juniperus sabina 'Buffalo'	144 4464 M
13489	Landscaping Gravel / Filter Fabric	
3/4" Crushed Grey		

Total Live Plants 14142
Total Ground Cover 5421

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	916759
TOTAL BUILDING AREA (sf)	-422320
TOTAL BUILDING AREA (sf)	-152017
TOTAL LOT AREA (sf)	919512
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	137926
TOTAL EXISTING LANDSCAPE	153881
TOTAL EXISTING GROUND COVER	
1192 Shrubs @ 3025 sf each 35%	54208
TOTAL EXISTING VEGETATIVE COVER	
267 Trees @ 625 sf each 106%	163750
TOTAL NEW LANDSCAPE	13489
TOTAL NEW GROUND COVER	
See Landscape Legend 40%	5421
TOTAL NEW VEGETATIVE COVER	
See Landscape Legend 103%	14742
TOTAL LANDSCAPE	167310
TOTAL GROUND COVER	
See Landscape Legend 36%	59689
TOTAL VEGETATIVE COVER	
See Landscape Legend 107%	178492

Reference attached "As-Built" landscape drawings.

3/14/2019

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2" GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

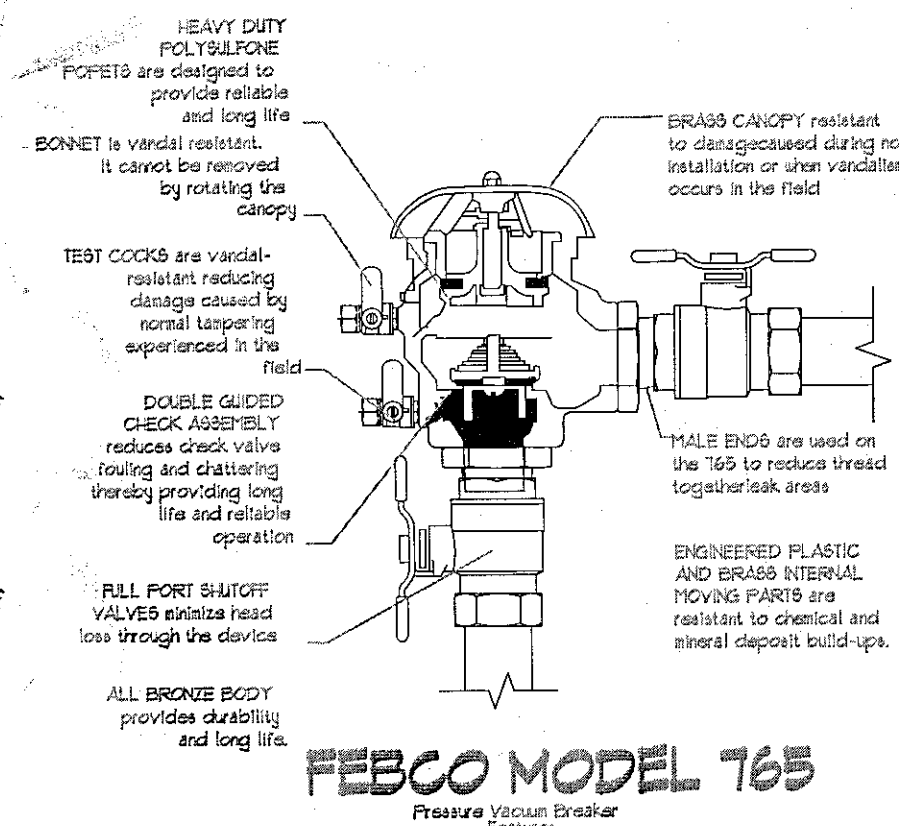
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

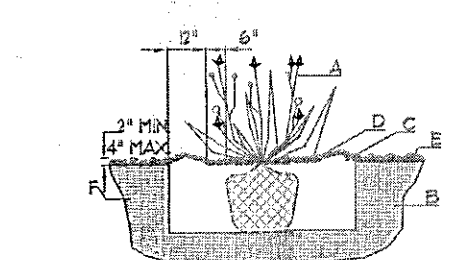
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



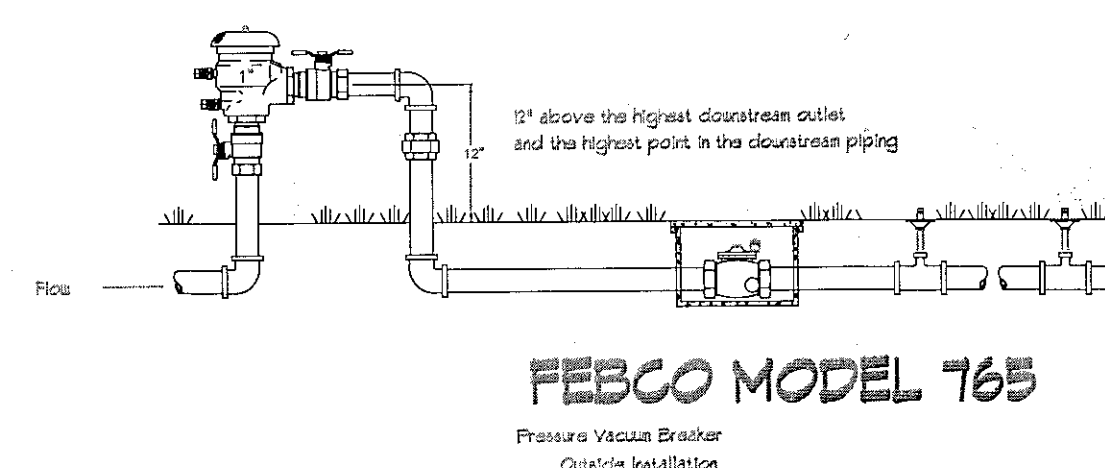
FEBCO MODEL 765
Pressure Vacuum Breaker
Features



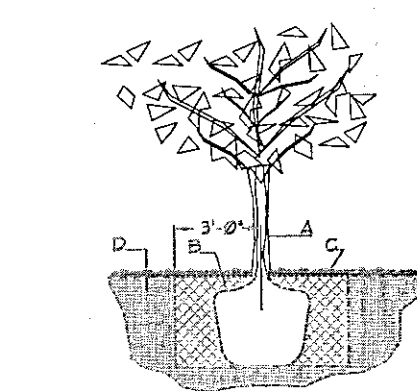
SHRUB PLANTING DETAIL
NTS

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
2. CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.

Netafim Spiral Detail



FEBCO MODEL 765
Pressure Vacuum Breaker
Outside Installation



TREE PLANTING DETAIL
NTS

GENERAL NOTES:
1. BACKFILL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL. AT WHICH TREE WAS GROWN AND DUG THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL SURE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE.
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.

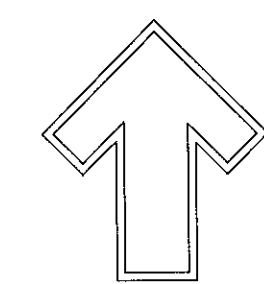
Reference "As-Built" Landscape Drawings for Existing Conditions.

3/14/2019

GRAPHIC SCALE

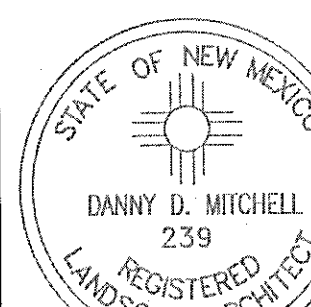
100 50 0 50 100

SCALE: 1" = 100'-0"



The Hilltop
1309 Edith NE
Albuquerque, NM 87113
Cell: 505-898-9630
Fax: 505-898-1131
danny@hilltoplandscaping.com

Landscape Architect



3/14/2019

Fed Ex Redevelopment
7601 Los Volcanes NW
Albuquerque, NM

Landscape Plan

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY
dm

REVISION
•

DATE
3/14/2019

SHEET •

LS-101

EXTERIOR FINISHES

TILT-UP CONC. PANELS- COLOR 1- LIGHT GRAY
COLOR 2- MEDIUM GRAY
COLOR 3- DARK GRAY

METAL ACCENT COLOR- RED

ALUMINUM WINDOW FRAMES- CLEAR ANODIZED

WINDOW GLAZING- 1" TINTED INSULATED

TINT COLOR- SOLAR GRAY

OVERHEAD & HM DOORS- LIGHT GRAY

ALL BUILDING MOUNTED SIGNAGE TO BE LIGHTED EITHER INTERNALLY OR EXTERNALLY. ANY LIGHTING FOR SIGNAGE SHALL CONFORM TO NIGHT SKIES ACT. SIGNAGE MATERIAL TO BE EITHER RAISED METAL LETTERING OR TRANSLUCENT LEXAN PANELS OF ANY COLOR.

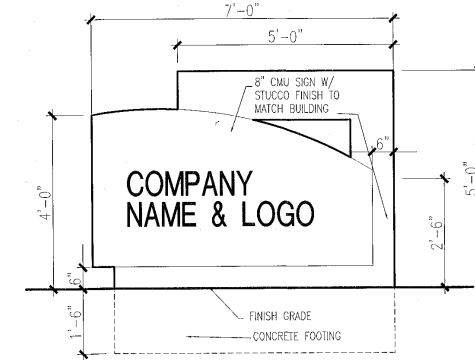
NOTE: SIGNAGE MAY BE AMENDED PROVIDED IT COMPLIES WITH THE ATRISCO BUSINESS PARK MASTERPLAN REGULATIONS.

BUILDING SIGNAGE CALCS:

WEST ELEVATION- BLDG. AREA-2,850 S.F. SIGNAGE- 150 S.F.
150 / 2850 = 5%

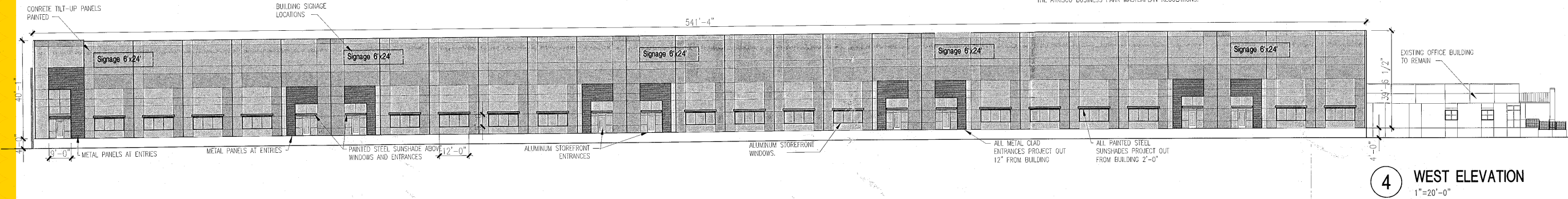
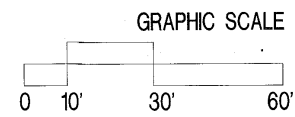
EAST ELEVATION- BLDG. AREA-4,515 S.F. SIGNAGE- 366 S.F.
361 / 4515 = 8%

NORTH ELEVATION- BLDG. AREA-7,246 S.F. SIGNAGE- 334 S.F.
334 / 7246 = 4.6%

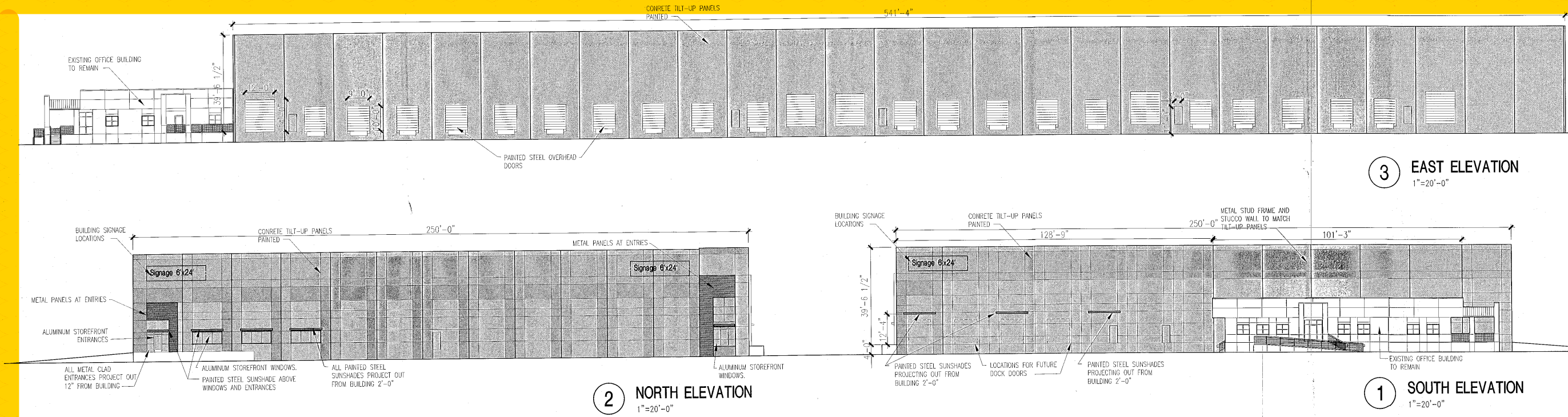


5 MONUMENT SIGN
1/2"=1'-0"

NOTE: SIGNAGE MAY BE AMENDED PROVIDED IT COMPLIES WITH THE ATRISCO BUSINESS PARK MASTERPLAN REGULATIONS.



4 WEST ELEVATION
1"=20'-0"

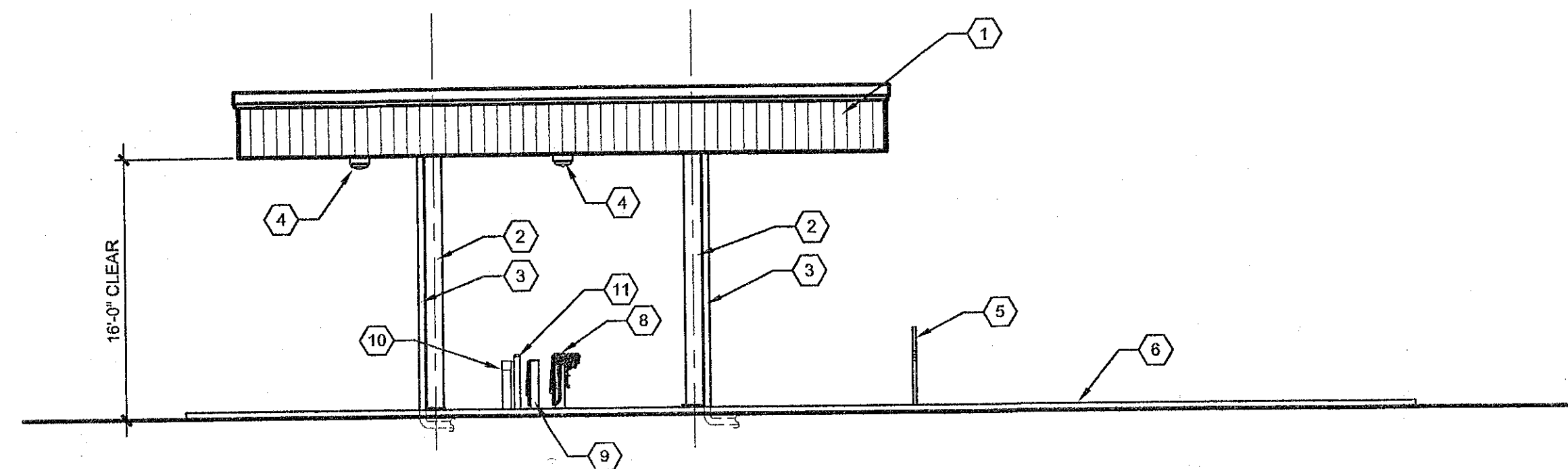


2 NORTH ELEVATION
1"=20'-0"

1 SOUTH ELEVATION
1"=20'-0"

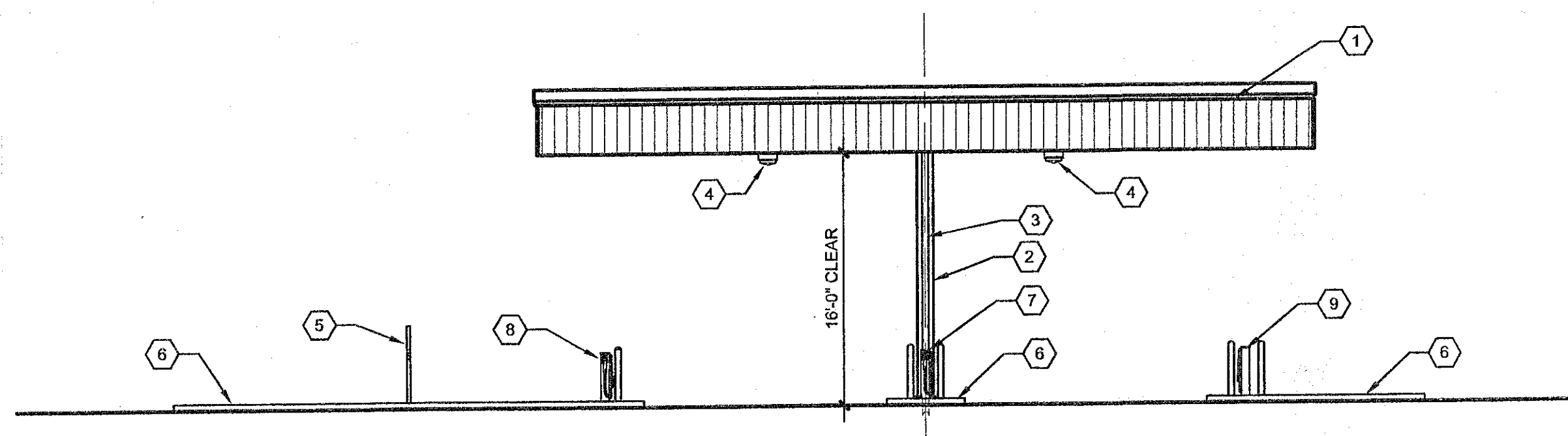
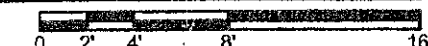
SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT
7601 LOS VOCANES ROAD NW
ALBUQUERQUE, NEW MEXICO

REVISIONS	
DATE	March 13, 2019
SCALE	1/20"=1'-0"
DRAWING NAME	ELEVATIONS
SHEET NUMBER	SDP-2



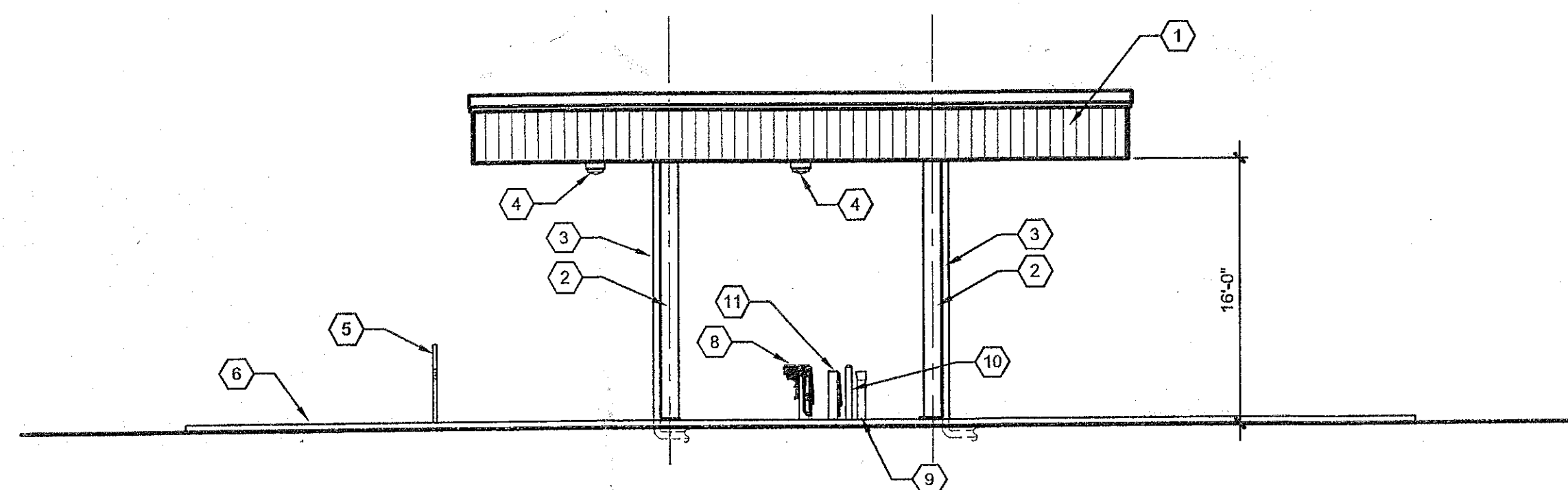
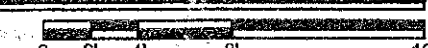
D1 FUEL ISLAND NORTH ELEVATION

SCALE: 1/8" = 1'-0"



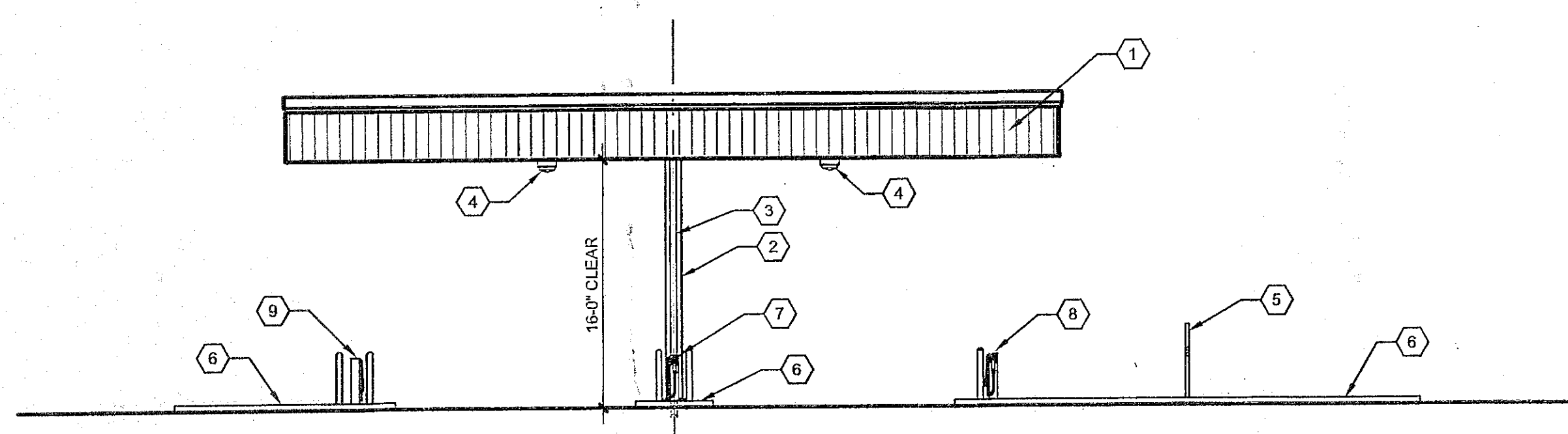
C1 FUEL ISLAND EAST ELEVATION

SCALE: 1/8" = 1'-0"



B1 FUEL ISLAND SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



A1 FUEL ISLAND WEST ELEVATION

SCALE: 1/8" = 1'-0"



KEYED NOTES

- 1 40'-0" x 50'-0" OVERHEAD FUEL CANOPY WITH 36" FASCIA BY FUEL SYSTEM SUPPLIER. COORDINATE INSTALLATION WITH CONTRACTOR.
- 2 STRUCTURAL STEEL COLUMN SUPPLIED WITH OVERHEAD FUEL CANOPY.
- 3 DOWN SPOUT ON COLUMN - SEE CIVIL DRAWINGS FOR ROUTING OF ROOF WATER.
- 4 METAL HALIDE LIGHT FIXTURE.
- 5 EMERGENCY SHUT-OFF VEEDER ROOT OVERFILL ALARM MOUNTED TO 3" DIAMETER x 7'-6" LONG STEEL PIPE WITH TOP CAP. EMBED PIPE DOWN 18".
- 6 6" RAISED CONCRETE ISLAND.
- 7 MASTER AND SATELLITE FUEL DISPENSER BEYOND.
- 8 MASTER FUEL DISPENSER.
- 9 SATELLITE FUEL DISPENSER.
- 10 CARD READER.
- 11 POST FOR VEEDER ROOT OVERFILL ALARM.

GENERAL NOTES

1. FUEL SYSTEM SUPPLIER SHALL PROCURE AND REVIEW ALL LOCAL AND STATE CODES.
2. ARRANGE AND COORDINATE CRANE FOR TANK DELIVERY. VERIFY WITH SUPPLIER THE WEIGHT OF THE UNDERGROUND STORAGE TANK.
3. IMMEDIATELY UPON ARRIVAL, INSPECT THE FUEL SYSTEM CAREFULLY AND NOTE ANY SUSPICIOUS MARKS, DENTS OR BROKEN COMPONENTS ON THE BILL OF LADING. UNWRAP THE FACILITY WHILE ON THE TRUCK. OPEN ALL PANELS AND BOXES. IF DAMAGED IS NOTED, TAKE A PICTURE OF DAMAGE AND CONTACT SYSTEM SUPPLIER. UNLOAD SYSTEM WITH CRANE AND PLACE IN TANK PIT VERIFYING THE PIT IS CLEAN AND FREE OF DEBRIS.
4. PROVIDE QUALIFIED SERVICE TECHNICIAN FOR TESTING, START UP AND TRAINING.
5. INSTALL 10 POUND 40BC FIRE EXTINGUISHER SUPPLIED BY FUEL SYSTEM SUPPLIER.
6. TEST AND CALIBRATE GASSY DISPENSERS.
7. INSTALL VEEDER ROOT INVENTORY PROBE, INTERSTITIAL SENSOR AND REQUIRED CONDUIT ON FUEL SYSTEM. INSTALL VEEDER ROOF MONITOR INSIDE BUILDING PER DESIGNATED LOCATION ON DRAWING. SPECIFICATIONS ARE AS FOLLOWS: TLS 350 WITH PRINTER, PROBE MODULE, INTERSTITIAL MODULE, SITE FAX MODULE, RS 323 MODULE, INVENTORY PROBE, INTERSTITIAL PROBE, CAP AND RING KIT, PROBE INSTALL KIT AND AS KIT.
8. INSTALL ALL REQUIRED ELECTRICAL POWER AS NEEDED. NOTE CONDUIT LOCATIONS SHOWN ON DRAWINGS AND THAT PUP SOLENOID ARE PRE-WIRED.
9. INSTALL, WIRE AND CALIBRATE MORRISON CLOCK GAUGE AND AUDIBLE OVERFILL ALARM PER INCLUDED INSTRUCTIONS.
10. INSTALL WORKING VENT. PLUG ANY OPENINGS LEFT IN TANK, IF ANY.
11. MAKE SURE FIRE VALVE IS OPEN ON TOP OF TANK, SOLENOID IS WIRED CORRECTLY, AND FIRE VALVE IS OPEN TO ALLOW FUEL FLOW TO PUMP.
12. TEST FOR LEAKS IN ENTIRE SYSTEM, SPECIFICALLY FUEL LINE, FILL LINE AND ALL FITTINGS.
13. INSTALL ICU HEAD UNIT. INSTALL FOUR (4) BOLTS, WASHERS AND NUTS. PLUG IN THREE (3) TERMINAL BLOCK AS SHOWN IN ELECTRICAL DIAGRAM AND CONNECT ONE (1) 120V LINE TERMINAL BLOCK IN PEDESTAL.
14. LOCAL PERSONNEL SHALL BE TRAINED BY FUEL SYSTEM SUPPLIER.
15. THE ELECTRICIAN SHALL: 1) CONNECT POWER TO JUNCTION BOX ON TANK. ALL CONDUIT AND CONNECTIONS MUST BE EXPLOSION PROOF. EACH PUMP REQUIRES 208 VAC, SINGLE PHASE WITH 30 AMP DRAW. THE ICU REQUIRES 100 VAC, SINGLE PHASE WITH 20 AMP DRAW. REFER TO DETAILS. 2) INSTALL GROUNDING RODS PER CODES. 3) TEST EMERGENCY SHUT OFF'S. NOTE THAT E-STOP MUST BE MINIMUM OF 25' AND MAXIMUM OF 75' FROM PUMPS OR DISTANCE DETERMINED BY PERMIT. EMERGENCY SHUT OFF SWITCH SHALL PULL OUT TO TURN ON. 4) TURN ON PUMP, MAKE SURE IT RUNS AND HAS ADEQUATE POWER TO IT. 5) LISTEN FOR A "CLICK" AT THE SOLENOID TO MAKE SURE IT OPENS. IF NO "CLICK", CHECK WIRING TO SOLENOID. 6) CHECK METER ON PUMP. PUMP MUST AUTOMATICALLY RESET TO ZERO EACH TIME THE PUMP IS TURNED ON. 7) WIRE SWITCH TO LIGHT IN HOOD. 8) TEST WIRED AUDIBLE OVERFILL ALARM.
16. IT IS POSSIBLE TO BREAK THE SEAL ON PIPE CONNECTIONS DUE TO VIBRATION OR JARRING DURING SHIPMENT. THEREFORE, EXTRA CAUTION SHOULD BE TAKEN THE FIRST TIME THE TANK IS FILLED. WHEN FILLING THE TANK FOR THE FIRST TIME, OR ANY TIME AFTER IS HAS BEEN MOVED, PUMP FIVE (5) GALLONS THROUGH THE SYSTEM PAYING CLOSE ATTENTION TO ALL PIPE FITTINGS AND PUMP VALVES. DURING AND AFTER PUMPING, CHECK FOR ANY LEAKS AND ENSURE THE PUMP IS FUNCTIONING PROPERLY. INSTALLATION CONTRACTOR MUST BE PRESENT WHEN FUEL DELIVERY IS MADE.
17. TERMINATE ALL PROBE AND SENSOR CONDUITS TO EXPLOSION PROOF JUNCTION BOXES WITH SEAL OFF'S.
18. INSTALLATION OF FUEL TANK, PUMP AND MONITORING EQUIPMENT TO BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND APPLICABLE CODES.
19. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING FUELING EQUIPMENT INSTALLATION.

NOTE - SEE ELECTRICAL
DRAWINGS FOR CONDUIT
LAYOUT, JUNCTION BOXES
& ELECTRICAL REQUIREMENTS



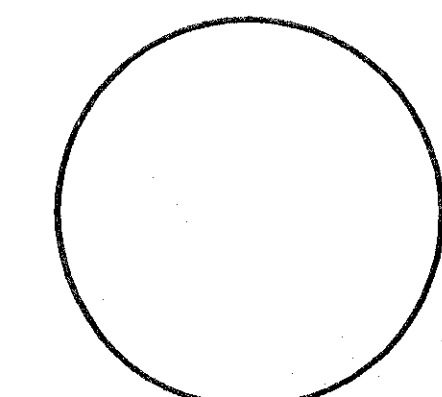
CLAUDIO VIGIL
ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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ALBUQUERQUE, NEW MEXICO

DISCLAIMER

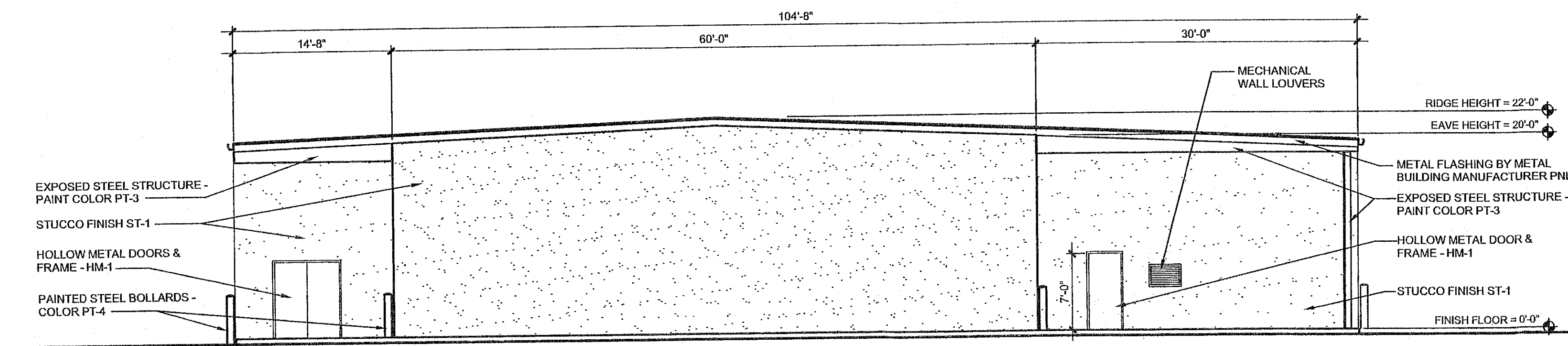
FOR INFORMATION PURPOSES ONLY
FURNISH AND INSTALL ALL COMPONENTS FOR A COMPLETE WORKING SYSTEM AS SPECIFIED IN THE SPECIFICATIONS AND DESCRIBED IN THIS DRAWING. FURNISH COMPLETE SHOP DRAWINGS DESCRIBING ALL ASPECTS FOR THE FUEL SYSTEM TO BE INSTALLED FOR REVIEW AND APPROVED BY FEDEX. DO NOT ORDER ANY COMPONENTS WITHOUT FINAL APPROVAL OF SHOP DRAWINGS. ALL COMPONENTS AND THE SYSTEM AS A WHOLE SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. INSTALLATION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR A COMPLETE WORKING FUEL SYSTEM AS DESCRIBED IN THE APPROVED SHOP DRAWINGS AND SHALL OBTAIN A CERTIFICATE OF COMPLETION WHICH WILL ALLOW FEDEX TO OPERATE THE SYSTEM IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

MARK	DATE	DESCRIPTION
4	8-25-08	FUEL TANK REVISION
3	3-20-08	BUILDING PERMIT SUBMITTAL
2	2-5-08	FEDEX RESUBMITTAL TWO
1	11-20-07	FEDEX RESUBMITTAL

PROJECT NUMBER: 07305
DRAWING FILE: FEDEX-ATRISCO-Q201-FUEL
DRAWN BY: SMF
CHECK BY: CAV
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2008
DATE: AUGUST 25, 2008

SHEET TITLE
FUEL BAY
EXTERIOR
ELEVATIONS

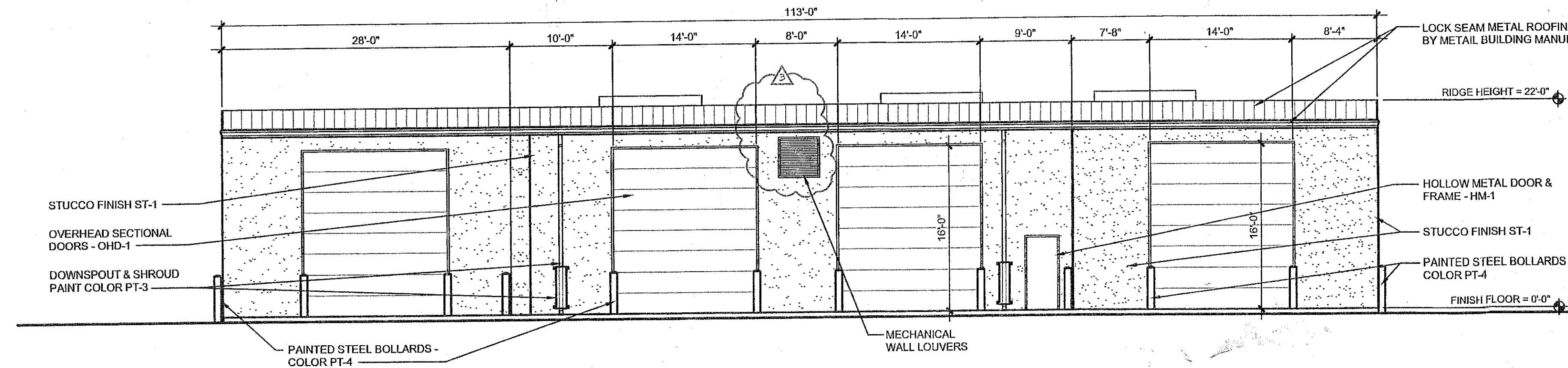
SHEET NUMBER
Q-201



EAST ELEVATION

D1

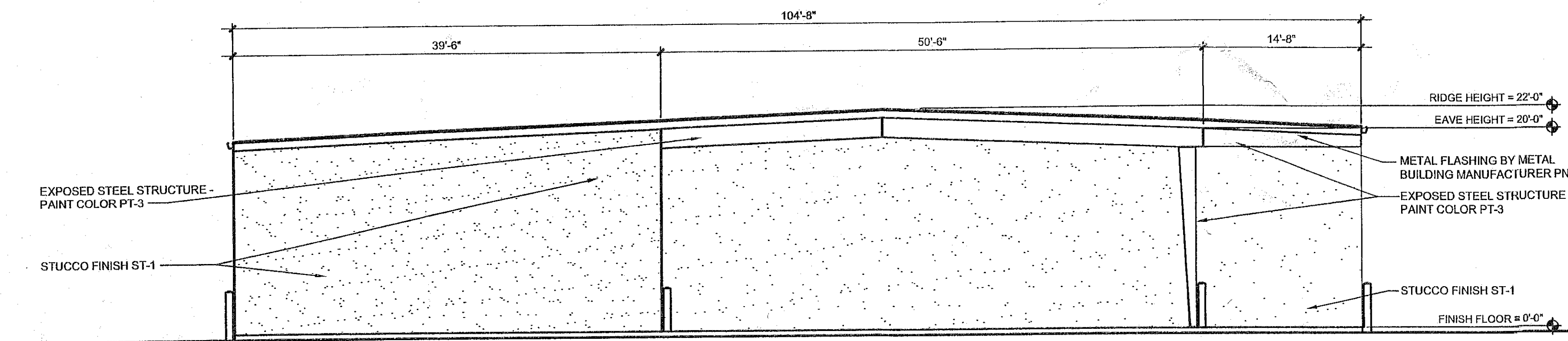
SCALE: 1/8" = 1'-0"



NORTH ELEVATION

C1

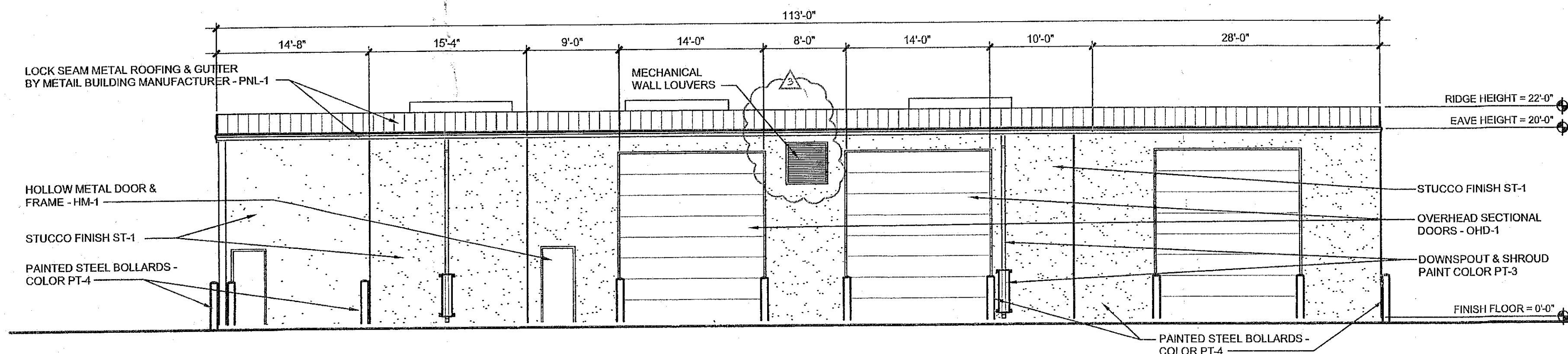
SCALE: 1/8" = 1'-0"



WEST ELEVATION

B1

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

A1

SCALE: 1/8" = 1'-0"

Albuquerque Exterior Finish Color Legend Changes

ST-1: Exterior Insulation and Finish System or Stucco: Match Dryvit #110 Van Dyke - Quarzputz Texture.
 ST-2: Exterior Insulation and Finish System or Stucco: Match Dryvit #110 Van Dyke - Quarzputz Texture.
 ST-3: Exterior Insulation and Finish System or Stucco with Elastomeric Coat - Color: White.
 PNL-1: Metal Building Panel (trim): Butler Dark Bronze as marked on submittal from Butler color chart provided with Metal Building Submittals.
 PT - 1: Paint Color: Sherwin Williams - Kohl SW 1028
 PT - 2: Paint Color: Sherwin Williams - Kohl SW 1028
 PT - 3: Paint Color: Sherwin Williams - Kohl SW 1028
 PT - 4: Paint Color: Safety Yellow
 HM - 1: Hollow Metal Frames & Doors Color: Sherwin Williams - Kohl SW 1028
 WIN - 1: Aluminum Storefront Color: Anodized Bronze Aluminum
 MTL - 1: Metal Coping Cap Color: Anodized Bronze Aluminum
 MTL - 2: Metal Coping Cap Color: Anodized Bronze Aluminum

Color information on other items:

Batten seam Metal Roofing: Match Anodized Bronze Aluminum
 Stucco Post at Fence: Match #110 Van Dyke - Sand Texture.
 Fence Material: As approved by RFI - Black
 Metal Building Roofing Color: Galvanized

11/8-08

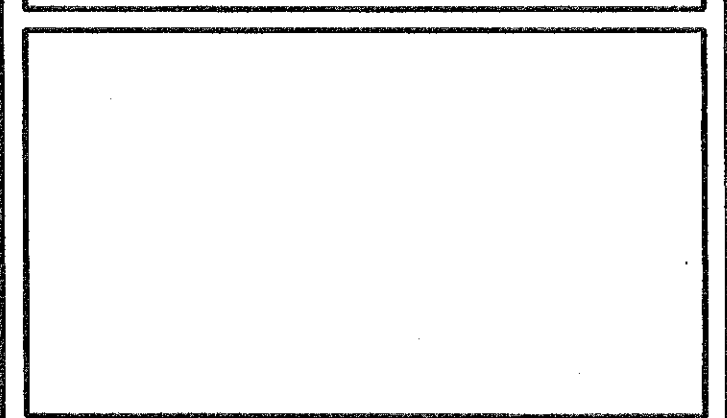


CLAUDIO VIGIL
ARCHITECTS

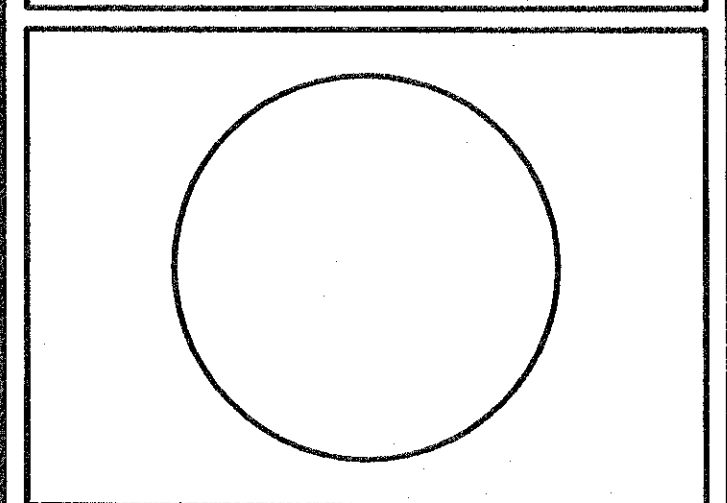
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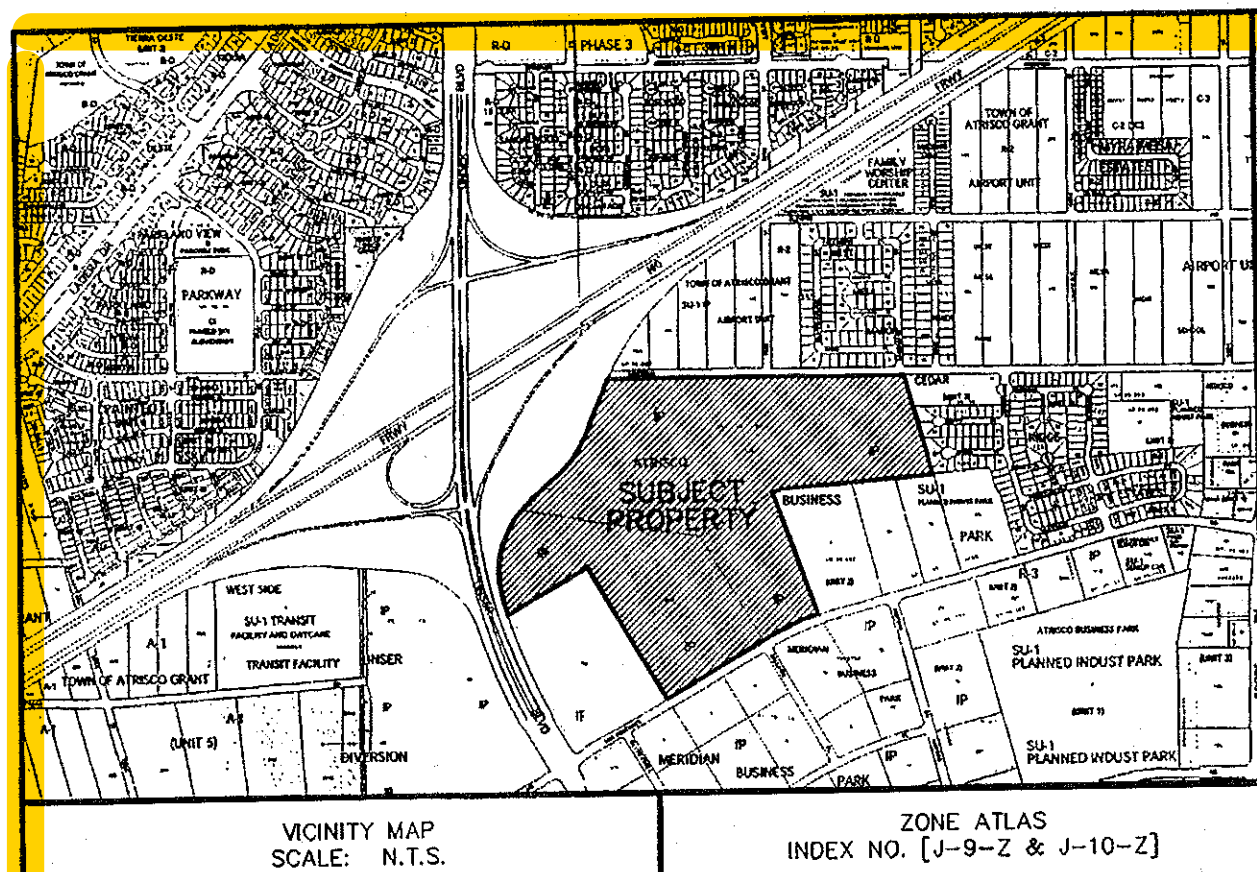
7601 LOS VOLCANES ROAD, N.W.
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
4	7-21-08	SHOP INSPECTION BAY
3	3-20-08	BUILDING PERMIT SUBMITTAL
2	2-5-08	FEDEX RESUBMITTAL TWO
1	11-20-07	FEDEX RESUBMITTAL

PROJECT NUMBER: 07305
 DRAWING FILE: FEDEX-ATRISCO-A202-ELEV
 DRAWN BY: SMF
 CHECK BY: CAV
 COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2008
 DATE: AUGUST 15, 2008

SHEET TITLE
 SERVICE BUILDING
 EXTERIOR
 ELEVATIONS

SHEET NUMBER
 A-202



SUBDIVISION DATA:

TOTAL NO. OF TRACTS EXISTING 4 ZONE ATLAS INDEX NO. J-9-Z & J-10-Z
TOTAL NO. OF TRACTS CREATED 4 DATE OF SURVEY AUGUST 2007
GROSS SUBDIVISION ACREAGE 95.9267 ACRES TALOS LOG NO. 2007342964
TOTAL MILES OF STREETS CREATED 0.39 MI CURRENT ZONING: IP

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO RECONFIGURE FOUR EXISTING TRACTS BY ELIMINATING LOT LINES AND ADDING ONE LOT LINE; TRACT COUNT WILL REMAIN AT FOUR. ADDITIONALLY, THIS PLAT WILL DEDICATE RIGHT OF WAY AND GRANT EASEMENTS.

GENERAL NOTES:

1. ACS CONTROL STATION "9-K10, 1989" DATA:
3-1/4" ALUMINUM CAP SET FLUSH WITH THE TOP OF CURB
NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X= 358,184.87 Y= 1,485,554.99 ELEV.=5114.990 (SLD 1929)
GROUND TO GRID FACTOR = 0.99967843, DELTA ALPHA = (-)00'16"21", NAD 1927
2. ACS CONTROL STATION "18-J11, 1976/1992" DATA:
STANDARD ACS BRASS CAP SET FLUSH WITH SIDEWALK STAMPED "18-J11"
NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X= 363,156.30 Y= 1,491,035.96 ELEV.=5096.805 (SLD 1929)
GROUND TO GRID FACTOR = 0.9996777, NAD 1927
3. FIELD SURVEY PERFORMED AUGUST 2007.
4. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS BASED ON A LINE FROM "9-K10" TO "18-J11" BEARING = N.42°12'28"E.
5. ALL DISTANCES ARE GROUND DISTANCES.
6. CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "CSC PS 14733" AND SHOWN AS, , UNLESS OTHERWISE INDICATED.
7. ALL INTERIOR LOT CORNERS WILL BE SET WITH COMPLETION OF INFRASTRUCTURE.

NOTE ON INSTALLATION OF SOLAR COLLECTORS:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

NOTICE OF SUBDIVISION PLAT CONDITIONS:

SEE SHEET 2 OF 2

INDEXING INFORMATION FOR COUNTY CLERK

OWNER(S): Tabet Lumber Co., Inc. & Yankee Fans LLC.
PROJ. SECTION 15, T.10N., R.2E., N.M.P.M.
SUBDIVISION: TRACTS A THRU D, MERIDIAN BUSINESS PARK II

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE # : 1-010-058-050-170-3-01-06, 1-010-058-088-110-3-01-0
PROPERTY OWNER OF RECORD: TABET LUMBER CO.
UNIFORM PROPERTY CODE # : 1-010-058-120-190-3-01-07, 1-010-058-135-115-3-01-03
PROPERTY OWNER OF RECORD: M. & B. INVESTMENTS LTD. CO.

BERNALILLO COUNTY TREASURER'S OFFICE: L. Romero DATE: 4/29/08

LAYOUT NAME: Sheet 1
DRAWING NAME: 07-600-044-00-Final Plat.dwg
NETWORK ADDRESS: M:\ISGR\07-600-044-00\CADD\Sheets\ Plot By: SH

LEGAL DESCRIPTION:

SEE SHEET 2 OF 2

DOC# 2008047920

04/29/2008 12:19 PM Page: 1 of 2
PLAT R:12.00 B: 2008047920 P: 0100 P. Toulouse, Bernalillo County

NOTICE OF SUBDIVISION PLAT CONDITIONS:

MERIDIAN BUSINESS PARK II (TRACTS A THROUGH D)

A variance or waiver from certain subdivision requirements has been granted by the City and the Albuquerque Metropolitan Arroyo Flood Control Authority in connection with this plat.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed when future plats or Site Development Plans are approved.

By its approval the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION HEREON DESCRIBED AND NOW COMPRISING TRACTS A THRU D, MERIDIAN BUSINESS PARK II, IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT ADDITIONAL EASEMENTS, AS SHOWN HEREON AND DEDICATE ADDITIONAL RIGHT-OF-WAY FOR LOS VOLCANES AND FOR NEW STREETS SHOWN HEREON, TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER/PROPRIETOR OF PROPOSED TRACTS A & B, MERIDIAN BUSINESS PARK II

BY: Herman Tabet, Vice President
FOR: TABET LUMBER CO., Inc. a New Mexico Corporation
ADDRESS: 606 Boca Ave.
Belen, New Mexico 87002

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } ss.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 30th DAY OF

August, 2007, BY Herman Tabet, Vice President of TABET LUMBER CO., Inc. a New Mexico Corporation

NOTARY PUBLIC: Kenneth A. Hunt
MY COMMISSION EXPIRES: 6-13-09
OFFICIAL SEAL: KENNETH A. HUNT
NOTARY PUBLIC - STATE OF NEW MEXICO
Notary Public Filed with Secretary of State
My Commission Expires 6-13-09

OWNER(S)/PROPRIETOR(S) OF PROPOSED TRACTS C & D, MERIDIAN BUSINESS PARK II

BY: Mayme Brunacini, Manager
FOR: Yankee Fans LLC, a New Mexico Corporation
ADDRESS: 25 Loma Del Rio
Belen, New Mexico 87002

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } ss.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 30th DAY OF

August, 2007, BY Mayme Brunacini, Manager of Yankee Fans LLC, a New Mexico Corporation

NOTARY PUBLIC: Kenneth A. Hunt
MY COMMISSION EXPIRES: 6-13-09
OFFICIAL SEAL: KENNETH A. HUNT
NOTARY PUBLIC - STATE OF NEW MEXICO
Notary Public Filed with Secretary of State
My Commission Expires 6-13-09

BY: Richard Brunacini, Manager
FOR: Yankee Fans LLC, a New Mexico Corporation
ADDRESS: 25 Loma Del Rio
Belen, New Mexico 87002

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } ss.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 30th DAY OF

August, 2007, BY Richard Brunacini, Manager of Yankee Fans LLC, a New Mexico Corporation

NOTARY PUBLIC: Kenneth A. Hunt
MY COMMISSION EXPIRES: 6-13-09
OFFICIAL SEAL: KENNETH A. HUNT
NOTARY PUBLIC - STATE OF NEW MEXICO
Notary Public Filed with Secretary of State
My Commission Expires 6-13-09

BULK LAND PLAT OF TRACTS A THRU D

MERIDIAN BUSINESS PARK II

A REPLAT OF LOT 3 AND TRACTS S-1A, S-2A-2
ATRISCO BUSINESS PARK, UNIT 2
WITHIN PROJECTED SECTION 15, T.10N., R.2E., N.M.P.M.
ATRISCO GRANT, CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2007

PROJECT NUMBER: 1006798

APPLICATION NUMBER: 07 DRB-70236

PLAT APPROVAL

UTILITY APPROVALS: PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE NOT EXCLUSIVE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF THE UTILITIES DESIGNATED ON THIS PLAT, THEIR SUCCESSORS AND ASSIGNS, AND FOR THE USE OF ANY OTHER PUBLIC UTILITIES WHOSE USE OF SAID EASEMENT IS DEEDED TO BE IN THE PUBLIC INTEREST. PNM GAS & ELECTRIC SERVICES DISCLAIMER: IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON, CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT, WHICH ARE NOT SHOWN ON THIS PLAT.

PNM ELECTRIC SERVICES	<u>10-3-07</u>
DATE	
PNM GAS SERVICES	<u>10-3-07</u>
DATE	
QWEST TELECOMMUNICATIONS	<u>9/24/07</u>
DATE	
COMCAST	<u>9-24-07</u>
DATE	
CITY APPROVALS:	
<u>8-31-07</u>	
CITY SURVEYOR	DATE
<u>N/A</u>	
REAL PROPERTY DIVISION	DATE
<u>N/A</u>	
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<u>4-25-08</u>	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<u>7-26-07</u>	
ABC/WUA	DATE
<u>9/26/07</u>	
PARKS AND RECREATION DEPARTMENT	DATE
<u>4/25/08</u>	
A.M.A.F.C.A.	DATE
<u>4/25/08</u>	
CITY ENGINEER	DATE
<u>9/24/07</u>	
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST, IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007.

Christopher S. Croshaw
CHRISTOPHER S. CROSHAW
N.M.P.L.S. #14733
30 August 2007
DATE



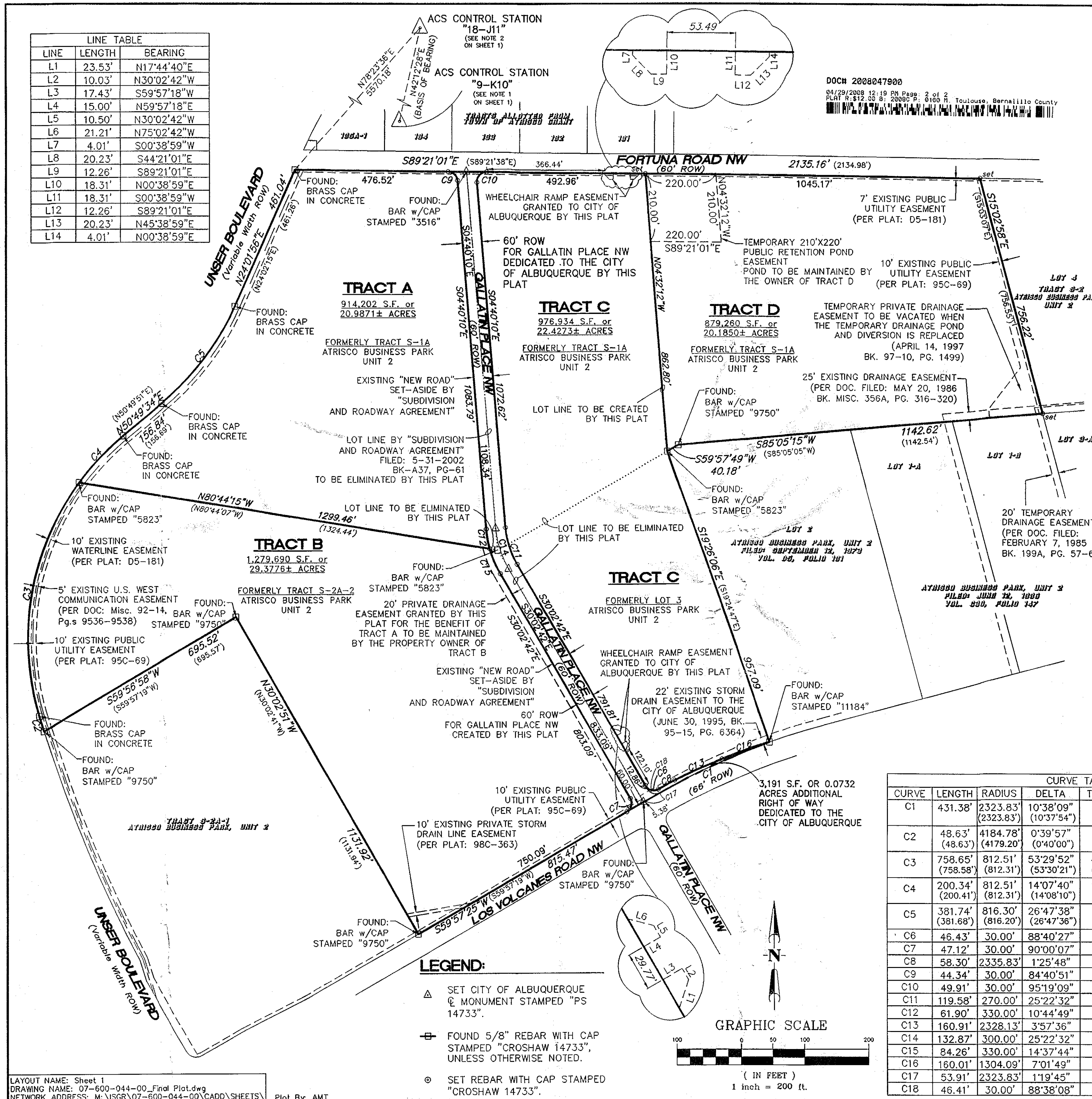
WILSON & COMPANY

4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
87109
(505) 348-4000

SHEET 1 OF 2

WCEA PROJ. NO. 07-600-044-00

LINE TABLE		
LINE	LENGTH	BEARING
L1	23.53'	N17°44'04"E
L2	10.03'	N30°02'42"W
L3	17.43'	S59°57'18"W
L4	15.00'	N59°57'18"E
L5	10.50'	N30°02'42"W
L6	21.21'	N75°02'42"W
L7	4.01'	S00°38'59"W
L8	20.23'	S44°21'01"E
L9	12.26'	S89°21'01"E
L10	18.31'	N00°38'59"E
L11	18.31'	S00°38'59"W
L12	12.26'	S89°21'01"E
L13	20.23'	N45°38'59"E
L14	4.01'	N00°38'59"E



BULK LAND PLAT OF
TRACTS A THRU D
MERIDIAN BUSINESS PARK II

A REPLAT OF LOT 3 AND TRACTS S-1A, S-2A-2
ATRISCO BUSINESS PARK, UNIT 2
WITHIN PROJECTED SECTION 15, T.10N., R.2E., N.M.P.M.
ATRISCO GRANT, CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2007

LEGAL DESCRIPTION:

A certain tract of land situate within projected Section Fifteen (15), Township Ten (10) North, Range Two (2) East of the New Mexico Principal Meridian, Atresco Grant, City of Albuquerque, Bernalillo County, New Mexico being described as a portion of Tract S-1-A as shown on the Plat TRACTS 2-1A and S-2A, ATRISCO BUSINESS PARK, UNIT 1, as shown on the County Clerk of Bernalillo County, New Mexico on February 28, 1995 of the County Clerk of Bernalillo County, New Mexico as shown on the plat S-2A-1 and S-2A-2 ATRISCO BUSINESS PARK, UNIT 2, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 12, 1995 of the County Clerk of Bernalillo County, New Mexico as shown on the plat ATRISCO BUSINESS PARK, UNIT 2, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 12, 1973 in Book D5, Page 181; said tract being more particularly described by metes and bounds as

BEGINNING at the Northwest Corner of said Tract herein described, being the intersection of Unser Boulevard and Fortuna Road NW whence the ACS Monument "18-111" found in place bears N.78°23'36"E. a distance of 5570.18 feet distant; thence
 S.89°21'01"E. along the Southerly Right of Way line of Fortuna Road NW distance of 2135.16 feet to the Northeast Corner of said Tract S-1A, ATRISCO BUSINESS PARK, UNIT 2; thence
 S.15°02'58"E. along the Easterly line of said Tract S-1A a distance of 756.22 feet; thence
 S.85°05'15"W. along the Southerly line of said Tract S-1A a distance of 1142.62 feet; thence
 S.59°57'49"W. a distance of 40.18 feet to the Northwest Corner of Lot 2, ATRISCO BUSINESS PARK, UNIT 2; thence
 S.19°26'06"E. along the Westerly line of said Lot 2 a distance of 957.09 feet to the center of a curve to the left lying on the Northerly Right of Way line of Los Volcanes Road Northwest; thence
 Continuing along said Northerly Right of Way line and along the arc of said curve having a distance of 431.38 feet, a Radius of 2,325.83 feet, and a Central Angle of 10°38'09" and a Chord of 430.75 feet which bears
 S.65°18'29"W. to thence
 S.59°57'25"W. a distance of 815.47 feet to the Southeast Corner of Tract S-2A as shown on the Plat ATRISCO BUSINESS PARK, UNIT 2 filed on December 23, 1998 in Book 98C, Page 363; thence
 N.30°02'51"W. along the Easterly line of said Tract S-2A-1 a distance of 1131.92 feet to the Northeast Corner of said Tract; thence
 S.59°56'58"W. along the Northerly line of said Tract S-2A-1 a distance of 695.52 feet to the intersection of the Southwest Corner of said Tract S-2A-2 and the Northerly Right of Way line of Unser Boulevard and a point on a curve to the right; thence
 48.63 feet along the arc of said curve having a Radius of 4,184.78 feet, a Central Angle of 00°39'57" and a Chord of 48.62 feet which bears N.17°09'11"W. to a point of compound curvature; thence
 758.65 feet along the arc of said curve having a Radius of 812.51 feet, a Central Angle of 03°29'52" and a Chord of 731.39 feet which bears N.09°59'48"E. to the Southwest Corner of Tract S-2A-2 as shown on the Plat ATRISCO BUSINESS PARK, UNIT 2 filed on December 23, 1998 in Book 98C, Page 363; thence
 continuing along said curve 200.34 feet along the arc of said curve having a Radius of 812.51 feet, and a Central Angle of 14°07'40" and a Chord of 199.84 feet which bears N.43°45'34"E.; thence
 N.50°49'34"E. a distance of 158.84 feet to a point on a curve to the left; thence
 381.74 feet along the arc of said curve having a Radius of 816.30 feet and a Central Angle of 26°47'38" and a Chord of 378.27 feet which bears
 N.37°25'45"E.; thence
 N.24°01'56"E. a distance of 461.04 feet to the Point of Beginning.
 Said tract contains 1,178,566 Square Feet or 95,928.67 Acres, more or less,

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	431.38'	2323.83' (2323.83)	103°08'06" (103°57'54")	216.31'	430.76'	S65°18'29"W
C2	48.63' (48.63)	4184.78' (4179.20)	0°39'57" (04°00'00")	24.31' (24.31)	48.62' (48.62)	N17°09'11"W (S17°08'39"E)
C3	758.65' (758.58)	812.51' (812.31)	53°29'52" (53°30'21")	409.52' (409.49)	731.39' (731.31)	N09°56'48"E (S09°56'31"E)
C4	200.41' (200.41)	812.51' (812.31)	14°07'40" (14°08'10")	100.67' (100.72)	199.84' (199.91)	N43°45'34"E (S43°45'46"W)
C5	381.74' (381.68)	816.30' (816.20)	26°47'38" (26°47'36")	194.42' (194.40)	378.27' (378.21)	N37°25'45"E (S37°26'03"E)
C6	46.43'	30.00'	88°40'27"	29.31'	41.93'	N74°22'56"E
C7	47.12'	30.00'	90°00'07"	30.00'	42.43'	N14°57'21"E
C8	58.30'	2335.83'	1°25'48"	29.15'	58.30'	S61°51'45"W
C9	44.34'	30.00'	84°40'51"	27.34'	40.41'	N47°00'35"W
C10	49.91'	30.00'	95°19'09"	32.92'	44.35'	N42°50'25"W
C11	61.95'	270.00'	25°22'32"	60.79'	118.61'	N17°21'26"E
C12	119.58'	330.00'	10°44'49"	31.04'	61.81'	S10°02'34"E
C13	160.91'	2328.13'	3°57'36"	80.49'	160.88'	S66°28'02"W
C14	132.87'	300.00'	25°22'32"	67.54'	131.78'	N17°21'26"E
C15	84.26'	330.00'	14°37'44"	42.36'	84.03'	S22°43'50"E
C16	160.01'	1304.09'	7°01'49"	80.11'	159.91'	N73°11'12"E
C17	53.91'	2323.83'	119°45'55"	26.96'	53.91'	S60°39'17"W
C18	46.41'	30.00'	88°38'08"	29.29'	41.92'	N74°21'46"E

WILSON
& COMPANY

4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
87109

(505) 348-4000

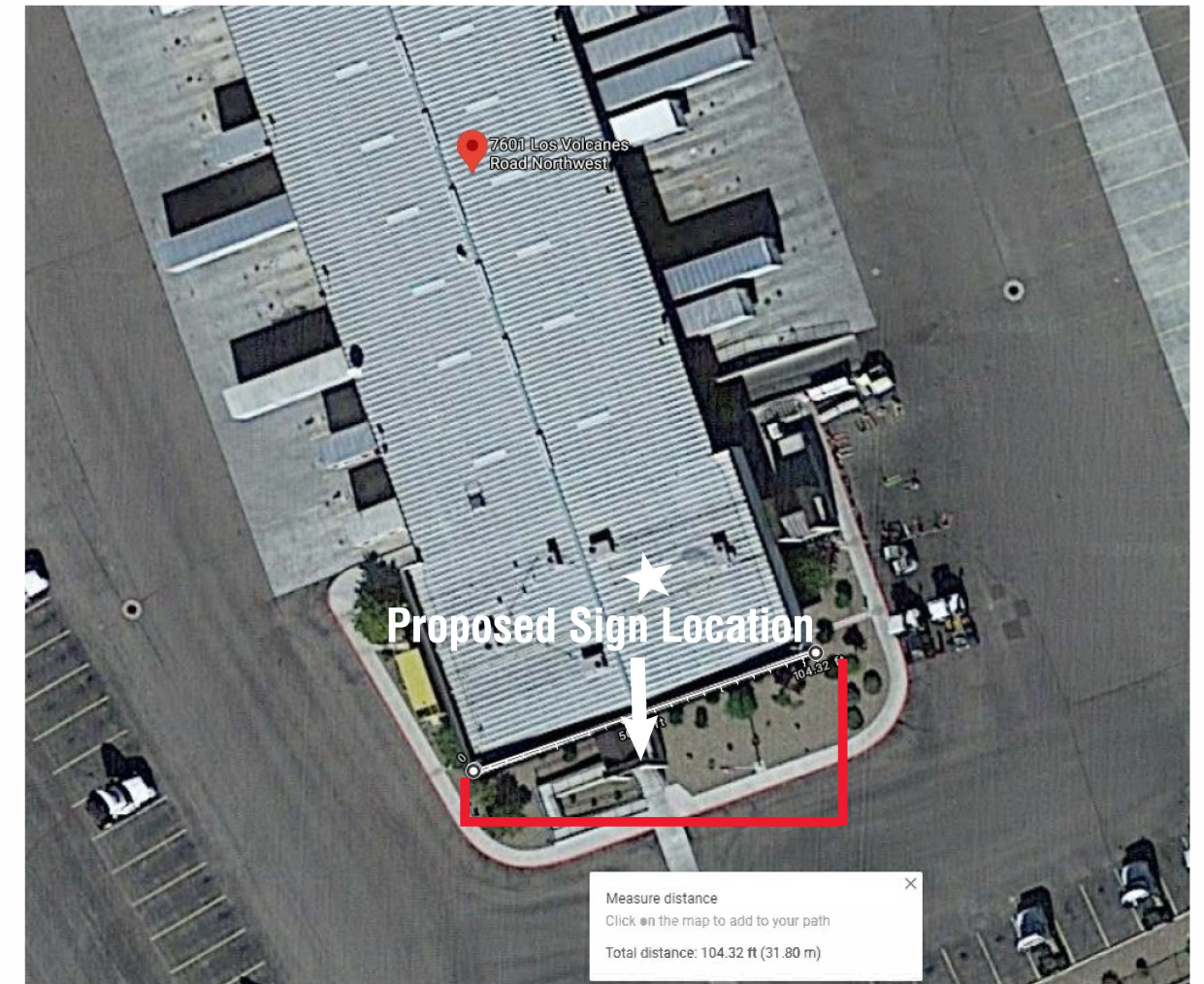
SHEET 2 OF 2

WCEA PROJ. NO. 07-600-044-00

Sign A: Non-Illuminated Dimensional Logo & Letters



Not to Scale



Lease Space, South Facade: 104.32' L x 15.75' H

Sun Country Industries

Address: 7601 Los Volcanes RD NW, Unit C, Suite 102
City/State: Albuquerque NM 87121
Phone: 505-998-1951

★ See Detail Sheets A & A2

SignPlexTM
Indoor - Outdoor Innovations
P:505-341-0213 F:505-341-3291

Sign B: Exterior DiBond Signs

West Facade



Not to Scale



★ See Detail Sheet B

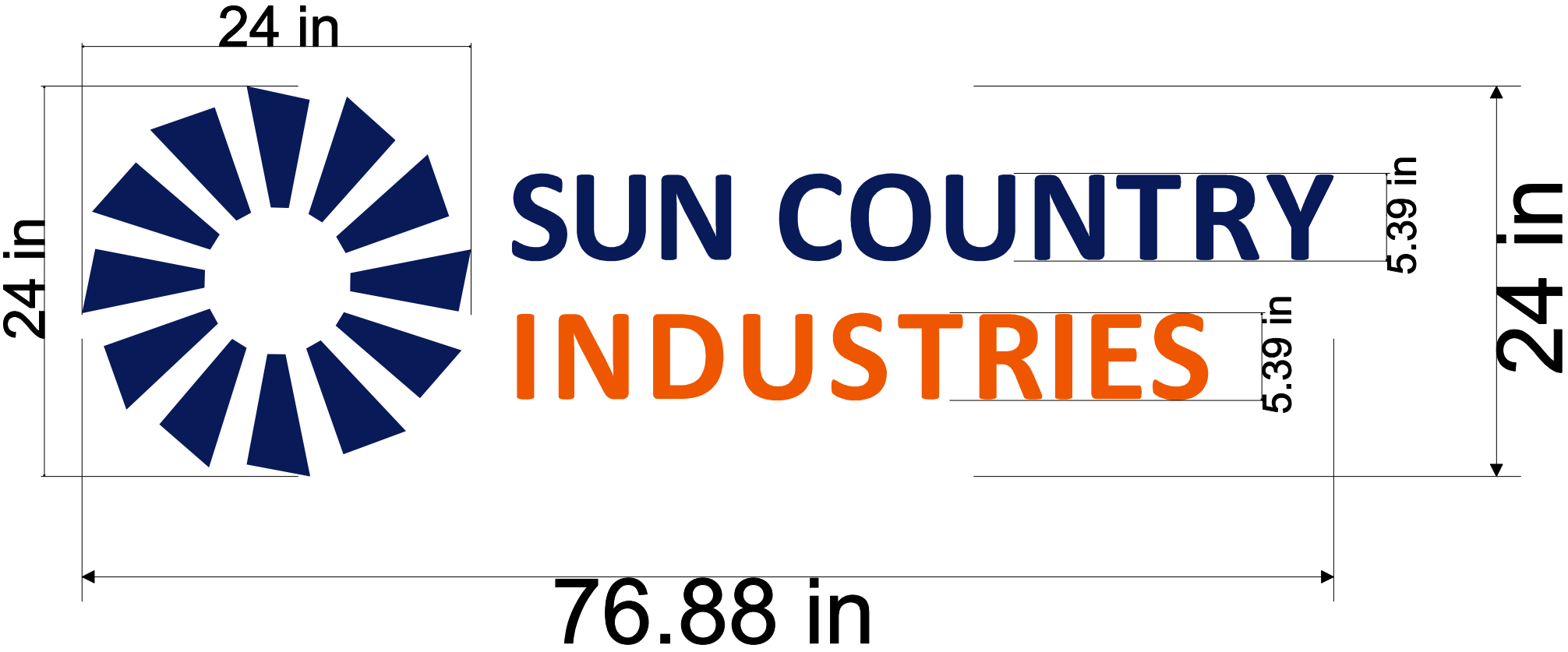
Sun Country Industries

Address: 7601 Los Volcanes RD NW, Unit C, Suite 102
City/State: Albuquerque NM 87121
Phone: 505-998-1951

 **SignPlex**TM
Indoor - Outdoor Innovations
P:505-341-0213 F:505-341-3291

Detail A - Sign A South Facade

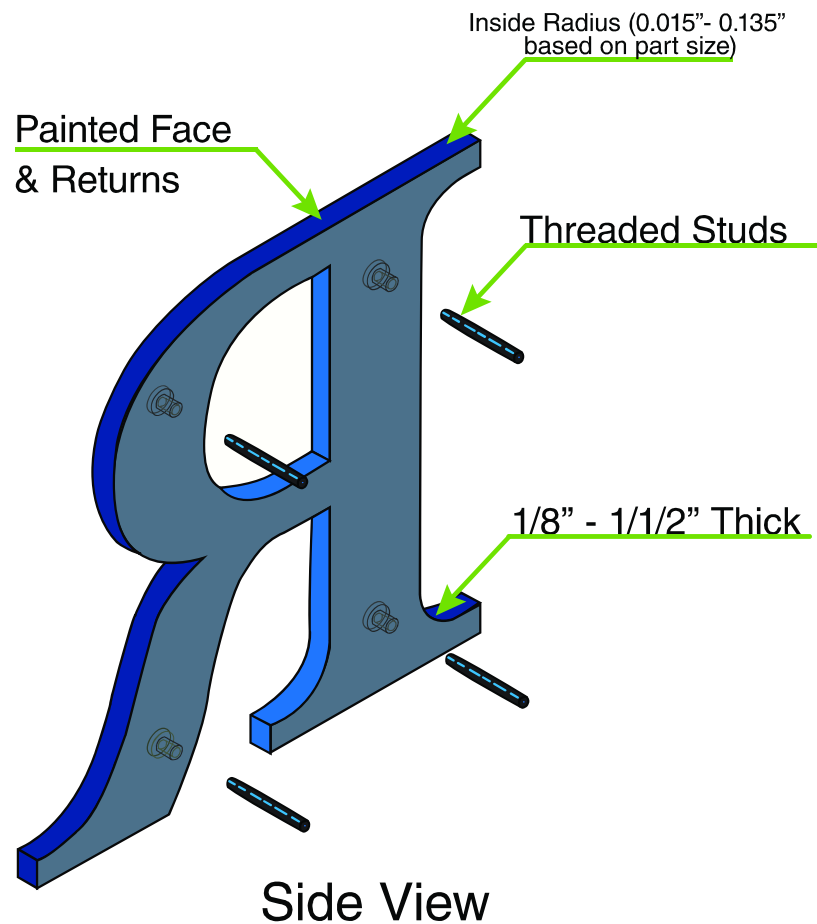
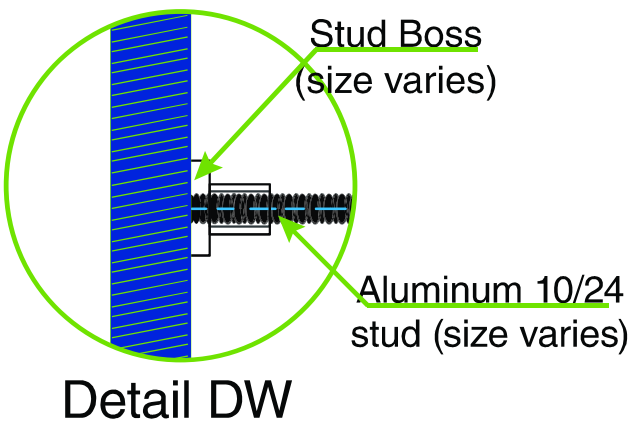
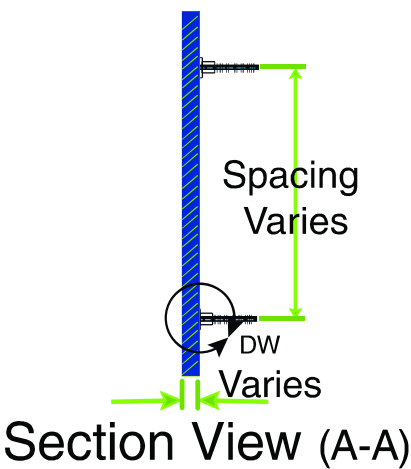
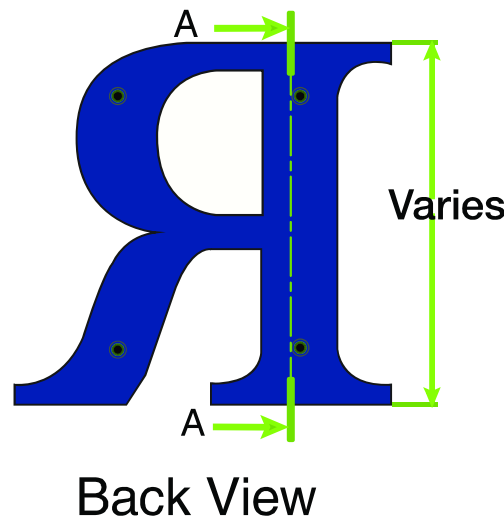
- A** Quantity 1: Non-illuminated, flat cut building letters
Sign Size: 6' 4" x 2' Sign sq/ft: 139 sq/ft
Total Signage sq/ft: 12.83 sq/ft
Leased Space Facade sq/ft: 104' x 44.5 = 4,628 sq/ft
Sign is : 0.03% of the Facade



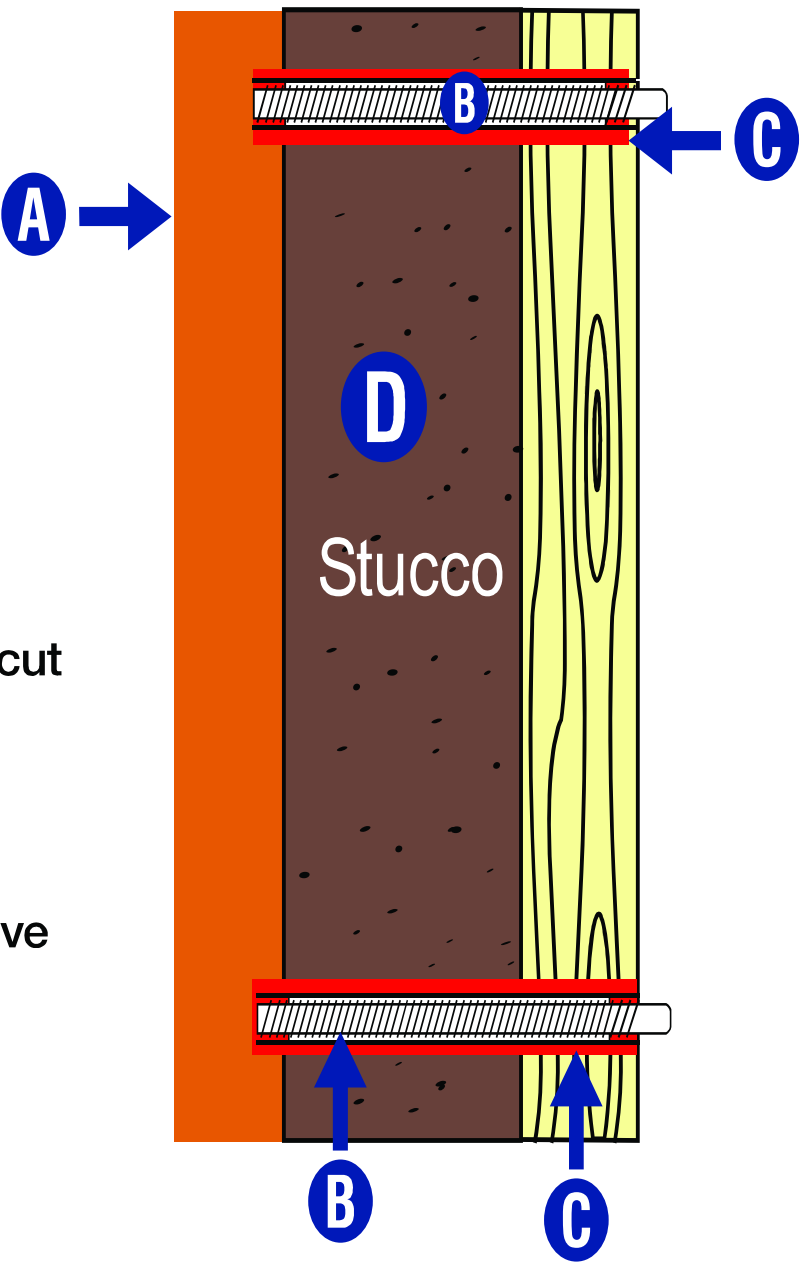
Detail A2 - Sign A

South Facade

Acrylic Letter - Details



Flush/Stud Mount Side View



- A** 3/8" Thick flat cut acrylic letters
- B** 3/16" Studs
- C** Red indicates silicone adhesive
- D** Stucco wall with plywood back

Not to Scale

Details B - Sign B West Facade

- B** Quantity 2: Non-illuminated, printed vinyl on Dibond exterior signs.
Sign B-1 Size: 10' x 3' Sign sq/ft: 30 sq/ft
Sign B-2 Size: 10' x 3' Sign sq/ft: 30 sq/ft
Total Signage sq/ft: 60 sq/ft
Leased Space Facade sq/ft: 186.79' x 44.5' = 8,308 sq/ft
Signs Are : 0.07% of the Facade

B1 →



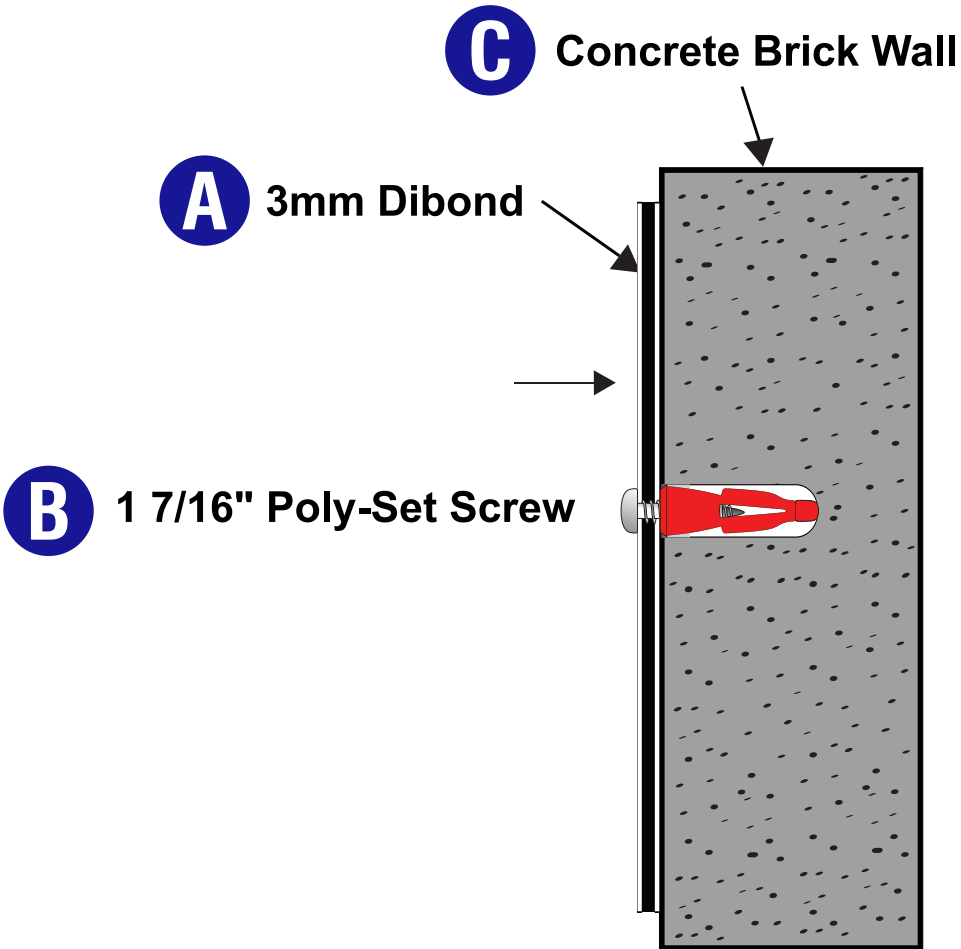
B2 →



Not to Scale

Details B2 - Sign B

West Facade



- A** 3mm DiBond
- B** #12 1 7/16" Poly-Set Screw
- C** Concrete Brick Wall



Site Plan

7601 Los Volcanes RD NW
Albuquerque NM 87120

