



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: Gina Kelly w/ SGA Design Group		Phone: (918)587-8602, ext. 299
Address: 1437 S Boulder Ave - Ste. 550		Email: ginak@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

### BRIEF DESCRIPTION OF REQUEST

We are updating the previous approved AA to update site to remove the OGP Canopy and update the OGP Parking updates and add 1 additional pole light to light up OGP parking area. See Civil Sheets.

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 1A	Block:	Unit:
Subdivision/Addition: Lamonica & Wenk	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): P10	Existing Zoning: MX-L	Proposed Zoning: No Change MX-L
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 21+ acres

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 3500 Coors Blvd SW	Between: Rio Bravo	and: Coors
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### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

SI-2021-00089	
Signature:	Date: 05/19/2021
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**ACCELERATED EXPIRATION SITE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ALTERNATIVE SIGNAGE PLAN**

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)
  - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
  - Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ALTERNATIVE LANDSCAPE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.**

<b>Signature:</b> 	<b>Date:</b> 005/19/2021
<b>Printed Name:</b> Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	



**SGA** Design Group

May 17, 2021

Maggie Gould, Planning Manager  
City of Albuquerque Planning Department  
Land Development Coordination  
600 Second Street NW  
Albuquerque, NM 87109

Re. Walmart #5430.248 located at: 3500 Coors Blvd SW  
Amendment to AA #SI-2021-00089

The scope of work for this Administrative Amendment review is the for updating of the current Walmart site changes. We are proposing the removal of the OGP canopy from the site and update OGP parking stalls plus addition of a electric light pole to match existing lighting for the site to add lighting to the updated OGP Parking area at the back left side of the store.

With these updates being proposed, the movement of the OGP items listed above will help serve the store staff and customers better.

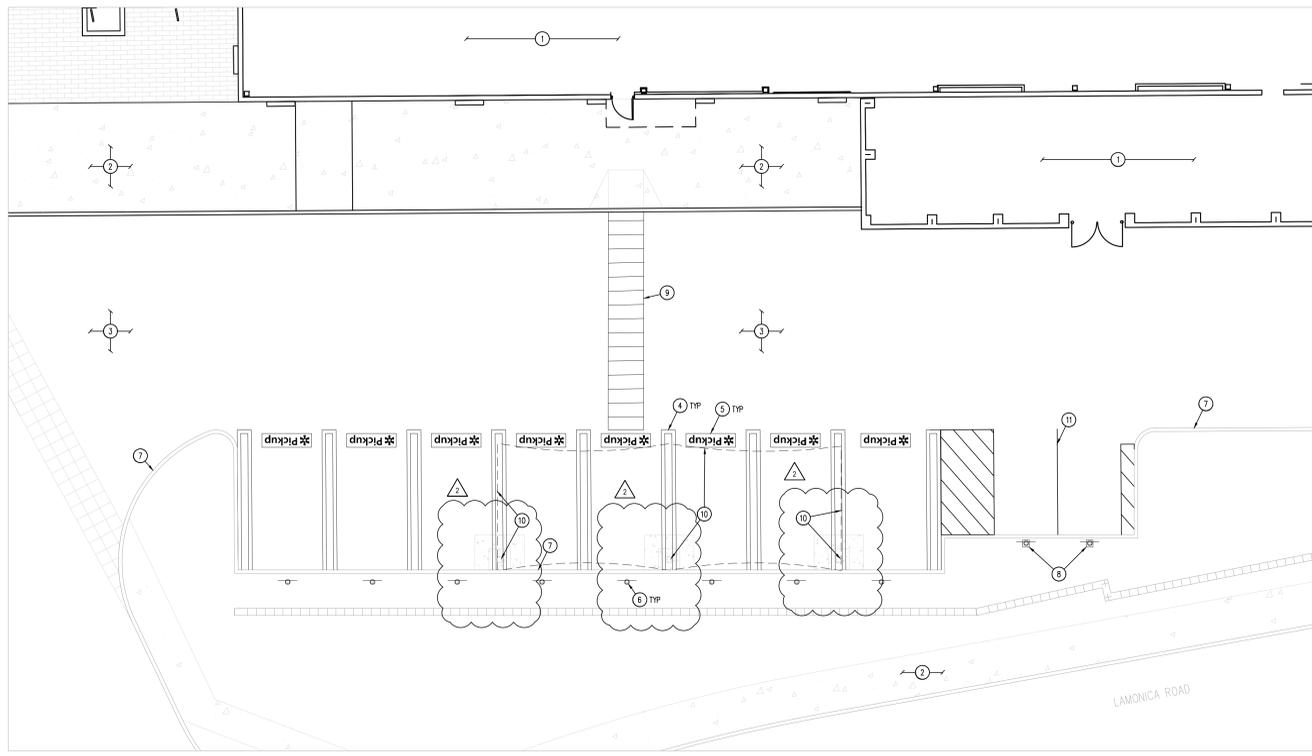
The impact to the site will be minimal and we ask for approval to proceed upon approval of permit number BP-2020-54296 that is currently in plan review with the Building Department.

If you have any questions, please do not hesitate to contact me.

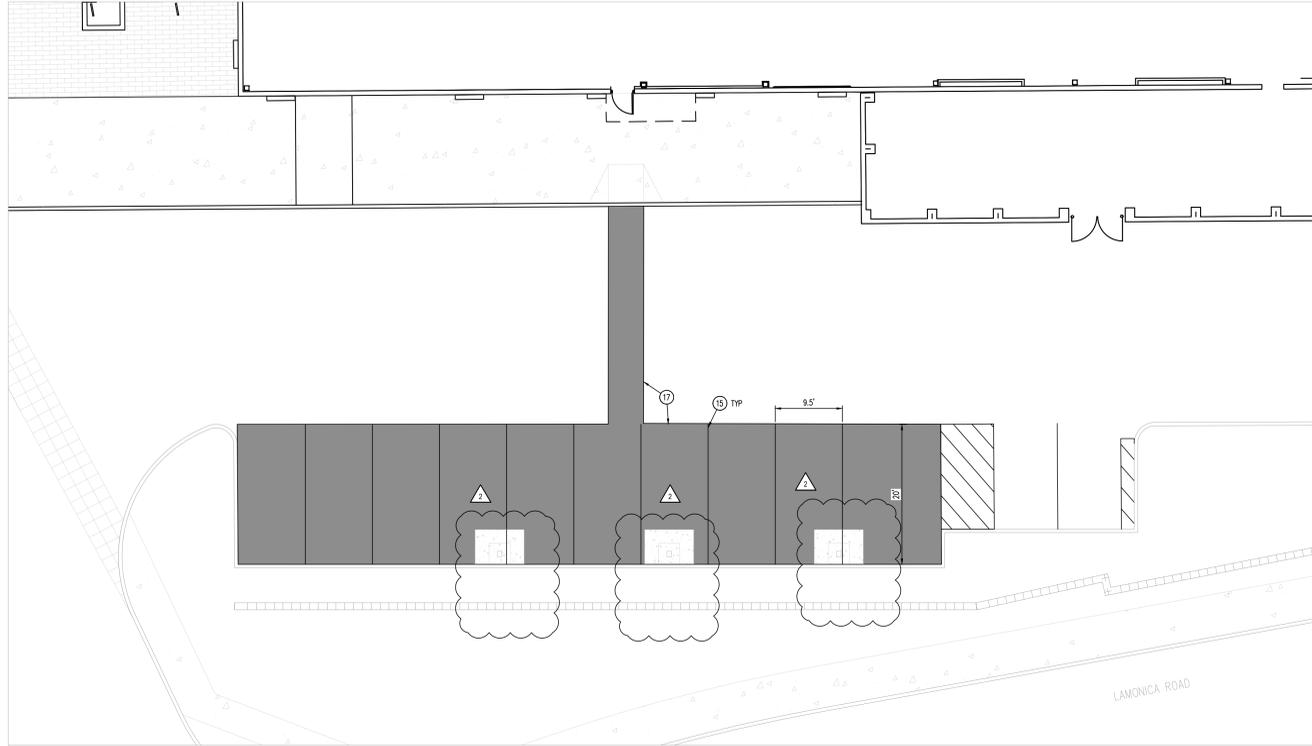
Thank you,

A handwritten signature in blue ink that reads "Gina Kelly".

Gina Kelly  
SGA Design Group  
1437 S Boulder Ave-Ste. 550  
Tulsa, OK 74119  
ginak@sgadesigngroup.com



DEMOLITION PLAN - EXISTING PICKUP PARKING  
SCALE: 1"=10'



SITE PLAN - PROPOSED PARKING  
SCALE: 1"=10'

**DEMOLITION NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAVS, WALLS, FLOORS, FOUNDATIONS, PARKING, DRIVEWAYS, BRANCHES, STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL FOR THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY UNEXPECTED FEATURES. NOTIFY ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PREPARE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
11. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHORING, BRACING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

**SITE NOTES**

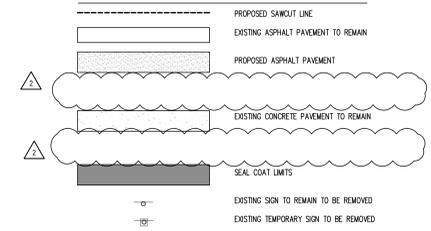
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

PARKING CALCULATIONS			
EXISTING STALL COUNT (OVERALL SITE)	998 STANDARD STALLS	8 PICKUP STALLS	
	STANDARD STALLS ADDED	PICKUP STALLS ADDED	
EXISTING LOCATION	10 STANDARD STALLS	LOSS OF 8 PICKUP STALLS	
NEW LOCATION	LOSS OF 46 STANDARD STALLS	29 PICKUP STALLS	
PROPOSED STALL COUNT (OVERALL SITE)	962 STANDARD STALLS	21 PICKUP STALLS	
TOTAL PARKING REQUIRED (W/BUS CREDIT)	859		
TOTAL STALLS PROVIDED (STANDARD & PICKUP)	983		



KEY MAP  
APPROX. 1" = 400'

**LEGEND**

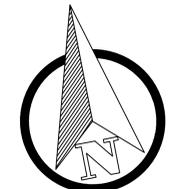


**SITE & DEMOLITION SCHEDULE**

1. EXISTING WALMART BUILDING TO REMAIN.
2. EXISTING CONCRETE PAVEMENT TO REMAIN.
3. EXISTING ASPHALT PAVEMENT TO REMAIN.
4. EXISTING STRIPING TO BE REMOVED.
5. EXISTING PICKUP PAVEMENT MARKINGS TO BE REMOVED.
6. EXISTING PICKUP SIGNAGE, POST AND BASE TO BE REMOVED AND PROPERLY DISPOSED OF.
7. EXISTING CURB AND GUTTER TO REMAIN.
8. EXISTING TEMPORARY SIGNAGE TO BE REMOVED AND PROPERLY DISPOSED OF.
9. EXISTING CROSSWALK STRIPING TO BE REMOVED.
10. EXISTING CANOPY COLUMNS TO BE REMOVED. EXISTING COLUMNS TO BE CUT, FLUSH WITH EXISTING PAVEMENT AND FILLED WITH CONCRETE TO MATCH EXISTING GRADE.
11. EXISTING STRIPING TO REMAIN.
12. N/A
13. N/A
14. N/A
15. N/A
16. PROPOSED 4" WIDE SOLID YELLOW PARKING LOT STRIPING.
17. N/A
18. PROPOSED SEAL COAT OVER EXISTING PAVEMENT.

**CAUTION - NOTICE TO CONTRACTOR**

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE ELEVANCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



**Galloway**  
1925 Miami Drive, Suite 107  
Albuquerque, NM 87102  
760-880-2225  
galloway.com

STIPULATION FOR REUSE:  
THIS DRAWING WAS PREPARED FOR THE PROJECT DESCRIBED ABOVE AND IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER IS STRICTLY PROHIBITED.

**BRANDON ALLEY**  
NEW MEXICO  
25037  
PROFESSIONAL ENGINEER  
05/13/2021

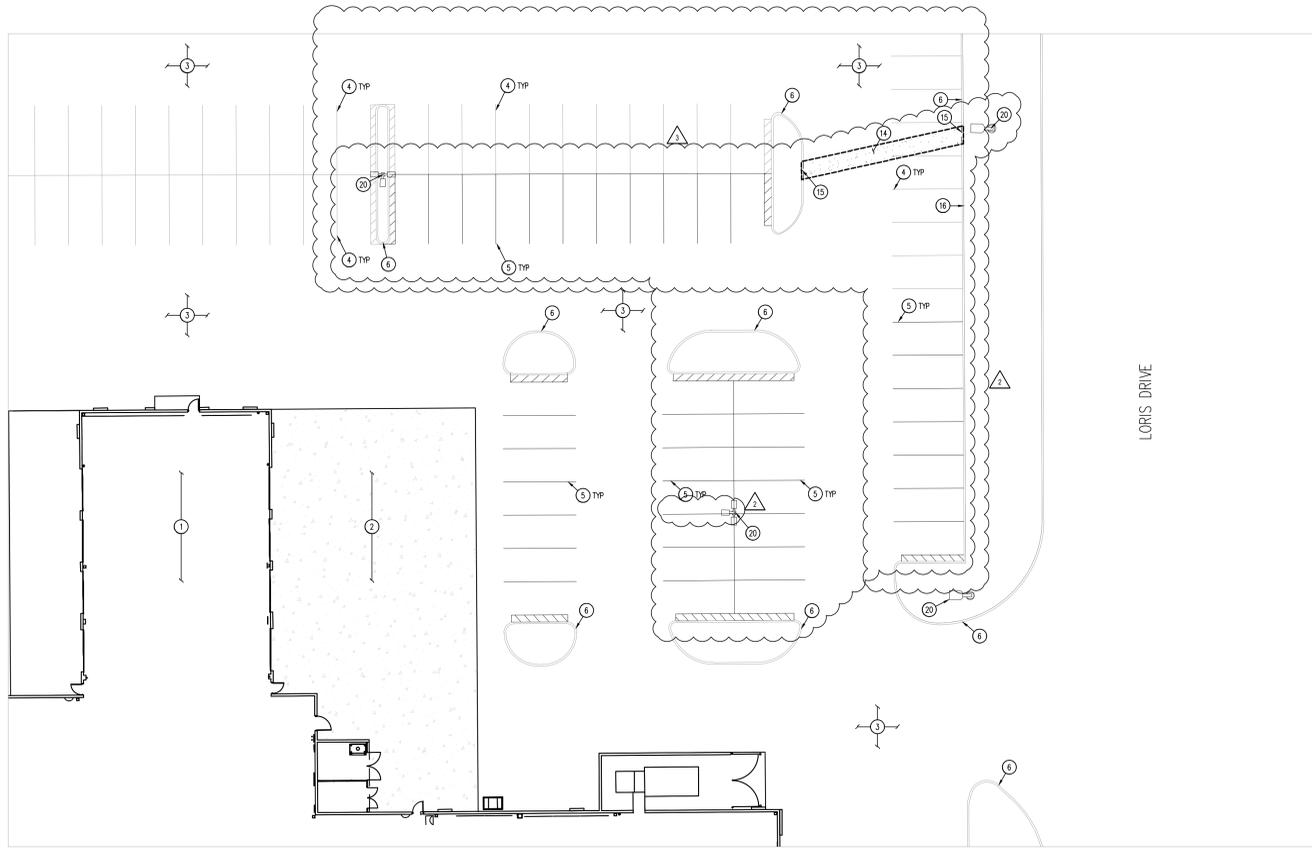
**Walmart**  
ALBUQUERQUE (S), NM  
3500 COORS BLVD SW  
STORE NO: 05430-248  
JOB NUMBER: SGA05430-201 (PROJ)  
2021 MAJOR PROJECT

ISSUE BLOCK		
PR #1	01/21/21	
CCD #	03/01/21	
CCD 1#	05/14/21	

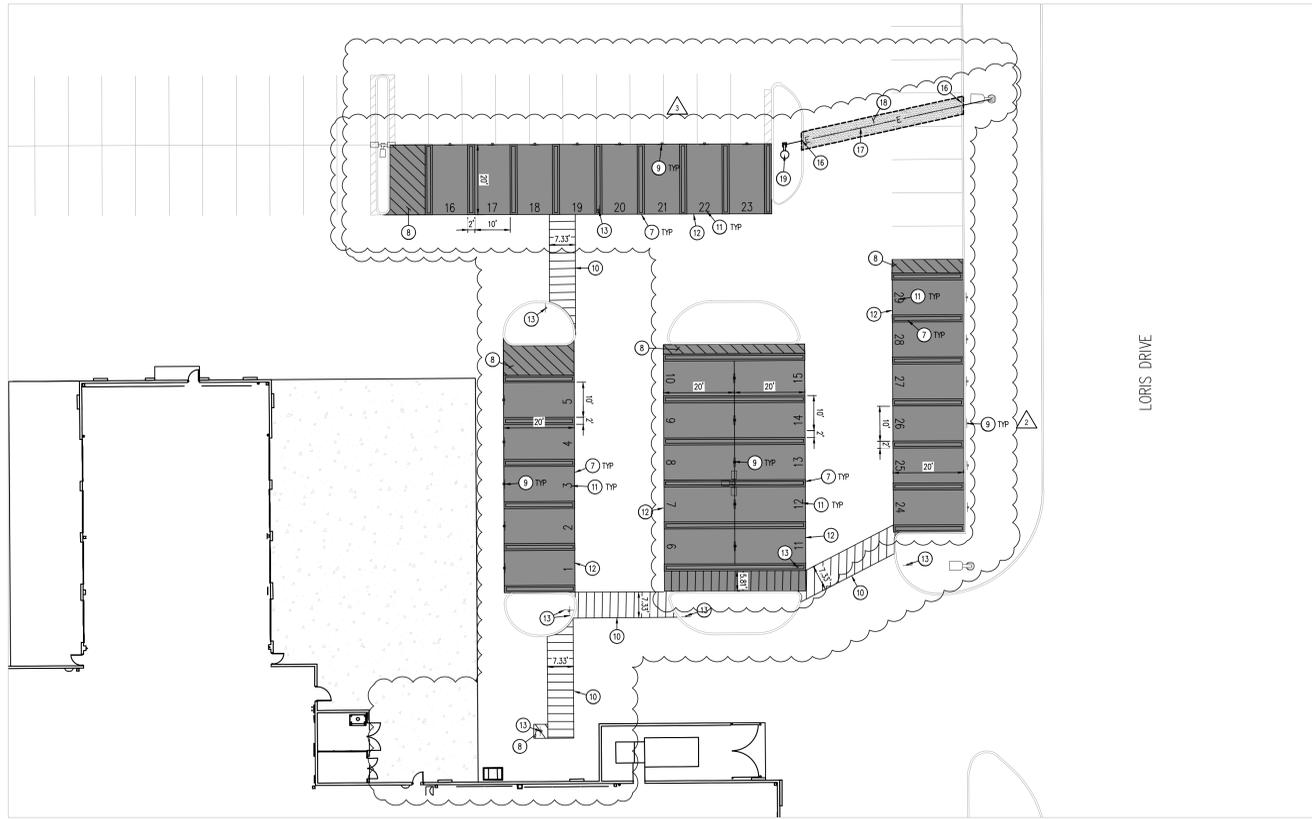
CHECKED BY: RCJ  
DRAWN BY: DJS  
PROTO CYCLE: 09/25/20  
DOCUMENT DATE: 01/21/21

EXISTING PICKUP DEMOLITION & SITE PLAN

SHEET: CS1



DEMOLITION PLAN - EXISTING PARKING  
SCALE: 1"=10'



SITE PLAN - PROPOSED PICKUP PARKING  
SCALE: 1"=10'

DEMOLITION NOTES

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9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UTILITIES OR STRUCTURES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
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12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL, AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRE-CISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & RELES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	X
WAITING SPACES RIGHT	18 X 24	X
WAITING SPACES AHEAD	18 X 24	X
RESERVED WAITING	18 X 24	X
PICKUP LEFT PHARMACY RIGHT	18 X 24	X
PICKUP RIGHT PHARMACY LEFT	18 X 24	X
STOP THANKS FOR ORDERING	18 X 36	X
PICKUP HOURS	18 X 36	X
RESERVED	18 X 18	29
PHONE NUMBER	8 X 18	29
VERTICAL PICKUP	18 X 36	29
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	4
PICKUP RIGHT	18 X 24	2

ALL PICKUP WAITING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEMER (brad.kemer@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.

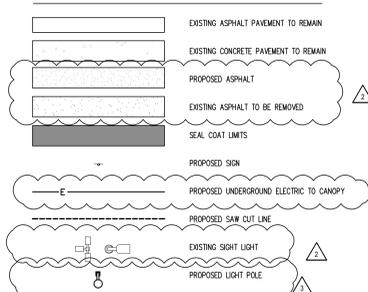
EXISTING STALL COUNT (OVERALL SITE)	STANDARD STALLS ADDED	PICKUP STALLS ADDED
998 STANDARD STALLS	8 PICKUP STALLS	
10 STANDARD STALLS	LOSS OF 8 PICKUP STALLS	
NEW LOCATION	LOSS OF 46 STANDARD STALLS	29 PICKUP STALLS
PROPOSED STALL COUNT (OVERALL SITE)	962 STANDARD STALLS	21 PICKUP STALLS
TOTAL PARKING REQUIRED (W/BUS CREDIT)	859	
TOTAL STALLS PROVIDED (STANDARD & PICKUP)	983	



KEY MAP

APPROX. 1"=400'

LEGEND

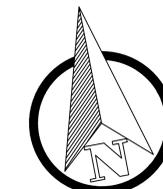


SITE & DEMOLITION SCHEDULE

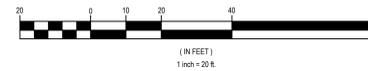
1. EXISTING WALMART BUILDING TO REMAIN.
2. EXISTING CONCRETE PAVEMENT TO REMAIN.
3. EXISTING ASPHALT PAVEMENT TO REMAIN.
4. EXISTING STRIPING TO REMAIN.
5. EXISTING CURB AND GUTTER TO REMAIN.
6. PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING.
7. PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING, 2' O.C. @ 45° WITH 4" PERIMETER STRIPE.
8. PROPOSED PICKUP SIGNAGE, SIGN POST, AND BOLLARD (REF. SITE DETAILS).
9. NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPING PERPENDICULAR TO BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS (REF. SITE DETAILS).
10. PROPOSED PICKUP NUMBER PAVEMENT MARKING (REF. SITE DETAILS).
11. PROPOSED SEAL COAT OVER EXISTING PAVEMENT.
12. PROPOSED PEDESTRIAN CROSSING SIGNAGE AND BOLLARD BASE. MATCH EXISTING PEDESTRIAN CROSSING SIGNAGE ON SITE (W1-58 OR W1-2 & W16-7P).
13. EXISTING ASPHALT TO BE REMOVED.
14. EXISTING CURB AND GUTTER TO BE REMOVED.
15. PROPOSED CURB AND GUTTER TO REMAIN. CONTRACTOR TO MATCH EXISTING TYPE AND ELEVATIONS.
16. PROPOSED ELECTRIC LINE TO NEW LIGHT POLE. (REF. ARCHITECTURAL DRAWINGS).
17. PROPOSED ASPHALT PATCH. (REF. SITE DETAILS).
18. PROPOSED LIGHT POLE. (REF. SITE DETAILS FOR LIGHT POLE BASE DETAILS) (REF. ELECTRICAL DRAWINGS).
19. EXISTING SIGHT LIGHT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHENEVER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRAPHIC SCALE



**Galloway**  
1726 Main Drive, Suite 107  
Albuquerque, NM 87102  
771.880.2225  
galloway.com

STIPULATION FOR REUSE:  
THIS DRAWING WAS PREPARED FOR THE PROJECT DESCRIBED HEREIN. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER IS PROHIBITED.

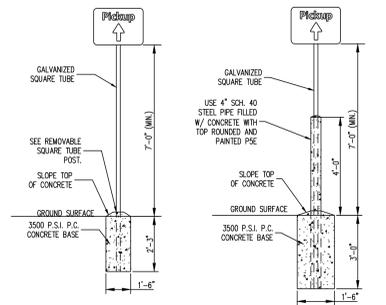
**BRANDON ALLEY**  
NEW MEXICO  
25037  
PROFESSIONAL ENGINEER  
05/13/2021

**Walmart**  
ALBUQUERQUE (S), NM  
3500 COORS BLVD SW  
STORE NO: 05430-248  
JOB NUMBER: SGA05430-20 (PROJ)  
2021 MAJOR PROJECT

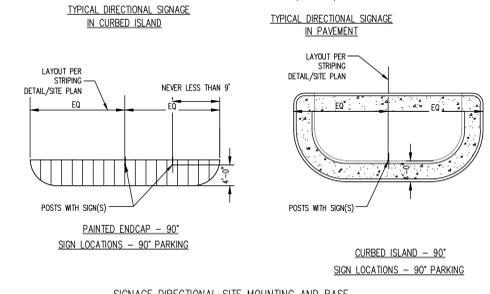
NO.	DESCRIPTION	DATE
1	PR #1	01/21/21
2	ADD #1	02/16/21
3	CCD 1#	05/14/21

CHECKED BY: RCJ  
DRAWN BY: DJS  
PROTO CYCLE: 09/25/20  
DOCUMENT DATE: 01/21/21

PROPOSED PICKUP DEMOLITION & SITE PLAN  
SHEET: CS2



NOTES:  
1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATOR'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES' LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



06/13/19



Stall Designation Signs  
18" x 18"  
2.25 SF



Logo Signs (Large)  
Also Pickup Hours sign size  
36" x 18"



Logo Signs (Small)  
18" x 8"  
1.00 SF

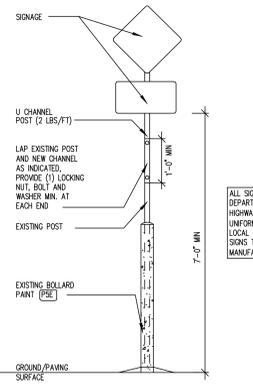


Parking Stall Placard  
For pickup, please call: 555-555-5555

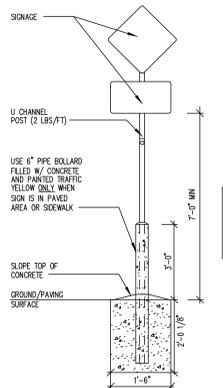


Directional Signs (Left / Straight / Right)  
18" x 24"  
3.00 SF

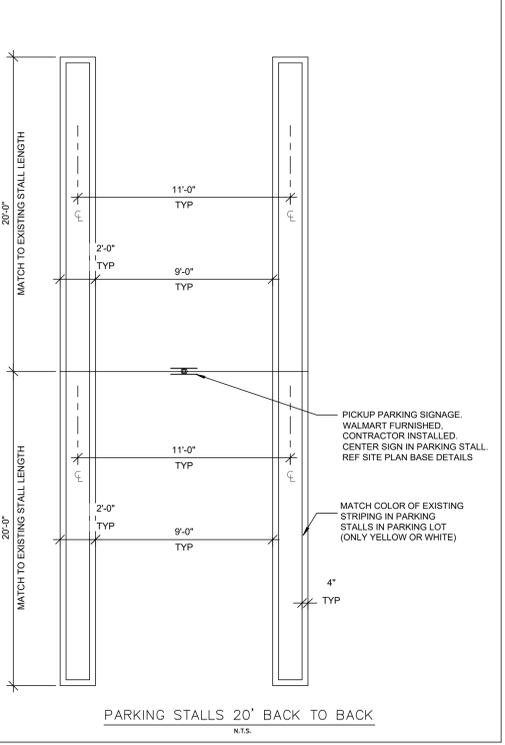
"PICKUP" SIGNAGE



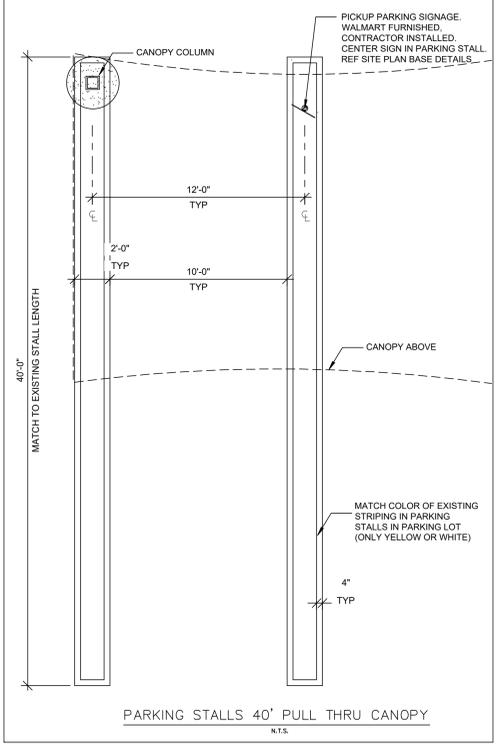
SIGNAGE SITE WITH EXISTING BASE



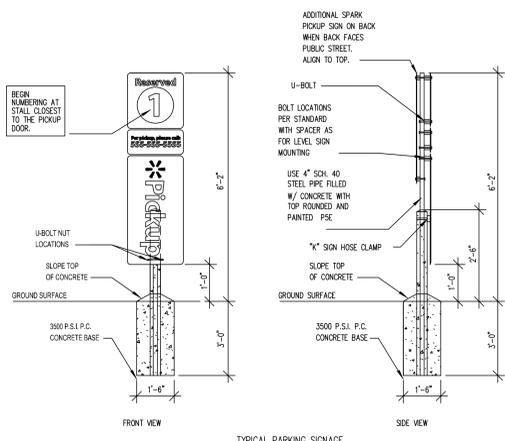
SIGNAGE SITE WITH NEW BASE



PARKING STALLS 20' BACK TO BACK  
N.T.S.



PARKING STALLS 40' PULL THRU CANOPY  
N.T.S.

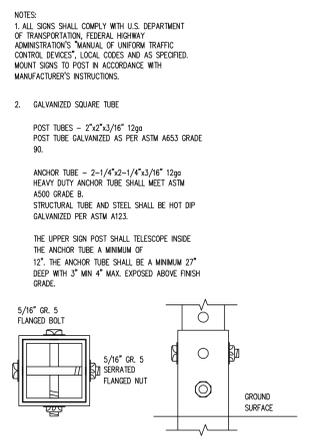


TYPICAL PARKING SIGNAGE IN PAVEMENT

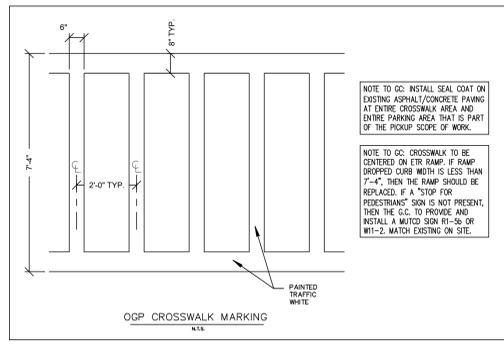
SIGNAGE PARKING STALL MOUNTING AND BASE

FINISH LEGEND

P76	WALMART BLUE SW#076
P5E	SAFETY YELLOW



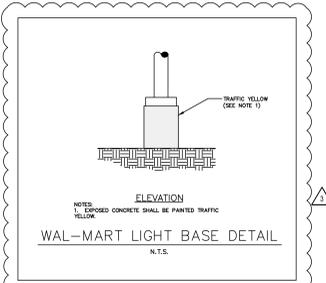
REMOVABLE SQUARE TUBE POST



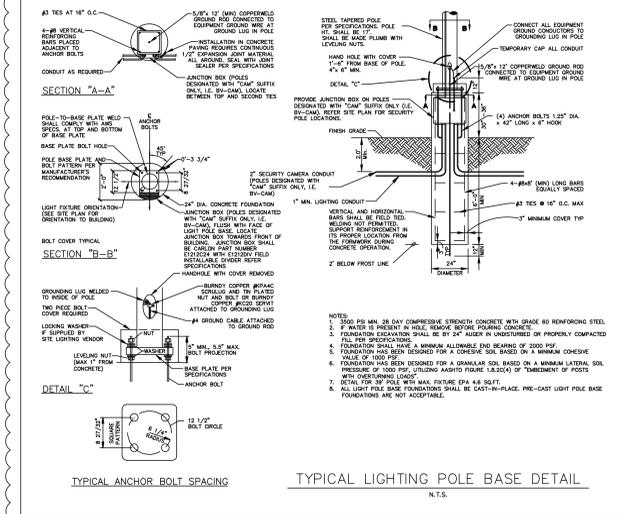
OGP CROSSWALK MARKING  
N.T.S.



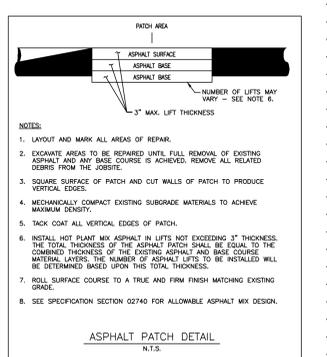
STOP FOR PEDESTRIANS  
N.T.S.



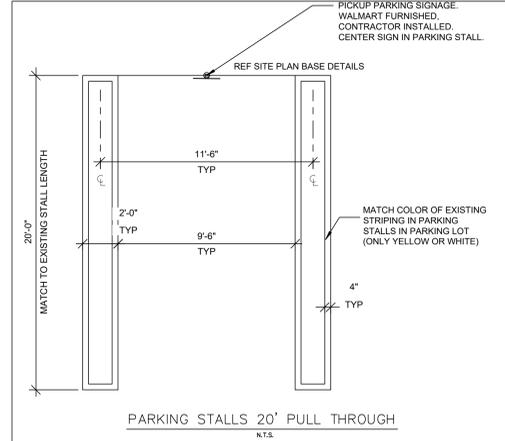
WAL-MART LIGHT BASE DETAIL  
N.T.S.



TYPICAL LIGHTING POLE BASE DETAIL  
N.T.S.



ASPHALT PATCH DETAIL  
N.T.S.



PARKING STALLS 20' PULL THROUGH  
N.T.S.

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THIS DRAWING WAS PREPARED FOR THE PROJECT DESCRIBED HEREIN. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF GALLOWAY & ASSOCIATES, INC. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF GALLOWAY & ASSOCIATES, INC. IS PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING ACT.



Walmart  
ALBUQUERQUE (S), NM  
3500 COORS BLVD SW  
STORE NO.: 05430-248  
JOB NUMBER: SGA005430-20 (PROT.)

2021 MAJOR PROJECT

ISSUE BLOCK

PR #1	01/21/21
ADD #1	02/16/21
CCD #1	05/14/21

CHECKED BY:	RCJ
DRAWN BY:	DJS
PROTO CYCLE:	09/25/20
DOCUMENT DATE:	01/21/21

**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

\_\_\_\_\_

\_\_\_\_\_

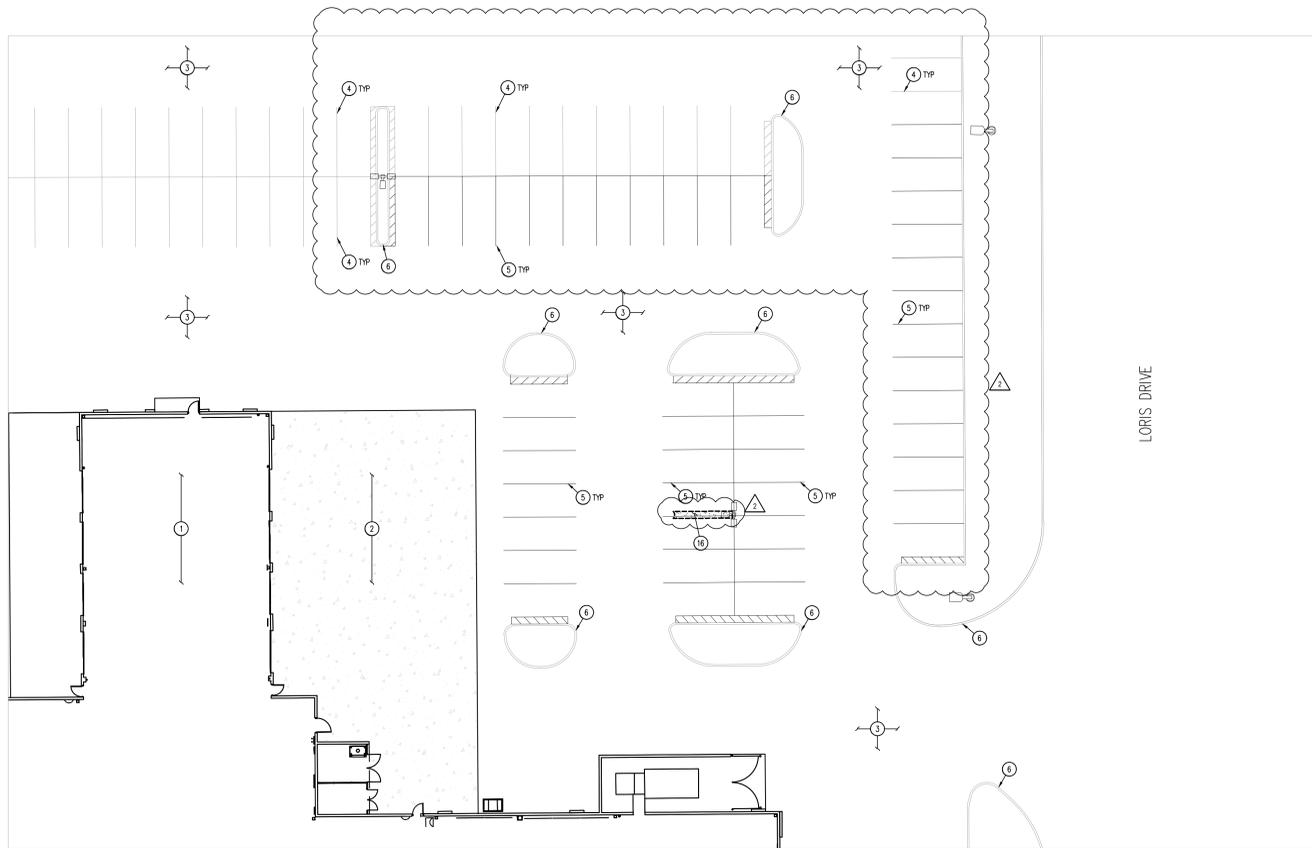
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**APPROVED BY**

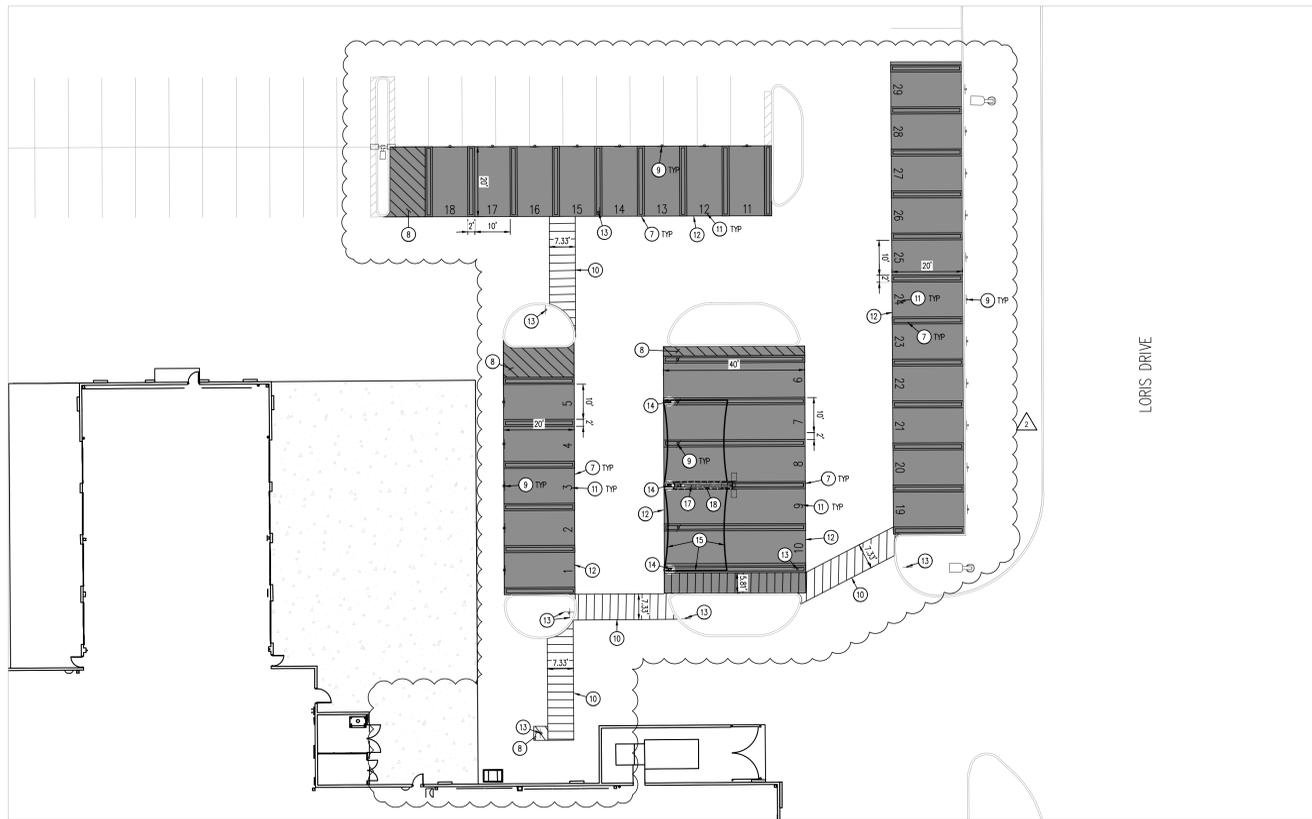
**DATE**







DEMOLITION PLAN - EXISTING PARKING  
SCALE: 1"=10'



SITE PLAN - PROPOSED PICKUP PARKING  
SCALE: 1"=10'

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAVS, WALLS, FLOORS, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED ALL MATERIAL FOR THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY UNEXPECTED FEATURES. NOTIFY ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVE AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS' NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND SHORING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BRACING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
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5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & REELS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	X
WAITING SPACES RIGHT	18 X 24	X
WAITING SPACES AHEAD	18 X 24	X
RESERVED WAITING	18 X 24	X
PICKUP LEFT PHARMACY RIGHT	18 X 24	X
PICKUP RIGHT PHARMACY LEFT	18 X 24	X
STOP THANKS FOR ORDERING	18 X 36	X
PICKUP HOURS	18 X 36	X
RESERVED	18 X 18	29
PHONE NUMBER	8 X 18	29
VERTICAL PICKUP	18 X 36	29
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	4
PICKUP RIGHT	18 X 24	2

ALL PICKUP MARKINGS AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEMER (brad.kemer@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.

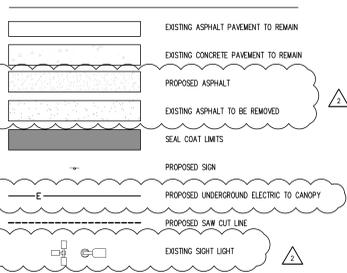
EXISTING STALL COUNT (OVERALL SITE)	STANDARD STALLS ADDED	PICKUP STALLS ADDED
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10 STANDARD STALLS	LOSS OF 8 PICKUP STALLS	
NEW LOCATION	LOSS OF 46 STANDARD STALLS	29 PICKUP STALLS
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TOTAL PARKING REQUIRED (W/BUS CREDIT)	859	
TOTAL STALLS PROVIDED (STANDARD & PICKUP)	983	



KEY MAP

APPROX. 1" = 400'

LEGEND

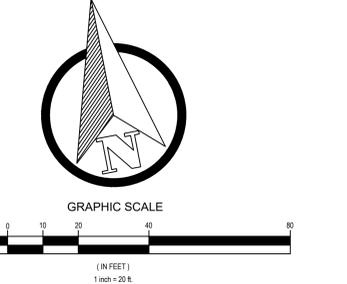


SITE & DEMOLITION SCHEDULE

1. EXISTING WALMART BUILDING TO REMAIN.
2. EXISTING CONCRETE PAVEMENT TO REMAIN.
3. EXISTING ASPHALT PAVEMENT TO REMAIN.
4. EXISTING STRIPING TO REMAIN.
5. EXISTING CURBS AND GUTTER TO REMAIN.
6. PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING.
7. PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING, 2" O.C. @ 45° WITH 4" PERMETER STRIPE.
8. PROPOSED PICKUP SIGNAGE, SIGN POST, AND BOLLARD (REF SITE DETAILS).
9. NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPES PERPENDICULAR TO BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS (REF SITE DETAILS).
10. PROPOSED PICKUP NUMBER PAVEMENT MARKING (REF SITE DETAILS).
11. PROPOSED SEAL COAT OVER EXISTING PAVEMENT.
12. PROPOSED PEDESTRIAN CROSSING SIGNAGE AND BOLLARD BASE, MATCH EXISTING PEDESTRIAN CROSSING SIGNAGE ON SITE (R1-5B OR W1-2 & W6-7P).
13. PROPOSED CANOPY FOOTING (REF ARCHITECTURAL DRAWINGS).
14. PROPOSED 18' RELOCATED CANOPY (REF ARCHITECTURAL DRAWINGS).
15. EXISTING ASPHALT TO BE REMOVED.
16. PROPOSED ELECTRIC LINE TO CANOPY. (REF ARCHITECTURAL DRAWINGS)
17. PROPOSED ASPHALT PATCH. (REF SITE DETAILS)

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHENEVER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



**Galloway**  
1726 Main Drive, Suite 107  
Albuquerque, NM 87102  
771.880.2225  
galloway.com

STIPULATION FOR REUSE:  
THIS DRAWING WAS PREPARED FOR THE PROJECT AND SITE SPECIFIC INFORMATION. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER IS PROHIBITED. THE ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.

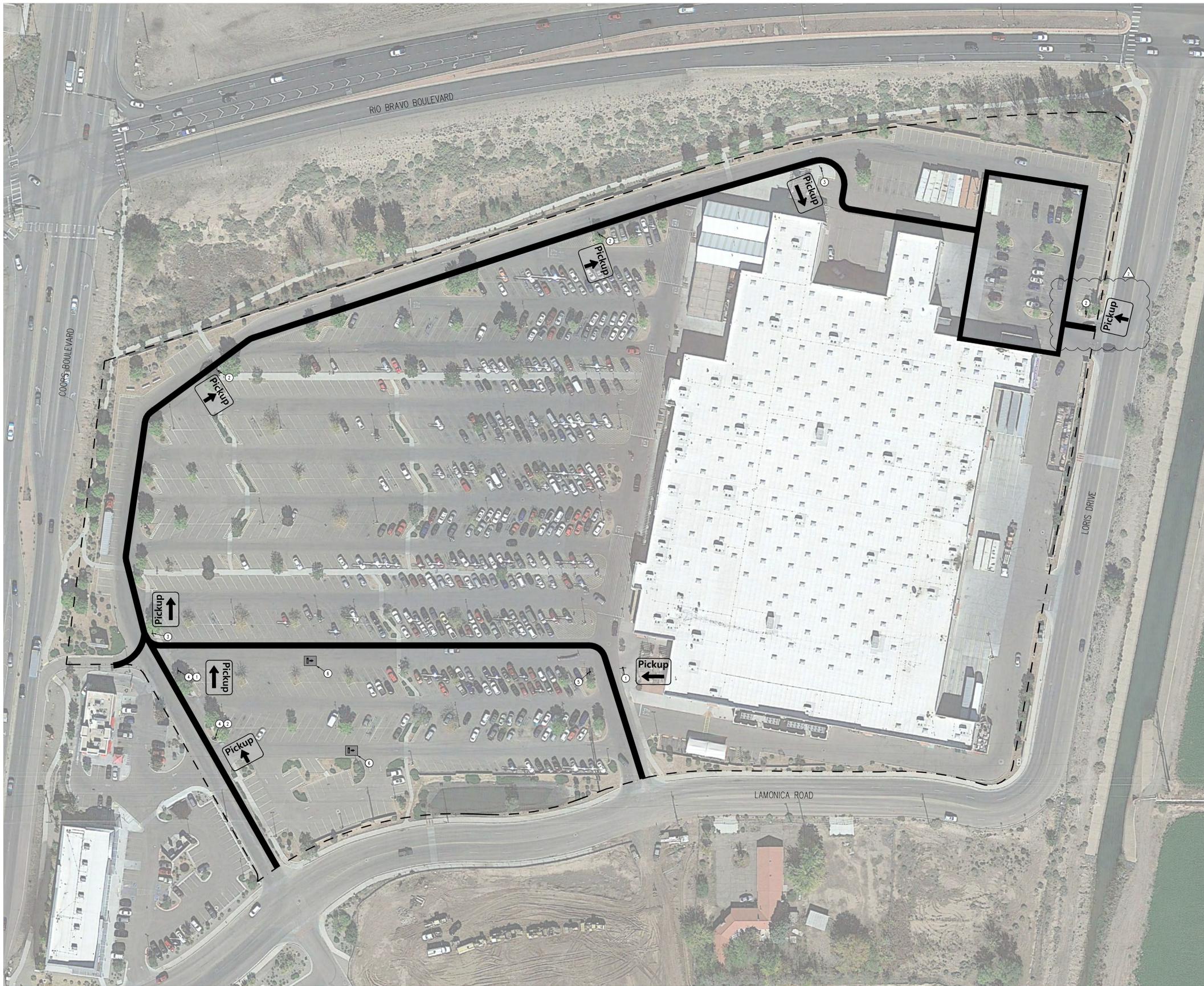
**BRANDON ALLEY**  
NEW MEXICO  
25037  
PROFESSIONAL ENGINEER  
03/03/2021

**Walmart**  
ALBUQUERQUE (S), NM  
3500 COORS BLVD SW  
STORE NO: 05430-2416  
JOB NUMBER: SGA05430-201 (PROJ)  
2021 MAJOR PROJECT

NO.	DESCRIPTION	DATE
1	PR #1	01/21/21
2	ADD #1	02/16/21
3	CCD #3	03/01/21

CHECKED BY: RCJ  
DRAWN BY: DJS  
PROTO CYCLE: 09/25/20  
DOCUMENT DATE: 01/21/21

PROPOSED PICKUP DEMOLITION & SITE PLAN  
SHEET: CS2



**SIGNAGE & STRIPING SCHEDULE NOTES**

- ① PROPOSED PICKUP PICKUP SIGNAGE, LEFT. SEE DETAIL SHEET C3 FOR SIGNAGE AND LOCATION DETAILS.
- ② PROPOSED PICKUP PICKUP SIGNAGE, STRAIGHT. SEE DETAIL SHEET C3 FOR SIGNAGE AND LOCATION DETAILS.
- ③ PROPOSED PICKUP PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET C3 FOR SIGNAGE AND LOCATION DETAILS.
- ④ EXISTING PICKUP SIGNAGE TO BE REMOVED AND PROPERLY DISPOSED OF. POST AND BASE TO BE REUSED AND LEFT IN PLACE.
- ⑤ EXISTING PICKUP SIGNAGE TO BE REMOVED AND PROPERLY DISPOSED OF.
- ⑥ PROPOSED SEAL COAT OVER EXISTING PAVEMENT MARKINGS.

**SITE SIGNAGE LEGEND**

- PROPERTY LINE
- PROPOSED PATH OF TRAVEL FOR PICKUP CUSTOMER
- PROPOSED PICKUP AREA

**SITE SIGNAGE NOTES**

- 1. THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 03/26/2016. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.
- 2. REFERENCE SITE DETAILS FOR SIGN LOCATION & VESTIBULE CROSSWALK DETAILS FOR SITE SIGNAGE OFFSETS.

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	X
WAITING SPACES RIGHT	18 X 24	X
WAITING SPACES AHEAD	18 X 24	X
RESERVED WAITING	18 X 24	X
PICKUP LEFT PHARMACY RIGHT	18 X 24	X
PICKUP RIGHT PHARMACY LEFT	18 X 24	X
STOP THANKS FOR ORDERING	18 X 36	X
PICKUP HOURS	18 X 36	X
RESERVED	18 X 18	29
PHONE NUMBER	8 X 18	29
VERTICAL PICKUP	18 X 36	29
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	4
PICKUP RIGHT	18 X 24	2

ALL PICKUP MARKING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEENER (brad.keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



STIPULATION FOR REUSE: THIS DRAWING WAS PREPARED FOR THE PROJECT AND SITE SPECIFIC TO THE PROJECT. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF GALLOWAY ARCHITECTS AND ENGINEERS, INC. IS PROHIBITED. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF GALLOWAY ARCHITECTS AND ENGINEERS, INC. IS PROHIBITED.



**Walmart**  
 ALBUQUERQUE (S), NM  
 3500 COORS BLVD SW  
 STORE NO: 05430-248  
 JOB NUMBER: SGA05430.20 (PROT.)

2021 MAJOR PROJECT

ISSUE BLOCK		
NO.	DESCRIPTION	DATE
1	PR #1	01/21/21
2	CCD #	03/01/21

CHECKED BY: RCJ  
 DRAWN BY: DJS  
 PHOTO CYCLE: 09/25/20  
 DOCUMENT DATE: 01/21/21

**SITE SIGNAGE PLAN**

SHEET: CS3



**SGA** Design Group

May 17, 2021

Maggie Gould, Planning Manager  
City of Albuquerque Planning Department  
Land Development Coordination  
600 Second Street NW  
Albuquerque, NM 87109

Re. Walmart #5430.248 located at: 3500 Coors Blvd SW  
Amendment to AA #SI-2021-00089

The scope of work for this Administrative Amendment review is the for updating of the current Walmart site changes. We are proposing the removal of the OGP canopy from the site and update OGP parking stalls plus addition of a electric light pole to match existing lighting for the site to add lighting to the updated OGP Parking area at the back left side of the store.

With these updates being proposed, the movement of the OGP items listed above will help serve the store staff and customers better.

The impact to the site will be minimal and we ask for approval to proceed upon approval of permit number BP-2020-54296 that is currently in plan review with the Building Department.

If you have any questions, please do not hesitate to contact me.

Thank you,

A handwritten signature in blue ink that reads "Gina Kelly".

Gina Kelly  
SGA Design Group  
1437 S Boulder Ave-Ste. 550  
Tulsa, OK 74119  
ginak@sgadesigngroup.com

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**ACCELERATED EXPIRATION SITE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ALTERNATIVE SIGNAGE PLAN**

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)
  - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
  - Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ALTERNATIVE LANDSCAPE PLAN**

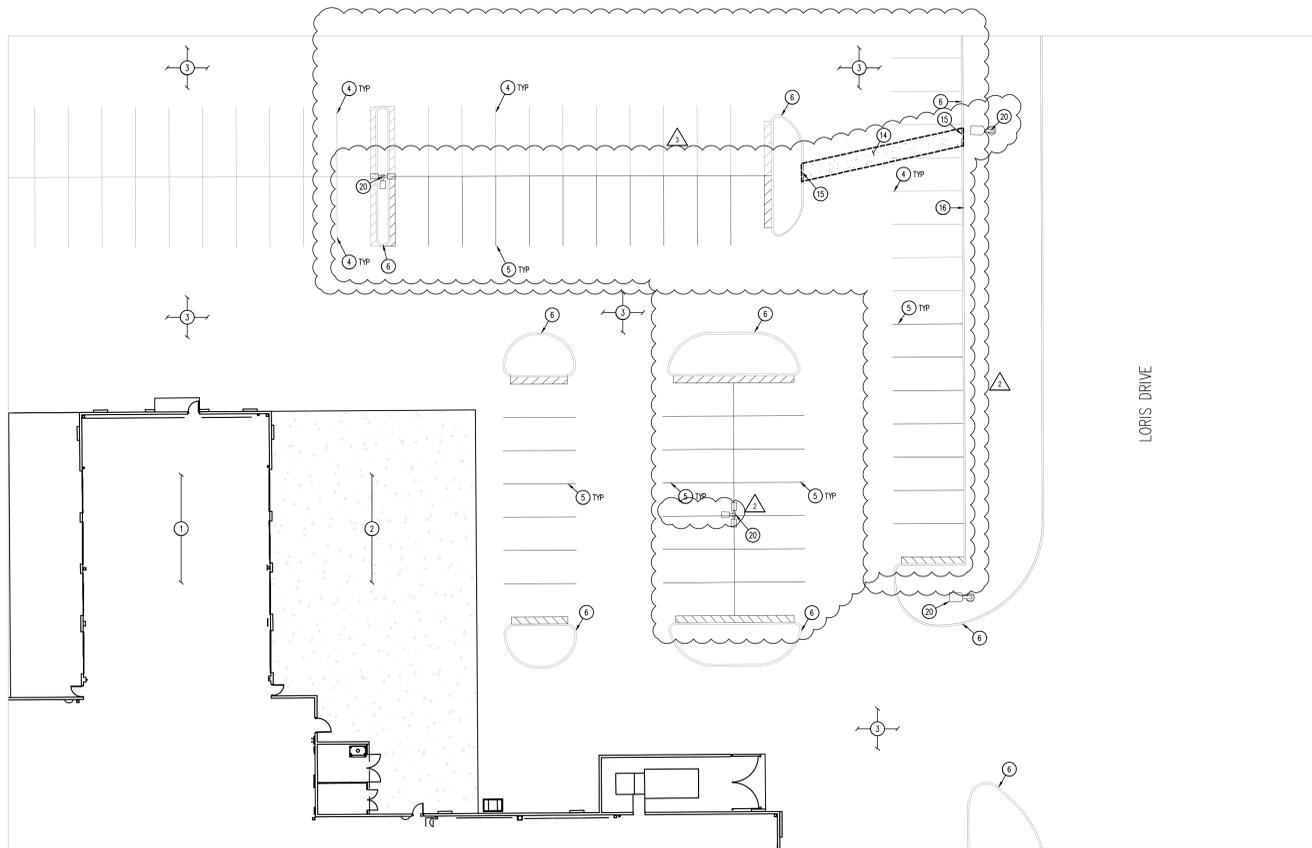
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.**

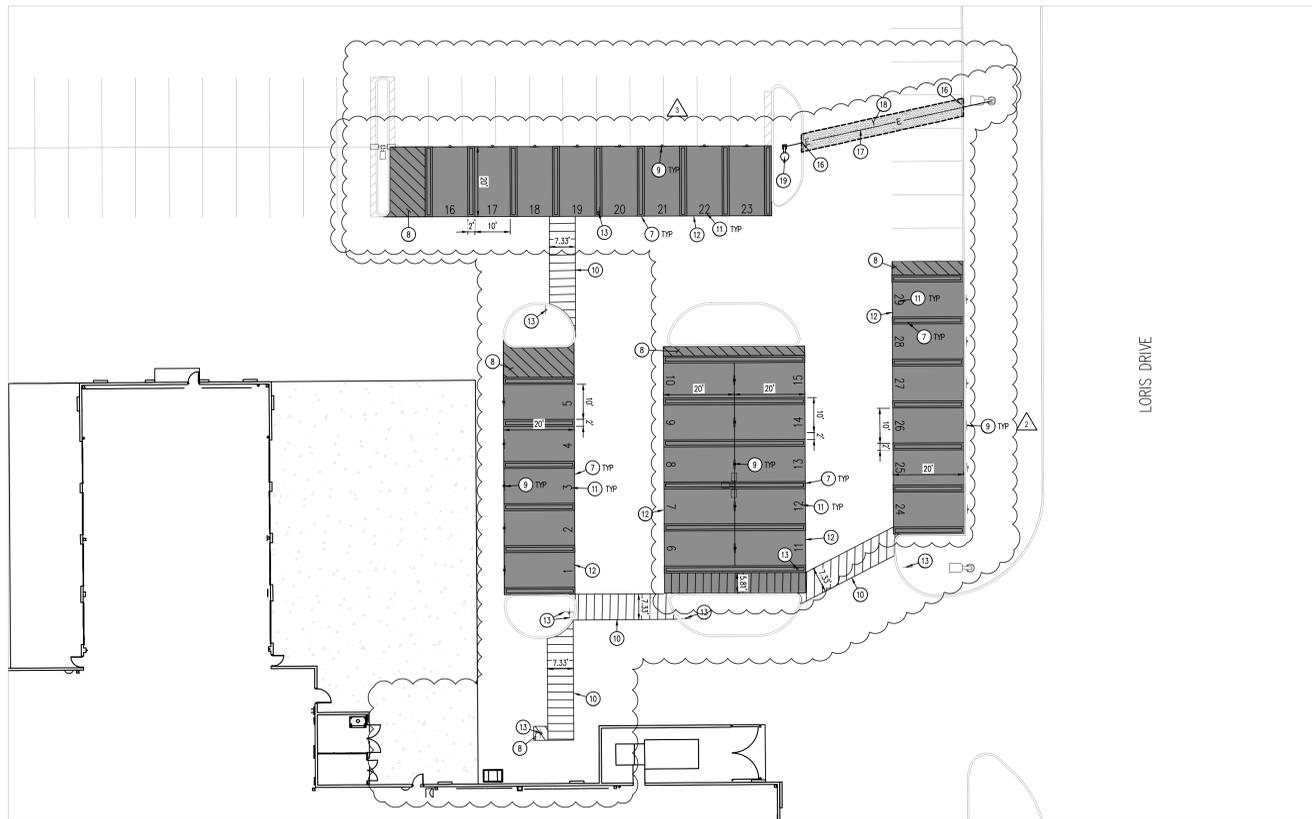
<b>Signature:</b> 	<b>Date:</b> 005/19/2021
<b>Printed Name:</b> Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	





DEMOLITION PLAN - EXISTING PARKING  
SCALE: 1"=10'



SITE PLAN - PROPOSED PICKUP PARKING  
SCALE: 1"=10'

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAIS, WALLS, FOUNDATIONS, FOUNDATIONS, DRIVEWAYS, DRIVEWAYS, UTILITY ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL UTILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED ALL MATERIAL FOR THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY UNIDENTIFIED FEATURES. NOTIFY ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVE AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UTILITIES OR STRUCTURES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND SHORING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BRACING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL, AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & RELES ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	X
WAITING SPACES RIGHT	18 X 24	X
WAITING SPACES AHEAD	18 X 24	X
RESERVED WAITING	18 X 24	X
PICKUP LEFT PHARMACY RIGHT	18 X 24	X
PICKUP RIGHT PHARMACY LEFT	18 X 24	X
STOP THANKS FOR ORDERING	18 X 36	X
PICKUP HOURS	18 X 36	X
RESERVED	18 X 18	29
PHONE NUMBER	8 X 18	29
VERTICAL PICKUP	18 X 36	29
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	4
PICKUP RIGHT	18 X 24	2

ALL PICKUP WAITING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEMER (brad.kemer@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.

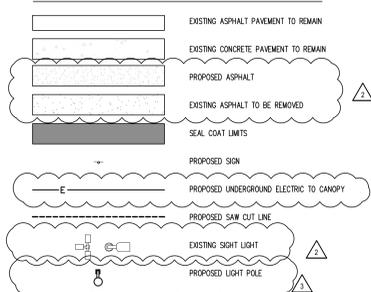
EXISTING STALL COUNT (OVERALL SITE)	STANDARD STALLS ADDED	PICKUP STALLS ADDED
998 STANDARD STALLS	8 PICKUP STALLS	
10 STANDARD STALLS	LOSS OF 8 PICKUP STALLS	
NEW LOCATION	LOSS OF 46 STANDARD STALLS	29 PICKUP STALLS
PROPOSED STALL COUNT (OVERALL SITE)	962 STANDARD STALLS	21 PICKUP STALLS
TOTAL PARKING REQUIRED (W/BUS CREDIT)	859	
TOTAL STALLS PROVIDED (STANDARD & PICKUP)	983	



KEY MAP

APPROX. 1"=400'

LEGEND

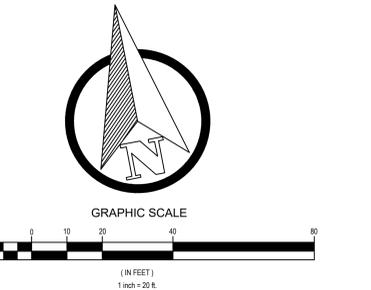


SITE & DEMOLITION SCHEDULE

1. EXISTING WALMART BUILDING TO REMAIN.
2. EXISTING CONCRETE PAVEMENT TO REMAIN.
3. EXISTING ASPHALT PAVEMENT TO REMAIN.
4. EXISTING STRIPING TO REMAIN.
5. EXISTING CURB AND GUTTER TO REMAIN.
6. PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING.
7. PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING, 2' O.C. @ 45° WITH 4" PERIMETER STRIPE.
8. PROPOSED PICKUP SIGNAGE, SIGN POST, AND BOLLARD (REF. SITE DETAILS).
9. NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPING PERPENDICULAR TO BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS (REF. SITE DETAILS).
10. PROPOSED PICKUP NUMBER PAVEMENT MARKING (REF. SITE DETAILS).
11. PROPOSED SEAL COAT OVER EXISTING PAVEMENT.
12. PROPOSED PEDESTRIAN CROSSING SIGNAGE AND BOLLARD BASE. MATCH EXISTING PEDESTRIAN CROSSING SIGNAGE ON SITE (W1-58 OR W1-2 & W16-7P).
13. EXISTING ASPHALT TO BE REMOVED.
14. EXISTING CURB AND GUTTER TO BE REMOVED.
15. PROPOSED CURB AND GUTTER TO REMAIN. CONTRACTOR TO MATCH EXISTING TYPE AND ELEVATIONS.
16. PROPOSED ELECTRIC LINE TO NEW LIGHT POLE. (REF. ARCHITECTURAL DRAWINGS).
17. PROPOSED ASPHALT PATCH. (REF. SITE DETAILS).
18. PROPOSED LIGHT POLE. (REF. SITE DETAILS FOR LIGHT POLE BASE DETAILS) (REF. ELECTRICAL DRAWINGS).
19. EXISTING SIGHT LIGHT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.

CAUTION - NOTICE TO CONTRACTOR

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**Galloway**  
1726 Main Drive, Suite 107  
Albuquerque, NM 87102  
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**BRANDON ALLET**  
NEW MEXICO  
25037  
PROFESSIONAL ENGINEER  
05/13/2021

**Walmart**  
ALBUQUERQUE (S), NM  
3500 COORS BLVD SW  
STORE NO: 05430-248  
JOB NUMBER: SGA05430-20 (PROJ)  
2021 MAJOR PROJECT

NO.	DESCRIPTION	DATE
1	PR #1	01/21/21
2	ADD #1	02/16/21
3	CCD 1#	05/14/21

CHECKED BY: RCJ  
DRAWN BY: DJS  
PROTO CYCLE: 09/25/20  
DOCUMENT DATE: 01/21/21

PROPOSED PICKUP DEMOLITION & SITE PLAN  
SHEET: CS2



**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

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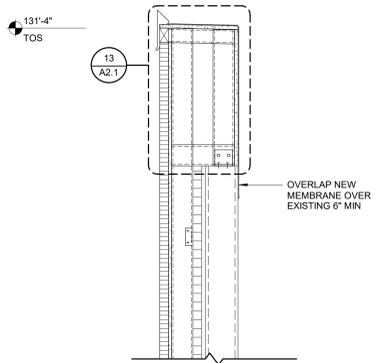
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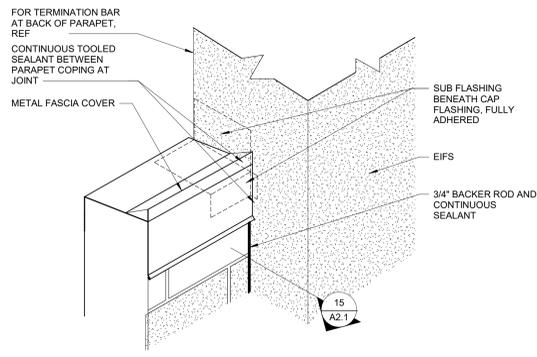
**APPROVED BY**

**DATE**

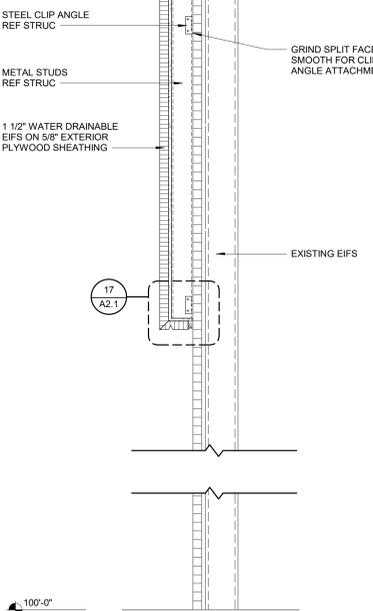




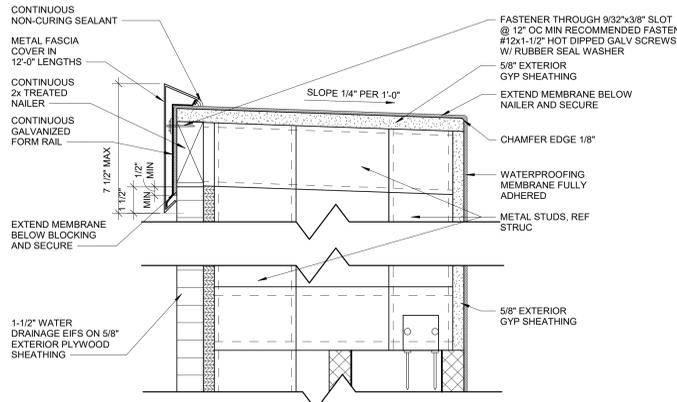
13 PARAPET CAP FLASHING  
1" = 1'-0"



17 EIFS DETAIL  
1 1/2" = 1'-0"

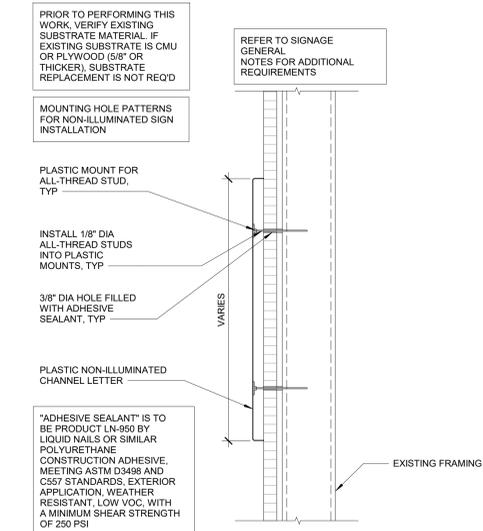


14 WALL SECTION  
1" = 1'-0"

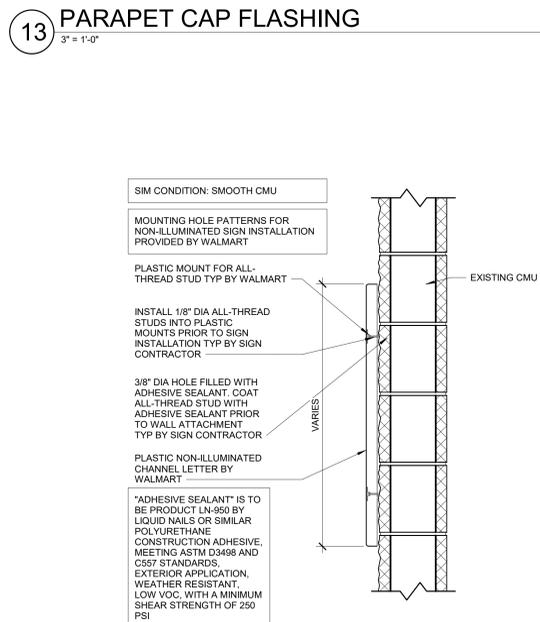


15 CORNER DETAIL  
1 1/2" = 1'-0"

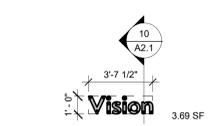
16 METAL STUD PARAPET  
1 1/2" = 1'-0"



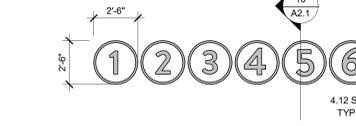
11 SIGN ATTACHMENT AT EIFS AND METAL STUD WALL  
1 1/2" = 1'-0"



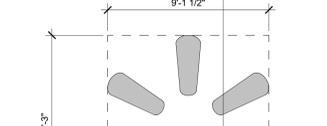
10 SIGN ATTACHMENT AT CMU WALL  
1 1/2" = 1'-0"



9 1'-0" VISION  
1/4" = 1'-0"



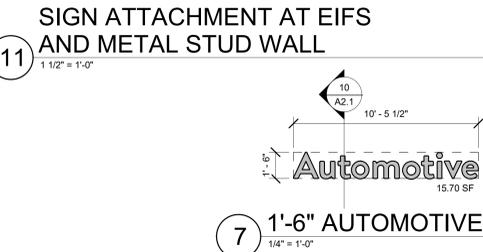
8 2'-6" AUTOMOTIVE  
1/4" = 1'-0"



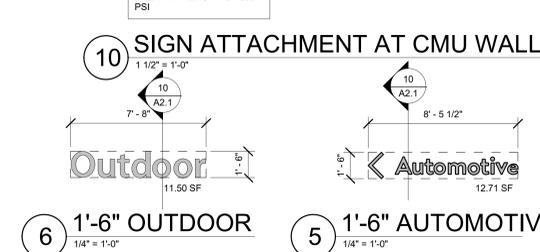
3 1'-6" GROCERY  
1/4" = 1'-0"



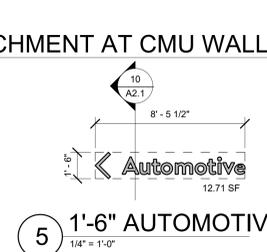
2 10'-3" WALMART SIGN  
1/4" = 1'-0"



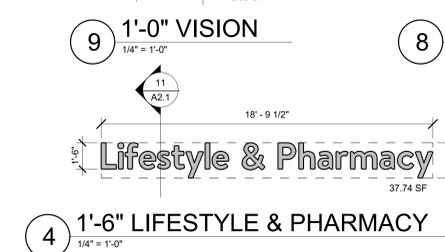
7 1'-6" AUTOMOTIVE  
1/4" = 1'-0"



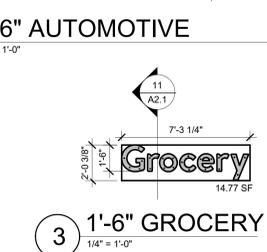
6 1'-6" OUTDOOR  
1/4" = 1'-0"



5 1'-6" AUTOMOTIVE  
1/4" = 1'-0"



4 1'-6" LIFESTYLE & PHARMACY  
1/4" = 1'-0"



3 1'-6" GROCERY  
1/4" = 1'-0"



2 10'-3" WALMART SIGN  
1/4" = 1'-0"



1 WALMART SIGN  
1/4" = 1'-0"

EXISTING SIGNAGE SCHEDULE						
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
<b>AUTOMOTIVE SIGNAGE</b>						
<-Auto Center	1	N/A	WHITE	1'-6"	19.03 SF	19.03 SF
<b>AUTOMOTIVE SIGNAGE</b>						
<b>FRONT SIGNAGE</b>						
Walmart (Spark)	1	LED	WHITE/YELLOW	5'-6"	299.04 SF	299.04 SF
(Spark) Pickup	1	LED	WHITE	2'-6"	66.76 SF	66.76 SF
Grocery	1	N/A	WHITE	2'-0"	26.27 SF	26.27 SF
Home & Pharmacy	1	N/A	WHITE	2'-0"	60.74 SF	60.74 SF
Lawn & Garden	1	N/A	WHITE	2'-0"	37.34 SF	37.34 SF
Vision Center	1	N/A	WHITE	1'-0"	8.49 SF	8.49 SF
<b>FRONT SIGNAGE</b>						
498.64 SF						
<b>SIDE AND REAR SIGNAGE</b>						
Walmart (Spark)	2	LED	WHITE/YELLOW	4'-6"	198.26 SF	396.52 SF
<b>SIDE AND REAR SIGNAGE</b>						
396.52 SF						
<b>AUTOMOTIVE SIGNAGE</b>						
Auto Center	1	N/A	WHITE	1'-6"	17.23 SF	17.23 SF
LUBE	1	N/A	WHITE	1'-0"	2.98 SF	2.98 SF
TIRE	2	N/A	WHITE	1'-0"	2.58 SF	5.16 SF
<b>AUTOMOTIVE SIGNAGE</b>						
25.37 SF						
<b>TOTAL BUILDING SIGNAGE</b>						
939.56 SF						

NEW SIGNAGE SCHEDULE						
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
<b>FRONT SIGNAGE</b>						
Walmart (Spark)	1	LED	WHITE/YELLOW	12'-0"	175.06 SF	175.06 SF
(Spark) Pickup, ETR	1	LED	WHITE	2'-6"	66.76 SF	66.76 SF
<-Automotive	1	N/A	WHITE	1'-6"	12.71 SF	12.71 SF
Grocery	1	N/A	WHITE	1'-6"	14.77 SF	14.77 SF
Lifestyle & Pharmacy	1	N/A	WHITE	1'-6"	37.74 SF	37.74 SF
Outdoor	1	N/A	WHITE	1'-6"	11.50 SF	11.50 SF
Vision	1	N/A	WHITE	1'-0"	3.69 SF	3.69 SF
<b>FRONT SIGNAGE</b>						
322.23 SF						
<b>SIDE AND REAR SIGNAGE</b>						
Walmart (Spark)	2	LED	WHITE/YELLOW	10'-3"	90.27 SF	180.54 SF
<b>SIDE AND REAR SIGNAGE</b>						
180.54 SF						
<b>AUTOMOTIVE SIGNAGE</b>						
Numericals	6	N/A	WHITE	2'-6"	4.12 SF	24.72 SF
Automotive	1	N/A	WHITE	1'-6"	15.70 SF	15.70 SF
<b>AUTOMOTIVE SIGNAGE</b>						
40.42 SF						
<b>TOTAL BUILDING SIGNAGE</b>						
543.19 SF						

**SIGNAGE GENERAL NOTES**

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY OTHERS.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE EXTERIOR SIGN COMPANY IS ON SITE. THE EXTERIOR SIGN COMPANY WILL REMOVE EXISTING SIGNAGE. GENERAL CONTRACTOR WILL THEN PERFORM THE PATCH AND REPAIR WORK NEEDED AT SIGN LOCATIONS, AND PAINTING WORK NOTED IN PLANS. ONCE COMPLETE, GENERAL CONTRACTOR WILL NOTIFY THE EXTERIOR SIGN CONTRACTOR THAT AREAS NOTED TO RECEIVE SIGNAGE ARE READY. THE EXTERIOR SIGN COMPANY WILL THEN INSTALL NEW SIGNAGE AS SHOWN ON THE PLANS.
  - A TEMPORARY BANNER WILL BE INSTALLED BY THE EXTERIOR SIGN COMPANY PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED. GC SHALL PRIORITIZE MODIFICATIONS/REPAIRS REQUIRED FOR INSTALLATION OF NEW EXTERIOR SIGNS WHILE EXTERIOR SIGN COMPANY IS ON SITE.
  - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').
  - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES:
  - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGNS WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
  - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO DETAILS ON SHEET A2/A2.1 FOR LIGHTED ID/LOGO SIGNS COORDINATE TIMING OF WORK WITH WALMART SIGN CONTRACTOR.
  - PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "Walmart" SIGNAGE MAY BE REUSED.
  - PROVIDE JUNCTION BOXES AND CIRCUITRY TO TENANT SIGNAGE LOCATION SHOWN. REFER TO ELECTRICAL.
  - INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILINGS IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE.
  - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
  - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
- SIGNAGE CONTRACTOR RESPONSIBILITIES:
  - REMOVE ALL UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS.
  - REMOVAL OF LIT ID/LOGO SIGNS SHALL BE BY OTHERS.
  - NOT USED.
  - NOT USED.
  - NOT USED.
  - REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.

**DEMOLITION NOTES**

- REMOVE ALL UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS.
- REMOVAL OF LIT ID/LOGO SIGNS SHALL BE BY OTHERS.
- NOT USED.
- NOT USED.
- NOT USED.
- REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.

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**Walmart**  
ALBUQUERQUE (S), NM  
3800 COORS BLVD SW  
STORE NO. 34307-248  
JOB NUMBER: 200914102 | PHOTO: 1592

2021 MAJOR PROJECT

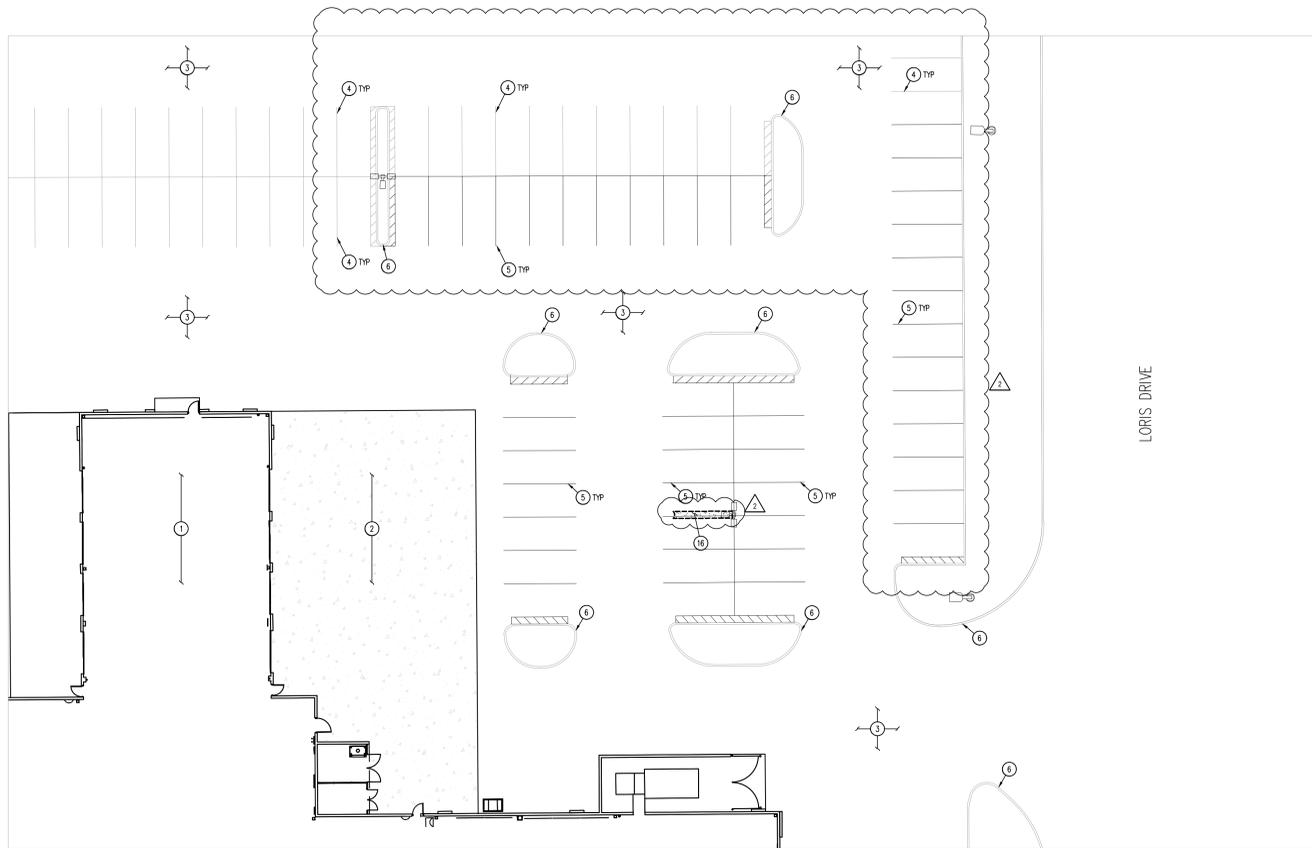
CHECKED BY: RO RO/AVT  
DRAWN BY: CS/TH  
PROTO CYCLE: 9/25/20  
DOCUMENT DATE: 12/08/20

STATE OF NEW MEXICO  
DOUGLAS S. TAYLOR  
No. 004802  
REGISTERED ARCHITECT

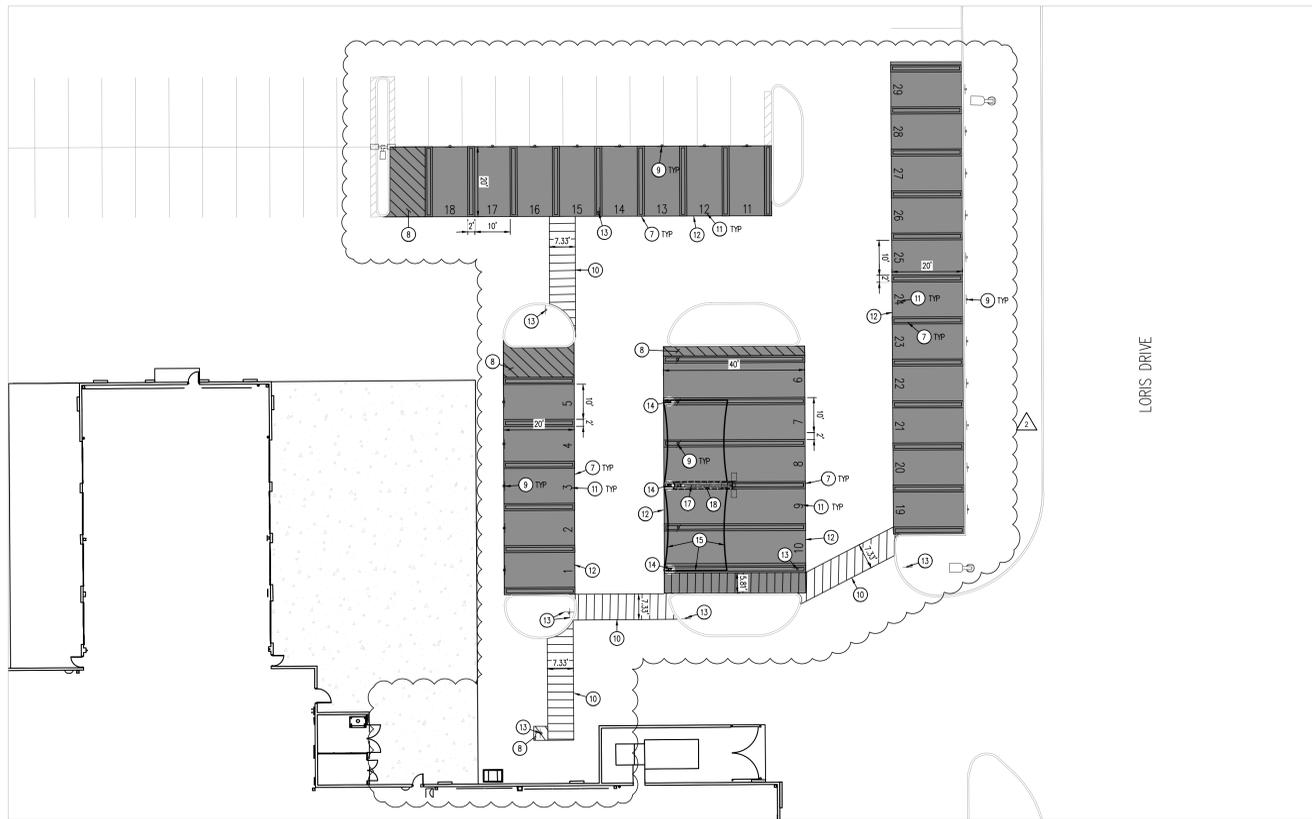
12/08/2020

EXTERIOR DETAILS

SHEET: A2.1



DEMOLITION PLAN - EXISTING PARKING  
SCALE: 1"=10'



SITE PLAN - PROPOSED PICKUP PARKING  
SCALE: 1"=10'

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PARTS, WALLS, FLOORS, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED ALL MATERIAL FOR THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY UNEXPECTED FEATURES. NOTIFY ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDING.
6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVE AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BRACING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & REELS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	X
WAITING SPACES RIGHT	18 X 24	X
WAITING SPACES AHEAD	18 X 24	X
RESERVED WAITING	18 X 24	X
PICKUP LEFT PHARMACY RIGHT	18 X 24	X
PICKUP RIGHT PHARMACY LEFT	18 X 24	X
STOP THANKS FOR ORDERING	18 X 36	X
PICKUP HOURS	18 X 36	X
RESERVED	18 X 18	29
PHONE NUMBER	8 X 18	29
VERTICAL PICKUP	18 X 36	29
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	4
PICKUP RIGHT	18 X 24	2

ALL PICKUP MARKINGS AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEMER (brad.kemer@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.

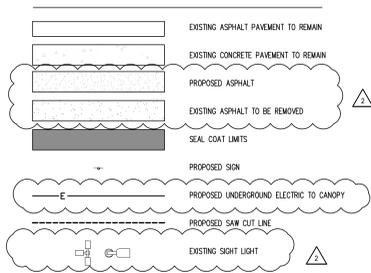
EXISTING STALL COUNT (OVERALL SITE)	STANDARD STALLS ADDED	PICKUP STALLS ADDED
998 STANDARD STALLS	8 PICKUP STALLS	
10 STANDARD STALLS	LOSS OF 8 PICKUP STALLS	
NEW LOCATION	LOSS OF 46 STANDARD STALLS	29 PICKUP STALLS
PROPOSED STALL COUNT (OVERALL SITE)	962 STANDARD STALLS	21 PICKUP STALLS
TOTAL PARKING REQUIRED (W/BUS CREDIT)	859	
TOTAL STALLS PROVIDED (STANDARD & PICKUP)	983	



KEY MAP

APPROX. 1" = 400'

LEGEND

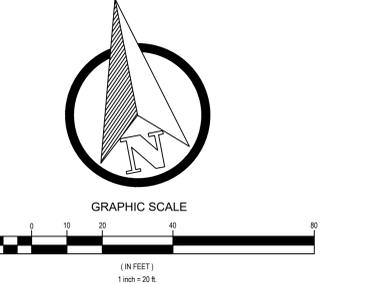


SITE & DEMOLITION SCHEDULE

1. EXISTING WALMART BUILDING TO REMAIN.
2. EXISTING CONCRETE PAVEMENT TO REMAIN.
3. EXISTING ASPHALT PAVEMENT TO REMAIN.
4. EXISTING STRIPING TO REMAIN.
5. EXISTING CURBS AND GUTTER TO REMAIN.
6. PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING.
7. PROPOSED 4" WIDE, SOLID YELLOW PARKING LOT STRIPING, 2" O.C. @ 45' WITH 4" PERIMETER STRIPE.
8. PROPOSED PICKUP SIGNAGE, SIGN POST, AND BOLLARD (REF SITE DETAILS).
9. NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPES PERPENDICULAR TO BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS (REF SITE DETAILS).
10. PROPOSED PICKUP NUMBER PAVEMENT MARKING (REF SITE DETAILS).
11. PROPOSED SEAL COAT OVER EXISTING PAVEMENT.
12. PROPOSED PEDESTRIAN CROSSING SIGNAGE AND BOLLARD BASE. MATCH EXISTING PEDESTRIAN CROSSING SIGNAGE ON SITE (R1-58 OR W1-2 & W6-7P).
13. PROPOSED CANOPY FOOTING (REF ARCHITECTURAL DRAWINGS).
14. PROPOSED 18' RELOCATED CANOPY (REF ARCHITECTURAL DRAWINGS).
15. EXISTING ASPHALT TO BE REMOVED.
16. PROPOSED ELECTRIC LINE TO CANOPY. (REF ARCHITECTURAL DRAWINGS).
17. PROPOSED ASPHALT PATCH. (REF SITE DETAILS).

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHENEVER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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**BRANDON ALLEY**  
NEW MEXICO  
25037  
PROFESSIONAL ENGINEER  
03/03/2021

**Walmart**  
ALBUQUERQUE (S), NM  
3500 COORS BLVD SW  
STORE NO: 05430-248  
JOB NUMBER: SGA05430-20 (PROJ)  
2021 MAJOR PROJECT

NO.	DESCRIPTION	DATE
1	PR #1	01/21/21
2	ADD #1	02/16/21
3	CCD #3	03/01/21

CHECKED BY: RCJ  
DRAWN BY: DJS  
PROTO CYCLE: 09/25/20  
DOCUMENT DATE: 01/21/21

PROPOSED PICKUP DEMOLITION & SITE PLAN  
SHEET: CS2







# CITY OF ALBUQUERQUE INVOICE

**GINA KELLY**

**1437 S. BOULDER AVE - SUITE 550 SGA  
DESIGN GROUP**

Reference NO: SI-2021-00739

Customer NO: CU-97137236

<b>Date</b>	<b>Description</b>	<b>Amount</b>
5/19/21	Application Fee (Manual)	\$50.00

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Due Date: **5/19/21**                      Total due for this invoice:                      **\$50.00**

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



**City of Albuquerque**  
PO Box 1293  
Albuquerque, NM 87103

**Date:** 5/19/21  
**Amount Due:** \$50.00  
**Reference NO:** SI-2021-00739  
**Payment Code:** 130  
**Customer NO:** CU-97137236

GINA KELLY  
1437 S. BOULDER AVE - SUITE 550 SGA  
DESIGN GROUP  
TULSA, OK 74119



130 0000SI202100739000993551135091338000000000000050000CU97137236