

**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

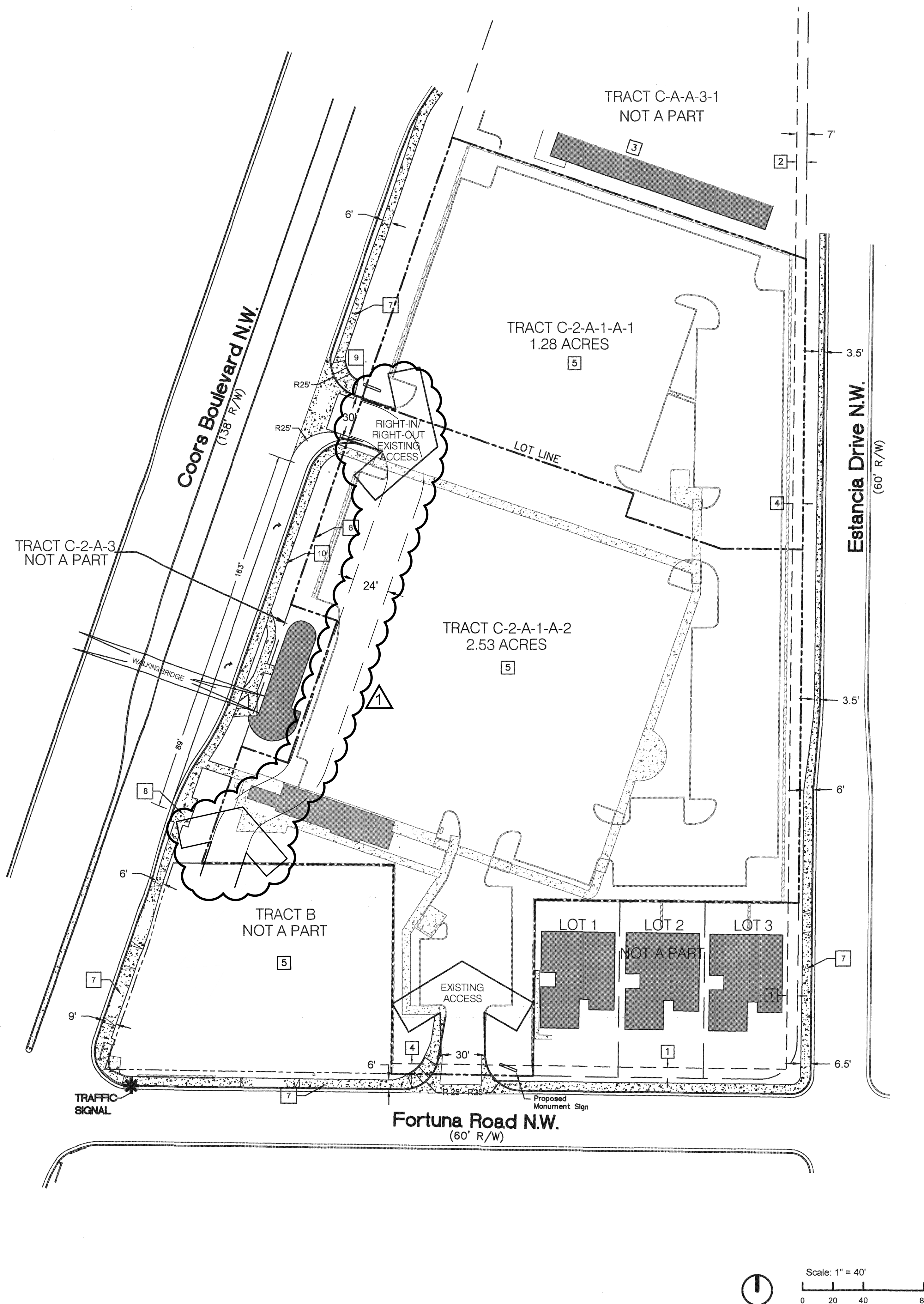
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**APPROVED BY**

**DATE**





# DESIGN GUIDELINES

The purpose of these Design Guidelines is to provide a framework to assist the architects, landscape architects, and designers in the development of future Site Development Plans for Building Permit. These Design Guidelines seek to ensure that redevelopment of this site is cohesive and visually attractive. These Design Guidelines are in addition to the regulations of the C-1 zone and the Coors Corridor Plan.

## Amendment Process

Future Site Development Plans for Building Permit shall be delegated to the Development Review Board (DRB), provided they are consistent with the Site Development Plan for Subdivision and these Design Guidelines. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission, or as required by a successor document.

## 1. Parking and Vehicular Circulation

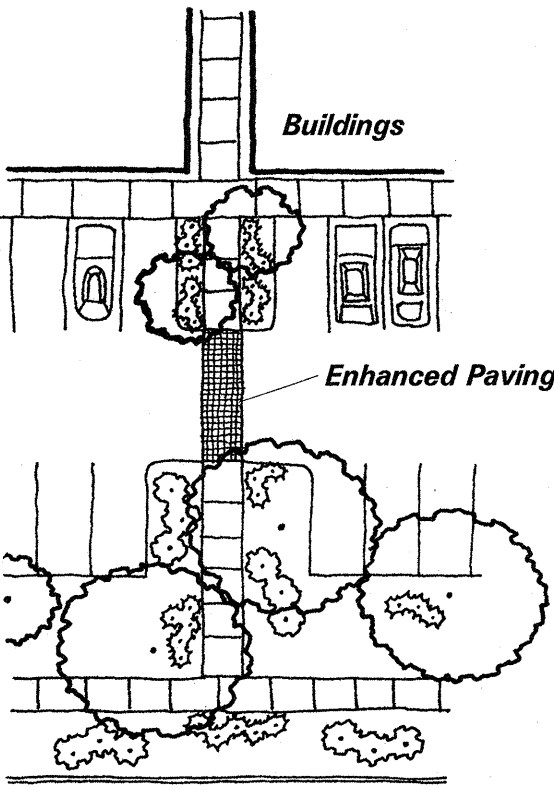
In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design.

- 1.1 Handicapped parking spaces shall be provided adjacent to building entries.
- 1.2 The minimum number of parking spaces shall be as provided per the C-1 zone.
- 1.3 Bicycle parking shall be conveniently located near building entrances. The number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Comprehensive Zoning Code.
- 1.4 A shared parking agreement and cross access easement shall be obtained at the DRB.
- 1.5 No parking area shall intrude upon the 15 foot wide front landscaped setback.
- 1.6 Specific design of parking areas shall be in accordance with the City's Development Process Manual (DPM), and in compliance with the City's Comprehensive Zoning Code, Section 14-16-3-1. Minimum widths and radii for fire access shall be maintained.
- 1.7 Fire access shall be provided in accordance with the International Fire Code as adopted and amended by the State of New Mexico and the City of Albuquerque, and with current regulations of the Albuquerque Fire Department.
- 1.8 Alternative surfacing treatments for the parking areas should be explored to allow for water permeability. Opportunities to harvest water in planted islands should also be considered (See Section 8).

## 2. Pedestrian Circulation and Bicycle Access

The creation of a pedestrian and bicycle-friendly environment is important given the proximity of the residential neighborhood to the east, West Mesa High School to the west, and transit along Coors Boulevard.

- 2.1 Pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design).
- 2.2 Pedestrian connections shall be provided from public sidewalks and parking lots to buildings. Pedestrian connections may be provided from Estancia Drive depending on the nature of the future use, building orientation, site layout, and associated screening.
- 2.3 Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles.
- 2.4 Freestanding restaurants shall provide outdoor patios shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- 2.5 Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts.
- 2.6 All sidewalks, ramps (including required truncated domes), curb cuts, and curb and gutter located within City right-of-way shall be built per City of Albuquerque Standard Drawings: sidewalks (2430), ramps (2440), curb cuts (2426), and curb and gutter (2415 A).

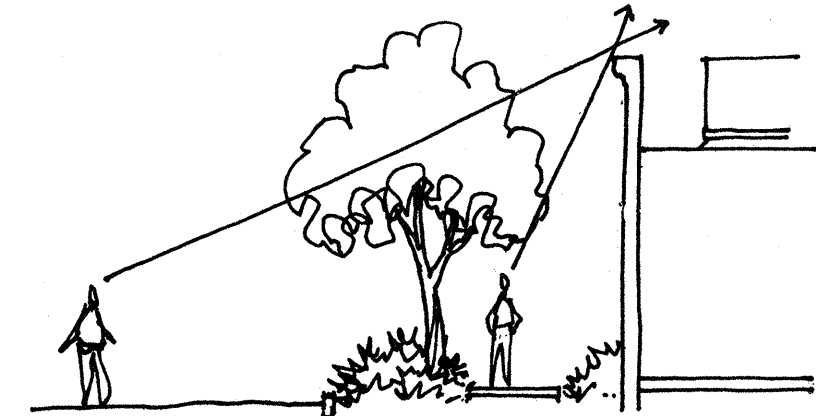


*Pedestrian links should be provided between parking areas and buildings.*

## 3. Screening, Walls, and Fences

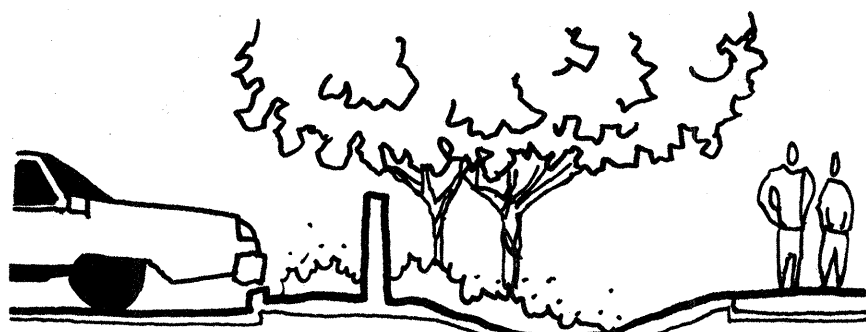
The effective use of screening devices for mechanical equipment, parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on the property.

- 3.1 All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(6) of the Comprehensive City Zoning Code. All mechanical equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- 3.2 All screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.
- 3.3 All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be screened with plant materials.



*Mechanical equipment shall be screened from public view.*

- 3.4 The design and materials for refuse collection enclosures shall be compatible with the architectural theme and materials of the buildings on the site.
- 3.5 No refuse collection areas shall be allowed between Coors Boulevard and the front of the buildings.
- 3.6 Parking areas shall be screened from the public right-of-way with plant materials, walls, earthen berming, or a combination of the above. Such screening shall have a minimum height of 3 feet.
- 3.7 Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls.
- 3.8 Barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited. Acceptable materials for walls are masonry block (no unfinished), split face block, burnished block, architectural concrete, stone, and stucco.
- 3.9 Clear Sight Distance: Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the area.

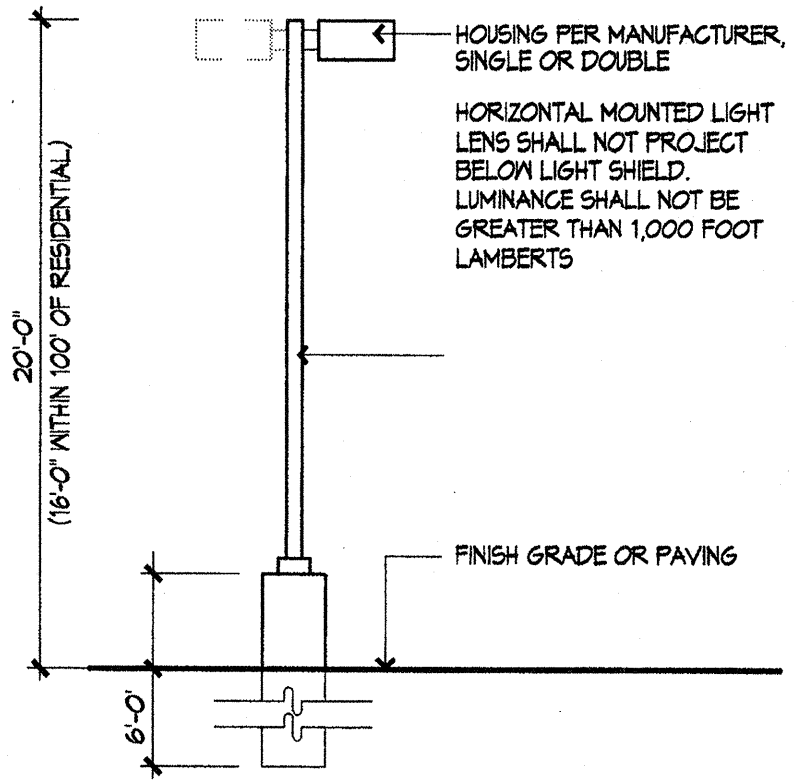


*Parking areas shall be screened.*

## 4. Lighting and Security

The primary design objective of the site lighting system shall be to maximize public safety, while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

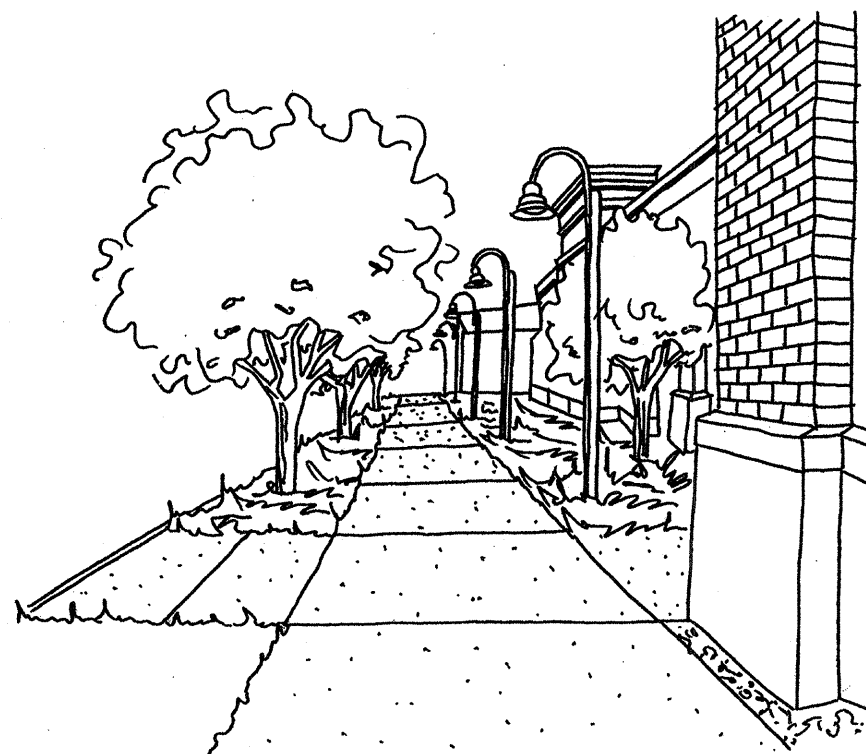
- 4.1 All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and guidelines shall conform to state and local safety and illumination guidelines. All exterior installations must be provided with ground-fault interruption circuits.
- 4.2 All light fixtures shall contain light shields with cut off angles to prevent spillage onto adjoining properties. All lighting shall be compliant with the State of New Mexico Night Sky Protection Act, NMSA 1978, 74.12. Cobra and sodium lights are prohibited.
- 4.3 Maximum height for light fixtures shall be as follows:
  - » Parking Areas: 20 feet
  - » Pedestrian paths: 16 feet
  - » Building lighting shall not cause glare or night sky pollution.
- 4.4 Area lighting should be used to highlight public walkways. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.
- 4.5 Site lighting shall not have a total off-site luminance greater than 1,000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
- 4.6 Exterior lighting, if any, should be designed as part of the architectural and landscape statement of a project. Fixture style and design should be compatible and consistent with the building design.
- 4.7 The location of the lighting fixture, together with its cut-off angle, shall be carefully selected so that glare or excessive brightness is minimized on any public right-of-way or any adjacent premises.
- 4.8 Accent lighting is permitted, however, surface lighting is limited to an average of 2 footcandles measured 4 feet from the surface level of any point on the building surface being lighted.



## 5. Landscape

The development of an overall landscape concept will establish a framework that unifies the property. The landscape design should utilize the Official Albuquerque Tree List. All landscaped areas need to be coordinated and responsive to existing environmental conditions and local building policies.

- 5.1 The landscape for this property shall be in compliance with Section 14-16-3-10 Landscaping Regulations of the Comprehensive City Zoning Code.
- 5.2 Plant materials will be used for a variety of purposes, including:
  - » Buffer/screen - plant materials will be used to buffer certain facilities from noise and wind, and screen views to/from objectionable elements;
  - » Shade/climate control - shade trees will be used along pedestrian paths and around activity areas;
  - » Define uses or activities - trees and shrubs will be used to define specific areas;
  - » Highlight specific features - trees and shrubs will be used to frame elements, provide foreground and background interest, etc.
- 5.3 Individual business owners shall be responsible for the installation and maintenance of the landscape on their property. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition.



*Shaded walkways.*

- 5.4 A minimum of 15 percent of the net lot area, as defined by Section 14-16-3-10 Landscaping Regulations contained in the City Comprehensive Zoning Code, shall be devoted to landscape materials.
- 5.5 A minimum of 50% of the front setback area shall be maintained with live landscaping material, as required by the Coors Corridor Plan.
- 5.6 All landscaped areas 36 square feet in size or larger shall be covered with living, vegetative materials such as trees, grasses, vines, shrubs, or flowers. Coverage is calculated based on the mature spread of the plant materials:
  - » The total landscaped area shall have at least 75% coverage by living, vegetative materials;
  - » A minimum of 30% coverage of the total landscaped area shall be achieved by ground-level plants (shrubs, groundcover, grasses, etc.); and
  - » A minimum of five species must be used on the site to have a mix of living, vegetative materials represented in understory plantings.
- 5.7 Minimum plant sizes at time of installation shall be as follows:
  - » Deciduous Trees: 2-inch caliper measured six inches above grade;
  - » Evergreen Trees: Six feet in height
  - » Multi-trunk Trees: Minimum of two trunks, with a combined minimum caliper of two inches
  - » Shrubs: One gallon
  - » Groundcover: adequate to provide general ground coverage within one growing season after planting
- 5.8 Trees shall be provided in and around off-street parking areas to provide shade and relieve the adverse visual impact of large expanses of pavement and parked cars as follows:
  - » One tree shall be provided per ten parking spaces, with no parking space being more than 100 feet from a tree trunk.
  - » The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree; the open tree planter area may be reduced to 36 square feet if the surface of the parking or vehicle circulation area adjacent to the tree planter is of a permeable material, and combined with the open tree planter area, meets the 60 square foot per tree requirement;
  - » A minimum of 75% of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.
- 5.9 Street trees shall be provided in accordance with Section 6-6-2-1 City Street Tree Ordinance, Section 6-6-2-5 Street Tree Policies, and the following:
  - » Spacing between evenly spaced street trees shall be no greater than the diameter of the tree canopy at maturity. Random clustering of stree trees is acceptable, provided the number of trees planted equals or exceeds the number that would be required if the trees were evenly spaced. However, there shall be no gap of more than 100 feet between street trees;
  - » Street trees shall be planted in the parkway strip (i.e., between the curb and the public sidewalk), unless traffic safety requires different locations. If the parkway strip is not feasible for planting, the street trees shall be within 20 feet of the back of curb. These trees may be used concurrently to fulfill the site landscape requirements;
  - » A minimum of 60 square foot planting area shall be provided for each tree;
  - » Plantings of more than 10 trees must use at least two different genera, with roughly equal numbers of each; and
  - » One of every three street trees planted may be an accent tree, as defined by the Official Albuquerque Plant Palette and Sizing List.
- 5.10 All planting areas shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material.
- 5.11 An automatic underground irrigation system shall be provided to support all landscaping areas.

# 730 COORS NW

## DESIGN GUIDELINES

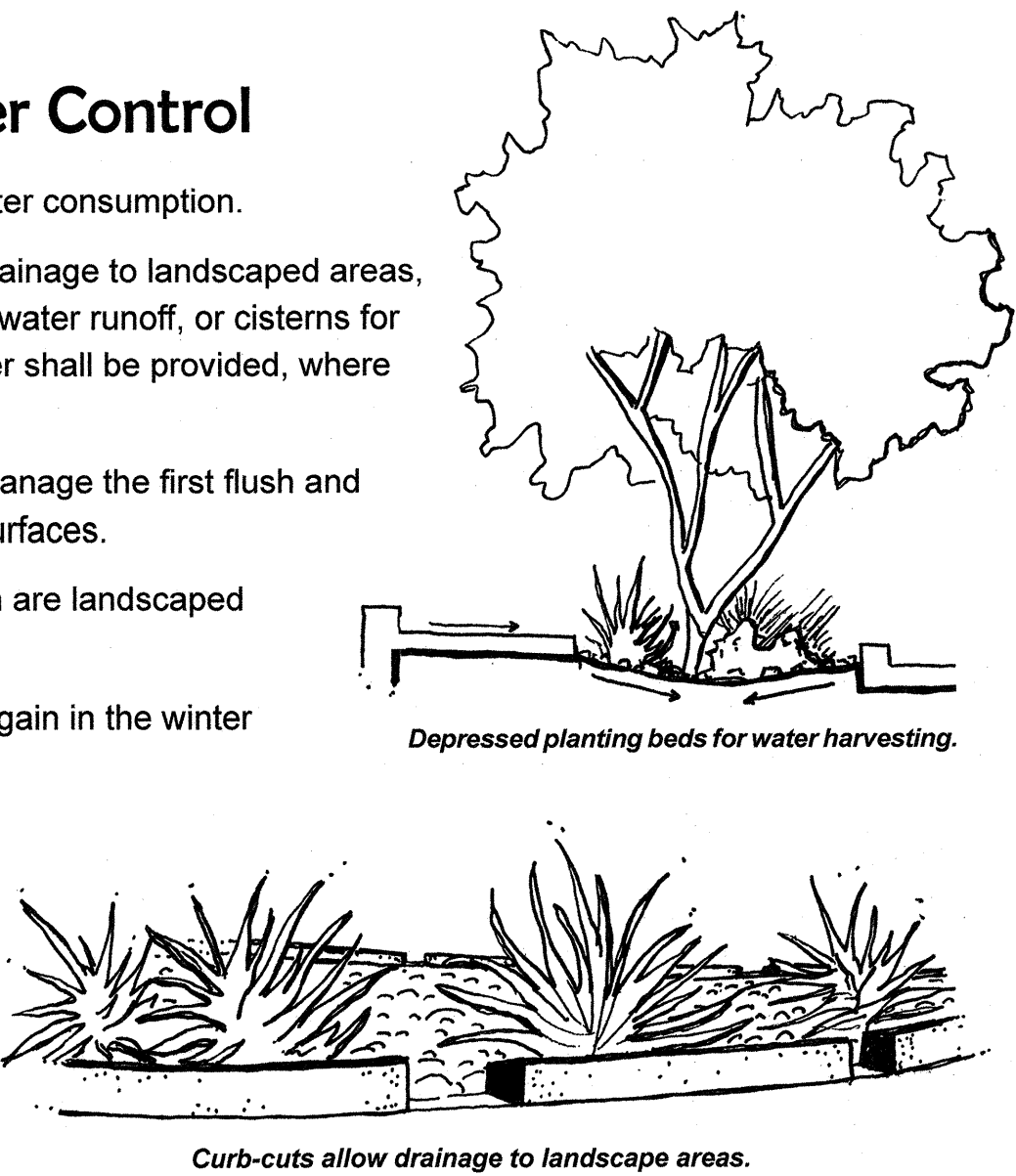
Prepared for:  
Poston Investment Collective, LLC  
8400 Menaul Boulevard NE, A-007  
Albuquerque, NM 87112

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102



6. Sustainability and Storm Water Control

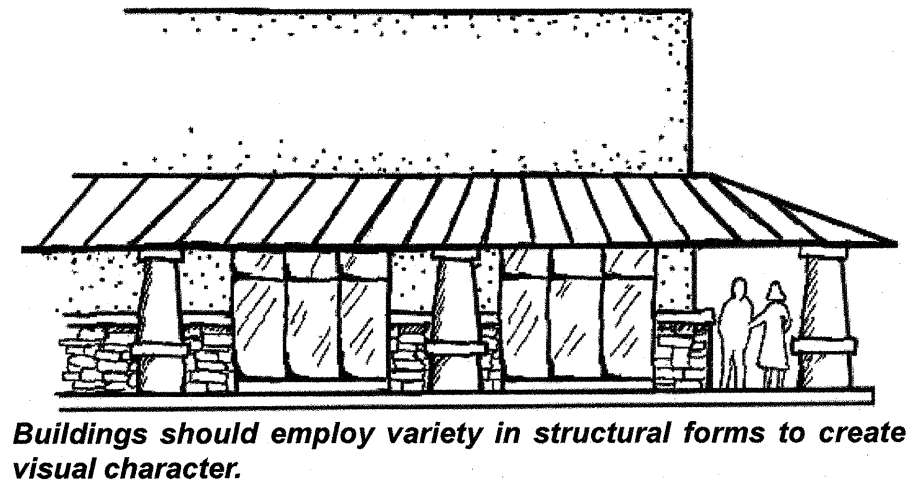
- 6.1 Techniques shall be utilized to reduce energy and water consumption.
- 6.2 Water harvesting techniques, such as curb cuts for drainage to landscaped areas, permeable paving, bioswales to slow and treat storm water runoff, or cisterns for the collection and reuse of storm water and gray water shall be provided, where appropriate.
- 6.3 Storm water control measures shall be designed to manage the first flush and control runoff generated by contributing impervious surfaces.
- 6.4 Where feasible, roofs shall drain water to areas which are landscaped appropriately for such run-off.
- 6.5 Buildings shall be oriented to take advantage of heat gain in the winter where possible while coordinating with shading strategies to inhibit solar gain in the summer.
- 6.6 Grasses and other ground vegetation should be placed near project edges to help filter and slow runoff as it exits and enters the site.
- 6.7 Convenient recycling collection facilities shall be provided by all tenants of the site.



7. Architecture

New development should establish an appropriate and pleasing visual impression. The architectural design should demonstrate a high quality aesthetic character throughout the property and should respond to climate, views, solar access, and aesthetic considerations. The following guidelines are intended to provide design flexibility while maintaining design consistency for all architectural elements throughout the property.

- 7.1 All buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- 7.2 Finished building materials shall be applied to all exterior sides of buildings and structures and shall be consistent on all sides. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- 7.3 Generic franchise building elevations or canopies are discouraged.
- 7.4 Building entry ways shall be clearly defined and include a canopy, portal, or awning that is architecturally integrated with the building. No plastic or vinyl building panels, awnings, or canopies are allowed.
- 7.5 Buildings should employ variety in structural forms to create visual character and interest, and avoid long, unarticulated facades. Facades should have varied front setbacks, with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment.
- 7.6 Building edge treatments shall “step down” to relate to the scale of pedestrians. Building masses should be arranged to cast shadows on each other in order to emphasize the contrast of light and shaded surfaces at corners and edges.
- 7.7 Windows and doors are key elements of any structure’s form and should relate to the scale of the elevation on which they appear. The use of recessed openings helps to provide depth and contrast on elevation planes. Glazing should respond to climate, view, and orientation.
- 7.8 Highly reflective surfaces; exposed, untreated, precision block walls; and materials with high maintenance requirements are undesirable and should be avoided.
- 7.9 Wireless telecommunications facilities (cell towers) shall be architecturally integrated.

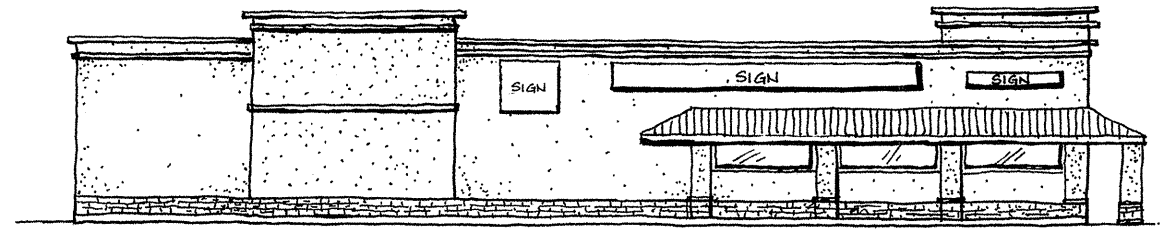


8. Signage

The following signage guidelines are intended to regulate the size, location, type, and quality of sign elements. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

- 8.1 All signs shall be in compliance with Section 14-16-2-16 C-1 Neighborhood Commercial Zone and 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code, except as specifically modified by these Design Guidelines.
- 8.2 Entry signs shall be monument type and shall complement the materials, color, and architectural character of the buildings.
- 8.3 One freestanding project monument sign is allowed at each of the project entries at Coors Boulevard NW and Fortuna Road NW. The monument sign at Coors Boulevard NW shall be a maximum of 9 feet in height, with a maximum sign area of 75 square feet. The monument sign at Fortuna Road NW shall be a maximum of 8 feet in height, with a maximum sign area of 50 square feet. These project monument signs shall be of similar design and materials.
- 8.4 Freestanding monument signs are not allowed at the rear of the site along Estancia Drive.
- 8.5 Freestanding signs shall not require any external bracing, angle-iron supports, guy wires or similar devices.
- 8.6 Building-mounted signs shall not exceed 6 percent of the facade area. Maximum logo size shall not exceed 3 feet by 5 feet.

- 8.7 Building-mounted signs shall:
  - › Identify the name and address of the building;
  - › Have a maximum of 4 different colors;
  - › Have a minimum contrast of 70% between the background and the text in order to ensure readability; and
  - › Not intrude upon any architectural features, including windows, columns, mouldings, or other decorative features.
- 8.8 Building-mounted signs shall not overhang into the public right-of-way or extend above the building roof line.
- 8.9 Lighted signs shall not face the residential neighborhood.
- 8.10 No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- 8.11 Off-premise signs and portable signs are prohibited.
- 8.12 No illuminated plastic panel signs are allowed except business logos.



9. Utilities

To ensure the overall aesthetic quality of the property, the visual impact of utilities and equipment should be minimized.

- 9.1 Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, utility boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- 9.2 When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- 9.3 PNM Coordination: Development shall abide by all conditions or terms of utility easements prior to development. Contact shall be made with PNM's new Service Delivery Department to coordinate electric service and options for the location of electrical service connection. Any existing or proposed public utility distribution easements are to be indicated on subsequent Site Plan for Building Permit utility plan sheets. PNM's standard for public utility distribution easements is 10 feet in width to ensure adequate, safe clearances.

730 COORS NW  
DESIGN GUIDELINES

Prepared for:  
Poston Investment Collective, LLC  
8400 Menaul Boulevard NE, A-007  
Albuquerque, NM 87112

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102



# CITY OF ALBUQUERQUE



May 5, 2020

Jake Palmer  
Accelerate Development Services  
2415 Camelback Road, Ste. 400  
Phoenix, Az 85016

**Re: Restaurant with Drive-thru**  
**700 Coors Blvd NW, Albuquerque NM 87106**  
**Traffic Circulation Layout**  
Architect's Stamp 05-01-2020 (J11-D039)

Dear Mr. Palmer

The TCL submittal received 05-01-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

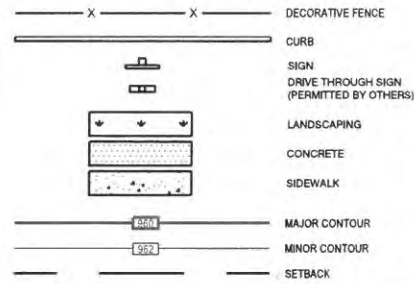
Sincerely,

Nilo Salgado-Fernandez, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File



# PROPOSED LEGEND



UNUSED CURB CUT TO BE REPLACED WITH SIDEWALK CURB AND GUTTER. SEE NOTES AT THE BOTTOM OF THIS SHEET.

UNUSED CURB CUT TO BE REPLACED WITH SIDEWALK CURB AND GUTTER. SEE NOTES AT THE BOTTOM OF THIS SHEET.

TRAFFIC CIRCULATION LAYOUT  
APPROVED

5-5-20  
Date

Signed

## PROPOSED TRUCK TURN LEGEND:

- 1 SOLID WASTE REFUSE TRUCK
- 2 W-40 TRUCK
- 3 FIRE PUMP TRUCK

FORTUNA ROAD N.W.  
00' RW  
(87792)

ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED IN THE WORK ORDER.

### NOTE:

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CURB & GUTTER SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2415A. SIDEWALK SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2430.

### NOTE:

UNUSED CURB CUTS SHALL BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CURB & GUTTER SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2415A. SIDEWALK SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2430.

### CLEAR SIGHT TRIANGLE NOTE:

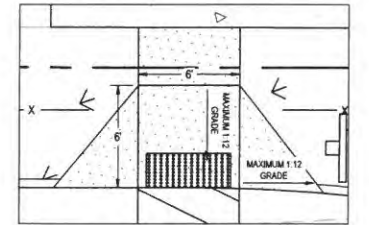
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

### BENCHMARK

BM "A" FOUND "X" IN CONCRETE 5101.27  
BM "B" CENTER OF SANITARY MANHOLE 5008.38  
ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. 23-111, HAVING AN ELEVATION OF 5095.705, NAVD 1988

### CODED NOTES:

1. CONTRACTOR TO INSTALL "MOTORCYCLE PARKING ONLY" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
2. ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
3. CONTRACTOR TO INSTALL "STOP" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
4. CONTRACTOR TO INSTALL "DO NOT ENTER" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
5. EXISTING SIGN (TENANT SIGNAGE PERMITTED BY OTHERS)
6. DRIVE THROUGH SIGN (PERMITTED BY OTHERS)
7. DUMPSTER ENCLOSURE (PERMITTED BY OTHERS)
8. INVERTED U BICYCLE RACK. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
9. DETECTIBLE WARNING MAT WITH TRUNCATED DOMES. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
10. CLEAR SIGHT TRIANGLE.



ADA RAMP DETAIL  
1"=5'



VICINITY MAP ZONE ATLAS  
ZONING ATLAS # J11  
N.T.S.



### PROPERTY DATA:

MIXED USE - LOW INTENSITY DISTRICT (MX-L)

COORS BLVD OVERLAY (CPO-2)

DRIVE THROUGH FACILITY

BUILDING AREA: 858 SF

PROPERTY AREA: 0.5668 ACRES

	REQUIRED	PROPOSED
BUILDING SETBACKS		
COORS BLVD:	15'	45'
FORTUNA RD:	5'	68'
SIDE:	15'	32'
BACK:	15'	66'
OPEN SPACE CALCULATIONS:	15%	25.7% (0.15 ACRES)
COORS BLVD LANDSCAPING REQUIREMENT:	50% OF SETBACK	63.6% (1426.4 SF)
PARKING REQUIREMENTS		
REGULAR PARKING:	4	11
ADA:	1	1
MOTORCYCLE:	1	1
3 BICYCLE:	3	3



2020 N. CENTRAL AVE., STE 300, PHOENIX, AZ 85004  
PHONE: (602) 282-6800

Date	Revisions/Comments
09/30/2019	REVISED PER CITY GRADING & DRAINAGE COMMENTS
10/17/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS
11/25/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS
12/16/2019	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS
01/09/2020	TRASH ENCLOSURE REVISION
05/01/2020	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS



RESTAURANT WITH  
DRIVE-THRU  
FORTUNA RD NW & COORS BLVD NW  
ALBUQUERQUE, NM, 87121  
© 2019 CESO, INC.



Project No. 756678-01  
Scale 1" = 10'  
Drawn V. WERTH  
Checked E. BROUCH  
Date 2019.10.17  
Issue G&D AND TCL REVIEW  
Drawing Title

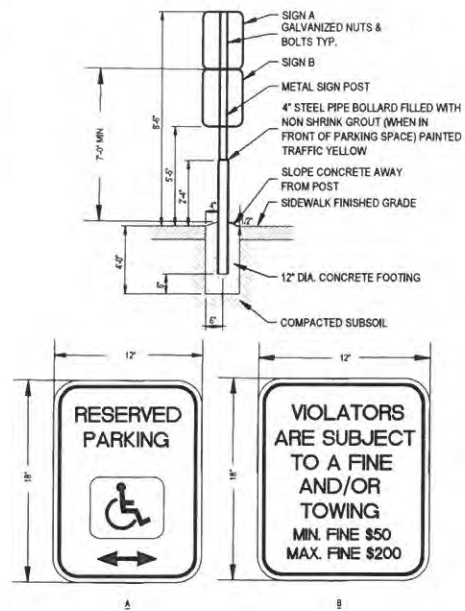
TRAFFIC  
CIRCULATION  
LAYOUT -  
PROPOSED

Drawing No. C6.1

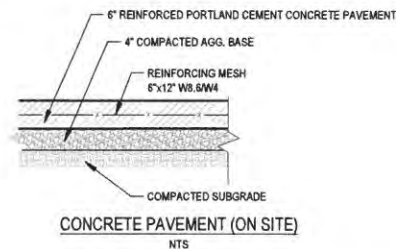


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW MEXICO UTILITIES PROTECTION SERVICE AT 811 OR 1-800-321-2537 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW MEXICO UTILITIES PROTECTION SERVICE

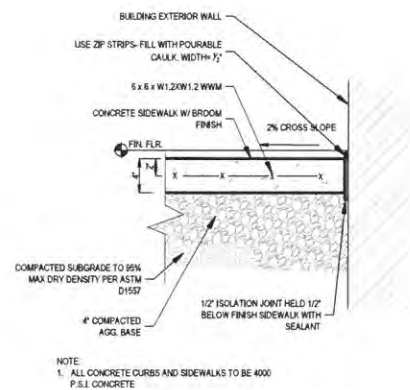




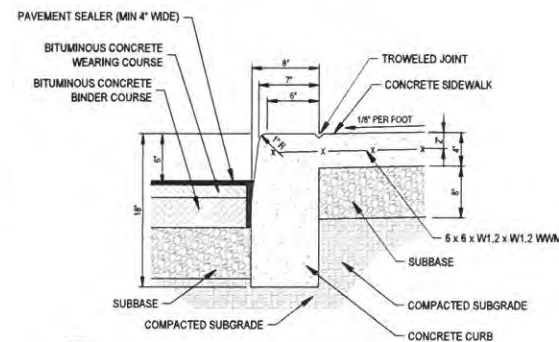
**HANDICAPPED PARKING SIGNAGE DETAIL**  
NOT TO SCALE



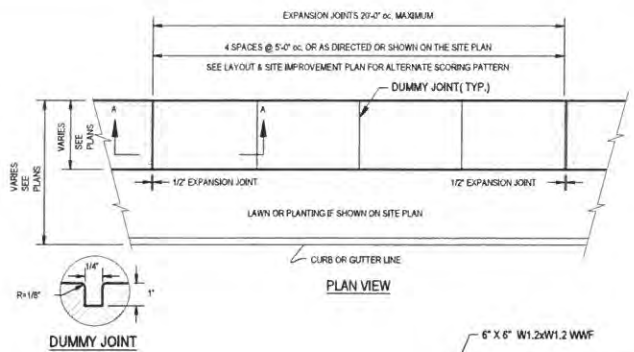
**CONCRETE PAVEMENT (ON SITE)**  
NTS



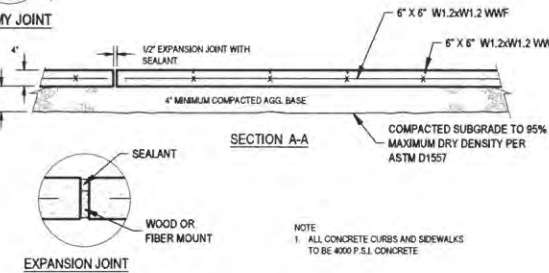
**SIDEWALK DETAIL**  
NTS



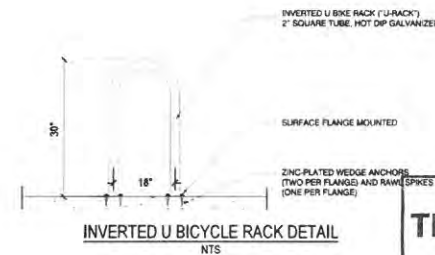
**INTEGRAL CURB & SIDEWALK ONSITE**  
NTS



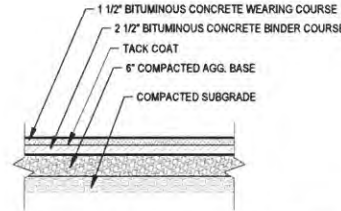
**CONCRETE SIDEWALK DETAIL**  
NTS



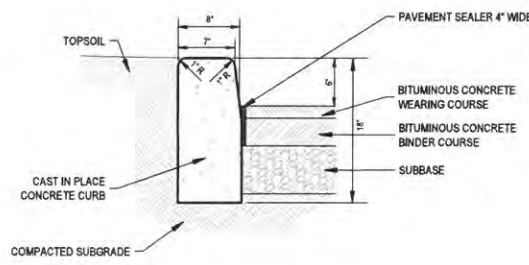
**EXPANSION JOINT**



**INVERTED U BICYCLE RACK DETAIL**  
NTS



**STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT (ON SITE)**  
NTS

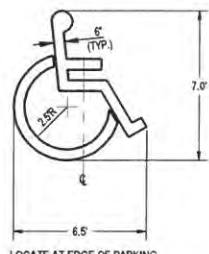


**STRAIGHT FACED CURB DETAIL**  
NTS

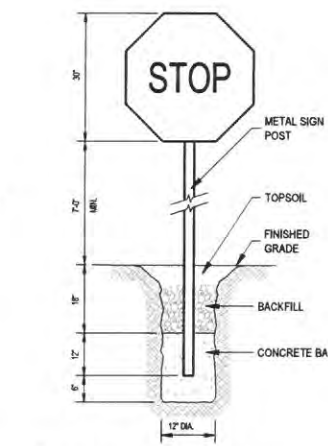
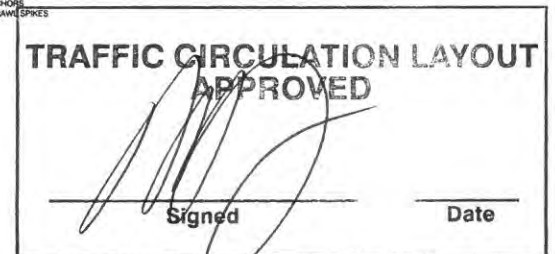


**TRAFFIC FLOW ARROW**  
NTS

- NOTE 1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL.
- NOTE 2. THESE WORDS AND ARROWS ARE TO BE DEVICES FOR STREETS AND HIGHWAYS PAINTED REFLECTIVE WHITE.
- NOTE 3. ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE YELLOW PAINT PER SPECS.



**ACCESSIBLE PARKING SYMBOL**  
NTS



**STOP SIGN**  
NTS

- NOTE 1. PROVIDE SIGN IN ACCORDANCE WITH MUTCD SPECIFICATIONS.

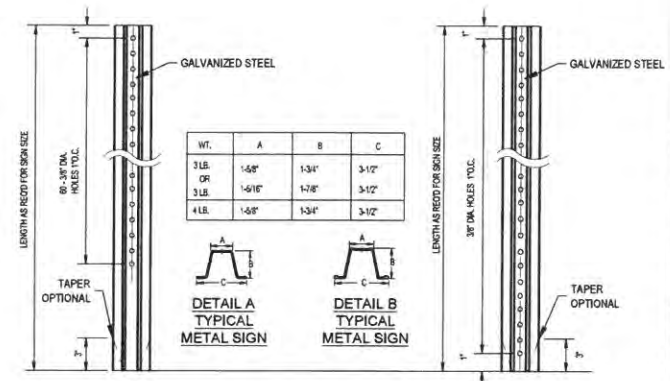
**DETECTABLE WARNING MAT DETAIL**  
NOT TO SCALE



**"DO NOT ENTER" SIGN (R5-1) DETAIL**  
NTS

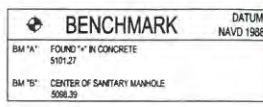


**"MOTORCYCLE PARKING ONLY" SIGN DETAIL**  
NTS



- NOTES:
- STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 490-81 GRADE 80 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A 75 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 30 LBS OR GREATER PER LINEAR FOOT.
  - AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.
  - SIGN MOUNTING HEIGHT TO BE PER MUTCD REQUIREMENTS.
  - ALL SIGN POSTS SHALL HAVE "BREAK AWAY" FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS". THE "BREAK AWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGN SHOWN ON THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

**TYPICAL METAL SIGN POSTS**  
NTS



FORTY-ONE (41) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW MEXICO UTILITIES PROTECTION SERVICE AT 811 OR 1-800-321-2537 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW MEXICO UTILITIES PROTECTION SERVICE



Date	Revisions/Comments
09/30/2019	REVISED PER CITY GRADING & DRAINAGE COMMENTS
10/17/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS
11/25/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS
12/15/2019	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS
01/09/2020	TRASH ENCLOSURE REVISION
05/01/2020	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS



**RESTAURANT WITH DRIVE-THRU**  
FORTUNA RD NW & COORS BLVD NW  
ALBUQUERQUE, NM, 87121  
© 2019 CESO, INC.

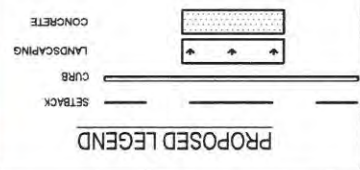
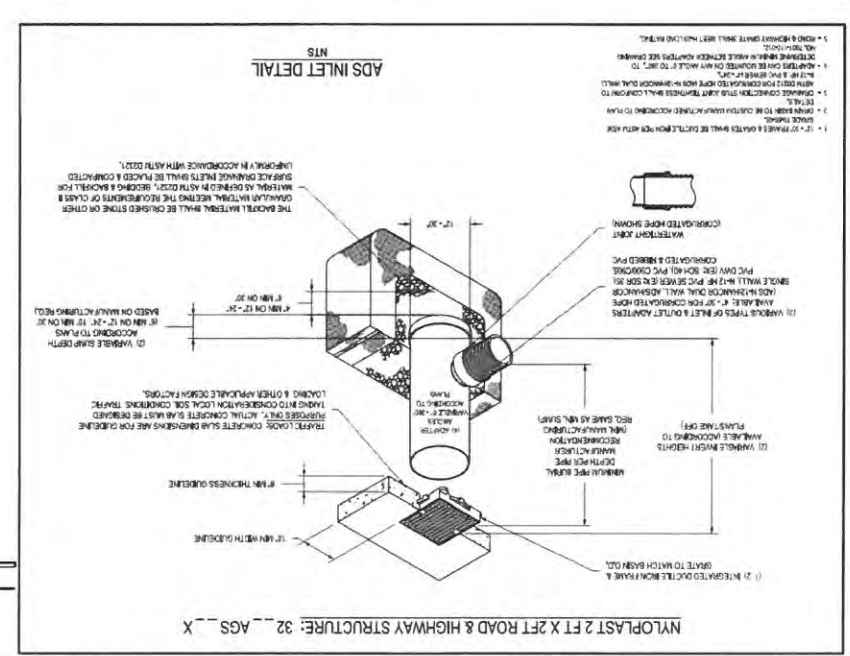
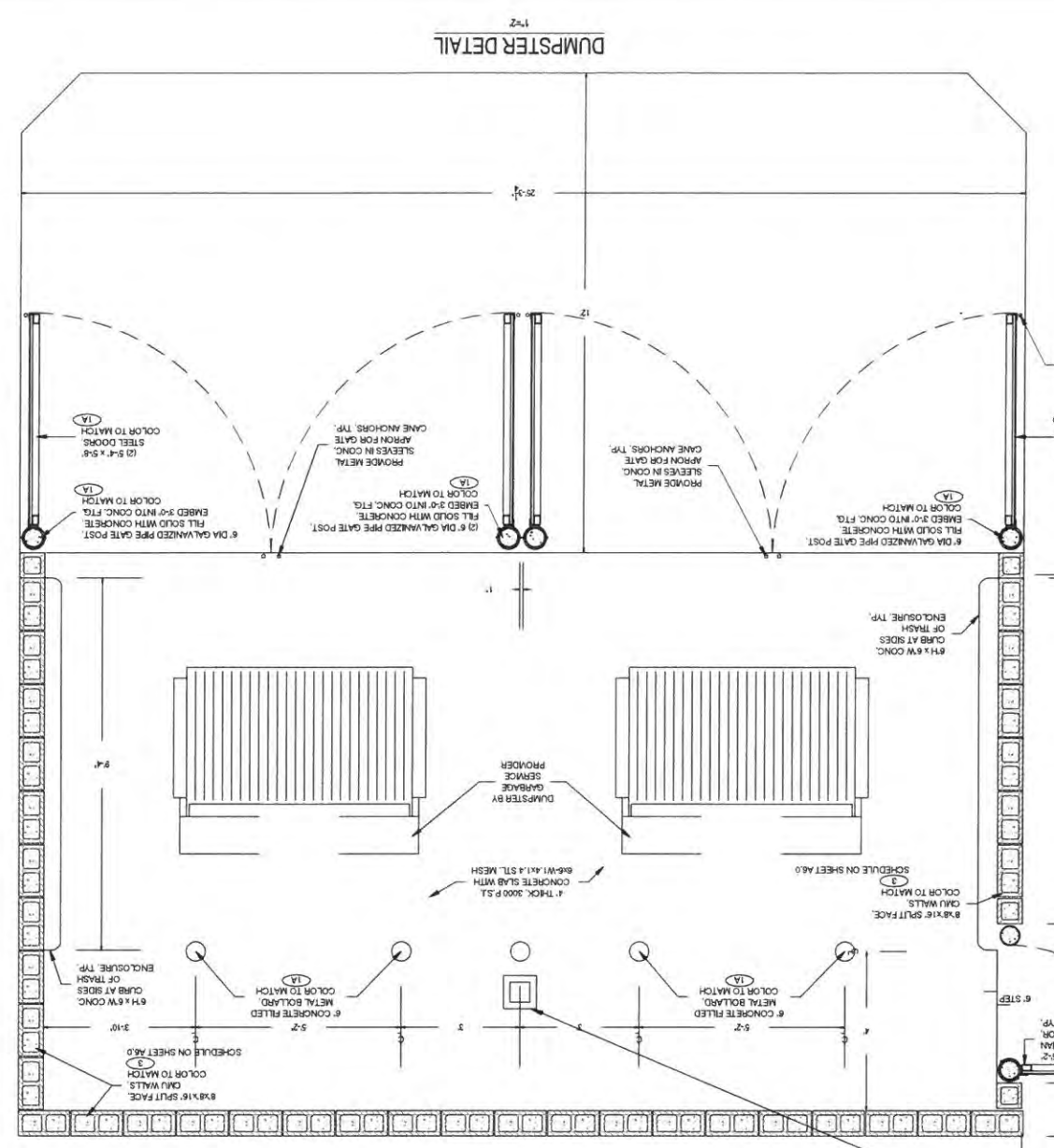
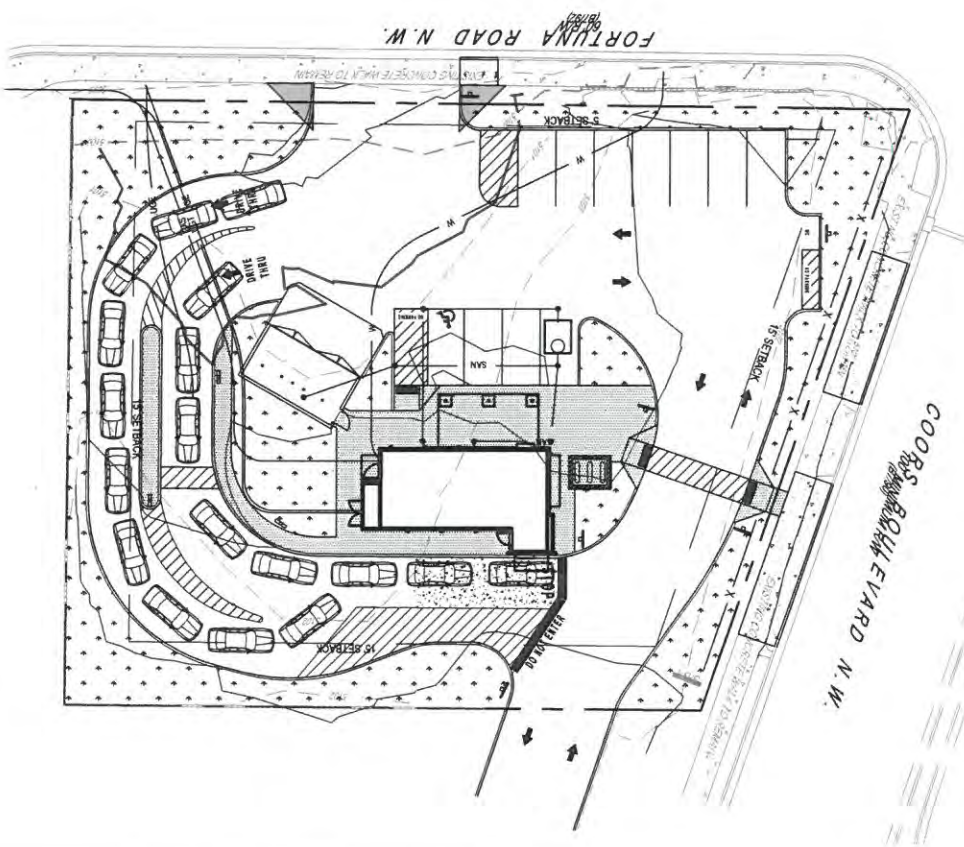
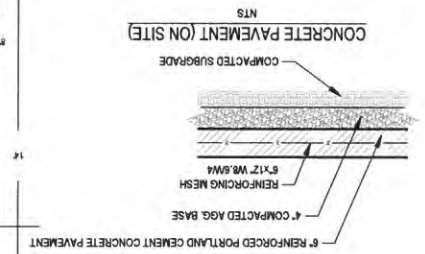
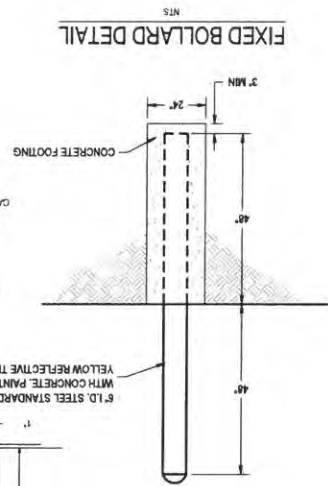
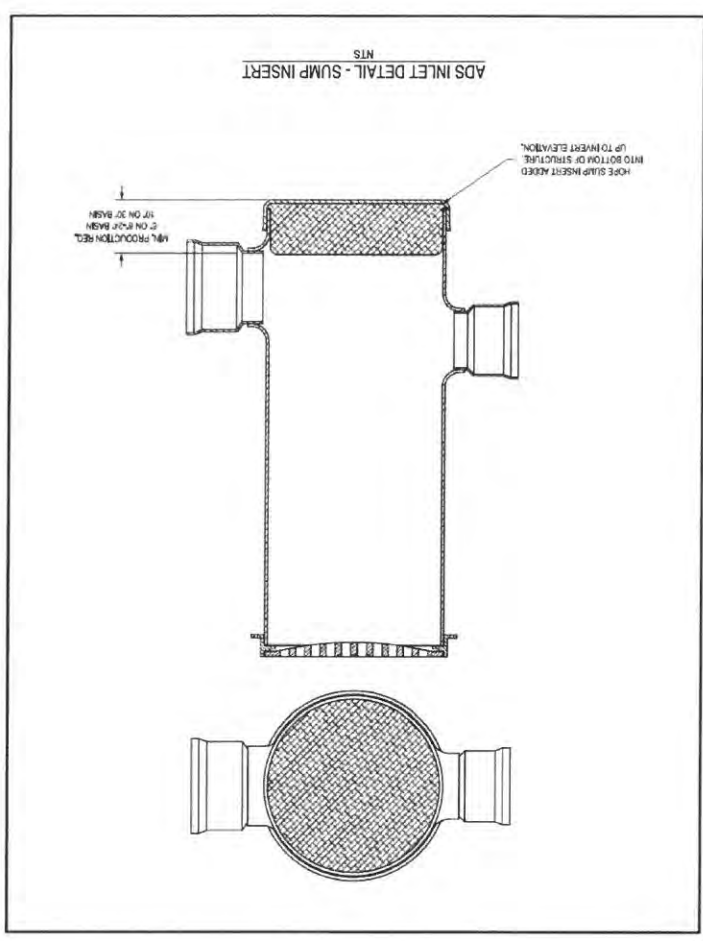


Project No.	756678-01
Scale	NO SCALE
Drawn	V. WERTH
Checked	E. BROUCH
Date	2019.10.17
Issue	
Drawing Title	

**CONSTRUCTION DETAILS**

Drawing No. C8.0





TRAFFIC CIRCULATION LAYOUT  
APPROVED

  
Signed \_\_\_\_\_

5-5-24  
Date \_\_\_\_\_

No.	Revision/Revisions	Date
1	REVISED PER CITY GRADING & DRAINAGE COMMENTS	09/30/2019
2	REVISED PER COMMENTS FROM AOS AND CITY REVIEWERS	10/17/2019
3	REVISED PER COMMENTS FROM AOS AND CITY REVIEWERS	11/25/2019
4	REVISED PER COMMENTS FROM AOS AND DOT REVIEWERS	12/15/2019
5	TAKEN SINGLE-COLUMN REVISION	
6	REVISED PER COMMENTS FROM AOS AND DOT REVIEWERS	01/09/2020
		05/01/2020



PSALMIA DRIVE NW (60' ROW)

100' 12"

100' 12"

100' 12"

100' 12"

100' 12"

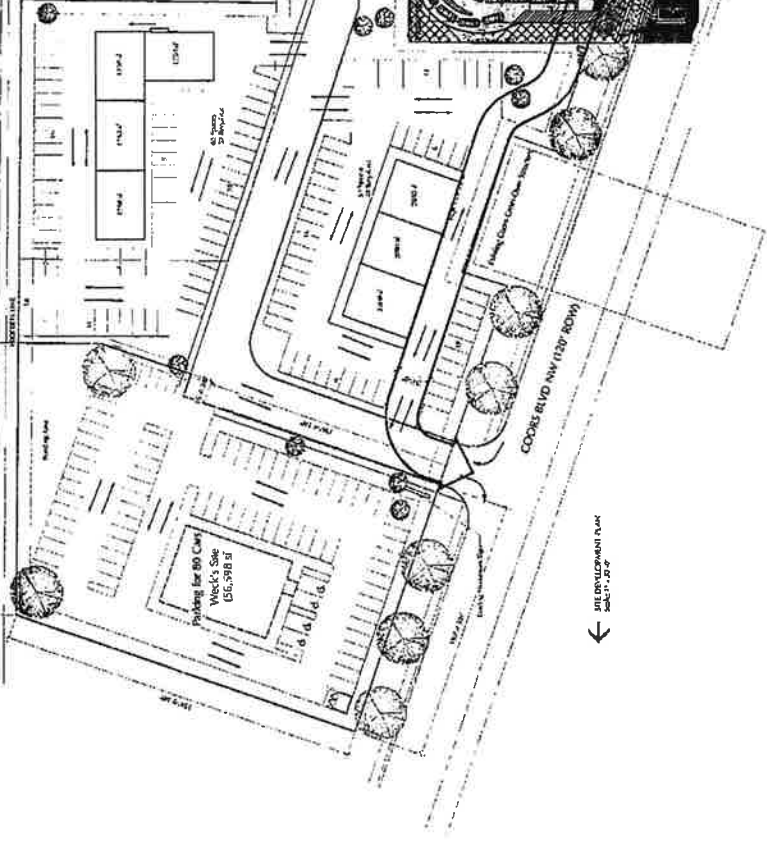
100' 12"

100' 12"

100' 12"

100' 12"

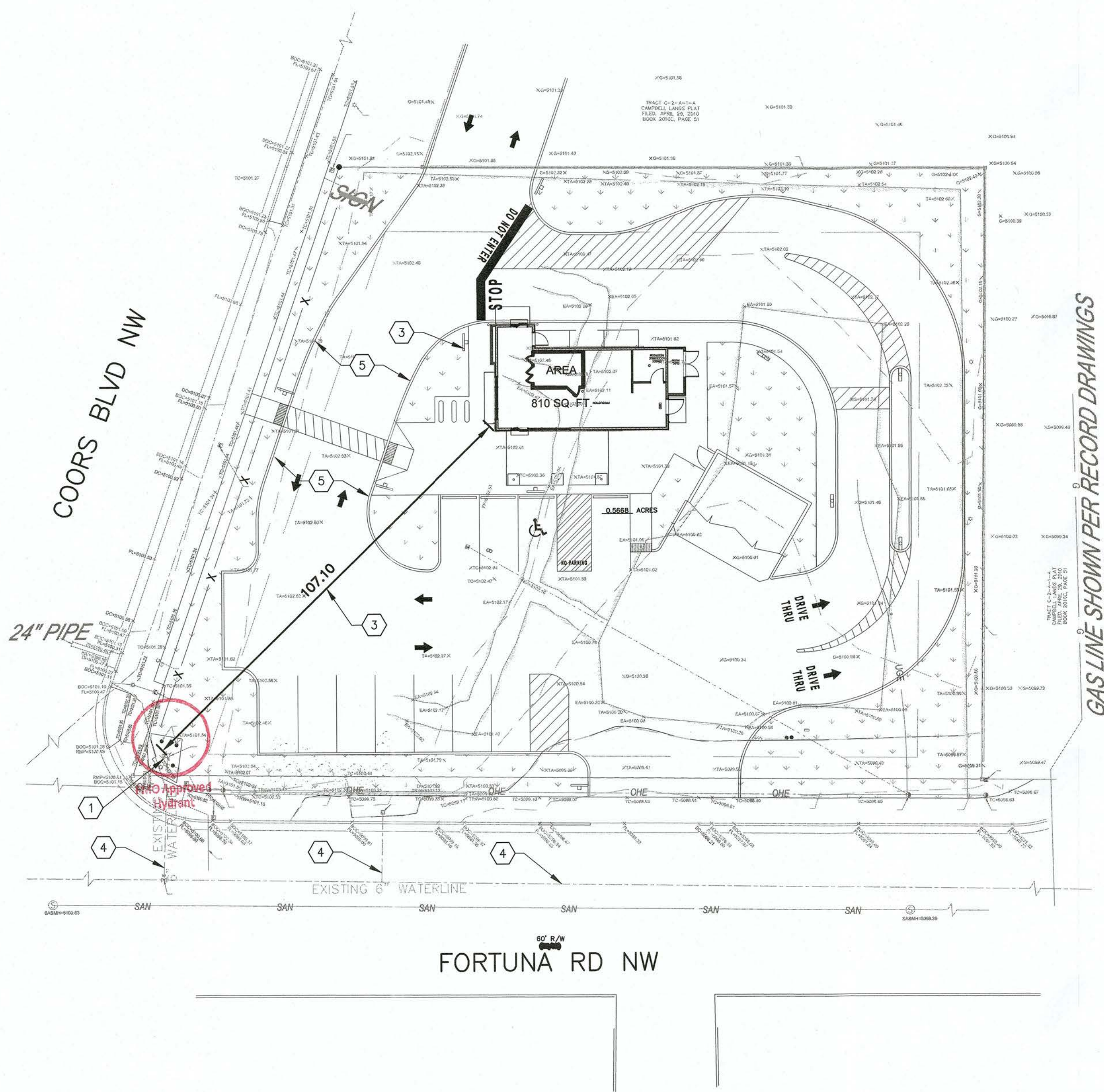
100' 12"



← SITE DEVELOPMENT PLAN  
SHEET 1 OF 2

PROJECT INFORMATION		OWNER INFORMATION		DATE	
PROJECT NAME	WILLIAMS, JAMES, AND SISTER	OWNER NAME	WILLIAMS, JAMES, AND SISTER	DATE	10/1/2011
PROJECT ADDRESS	10111A NW 10th Ave, NW (10111A)	OWNER ADDRESS	10111A NW 10th Ave, NW (10111A)	DATE	10/1/2011
PROJECT CITY	2501 222 222nd St, NW (2501 222nd St)	OWNER CITY	2501 222 222nd St, NW (2501 222nd St)	DATE	10/1/2011
PROJECT STATE	2501 222 222nd St, NW (2501 222nd St)	OWNER STATE	2501 222 222nd St, NW (2501 222nd St)	DATE	10/1/2011
PROJECT ZIP	2501 222 222nd St, NW (2501 222nd St)	OWNER ZIP	2501 222 222nd St, NW (2501 222nd St)	DATE	10/1/2011
PROJECT COUNTY	2501 222 222nd St, NW (2501 222nd St)	OWNER COUNTY	2501 222 222nd St, NW (2501 222nd St)	DATE	10/1/2011
PROJECT FILING	2501 222 222nd St, NW (2501 222nd St)	OWNER FILING	2501 222 222nd St, NW (2501 222nd St)	DATE	10/1/2011
PROJECT PERMIT	2501 222 222nd St, NW (2501 222nd St)	OWNER PERMIT	2501 222 222nd St, NW (2501 222nd St)	DATE	10/1/2011
PROJECT PLAN	2501 222 222nd St, NW (2501 222nd St)	OWNER PLAN	2501 222 222nd St, NW (2501 222nd St)	DATE	10/1/2011
PROJECT SHEET	2501 222 222nd St, NW (2501 222nd St)	OWNER SHEET	2501 222 222nd St, NW (2501 222nd St)	DATE	10/1/2011
PROJECT TOTAL	2501 222 222nd St, NW (2501 222nd St)	OWNER TOTAL	2501 222 222nd St, NW (2501 222nd St)	DATE	10/1/2011





GAS LINE SHOWN PER RECORD DRAWINGS



SCALE: 1"=20'

MILLER ENGINEERING CONSULTANTS  
Engineers • Planners  
3500 COMANCHE, NE  
ALBUQUERQUE, NM 87107  
(505)888-7500  
(505)888-3800 (FAX)  
WWW.MECNM.COM

### PROJECT DATA

ADDRESS: 700 COORS BLVD NW, ALBUQUERQUE NM 87121  
LEGAL DESCRIPTION: TR B REPLAT OF A PART OF TRS 161.162 7 163 OF AIRPORT UNIT OF TRS ALLOTTED FROM THE TOWN OF ATRISCO GRANT CONT 0.5875 Ac  
UPC: 101105802626120201

### MEANS OF EGRESS CALCULATIONS

OCCUPANCY	AREA	OCCUPANTS	EXITS REQ'D	EXITS PROVIDED	MIN. WIDTH REQUIRED	WIDTH PROVIDED
(B) BUSINESS	810 SQ. FT.	9	1	2	36"	72"

### REQUIRED NUMBER OF EXITS

REQUIRED	PROVIDED	REMARKS
1	2	EXIT DOORS ARE MARKED "EXIT"

### REQUIRED MINIMUM EXIT DOOR WIDTH

REQUIRED	PROVIDED	REMARKS
24"	72"	72" > 24" PASS

### LEGEND

⊗	EMERGENCY EXIT LIGHT
FE	FIRE EXTINGUISHER

### KEYNOTES

- OCCUPANCY LOAD SIGN - VERIFY LOCATION WITH FIRE MARSHALL
- FIRE EXTINGUISHER - VERIFY LOCATION WITH FIRE MARSHALL
- KNOX BOX LOCATION - VERIFY LOCATION WITH FIRE MARSHALL

### PROJECT DATA

ZONING CODE: CITY OF ALBUQUERQUE, NM  
THE BUILDING DESIGN SHALL COMPLY WITH THE FOLLOWING CODES:  
2015 NEW MEXICO COMMERCIAL BUILDING CODE  
2017 NEW MEXICO ELECTRICAL CODE  
2015 NEW MEXICO PLUMBING CODE  
2015 NEW MEXICO MECHANICAL CODE  
2015 NEW MEXICO FUEL GAS CODE  
2009 NEW MEXICO ENERGY CODE - CLIMATE ZONE 4b  
2015 NEW MEXICO FIRE CODE  
OCCUPANCY FOR PURPOSES OF PLUMBING FIXTURE COUNTS:  
9 TOTAL, 5 EACH SEX  
REQUIRED FIXTURES:  
LOAD: 9 (ACTUAL)  
DISTRIBUTION: 50% MALE, 50% FEMALE  
DISTRIBUTION COUNT: 5 MALE, 5 FEMALE  
TOILET ROOMS REQ'D: 1 (PER NEW MEXICO BUILDING CODE TABLE 2902.2)  
2902.2 SEPARATE FACILITIES:  
(2) SEPARATE FACILITIES SHALL NOT BE REQUIRED IN STRUCTURES OR TENANT SPACE WITH A TOTAL OCCUPANT LOAD, INCLUDING BOTH EMPLOYEES AND CUSTOMERS OF 15 OR FEWER.

USE AND OCCUPANCY CLASSIFICATION:  
GROUP B (BUSINESS)  
OCCUPANT LOAD:  
810 SF/100= 9 OCCUPANTS  
GENERAL BUILDING HEIGHTS AND AREAS:  
UN-SPRINKLERED  
MAXIMUM ALLOWABLE BUILDING HEIGHT: 40'  
TYPE OF CONSTRUCTION  
CONSTRUCTION TYPE V-B  
LAVATORIES REQUIRED: 1/25 MALE, 1/25 FEMALE  
UNISEX LAVATORIES PROVIDED: 1  
WATER CLOSETS REQUIRED: 1/25 MALE, 1/25 FEMALE  
UNISEX WATER CLOSETS PROVIDED: 1  
DRINKING FOUNTAINS REQUIRED: 1/100 OCCUPANTS:  
NOT DRINKING FOUNTAINS REQUIRED IF INDIVIDUAL TENANT SPACE OCCUPANT LOAD IS <= 15

### GENERAL NOTES:

- THE FIRE APPARATUS ACCESS ROAD TO BE USED IS FORTUNA RD NW TO THE SOUTH AND COORS BLVD NW TO THE WEST. THESE ROADS ARE A MINIMUM OF 32' CURB FACE TO CURB FACE.
- IT IS ASSUMED THAT THE FIRE APPARATUS ROADS WERE BUILT IN COMPLIANCE WITH CITY REGULATIONS WHEN THE ORIGINAL SUBDIVISION WAS BUILT.
- THE ACCESS ROAD WHERE THE FIRE HYDRANT IS LOCATED HAS A WIDTH OF 40' WIDE.
- NO GRADES ON OR OFFSITE OR ADJACENT TO THE SITE HAVE GRADES > 10%.
- THE TURNING RADII ON THE FIRE APPARATUS ACCESS ROAD HAS RADIUS>30'
- THE BUILDING IS A SINGLE STORY BUILDING AND < 30' IN HEIGHT.
- APPROVED ACCESS ROUTE DRIVING SURFACE TO SUPPORT IMPOSED LOAD OF AT LEAST 75,000 LBS.

### KEYED NOTES:

- EXISTING FIRE HYDRANT.
- DISTANCE FROM EXISTING FIRE HYDRANT TO PROPERTY LINE.
- PREMISE ID WILL BE DISPLAYED NEAR THE FRONT OF THE BUILDING (WEST SIDE).
- EXISTING 6" WATERLINE.
- PAINT CURB RED FOR FIRE LANE.



MILLER ENGINEERING CONSULTANTS  
Engineers • Planners

3500 COMANCHE, NE  
ALBUQUERQUE, NM 87107  
(505)888-7500  
(505)888-3800 (FAX)

DESIGNED	DRAWN	CHECKED	DATE
RFH	RFH	VAM	03/17/2020



ENGINEER'S STAMP

NEW MEXICO  
BERNILLO COUNTY  
700 COORS BLVD NW  
ALBUQUERQUE, NEW MEXICO  
DUTCH BROTHERS COFFEE  
FIRE ONE PLAN

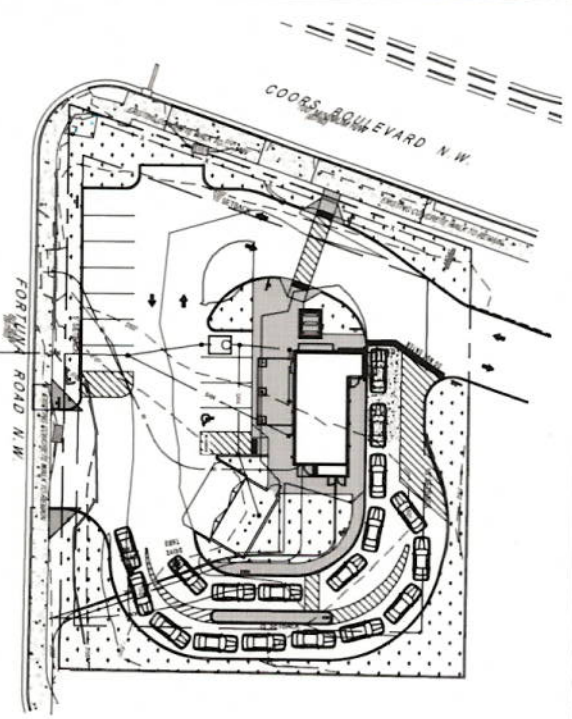
REVISION DESCRIPTION

DATE

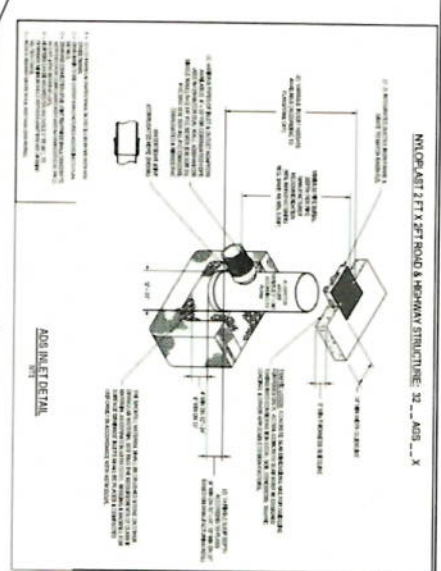
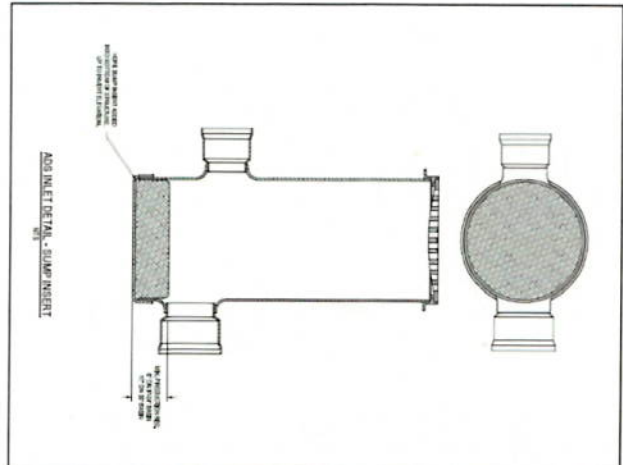
MARK

FIRE 1

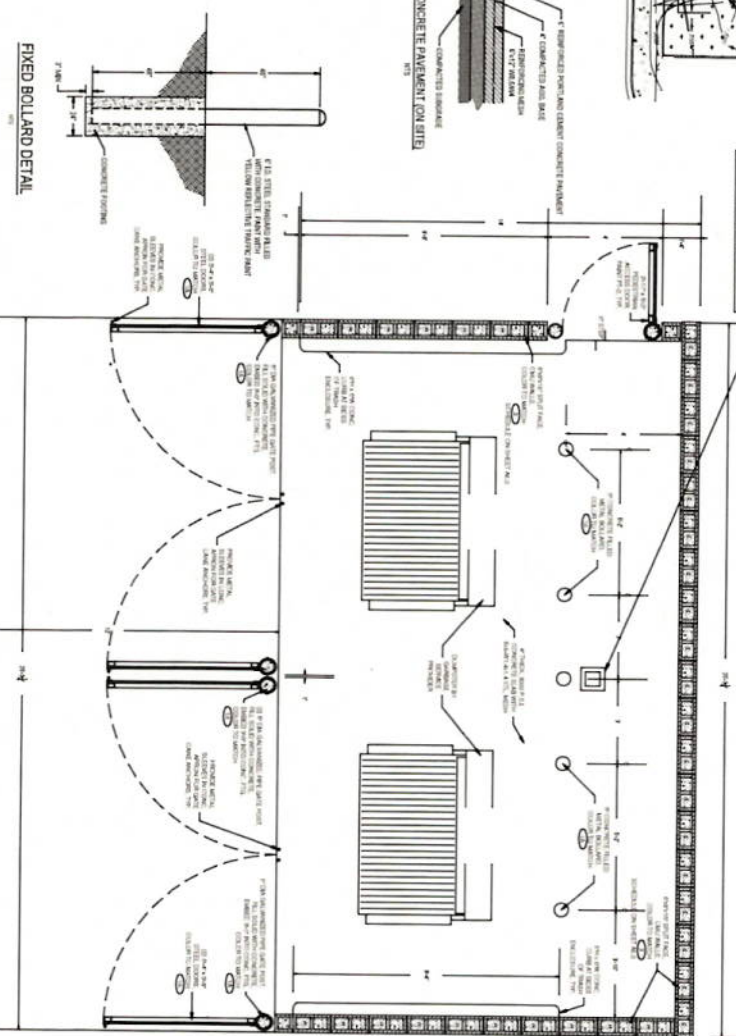




DUMPSTER LAYOUT



ADD INLET DETAIL



FIXED BOLLARD DETAIL

# CITY OF ALBUQUERQUE

## "SOLID WASTE"

DUMPSTER DETAIL

PROPOSED LEGEND

STREET	LANDSCAPING
CONCRETE	

Date	Revisions/Comments
09/20/2019	REVISED FOR CITY GRADING & CONCRETE COMMENTS
10/15/2019	REVISED FOR COMMENTS FROM AIA AND CITY REVIEWERS
11/05/2019	REVISED FOR COMMENTS FROM AIA AND CITY REVIEWERS
12/16/2019	REVISED FOR COMMENTS FROM AIA AND CITY REVIEWERS
01/16/2020	TRAFFIC ENCLOSURE REVISION
04/01/2020	REVISED FOR COMMENTS FROM AIA AND CITY REVIEWERS

**RESTAURANT WITH DRIVE-THRU**  
 FORTUNA RD NW & COORS BLVD NW  
 ALBUQUERQUE, NM, 87121

**TRAFFIC CIRCULATION LAYOUT - DUMPSTER PLAN**

CS-2

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DATE: 2019.10.17

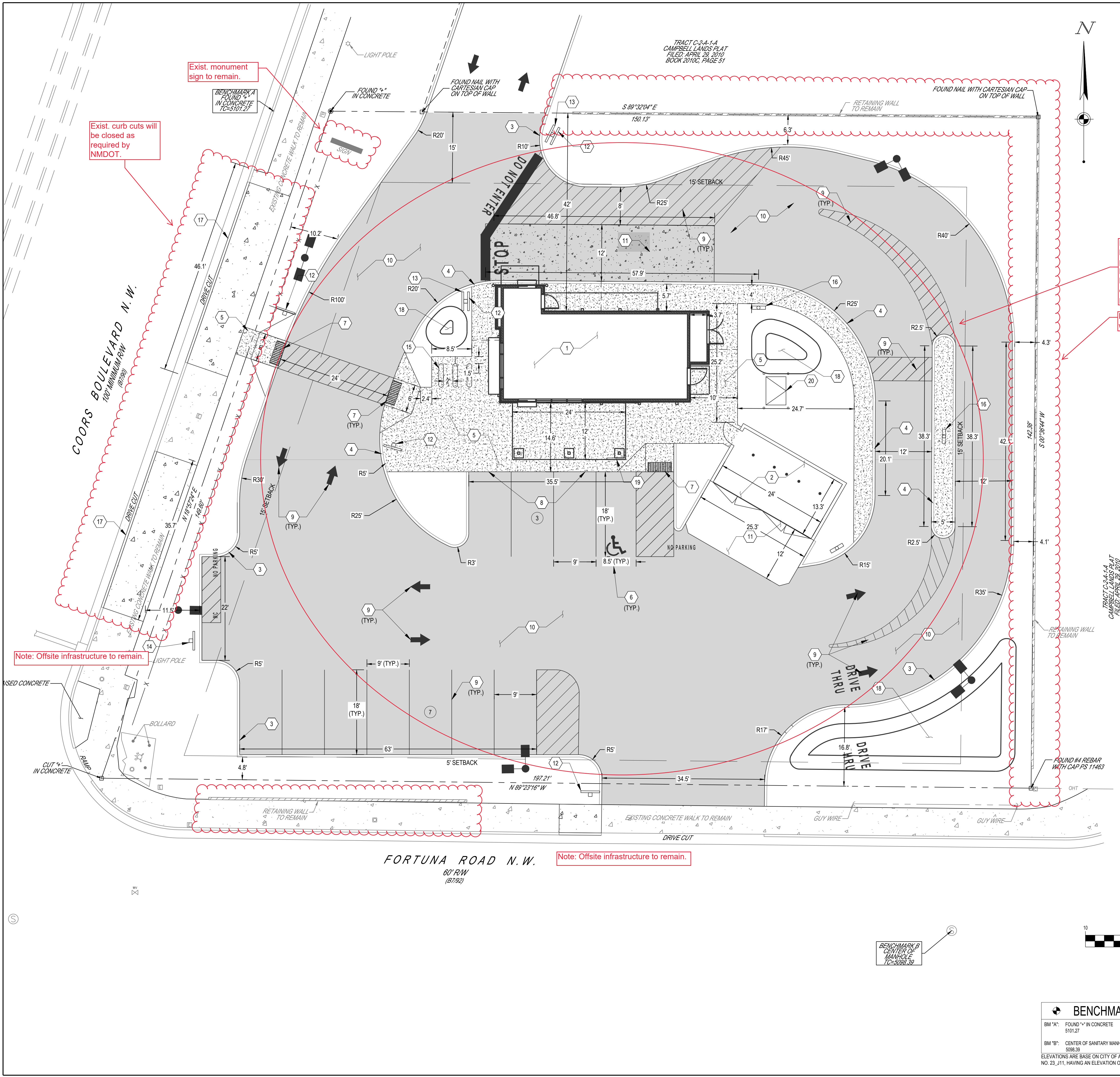
PROJECT NO: 2019.10.17

SCALE: 1" = 10'

PROJECT: [Signature]

MANAGEMENT DEPARTMENT  
 APPROVED HG 04.27.20






- CODING NOTES:**
- PROPOSED 858 SF BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
  - PROPOSED TRASH ENCLOSURE AND CONCRETE. REFER TO CONSTRUCTION DETAILS, SHEET C8.2
  - PROPOSED 6" STRAIGHT CURB. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - PROPOSED INTEGRAL CONCRETE CURB AND SIDEWALK. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - PROPOSED CONCRETE SIDEWALK. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - DETECTABLE WARNING MAT WITH TRUNCATED DOMES. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - PROPOSED INTEGRAL CURB. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - PROPOSED PARKING LOT PAVEMENT MARKINGS.
  - PROPOSED ASPHALT PAVEMENT. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - PROPOSED CONCRETE PAVEMENT. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - CONTRACTOR TO INSTALL "STOP" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - CONTRACTOR TO INSTALL "DO NOT ENTER" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - CONTRACTOR TO INSTALL "MOTORCYCLE PARKING ONLY" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - INVERTED U BICYCLE RACK. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
  - DRIVE THROUGH SIGNAGE (BY OTHERS).
  - PROPOSED STANDARD CURB AND GUTTER. REFER TO CONSTRUCTION DETAILS, SHEET C8.1. FOR CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2415A.
  - WATER HARVEST AREA. REFER TO CONSTRUCTION DETAILS, SHEET C8.2.
  - ACCESSIBLE PARKING SIGN TO BE MOUNTED ON COLUMN.
  - PROPOSED TRANSFORMER RELOCATION

**NOTE:**  
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CURB & GUTTER SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2415A. SIDEWALK SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2430. REFER TO CONSTRUCTION DETAILS, SHEET C8.1.


- LEGEND**
- EXISTING**
- REFER TO C1.1 FOR EXISTING FEATURES LEGEND
- PROPOSED**
- BUILDING
  - CONCRETE CURB
  - PAVEMENTWALK
  - PROPOSED LIGHT DUTY ASPHALT PAVEMENT.
  - PROPOSED CONCRETE PAVEMENT
  - PROPOSED CONCRETE SIDEWALK
  - PARKING SPACE COUNT
  - SIGN
  - DETECTABLE WARNING MAT.
  - SANITARY & STORM CLEANOUTS
  - CONCRETE BUMPER BLOCK



**CESO**  
WWW.CESOINC.COM

2020 N. CENTRAL AVE., STE. 900, PHOENIX, AZ 85004  
PHONE: (602) 282-5900

Date	Revisions/Comments	No.
09/30/2019	REVISED PER CITY GRADING & DRAINAGE COMMENTS	1
10/17/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS	2
11/25/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS	3
12/16/2019	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS	4
01/09/2020	TRASH ENCLOSURE REVISION	5
05/01/2020	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS	6




**Accelerated**  
DEVELOPMENT SERVICES

**DUTCH BROS COFFEE**

700 COORS BLVD. NW  
ALBUQUERQUE, NM, 87121

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**ZACHARY D. FRESHER**  
NEW MEXICO  
25812  
PROFESSIONAL ENGINEER

Project No. 756678-01  
Scale 1" = 10'  
Drawn N. CURTIS  
Checked M. REGENOLD  
Date 2020.05.14  
Issue  
Drawing Title

**SITE LAYOUT PLAN**

Drawing No. C3.0

**BENCHMARK**

DATUM: NAVD 1988

BM "A": FOUND "x" IN CONCRETE  
5101.27

BM "B": CENTER OF SANITARY MANHOLE  
5096.39

ELEVATIONS ARE BASE ON CITY OF ALBUQUERQUE STATION  
NO. 23\_J11, HAVING AN ELEVATION OF 5095.705, NAVD 1988



FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW MEXICO UTILITIES PROTECTION SERVICE AT 811 OR 1-800-321-2537 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW MEXICO UTILITIES PROTECTION SERVICE



# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

June 1, 2020

Jake Palmer  
Accelerated Development Services  
2415 E Camelback Rd, Suite 400  
Phoenix, AZ 85016

RE: **Drive Thru Restaurant**  
**700 Coors Blvd NW**  
**Grading Plan Stamp Date: 5/15/20**  
**Hydrology File: J11D039**

Dear Mr. Palmer:

Based on the submittal received on 5/15/20, it appears that all comments have been addressed and this project is approved for building permit.

PO Box 1293

Prior to Certificate of Occupancy (For Information):

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

1. Prior to any work within the New Mexico Department of Transportation (NMDOT) Right-of-Way, an NMDOT permit will be required. Provide a copy of the issued permit prior to requesting Certificate of Occupancy.
2. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision is required.*
3. A Bernalillo County Recorded Private Facility Drainage Covenant is required for the stormwater quality pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie ([clabadie@cabq.gov](mailto:clabadie@cabq.gov), 924-3996) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.



# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at 924-3986 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov).

Sincerely,

A handwritten signature in dark ink, appearing to read 'Ernest Armijo', is written over a light blue horizontal line.

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TRACT LETTERED "B" OF THE REPLAT OF A PORTION OF TRACTS 161, 162 AND 163 OF AIRPORT UNIT OF TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID REPLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 5, 1973 IN VOLUME B7, FOLIO 90.

City Address: \_\_\_\_\_

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



May 15, 2020

Dana Peterson  
Senior Engineer, Planning Department  
Development Review Services

RE: 700 Coors Blvd NW Albuquerque, NM 87105  
**Hydrology File No. J11D039**

CESO, Inc. is pleased to submit this letter to you in response to your previous review letter dated 09/23/2019.

1. Runoff from impervious areas needs to be routed into the stormwater quality (SWQ) ponds. Please provide the SWQ volume calculations for each basin draining to each pond. The stormwater quality ponds need to be sized for the areas draining to them. It appears a large portion of the parking lot and roof simply flows out the driveway onto Fortuna.

**Response: Stormwater Quality ponds have been added to the site to comply with City regulations. See Sheet GD1.0 and GD1.1 for reference.**

2. You may also elect to make Payment-in-Lieu of onsite management for the bypass volume. In order to pursue this, the plan must state that: you could provide onsite management, you do not want to (due to cost or convenience), and you are electing to make the Payment in Lieu of onsite management. The bypass volume must be quantified; a treasury deposit slip can then be generated for the bypass amount at a rate of \$8/CF.

**Response: Per response on Comment #1 this will not be needed.**

3. Provide hydrologic calculations per the DPM, Ch 22.2.A for the 100-yr storm. Also, a brief narrative describing the project and existing/proposed grading and drainage is recommended (DPM Ch 22.7: *Grading Plan Checklist*).

**Response: This has been added to the plans on Sheet GD1.1.**

4. Provide outfalls for both ponds, sized for the 100-yr peak inflow. Include supporting hydraulic calculations as needed.

**Response: The ponds are designed as retention ponds to provide rainwater harvesting. Hydraulic calculations are provided on Sheet GD1.1.**

5. It appears that your engineering stamp is too big. The NM Board of Licensure for Professional Engineers and Professional Surveyors Administrative Code 16.39.3.12.C states, "The design of the seal/stamp shall consist of three (3) concentric circles, the outermost circle being one (1) and one-half (1/2) inches in diameter..."

**Response: Engineering stamp size revised per comment.**

6. For trash enclosures serving food service developments, demonstrate *control of liquids from dumpster areas* per DPM Chapter 22.9.E, Table 1 by: containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer. If this information is on the utility plan please provide it or show on the grading plan.

**Response: The proposed Dutch Bros Coffee does not have a kitchen or any food preparation. A sanitary drain is not required based on discussions with Herman Gallegos on 5/12/20. See the enclosed correspondence for reference.**



7. Show the work to close the extra driveway cut, reconstruct the remaining two driveways per ADA requirements, and any other work required in the ROW. Include spot elevations at flowline and highpoint, demonstrating a 0.87' (min.) waterblock.

**Response: Spot elevations and notes to close extra driveway cuts have been added to sheet GD1.0 per comment.**

8. Add a note on the Grading Plan, "Prior to any work within the New Mexico Department of Transportation (NMDOT) Right-of-Way, an NMDOT permit will be required." Provide a copy of the issued permit prior to requesting Certificate of Occupancy.

**Response: Note added to Sheet GD1.0 per comment.**

9. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist for Non-Subdivision is required.*

**Response: Engineer's Certification provided per comment – see enclosed for reference.**

10. A Bernalillo County Recorded Private Facility Drainage Covenant is required for the stormwater quality pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4<sup>th</sup>, Plaza del Sol) for routing. Please contact Charlotte LaBadie ([clabadie@cabq.gov](mailto:clabadie@cabq.gov), 924-3996) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

**Response: Comment noted.**

Should you have any further questions, please do not hesitate to call me.

Respectfully,



Matt Regenold, PE  
Engineering Manager

Cc: Jake Palmer (via e-mail)  
Dave Lambert (via e-mail)

Enclosed: Hydrology Plans  
Herman Gallegos E-mail 5-12-20  
Engineer's Certification



**Re: Sanitary Drain Re: Trash Enclosure @ 1105 Juan Tabo Blvd NE and 700 Coors Blvd NW** 📎

**Jake Palmer** to: Gallegos, Herman P.

05/12/2020 09:57 AM

Cc: vmiller, black, matt.regenold, "Rick Archuleta"

Herman,

Thank you for the clarification. As discussed over the phone, our tenant serves pre-packaged baked goods and espresso drinks via a Production Area and not a Kitchen. We will remove the sanitary drain in the trash enclosure for our submittal.

I am copying our internal team that is working at 1105 Juan Tabo Blvd NE and 700 Coors Blvd NE.

Respectfully,

**Jake Palmer | Associate Vice President  
Accelerated Development Services**

2415 E. Camelback Road, Suite 400, Phoenix, AZ 85016

**Direct:** 602.682.8153 | **Mobile:** 602.510.9923

"Gallegos, Herman P."

Good afternoon Jake, Per our conversation...

05/12/2020 09:43:43 AM

From: "Gallegos, Herman P." <hgallegos@cabq.gov>

To: "Jake.Palmer@accelerateddevco.com" <Jake.Palmer@accelerateddevco.com>

Date: 05/12/2020 09:43 AM

Subject: Sanitary Drain

Good afternoon Jake,

Per our conversation this morning a sanitary drain is required in a trash enclosure for all restaurants and food service, or if the business has a kitchen where food is being prepared. If the business you are planning to construct falls under one of these categories, a sanitary drain will be required.

I have also attached our minimum requirements where this is stated.

Regards,





**HERMAN GALLEGOS**

code enforcer/dispatch supervisor

o 505.761.8125

m 505.681.2767

[cabq.gov/solidwaste](http://cabq.gov/solidwaste)



Minimum requirements for a trash enclosure.pdf

May 14, 2020

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

RE: Hydrology File No. J11D039  
700 Coors Blvd NW Albuquerque, NM 87105  
**Drainage Certification**

I, Zachary D. Freshner, NMPE 25812, of the firm CESO, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated September 30, 2019. The record information edited onto the original design document has been obtained by me or under my direct supervision as supplemental data to the original topographic survey prepared by Anthony L Harris, NMPE 11463, of the firm The Survey Office LLC, and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for grading and drainage approval.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



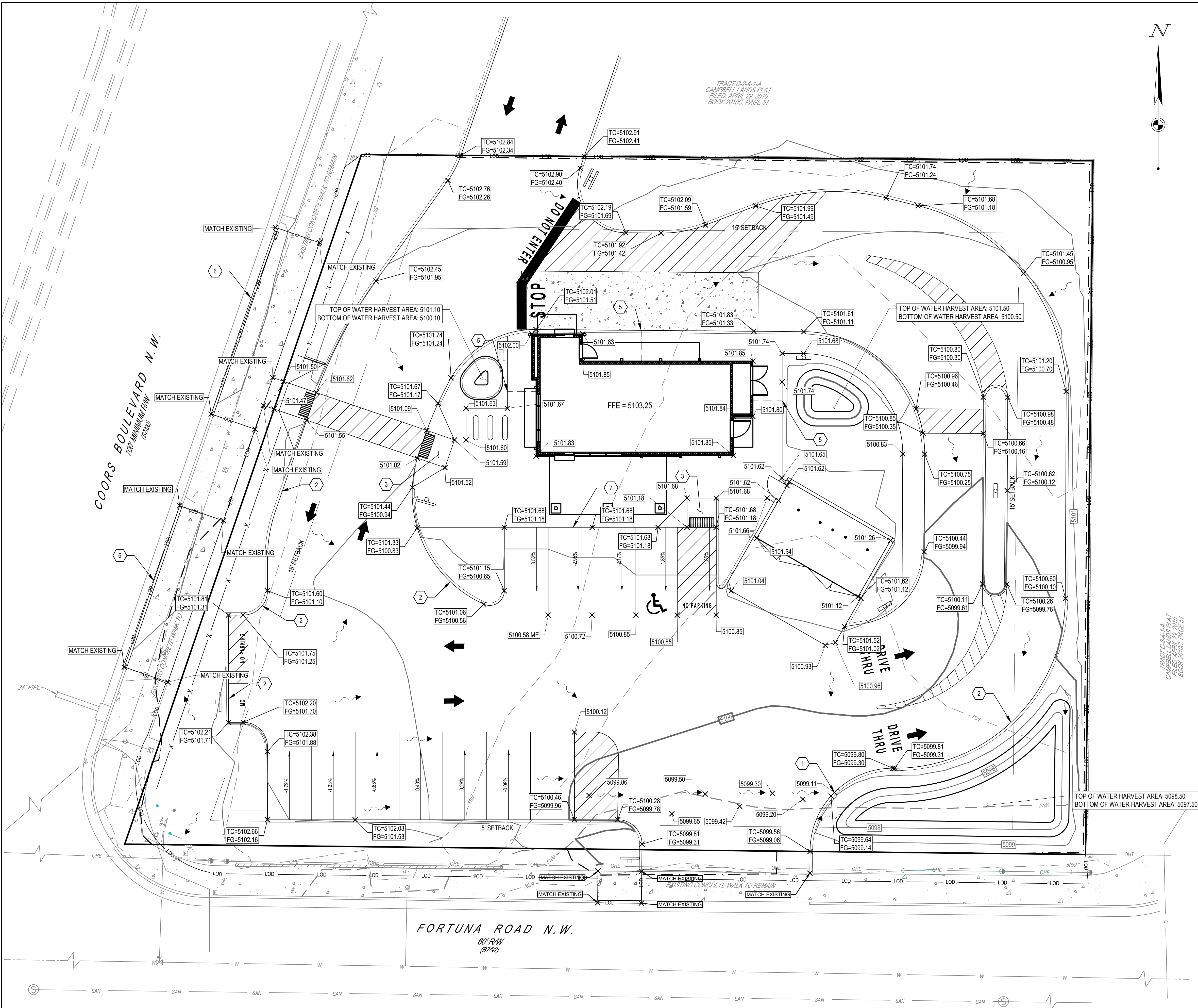
Zachary D. Freshner, NMPE 25812

5/14/2020

Date







**LEGEND**

EXISTING

REFER TO C1.1 FOR EXISTING FEATURES LEGEND

**PROPOSED**

- DECORATIVE FENCE
- CURB
- SIGN
- DRIVE THROUGH SIGN (PERMITTED BY OTHERS)
- CONCRETE
- SIDEWALK
- MAJOR CONTOUR
- MINOR CONTOUR
- SETBACK
- LIMITS OF DISTURBANCE
- FLOW LINE

**NMDOT PERMIT NOTE:**

PRIOR TO ANY WORK WITHIN THE NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) RIGHT-OF-WAY, AN NMDOT PERMIT WILL BE REQUIRED.

- CODED NOTES:**
- 2' CURB CUT (SEE DETAIL SHEET C8.0)
  - CURB NOSING (SEE DETAIL SHEET C8.0)
  - ADA RAMP
  - LIMITS OF DISTURBANCE
  - CURB-O-LET OUTLET
  - PROPOSED CURB, GUTTER, AND SIDEWALK TO MATCH EXISTING PER DOT STANDARDS
  - PROPOSED INTEGRAL CURB AND SIDEWALK (SEE DETAIL SHEET C8.0)

**LEGAL DESCRIPTION:**

TRACT LETTERED "B" OF THE REPLAT OF A PORTION OF TRACTS 161, 162 AND 163 OF AIRPORT UNIT OF TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID REPLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 5, 1973 IN VOLUME B7, FOLIO 90.



**BENCHMARK**

BM "A": FOUND "x" IN CONCRETE 5101.27

BM "B": CENTER OF SANITARY MANHOLE 5098.31

ELEVATIONS ARE BASE ON CITY OF ALBUQUERQUE STATION NO. 23, J11, HAVING AN ELEVATION OF 5096.705, NAVD 1988

DATUM: NAVD 1988

GRAPHIC SCALE (IN FEET)



**CESO**

WWW.CESDINC.COM

2020 N. CENTRAL AVE., STE 980, PHOENIX, AZ 85004  
PHONE: (602) 282-5900

Date	Revisions/Submissions
09/02/2019	REVISED PER CITY GRADING & DRAINAGE COMMENTS
10/17/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS
11/25/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS
12/16/2019	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS
01/09/2020	TRASH ENCLOSURE REVISION
05/01/2020	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS
05/14/2020	ADDRESSED CITY COMMENTS



**DUTCH BROS COFFEE**

700 COORS BLVD. NW  
ALBUQUERQUE, NM, 87121

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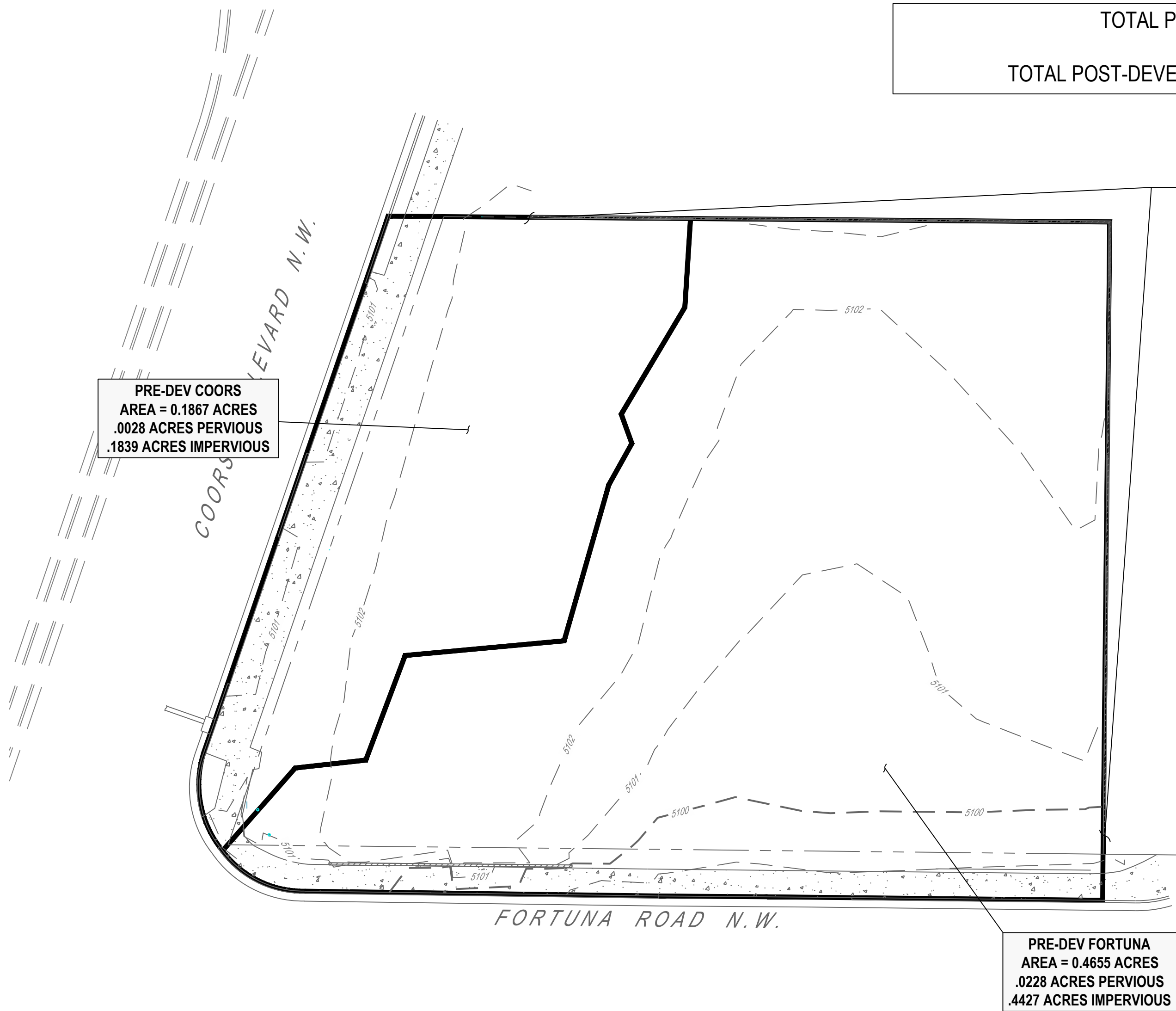
Professional Engineer Seal for Zachary D. Freshner, State of New Mexico, License No. 25812, dated 05/15/2020.

Project No.	756678-01
Scale	1" = 10'
Drawn	N. CURTIS
Checked	M. REGENOLD
Date	2020.05.14
Issue	G&D AND TCL REVIEW
Drawing Title	GRADING & DRAINAGE PLAN

Drawing No. **GD1.0**

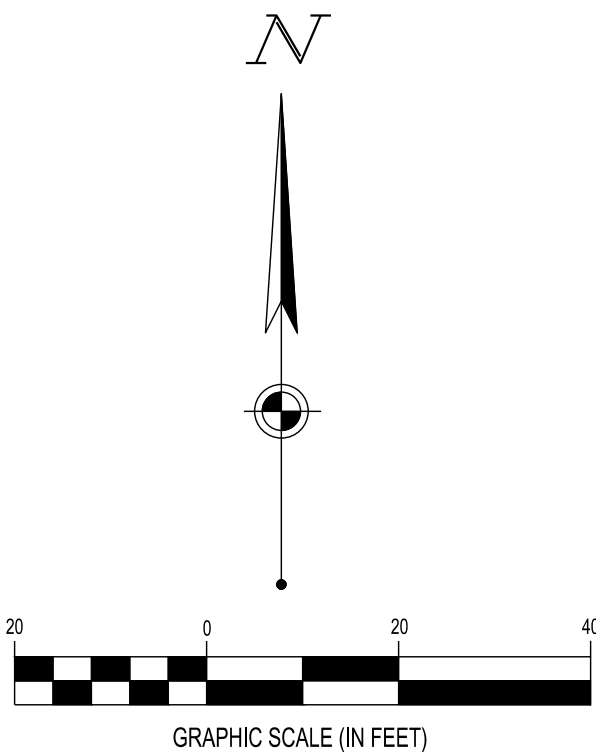
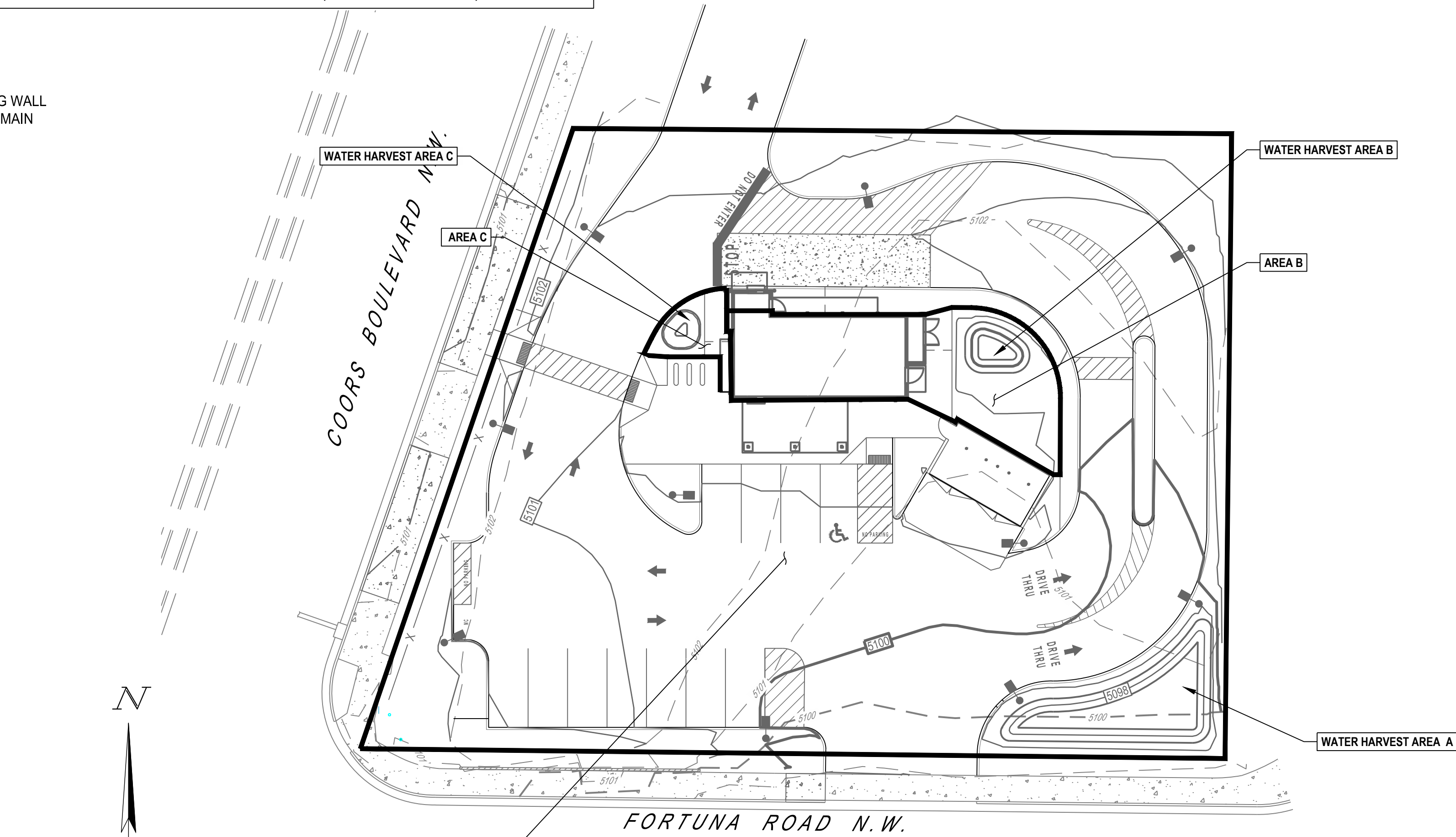


PRE-DEVELOPED



TOTAL PRE-DEVELOPED IMPERVIOUS AREA = 0.6266 ACRES  
TOTAL POST-DEVELOPED IMPERVIOUS AREA = 0.4210 ACRES (22% REDUCTION)

POST-DEVELOPED



PER GEOTECHNICAL EVALUATION REPORT PERFORMED  
BY WESTERN TECHNOLOGIES INC, DATED JULY 16, 2019:

5.0 GEOTECHNICAL PROPERTIES & ANALYSIS

5.1 Laboratory Tests

Laboratory test results (see Appendix B) indicate that native subsoils near shallow foundation level exhibit medium amounts of compressibility in a saturated condition.

Near-surface soils encountered are non-plastic to low plasticity. These soils are not expected to exhibit significant shrink/swell upon changes in moisture content.

Clayey soils of medium-plasticity may become apparent once construction begins. These soils may exhibit moderate expansion potential when recompacted, confined by loads approximating floor loads and saturated. Slabs-on-grade supported on recompacted native soils have a moderate potential for heaving if the water content of the soil increases. Densification of the soil by the passage of construction equipment may increase the expansion potential of the native clayey soil.

Infiltration rates based upon the soil type will be on the order of 20 minutes per inch or less.

SITE LOCATION

THE PROPOSED SITE IS AN APPROXIMATELY 0.6 ACRE SITE LOCATED ON THE NORH EAST CORNER OF COORS BLVD. AND FORTUNA ROAD.

EXISTING CONDITIONS

THE EXISTING SITE IS AN ENTIRELY PAVED AND CURRENTLY VACANT LOT. THE SITE CURRENTLY HAS AN ESTIMATE IMPERVIOUS AREA OF 96%. THE DRAINAGE CALCULATIONS ARE PROVIDED IN THE TABLE BELOW.

PROPOSED CONDITIONS

THE PROPOSED PROJECT WOULD CONSIST OF THE CONSTRUCTION OF A DRIVE-THRU COFFEE SHOP. THE SITE UNDER PROPOSED CONDITIONS WILL HAVE AN IMPERVIOUS PERCENTAGE OF 74%. THE DRAINAGE CALCULATIONS ARE CONTAINED IN THE TABLE BELOW. AREA A, B, AND C WILL DISCHARGE TO WATER HARVEST AREA(S) A, B, AND C RESPECTIVELY.

CONCLUSIONS

WHEN FULLY DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE RUNOFF FROM THE SITE WILL DECREASE BY AN ESTIMATED 0.72 CFS FOR THE 100-YEAR STORM. STORM WATER FROM THE THREE DRAINAGE AREAS WILL FLOW THROUGH WATER HARVEST AREAS WITH VOLUME TO SATISFY THE CITY REQUIREMENTS (AS SHOWN IN THE WATER QUALITY RETENTION TABLE ON THIS SHEET).

SITE RE-DEVELOPMENT WATER QUALITY RETENTION CALCULATIONS

REQUIRED VOLUME = (0.26 IN) x SITE IMPERVIOUS AREA			
WATER HARVEST AREA	DEVELOPED SITE IMPERVIOUS AREA	REQUIRED VOLUME	PROPOSED VOLUME
A	0.3980 ACRES = 17,337 S.F.	375.63 C.F.	489.63 C.F
B	0.0213 ACRES = 928 S.F.	20.10 C.F.	86.24 C.F.
C	0.0017 ACRES = 75 S.F.	1.60 C.F.	33.45 C.F.

100-YR HYDROLOGIC CALCULATIONS USING RATIONAL METHOD:

PER ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CH. 22.2.A, THE SITE IS LOCATED IN PRECIPITATION ZONE 1 (WEST OF RIO GRANDE), HAS A LAND TREATMENT D (IMPERVIOUS AREAS) FOR THE ENTIRE SITE ACREAGE, A 0.2 HOUR PEAK INTENSITY I VALUE OF 4.70 IN/HR AND ADJUSTED C VALUES AS SHOWN BELOW WITH THE RUNOFF CALCULATIONS.

RATIONAL METHOD Q=CIA				
	C	I (IN/HR)	A (ACRES)	Q (CFS)
EXISTING	0.93	4.7	0.6522	2.851
PROPOSED	0.8	4.7	0.5664	2.130



WWW.CESOINC.COM

2020 N. CENTRAL AVE., STE 980, PHOENIX, AZ 85004  
PHONE: (602) 282-5900

Date	Revisions/Submissions	No.
09/02/2019	REVISED PER CITY GRADING & DRAINAGE COMMENTS	1
10/17/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS	2
11/25/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS	3
12/16/2019	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS	4
01/09/2020	TRASH ENCLOSURE REVISION	5
05/01/2020	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS	6
05/14/2020	ADDRESSED CITY COMMENTS	7



DUTCH BROS COFFEE

700 COORS BLVD. NW  
ALBUQUERQUE, NM, 87121

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Project No.	756678-01
Scale	1" = 20'
Drawn	N. CURTIS
Checked	M. REGENOLD
Date	2020.05.14
Issue	G&D AND TCL REVIEW
Drawing Title	

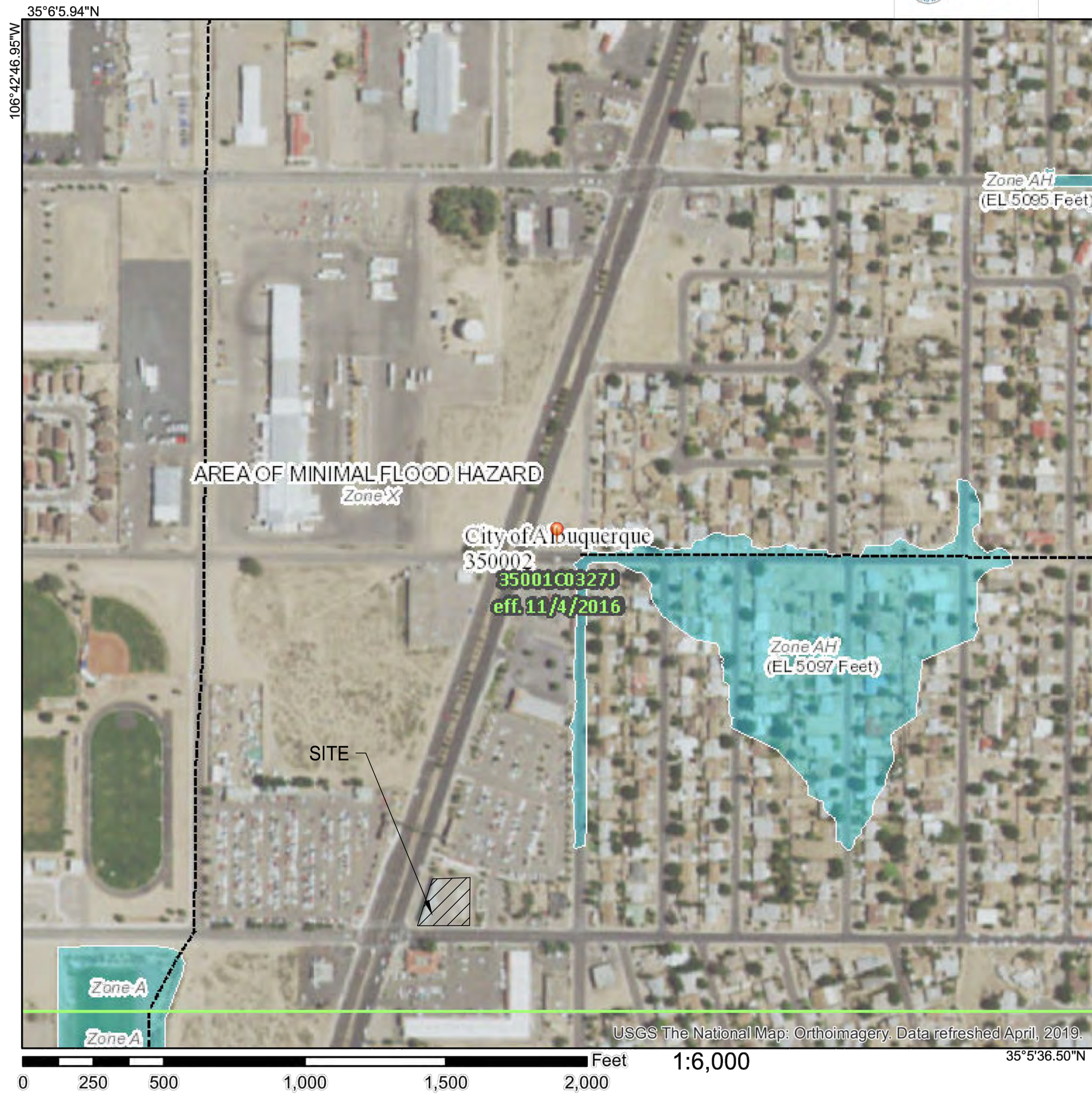
STORM WATER  
SUMMARY

Drawing No. GD1.1





National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
OTHER FEATURES		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

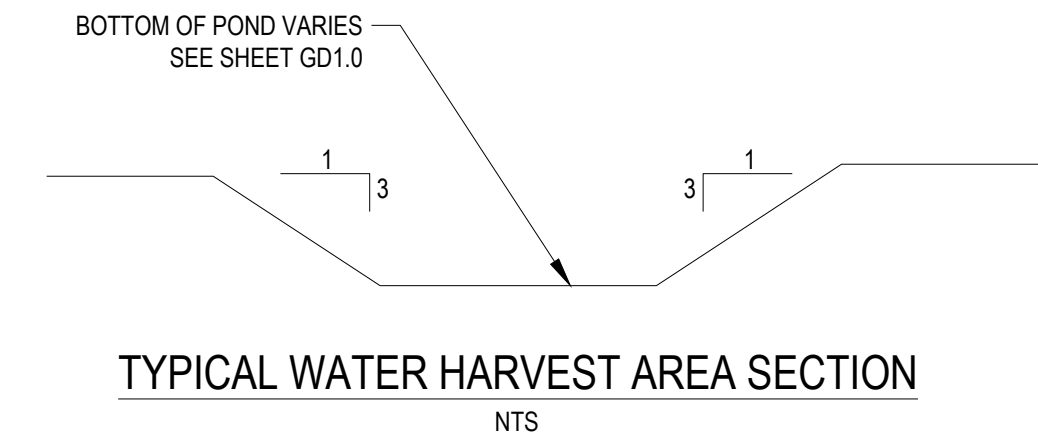
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/2/2019 at 8:15:41 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Date	Revisions/Submissions	No.
09/02/2019	REVISED PER CITY GRADING & DRAINAGE COMMENTS	1
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05/14/2020	ADDRESSED CITY COMMENTS	7



DUTCH BROS COFFEE

700 COORS BLVD. NW  
ALBUQUERQUE, NM, 87121

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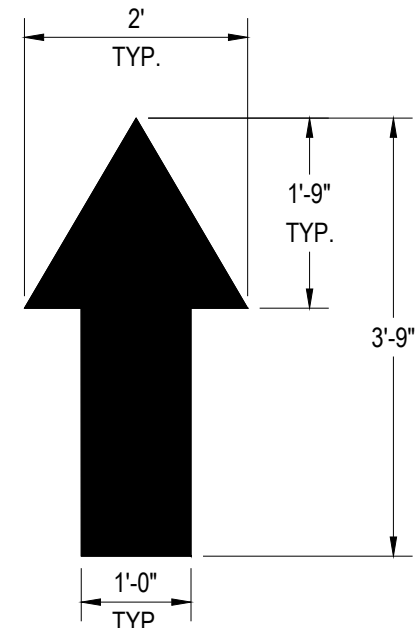
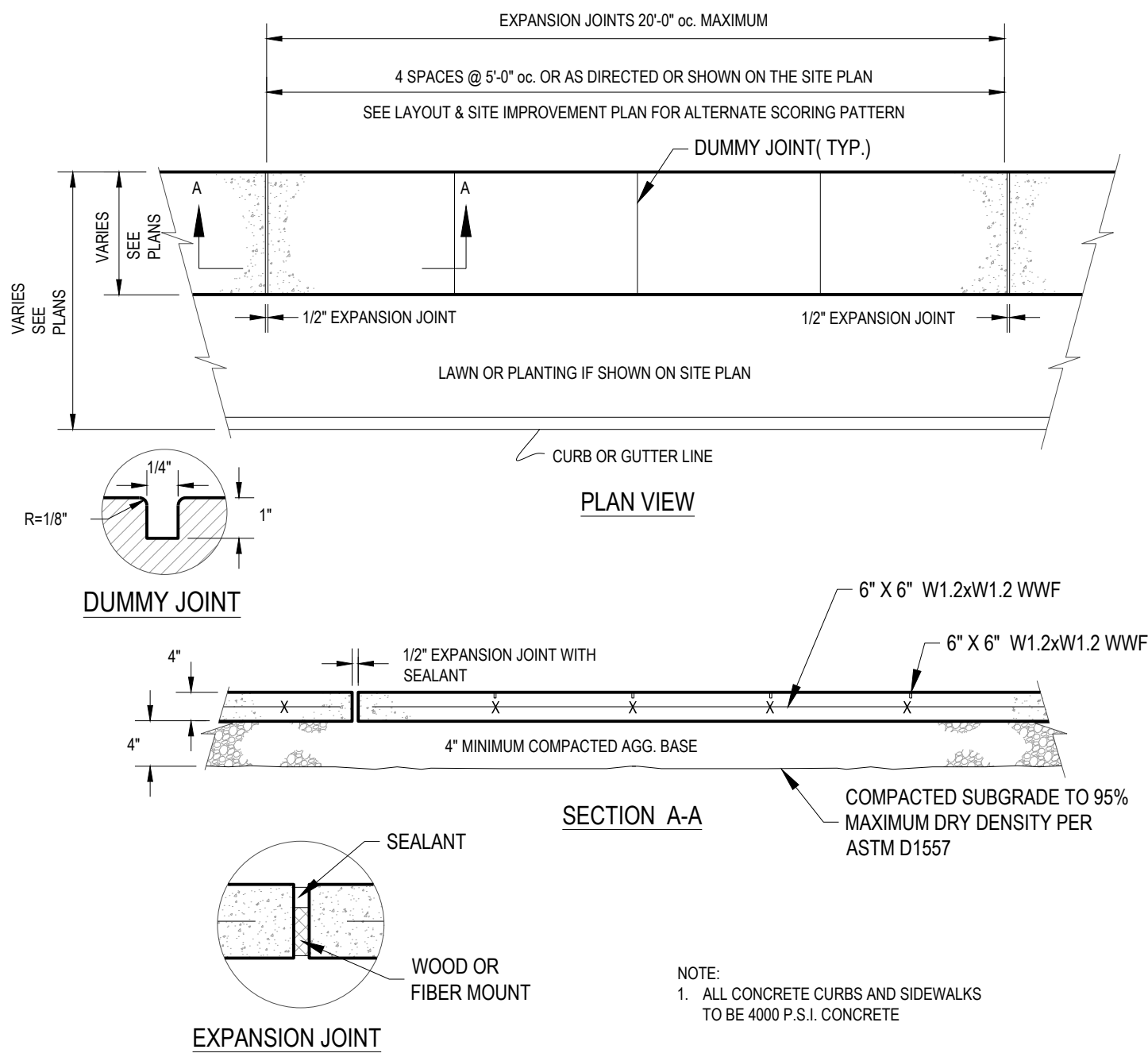
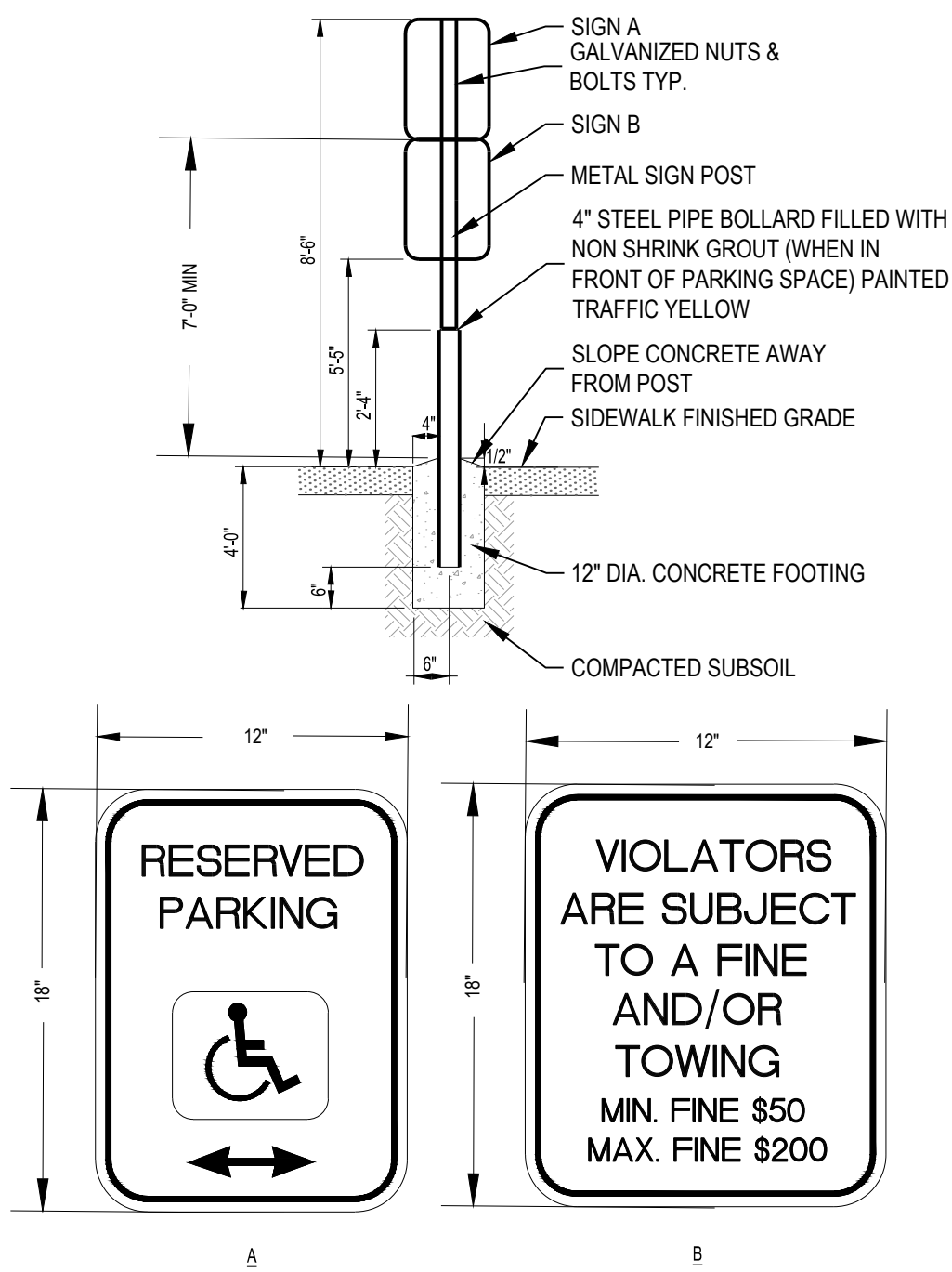
Project No.	756678-01
Scale	--
Drawn	N. CURTIS
Checked	M. REGENOLD
Date	2020.05.14
Issue	G&D AND TCL REVIEW
Drawing Title	

STORMWATER SUMMARY

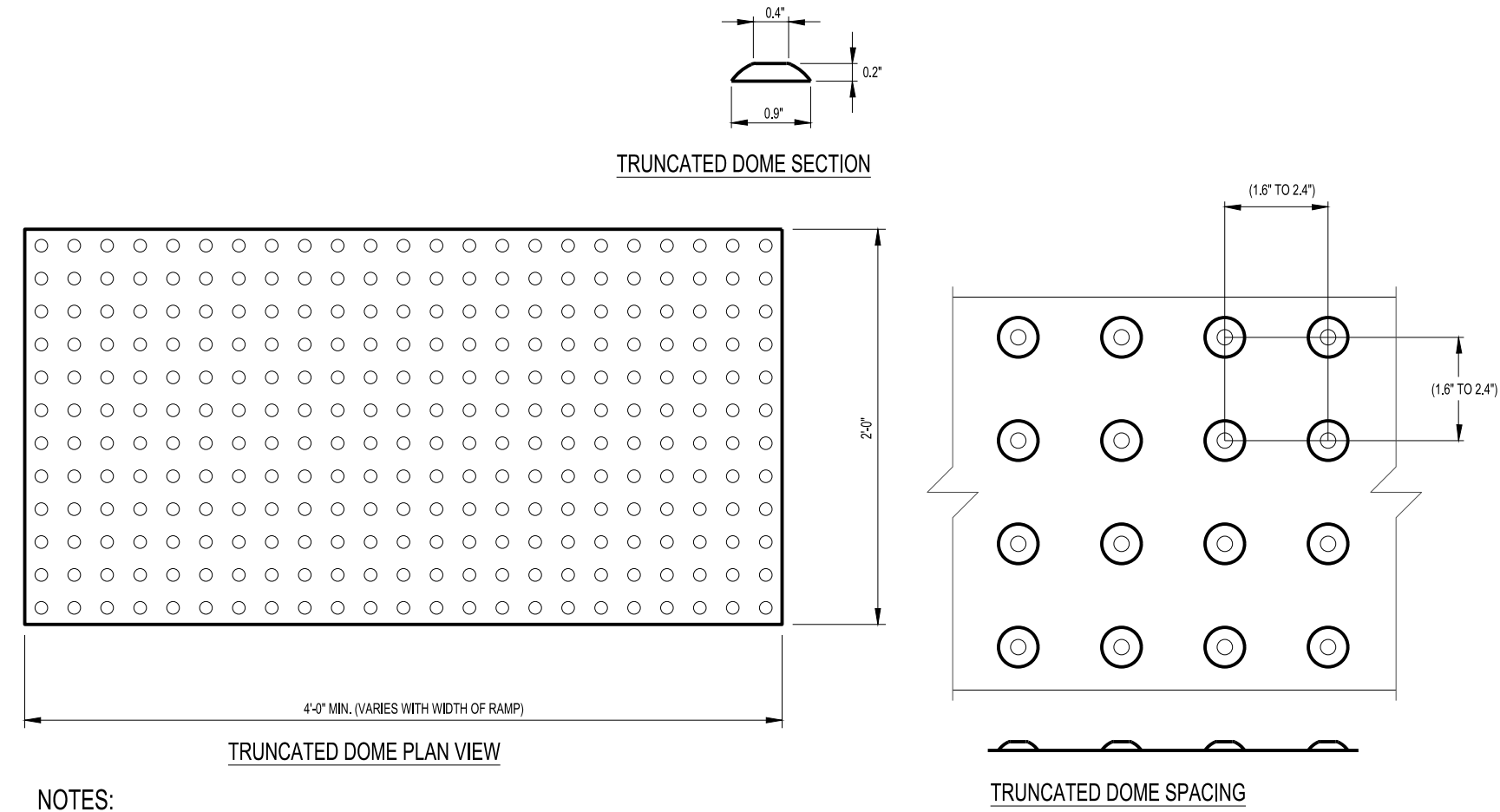
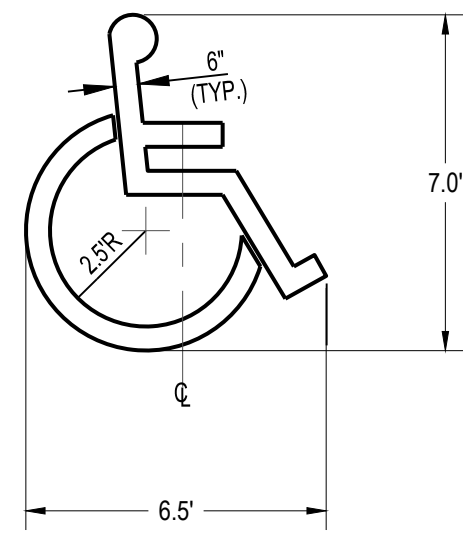
Drawing No. GD1.2



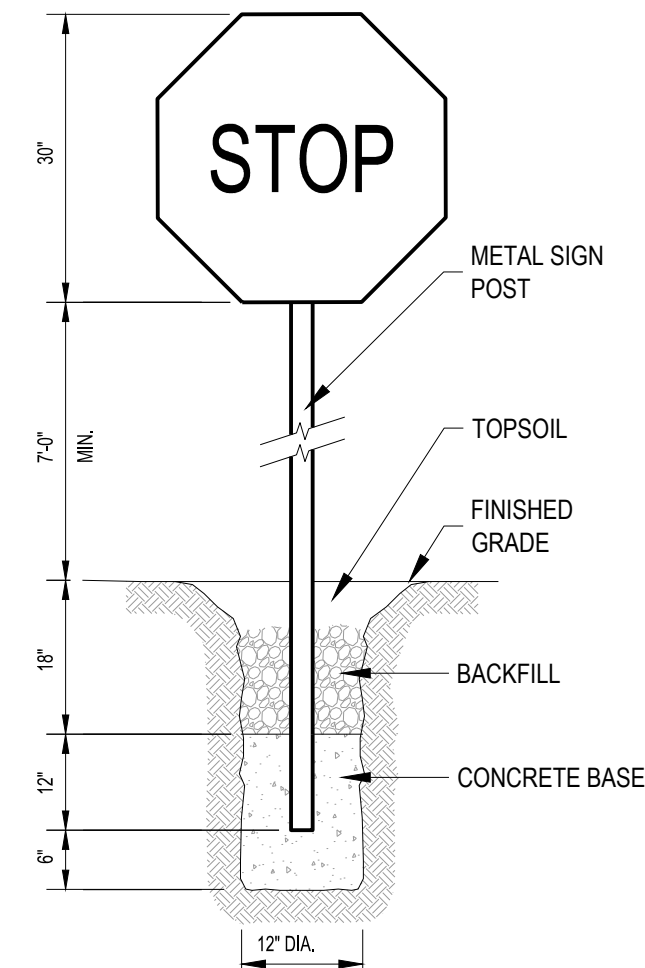




## PAVEMENT MARKINGS



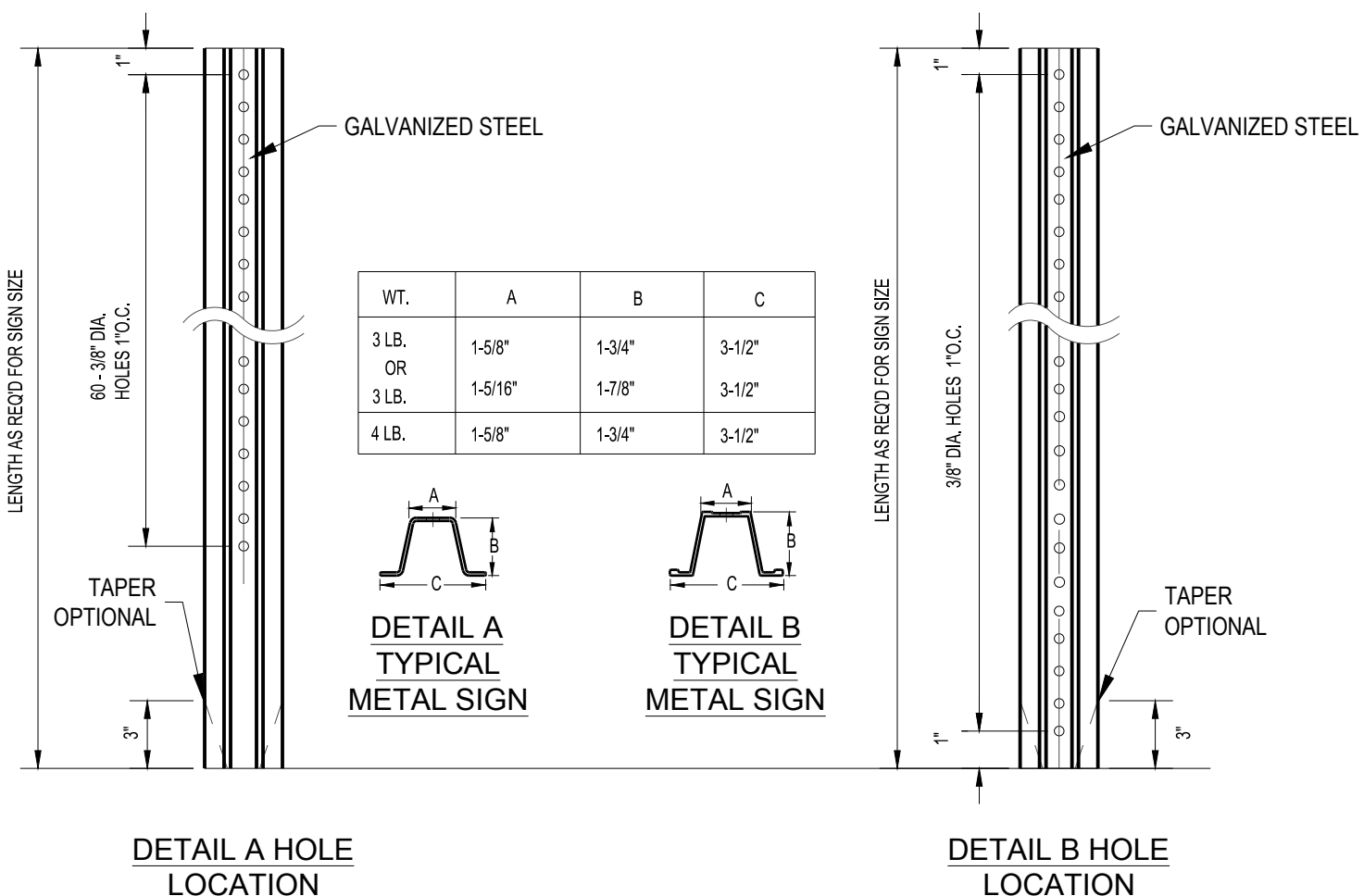
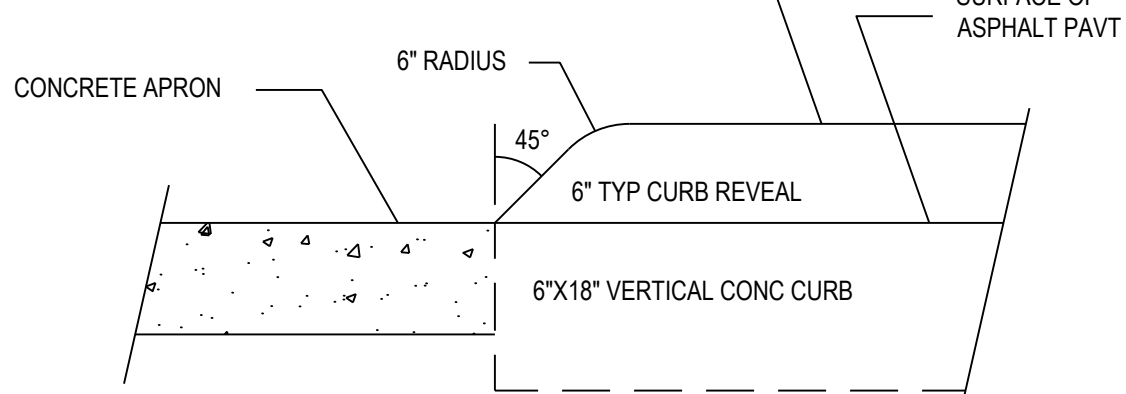
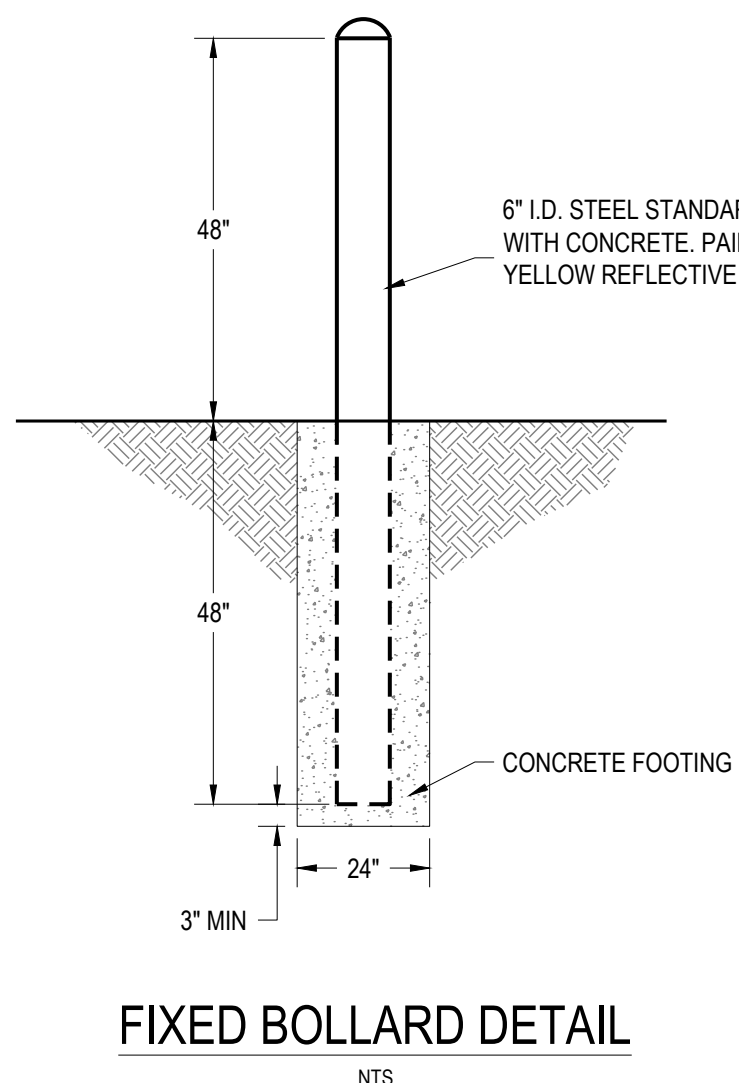
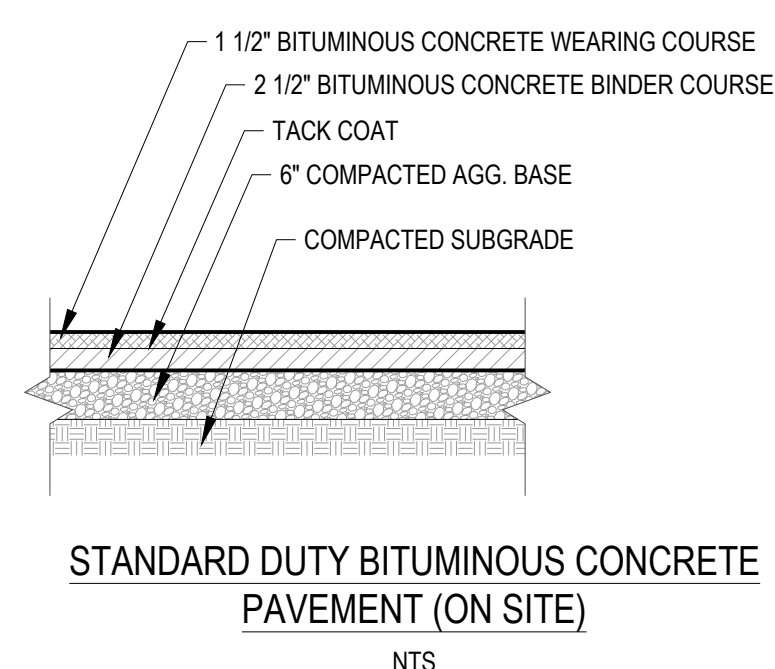
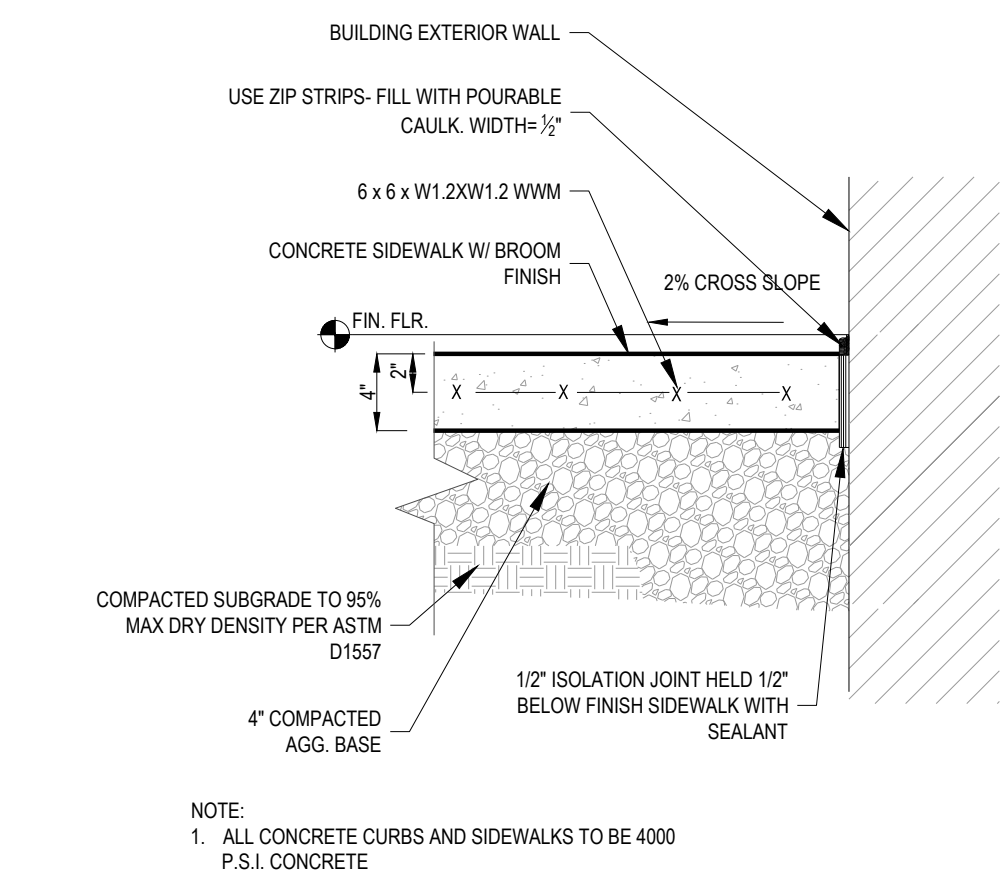
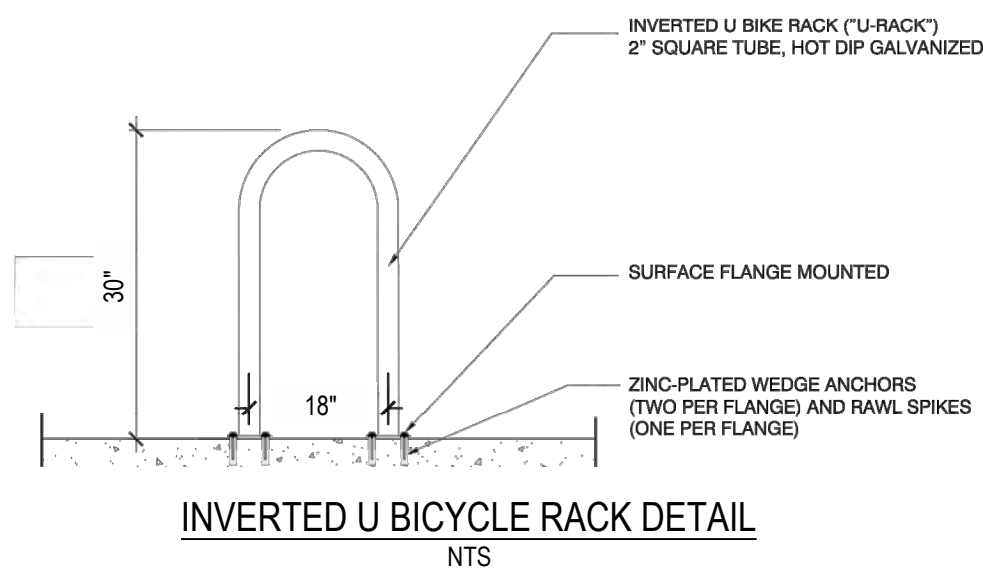
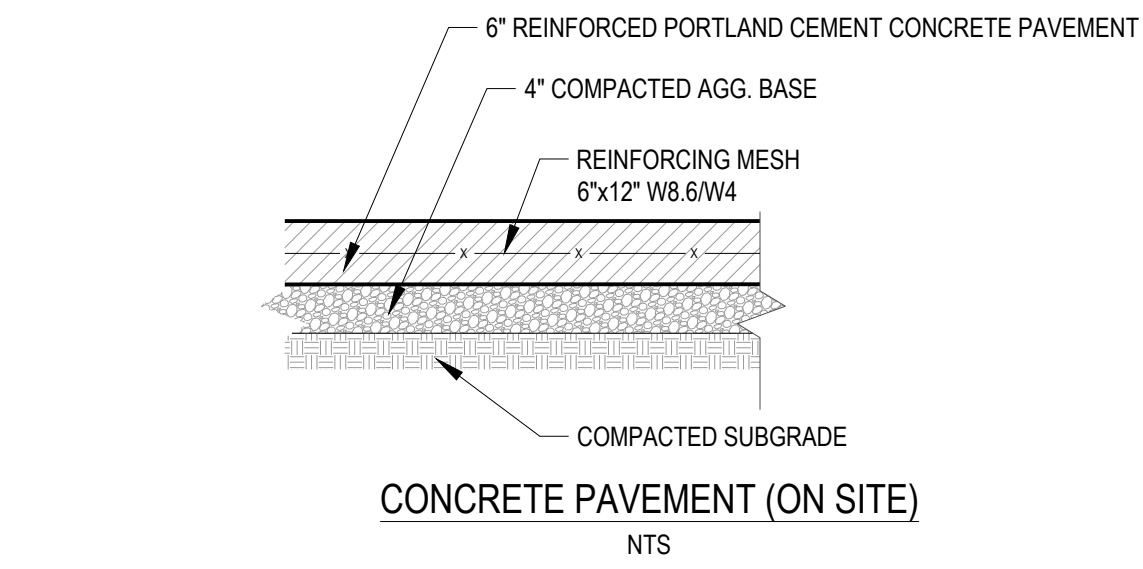
- NOTES:**
1. ALL DETECTABLE WARNING DEVICES USED IN NEW CONSTRUCTION SHALL BE OF RIGID PRECAST OR EMBEDDED PRODUCT APPROVED BY THE CITY ENGINEER. RETRO FIT MATS WILL ONLY BE ALLOWED ON EXISTING RAMPS WITH PRIOR APPROVAL OF THE CITY ENGINEER FOR MATERIAL TYPE AND INSTALLATION (IE RESURFACING).
  2. WIDTH OF DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 4 FEET AND VARY WITH WIDTH OF RAMP.
  3. LENGTH OF DETECTABLE WARNING AREA SHALL BE 2 FEET REGARDLESS OF SECTION WIDTH.
  4. DETECTABLE WARNING AREA CAN BE SQUARE WHERE USED IN A CURB RADIUS.
  5. DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
  6. IF PAVERS ARE TO BE USED, PAVERS SHALL BE 6" THICK AND CAST FROM 5000 PSI CONCRETE.
  7. MATS ARE TO BE RIGID WITH TURN DOWN EDGES EMBEDDED IN CONCRETE TO ELIMINATE TRIP HAZARD.
  8. TRUNCATED DOES TO TO BE BLACK IN COLOR.



"DO NOT ENTER" SIGN (R5-1) DETAIL  
NTS



"MOTORCYCLE PARKING ONLY" SIGN DETAIL  
NTS

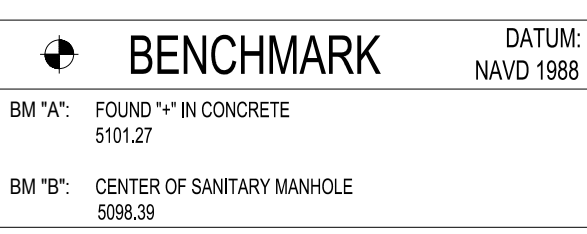
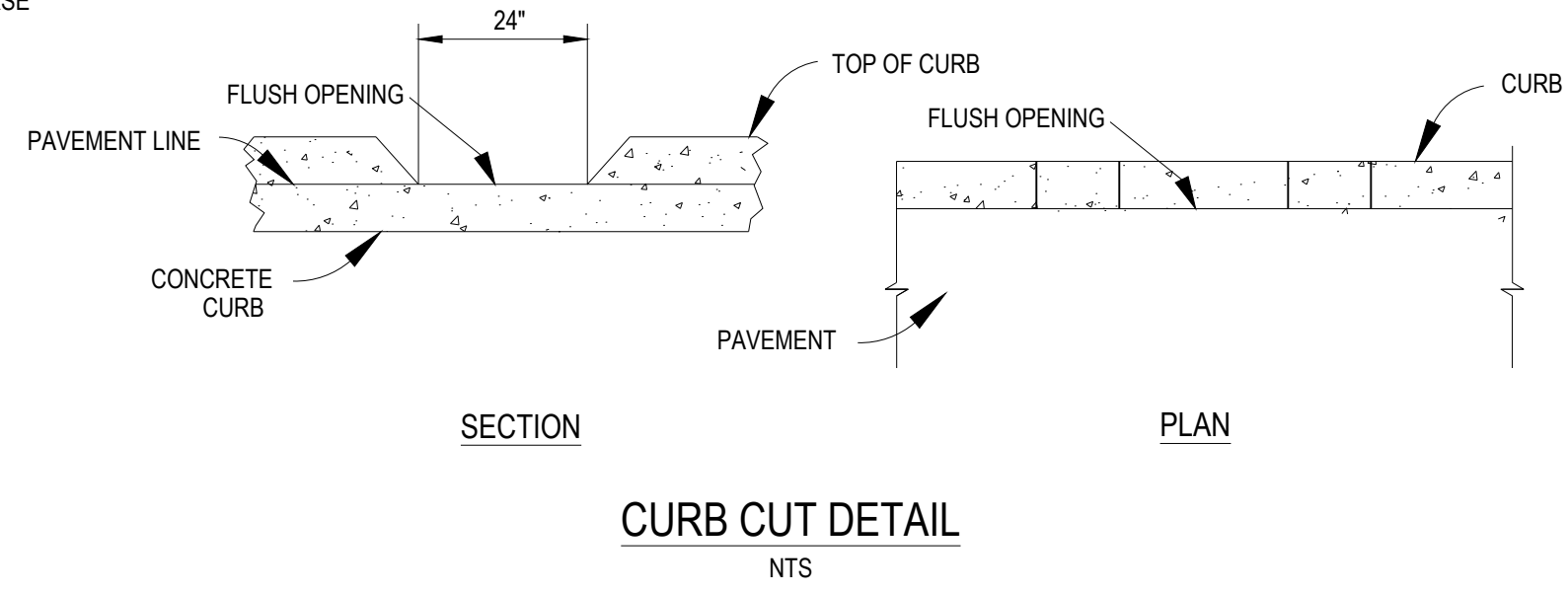
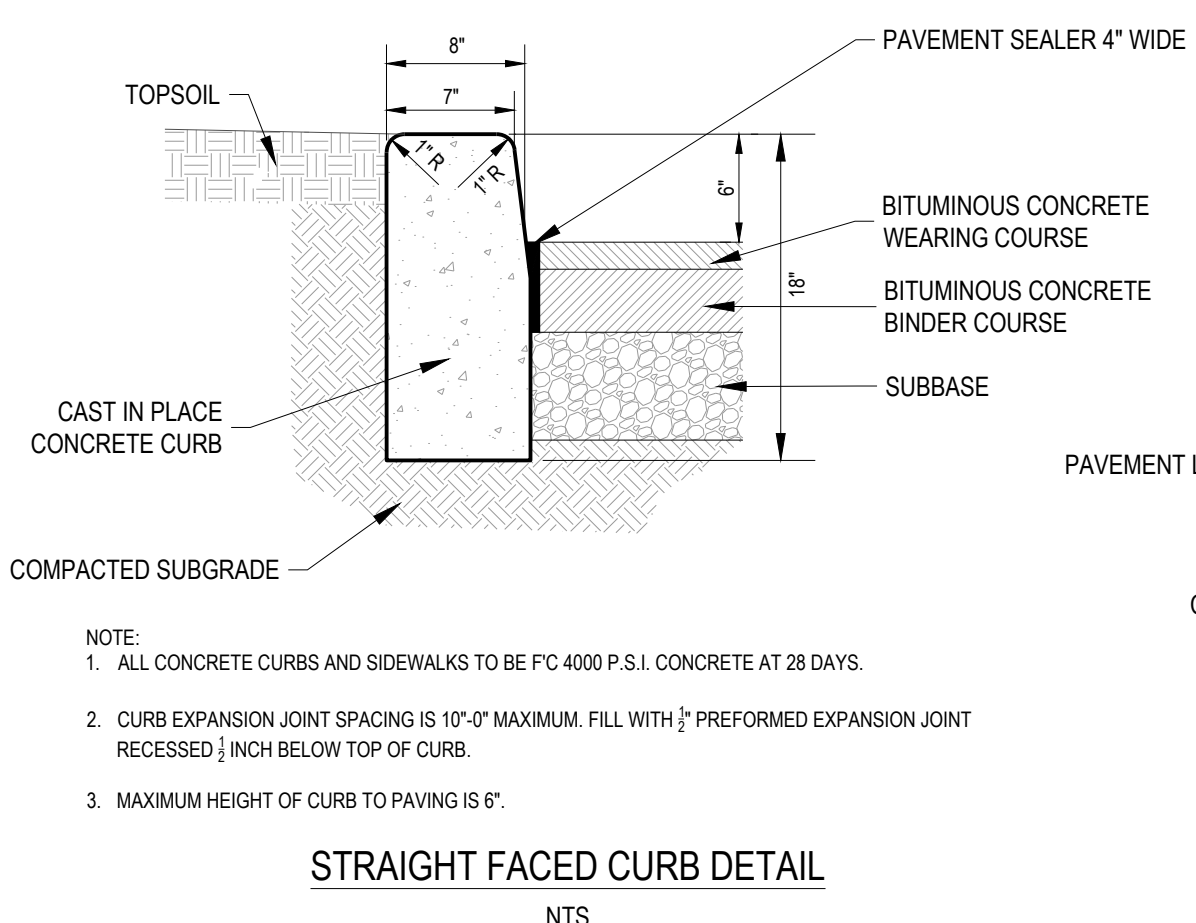
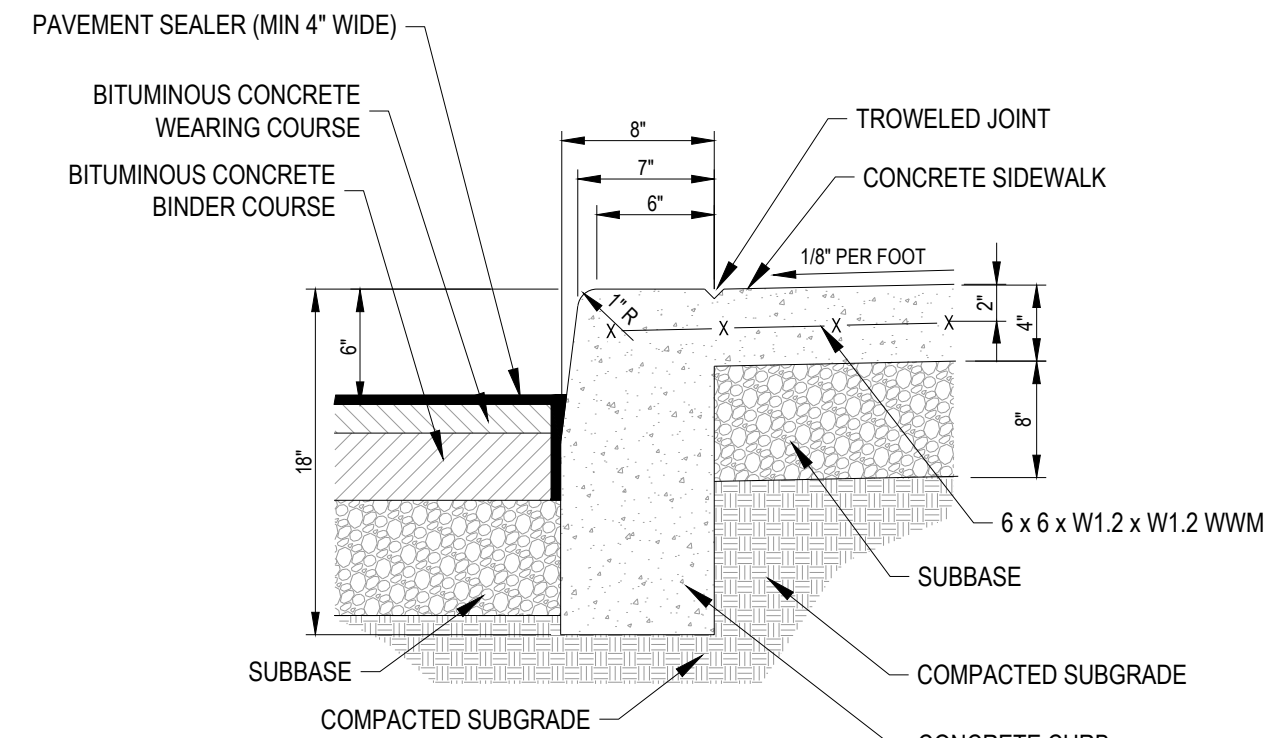


- NOTES:**
1. STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 490-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1-76 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 30 LBS OR GREATER PER LINEAR FOOT.
  2. AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.
  3. SIGN MOUNTING HEIGHT TO BE PER MUTCD REQUIREMENTS.
  4. ALL SIGN POSTS SHALL HAVE "BREAK AWAY" FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS" THE "BREAK AWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGN SHOWN ON THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

## TYPICAL METAL SIGN POSTS



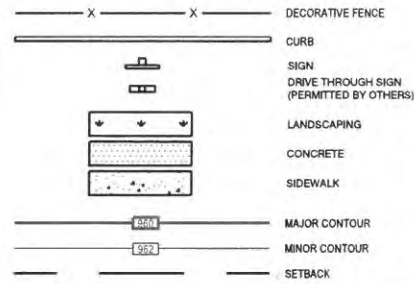
FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW MEXICO UTILITIES PROTECTION SERVICE AT 811 OR 1-800-321-2537 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW MEXICO UTILITIES PROTECTION SERVICE



Date	Revisions/Comments
09/30/2019	REVISED PER CITY GRADING & DRAINAGE COMMENTS
10/17/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS
11/25/2019	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS
12/16/2019	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS
01/09/2020	TRASH ENCLOSURE REVISION
05/01/2020	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS
05/14/2020	ADDRESSED CITY COMMENTS



# PROPOSED LEGEND



UNUSED CURB CUT TO BE REPLACED WITH SIDEWALK CURB AND GUTTER. SEE NOTES AT THE BOTTOM OF THIS SHEET.

UNUSED CURB CUT TO BE REPLACED WITH SIDEWALK CURB AND GUTTER. SEE NOTES AT THE BOTTOM OF THIS SHEET.

TRAFFIC CIRCULATION LAYOUT  
APPROVED

5-5-20  
Date

Signed

## PROPOSED TRUCK TURN LEGEND:

- 1 SOLID WASTE REFUSE TRUCK
- 2 W-40 TRUCK
- 3 FIRE PUMP TRUCK

FORTUNA ROAD N.W.  
00' RW  
(87792)

ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED IN THE WORK ORDER.

### NOTE:

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CURB & GUTTER SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2415A. SIDEWALK SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2430.

### NOTE:

UNUSED CURB CUTS SHALL BE REPLACED WITH SIDEWALK AND CURB & GUTTER. CURB & GUTTER SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2415A. SIDEWALK SHALL BE PER CITY OF ALBUQUERQUE STANDARD DETAIL FOR PAVING NO. 2430.

### CLEAR SIGHT TRIANGLE NOTE:

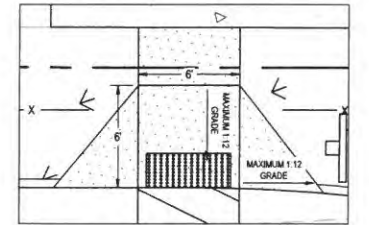
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

### BENCHMARK

BM "A" FOUND "X" IN CONCRETE 5101.27  
BM "B" CENTER OF SANITARY MANHOLE 5008.38  
ELEVATIONS ARE BASE ON CITY OF ALBUQUERQUE STATION NO. 23,111, HAVING AN ELEVATION OF 5095.705, NAVD 1988

### CODED NOTES:

1. CONTRACTOR TO INSTALL "MOTORCYCLE PARKING ONLY" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
2. ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
3. CONTRACTOR TO INSTALL "STOP" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
4. CONTRACTOR TO INSTALL "DO NOT ENTER" SIGN. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
5. EXISTING SIGN (TENANT SIGNAGE PERMITTED BY OTHERS)
6. DRIVE THROUGH SIGN (PERMITTED BY OTHERS)
7. DUMPSTER ENCLOSURE (PERMITTED BY OTHERS)
8. INVERTED U BICYCLE RACK. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
9. DETECTIBLE WARNING MAT WITH TRUNCATED DOMES. REFER TO CONSTRUCTION DETAILS, SHEET C8.0.
10. CLEAR SIGHT TRIANGLE.



ADA RAMP DETAIL  
1"=5'



VICINITY MAP ZONE ATLAS  
ZONING ATLAS # J11  
N.T.S.



### PROPERTY DATA:

MIXED USE - LOW INTENSITY DISTRICT (MX-L)

COORS BLVD OVERLAY (CPO-2)

DRIVE THROUGH FACILITY

BUILDING AREA: 858 SF

PROPERTY AREA: 0.5668 ACRES

	REQUIRED	PROPOSED
BUILDING SETBACKS		
COORS BLVD:	15'	45'
FORTUNA RD:	5'	68'
SIDE:	15'	32'
BACK:	15'	66'
OPEN SPACE CALCULATIONS:	15%	25.7% (0.15 ACRES)
COORS BLVD LANDSCAPING REQUIREMENT:	50% OF SETBACK	63.6% (1426.4 SF)
PARKING REQUIREMENTS		
REGULAR PARKING:	4	11
ADA:	1	1
MOTORCYCLE:	1	1
3 BICYCLE:	3	3

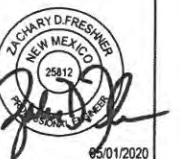


2020 N CENTRAL AVE., STE 300, PHOENIX, AZ 85004  
PHONE: (602) 282-6800

Date	Revisions/Comments
09/30/2019	REVISED PER CITY GRADING & DRAINAGE COMMENTS
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12/16/2019	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS
01/09/2020	TRASH ENCLOSURE REVISION
05/01/2020	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS



RESTAURANT WITH  
DRIVE-THRU  
FORTUNA RD NW & COORS BLVD NW  
ALBUQUERQUE, NM, 87121  
© 2019 CESO, INC.



Project No. 756678-01  
Scale 1" = 10'  
Drawn V. WERTH  
Checked E. BROUCH  
Date 2019.10.17  
Issue G&D AND TCL REVIEW  
Drawing Title

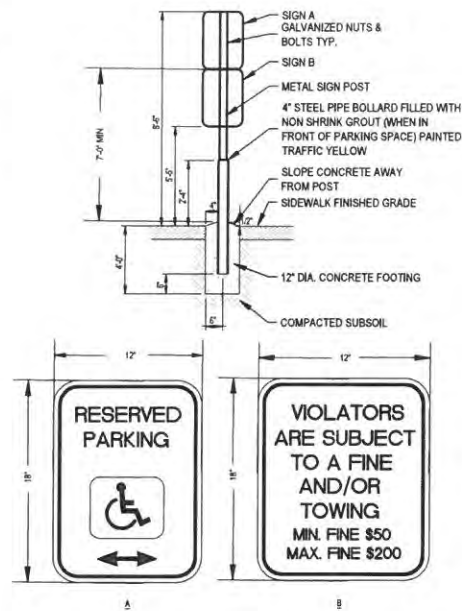
TRAFFIC  
CIRCULATION  
LAYOUT -  
PROPOSED

Drawing No. C6.1

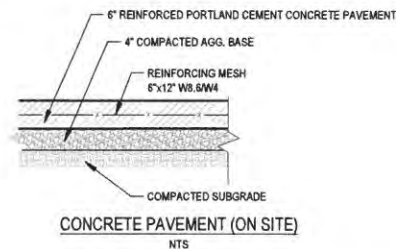


FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NEW MEXICO UTILITIES PROTECTION SERVICE AT 811 OR 1-800-321-2537 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NEW MEXICO UTILITIES PROTECTION SERVICE

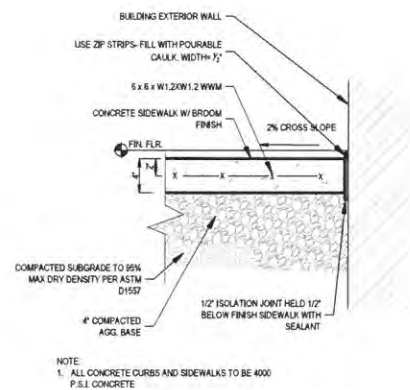




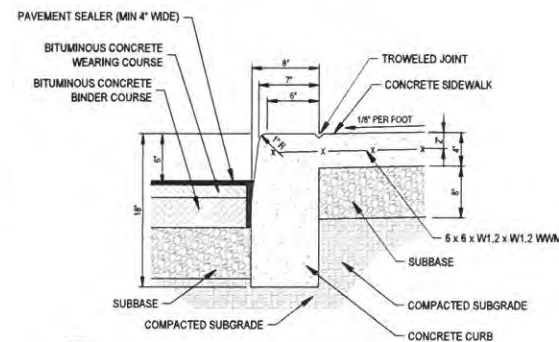
HANDICAPPED PARKING SIGNAGE DETAIL  
NOT TO SCALE



CONCRETE PAVEMENT (ON SITE)  
NTS

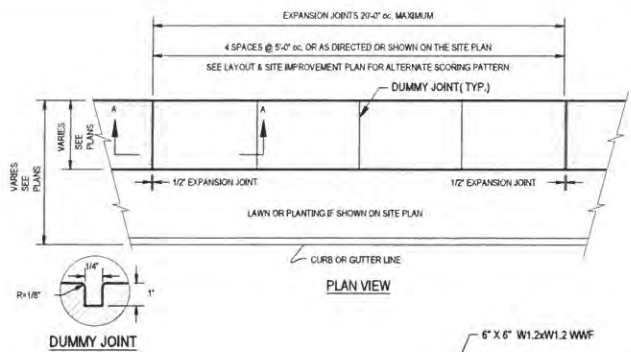


SIDEWALK DETAIL  
NTS

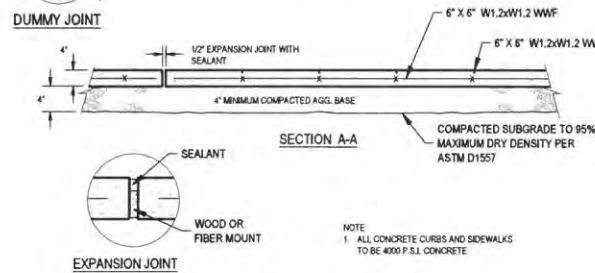


NOTE:  
1. ALL CONCRETE CURBS AND SIDEWALKS TO BE PC 4000 P.S.I. CONCRETE AT 28 DAYS  
2. CURB EXPANSION JOINTS TO MATCH SIDEWALK EXPANSION JOINT SPACING

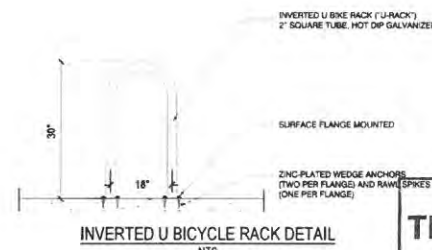
INTEGRAL CURB & SIDEWALK ONSITE  
NTS



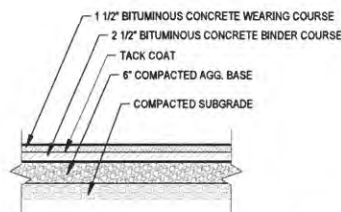
DUMMY JOINT



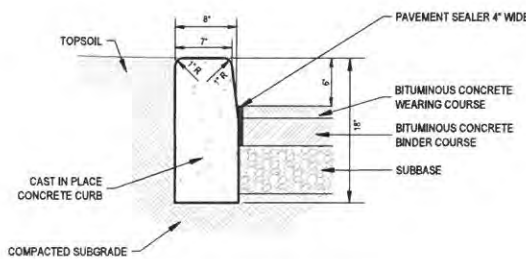
CONCRETE SIDEWALK DETAIL  
NTS



INVERTED U BICYCLE RACK DETAIL  
NTS

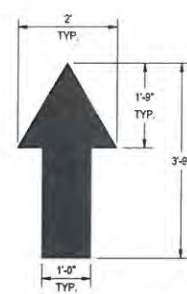


STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT (ON SITE)  
NTS



NOTE:  
1. ALL CONCRETE CURBS AND SIDEWALKS TO BE PC 4000 P.S.I. CONCRETE AT 28 DAYS  
2. CURB EXPANSION JOINT SPACING IS 10'-0" MAXIMUM FILL WITH 1/2" PREFORMED EXPANSION JOINT RECESSED 1/2" INCH BELOW TOP OF CURB  
3. MAXIMUM HEIGHT OF CURB TO PAVING IS 9"

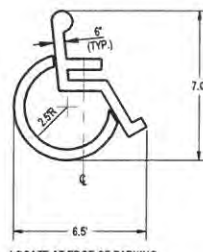
STRAIGHT FACED CURB DETAIL  
NTS



TRAFFIC FLOW ARROW  
NTS

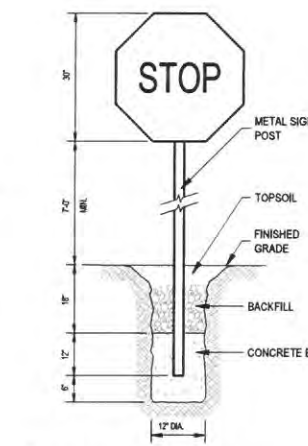
NOTE:  
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL  
2. THESE WORDS AND ARROWS ARE TO BE DEVICES FOR STREETS AND HIGHWAYS PAINTED REFLECTIVE WHITE

NOTE:  
ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE YELLOW PAINT PER SPECS.



ACCESSIBLE PARKING SYMBOL  
NTS

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



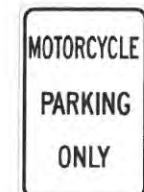
NOTE:  
1. PROVIDE SIGN IN ACCORDANCE WITH MUTCD SPECIFICATIONS

STOP SIGN  
NTS

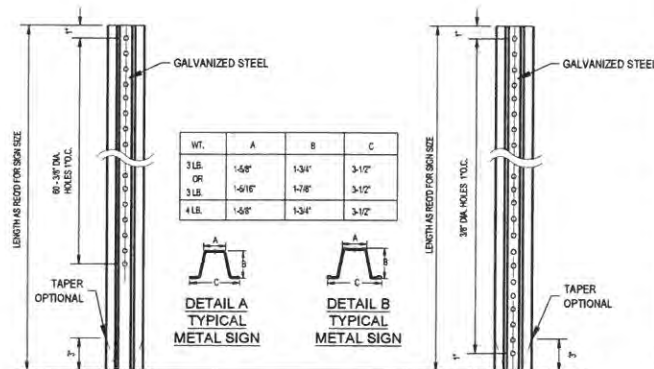
DETECTABLE WARNING MAT DETAIL  
NOT TO SCALE



"DO NOT ENTER" SIGN (R5-1) DETAIL  
NTS

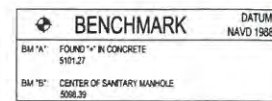


"MOTORCYCLE PARKING ONLY" SIGN DETAIL  
NTS



NOTES:  
1. STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 490-81 GRADE 80 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A 75 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 30 LBS OR GREATER PER LINEAR FOOT.  
2. AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.  
3. SIGN MOUNTING HEIGHT TO BE PER MUTCD REQUIREMENTS.  
4. ALL SIGN POSTS SHALL HAVE "BREAK AWAY" FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS". THE "BREAK AWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGN SHOWN ON THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

TYPICAL METAL SIGN POSTS  
NTS



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05/01/2020	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS



RESTAURANT WITH DRIVE-THRU  
FORTUNA RD NW & COORS BLVD NW  
ALBUQUERQUE, NM, 87121  
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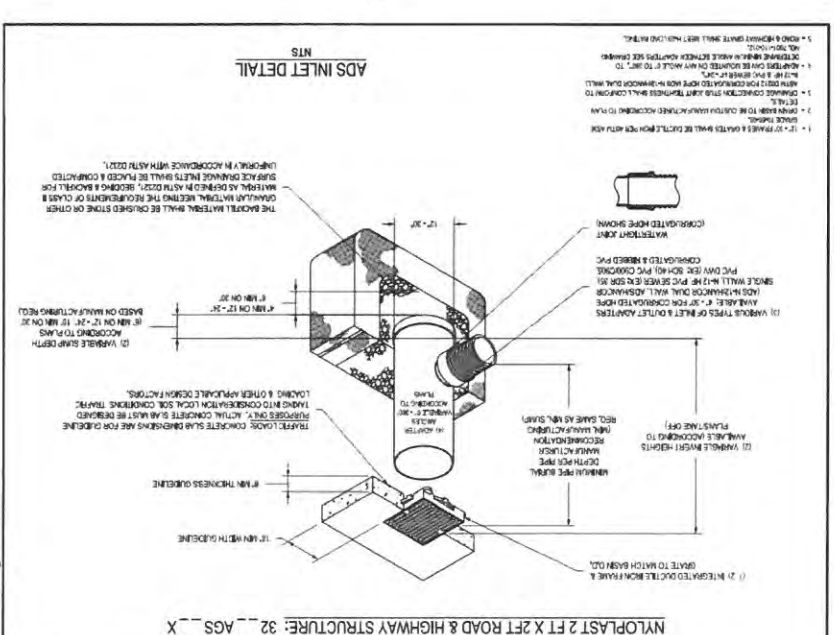
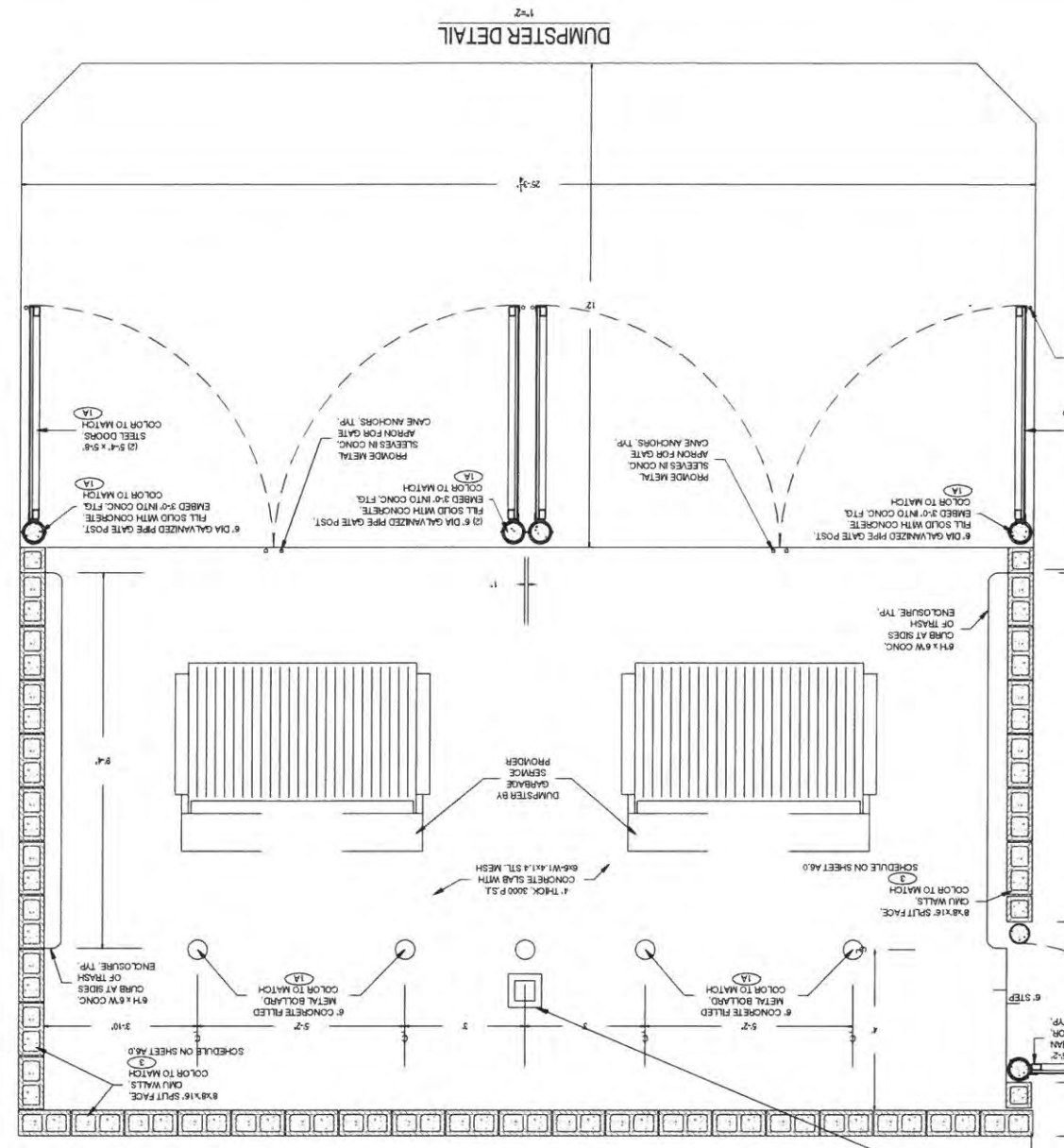
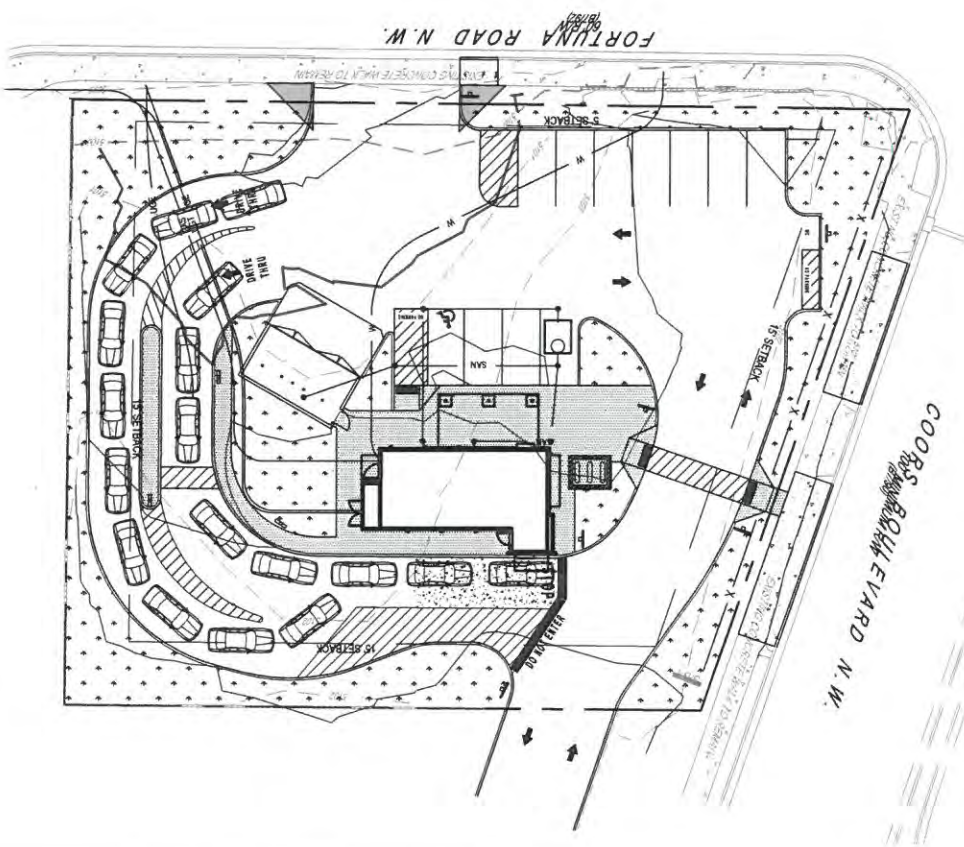
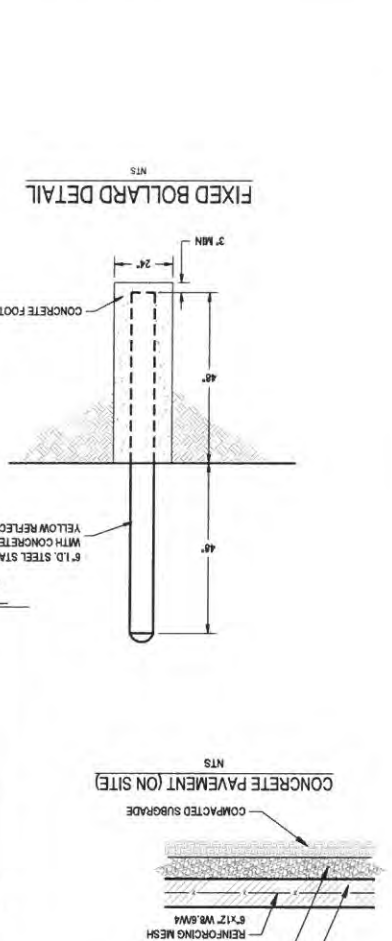
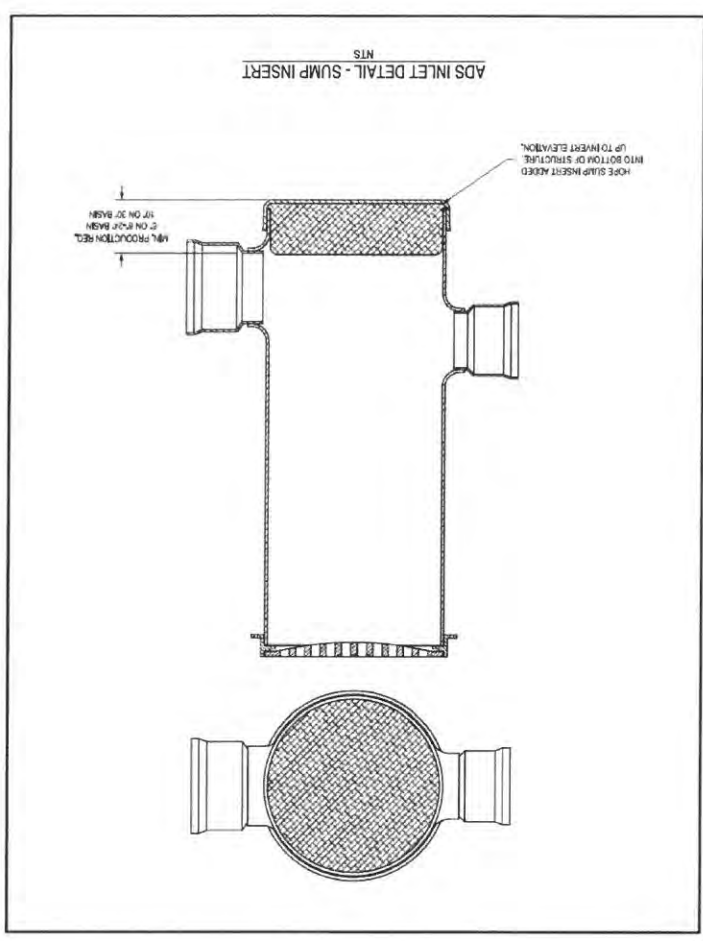


Project No.	756678-01
Scale	NO SCALE
Drawn	V. WERTH
Checked	E. BROUCH
Date	2019.10.17
Issue	
Drawing Title	

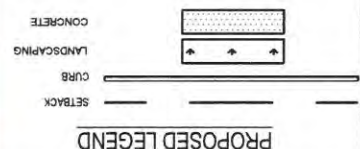
CONSTRUCTION DETAILS

Drawing No. C8.0





**TRAFFIC CIRCULATION LAYOUT**  
**APPROVED**  
 Signed \_\_\_\_\_  
 Date 5-5-22



**RESTAURANT WITH DRIVE-THRU**  
 FORTUNA RD NW & COORS BLVD NW  
 ALBUQUERQUE, NM, 87121

**TRAFFIC CIRCULATION LAYOUT - DUMPSTER PLAN**

Project No. 756678-01  
 Date 05/01/2020  
 Scale 1" = 10'  
 Drawn V. WERTH  
 Checked E. BROUCH  
 Date 2019.10.17  
 Name GAD AND TOL REVIEW

**CEISO**  
 2020 N. CENTRAL AVE. STE. 200 PHOENIX, AZ 85004  
 PHONE (602) 258-0000  
 WWW.CEISO.COM

**CEISO**  
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 PHONE (602) 258-0000  
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**Revisions/Supplements**

No.	Description	Date
1	REVISED PER CITY GRADING & DRAINAGE COMMENTS	09/30/2019
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3	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS	11/20/2019
4	REVISED PER COMMENTS FROM ADS AND CITY REVIEWERS	12/16/2019
5	TRASH ENCLOSURE REVISION	01/09/2020
6	REVISED PER COMMENTS FROM ADS AND DOT REVIEWERS	05/01/2020

**Revisions/Supplements**

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