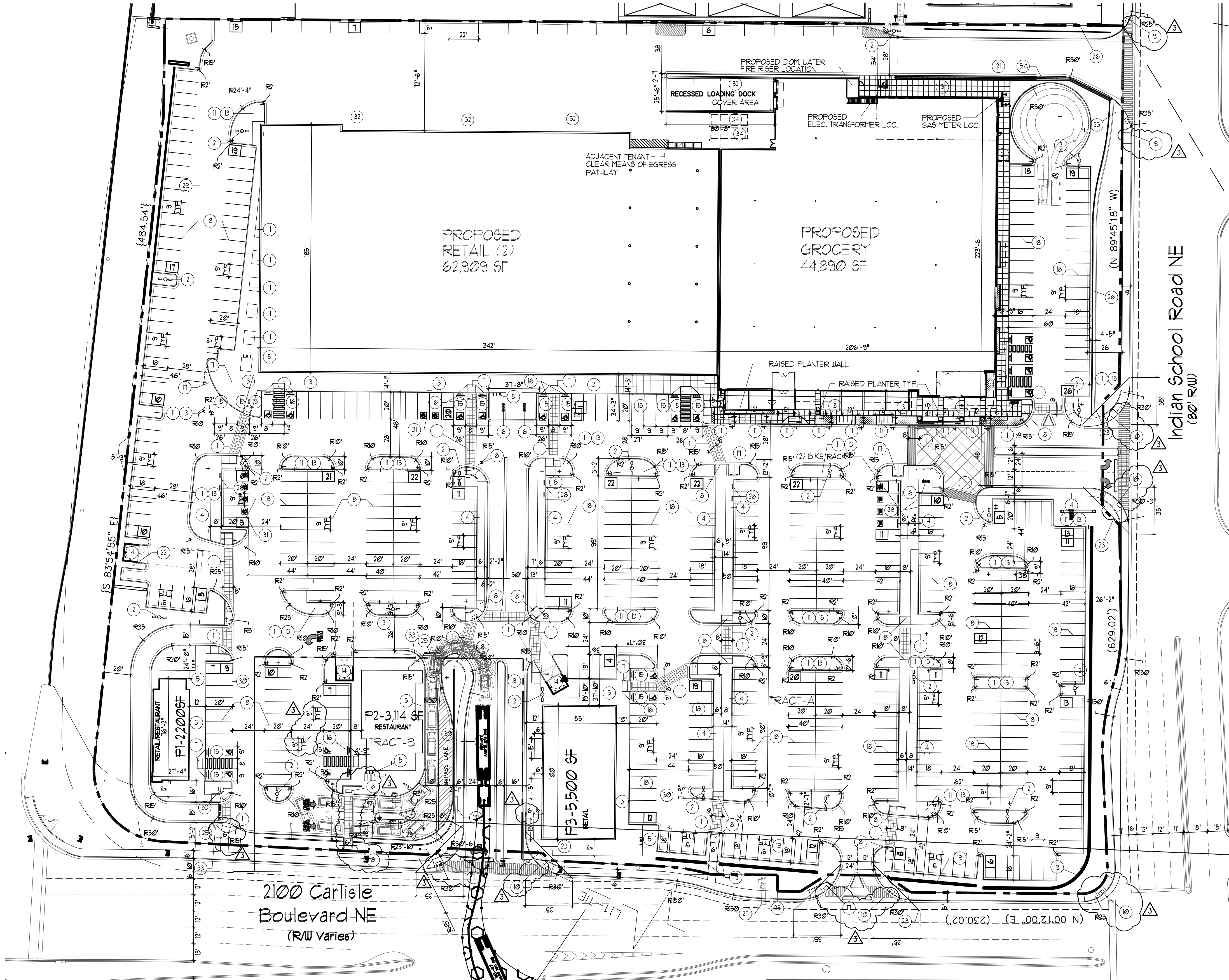




- KEYED NOTE:
- 1 8' , OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL C5/A11.
 - 2 LIGHT POLE LOCATION RE: DETAIL A5/A11.
 - 3 CONC. SIDEWALK ADJACENT BLDG RE: DET B2/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - 4 CONC. SIDEWALK RE: DET B3/A11. RE: SITE PLAN FOR JOINT LAYOUT
 - 5 INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL B1/A12.
 - 5A INDICATES BIKE RACK LOCKER LOCATION. (5 BIKE CAPACITY)
 - 6 BENCH LOCATION RE: DETAIL 10/A12
 - 7 HANDICAP RAMP RE: A3/A11.
 - 8 HANDICAP RAMP RE: A1/A11.
 - 9 HANDICAP RAMP RE: A4/A11.
 - 10 HANDICAP RAMP RE: C1/A11.
 - 11 INDICATES LANDSCAPE PLANTING AREA GC TO PROVIDE COORDINATE REQ. SLEEVING FOR EA WELL LOCATION
 - 12 DRIVE AISLE PAINT DETAIL RE: DET C5/A12.
 - 13 6" HIGH CONC. ISLAND /CURB RE: SITE GRADING PLAN FOR INFO
 - 14 REFUSE ENCLOSURE RE: DET B2/A13.
 - 15 H.C. PARKING STALL RE: DET A3/A12.
 - 15A NEW RETAINING WALL PER SECTION 5-T(D) OF THE I.D.O.
 - 16 WHEELSTOP RE: DET B5/A12.
 - 17 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. B2/A12.
 - 18 PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - 19 INDICATES SPLIT FACE 3'-0" HIGH PAINTED PATIO KNEE WALL
 - 20 EXISTING SIDEWALK TO REMAIN
 - 21 NEW RAMP
 - 22 300 SF PYLON SIGN TO MATCH ADJACENT BUILDING RE: DETAIL 8/A13 FOR INFO
 - 23 INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERFAN.
 - 24 BOLLARD PAINTED SAFETY YELLOW RE: DET. D1/A12.
 - 25 "DO NOT ENTER" RE: DET 8/A12
 - 26 EXISTING RETAINING WALL TO REMAIN
 - 27 EXISTING DOT SIGN TO REMAIN
 - 28 ELECTRIC VEHICLE CHARGING STATION
 - 29 INDICATES EXISTING BUILDING FOOTPRINT AREA
 - 30 INDICATES CONSTRUCTION PHASE LINE
 - 31 ELECTRIC VEHICLE PARKING SPACE, TYPICAL OF 10
 - 32 PROPOSED 40 cu yd ROLL OFF CONTAINER
 - 33 "DO NOT ENTER" SIGN RE: DET B3/A12.
 - 34 DASHED LINE INDICATES TRASH COMPACTOR BY TENANT.

PROJECT NUMBER: _____

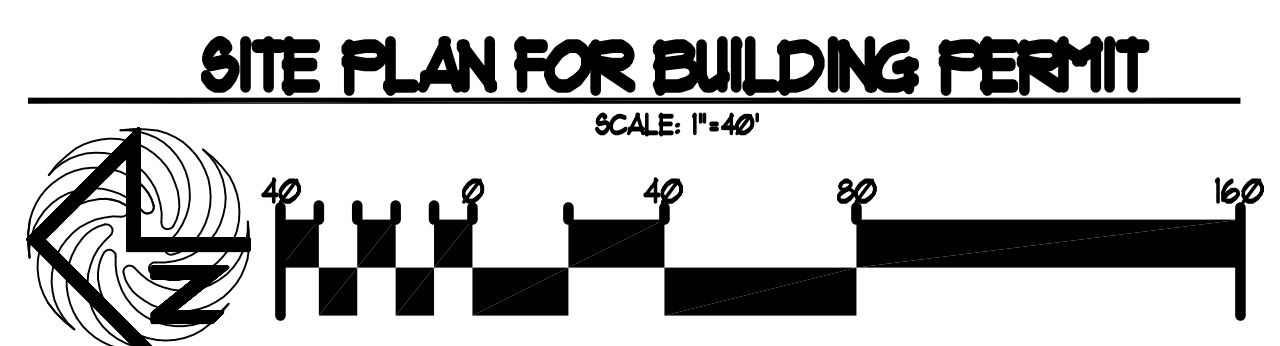
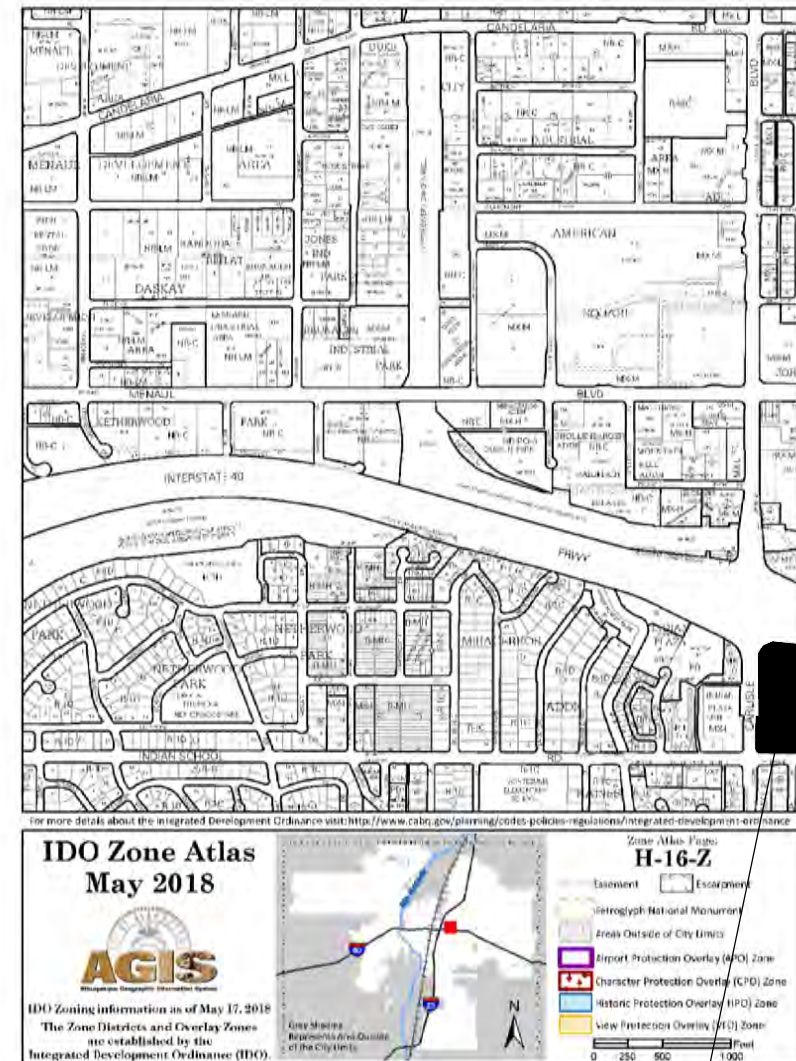
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ABCUWA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

* Environmental Health, if necessary



THRU RAMP 5F.

Lot 30-A, Block 1
Miraceros Addition
(03/13/1998, 98C-69)

2100 Carlisle Boulevard NE
(R/W Varies)

LEGAL DESCRIPTION-TRACT-A
A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1934, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 2-3-A AND 2-3, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/160, DATED NOVEMBER 13, 1931, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 20, 2021, IN BOOK A18, PAGE 2183, AS DOCUMENT NO. 2001003108.

LEGAL DESCRIPTION-TRACT-B
A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "B" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1934, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT B, AKA PARCEL 2-4, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/160, DATED NOVEMBER 13, 1931, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 11, 2021, IN BOOK A14, PAGE 2183, AS DOCUMENT NO. 2001003593.

SITE DATA TABLE	RETAIL USES	GROCERY	RESTAURANT	ALL USES
PROPOSED USES:				
BUILDING SIZE:	68,409 SF	44,890 SF	5,314 SF	
TOTAL PARKING REQ:	213 SPACES	180 SPACES	24 SPACES	417 SPACES REQUIRED
TOTAL PARKING PROV:				499 SPACES PROVIDED
HC PROVIDED:				28 HC (INCLUDING 20 VAN ACCESSIBLE)
HC REQUIRED:				9 HC SPACES
BIKE SPACES PROVIDED:				46 BIKE SPACES
BIKE SPACES REQUIRED:	10% OF TOTAL	10% OF TOTAL	10% OF TOTAL	46 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES	2 SPACES	6 MOTO SPACES
MOTORCYCLE SPACES REQUIRED:	2 SPACES	2 SPACES	2 SPACES	6 MOTO SPACES
ELECTRIC CHARGING STATION SPACES PROVIDED:	6 SPACES	4 SPACES	-	10 ELEC. CHARGING STATION PARKS
ELECTRIC STATION REQUIRED:	5 SPACES	4 SPACES	-	9 ELEC. CHARGING STATION PARKS
BURGER KING				
BURGER KING HC REQUIRED:			2/1000	TOTAL SPACES REQ= 19 SPACES
				1 HC SPACES

MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
REGISTERED ARCHITECT
STEPHEN A. DUNBAR
No. 4218
15 JULY 2021

PROJECT TITLE
CARLISLE CROSSING
2100 CARLISLE BLVD NE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR, AIA

JOB NO.

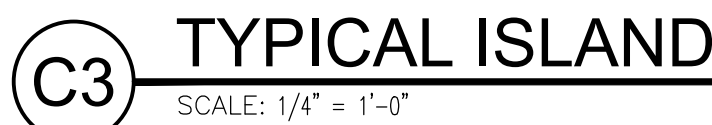
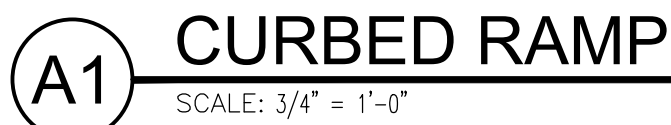
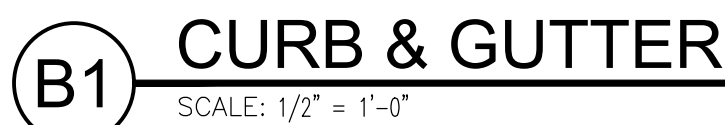
DRAWN BY:
S

DATE:
29 June 2021

SCALE:
RE: BAR SCALE

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

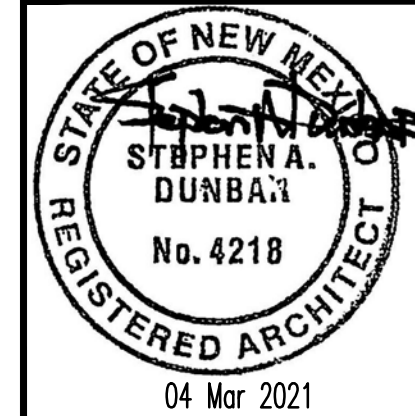
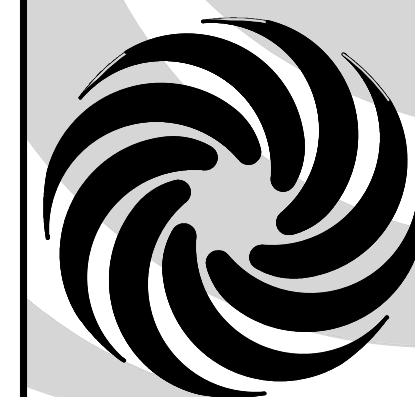
SHEET NO.
1



4. 4" THICK PAVEMENT MARKING; WHITE IN COLOR.
5. 2' WIDE ADA APPROVED TRUNCATED DOME STRIP.
6. CURB AND GUTTER: SEE B1/A1.1.
7. CONCRETE SIDEWALK: SEE B3/A1.1.
8. CONCRETE EXPANSION JOINT: SEE B5/A1.1.
9. CONCRETE CONTROL JOINT: SEE B5/A1.1.
10. BROOM FINISH CONCRETE SURFACE AREA INSIDE OF TOOLED EDGE TO CREATE PICTURE FRAME EFFECT.
11. SMOOTH TOoled FINISH AROUND EDGES, TYPICAL.
12. MONOLITHIC CONCRETE HANDICAP RAMP INTEGRALLY COLORED DAMS COLORS #160 "BRICK RED", SMOOTH TEXTURE.
13. FINISH WITH $\frac{1}{2}"$ DEEP $\times$ $\frac{1}{2}"$ WIDE GROOVES AT 2' OC.
14. CONCRETE FLUSH WITH PAVEMENT.
15. CURB, BEYOND.
16. 2% CROSS SLOPE, MAXIMUM.
17. RAMP, BEYOND.
18. RETAINING CURB.
19. SUBGRADE: COMPACTED AS SPECIFIED.
20. PAVEMENT AS SPECIFIED.
21. CONCRETE TURNDOWN CURB.
22. 4" THICK CONCRETE SIDEWALK.
23. SIDEWALK ELEVATIONS VARY - HOLD FLUSH WITH FINISHED FLOOR AT ENTRANCE WAYS. PLANTING AREAS MAY EXIST BETWEEN THE BUILDING AND THE BACK-OF-SIDEWALK (SEE SITE PLAN). EXPANSION JOINTS DO NOT APPLY TO SIDEWALK SECTION ADJACENT TO PLANTING AREAS.
24. $\frac{1}{2}"$ EXPANSION JOINT MATERIAL.
25. STABILIZED AGGREGATE BASE COARSE, AS SPECIFIED.
26. STRUCTURAL FOUNDATION SYSTEM: SEE STRUCTURAL FOUNDATION PLAN.
27. CONCRETE CURB AND GUTTER.
28. SQUARE, STRAIGHT, STEEL ANCHOR BASE. POLE & BRACKETS SHALL BE FACTORY FINISHED, PAINTED SEMI GLOSS BLACK WRAP POLES FOR SHIPPING. PROVIDE 1 QT. MATCHING PAINT TO TOUCH UP ANY SCRATCHES ON POLES ON JOB. SEE LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.
29. CONNECT GROUND WIRE TO REINFORCING BARS.
30. (3) #3 TIES AT $\frac{1}{2}"$ OC IN TOP 5'.
31. #6 BARE COPPER GROUND WIRE.
32. CONDUIT AS INDICATED ON ELECTRICAL PLAN.
33. (6) #6 BARS VERTICAL.
34. 8'-0" COPPER WELDED GROUND ROD BY ELECTRICAL CONTRACTOR.
35. NON-SHRINK GROUT.
36. 2" CHAMFER.
37. FINISHED GRADE.
38. #3 TIES @ 12" OC.
39. #6 RETAINING CURB.
40. MONOLITHIC INTEGRALLY COLORED CONCRETE HANDICAP RAMP (4,000 PSI): RETAIN ARCHITECT WITH SAMPLE COLOR FOR APPROVAL.
41. PROVIDE $\frac{1}{2}"$ DEEP BY $\frac{1}{2}"$ WIDE GROOVES @ 2' OC. EXTEND THE PULL WIDTH AND DEPTH OF THE RAMP.
42. #6 STANDUP CURB OR CURB AND GUTTER AS APPLICABLE (SEE SITE PLAN).
43. ADA APPROVED TRUNCATED STRIP AT 2' WIDTH.
44. EXPANSION JOINT.
45. PROVIDE A 5 SF LAND AT TOP OF RAMP FOR CHANGE IN DIRECTION.
46. WIDTH Varies - SEE SITE PLAN (MINIMUM 4' WIDTH).
47. $\frac{1}{2}"$ CONCRETE EXPANSION JOINT SEALER: NOMAFLEX, OR APPROVED EQUAL.

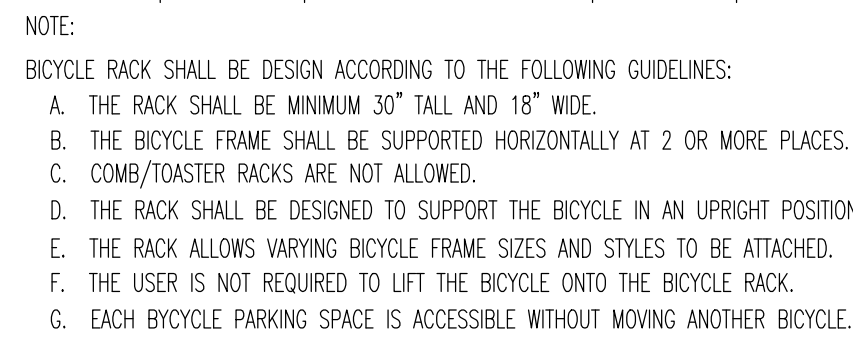
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7	26 MAR 2021	DTN	ADDENDUM #1

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

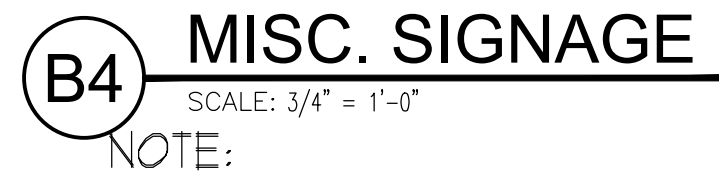
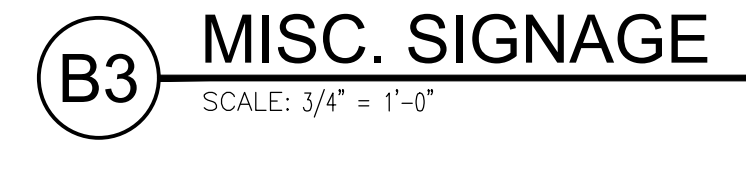
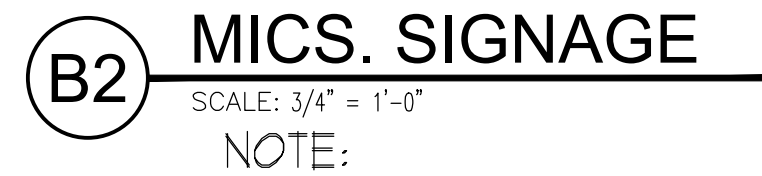


PROJECT TITLE	
KMYART SITE DEVELOPMENT	
2100 CARLEIGLE BLVD. NE	
ALBUQUERQUE, NEW MEXICO 87110	
JOB NO.	Site Dyrplint
PROJECT MANAGER	Devlin Nguyen
SHEET TITLE	
SITE DETAILS	

DATE: 04Mar2021	sheet- A1.1
SCALE: AS NOTED	of-



B1 BIKE RACK
SCALE: 1/2" = 1'-0"

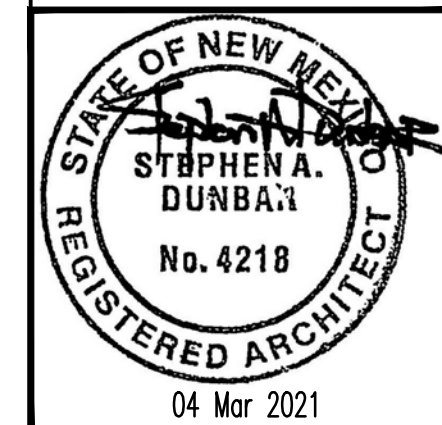


A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

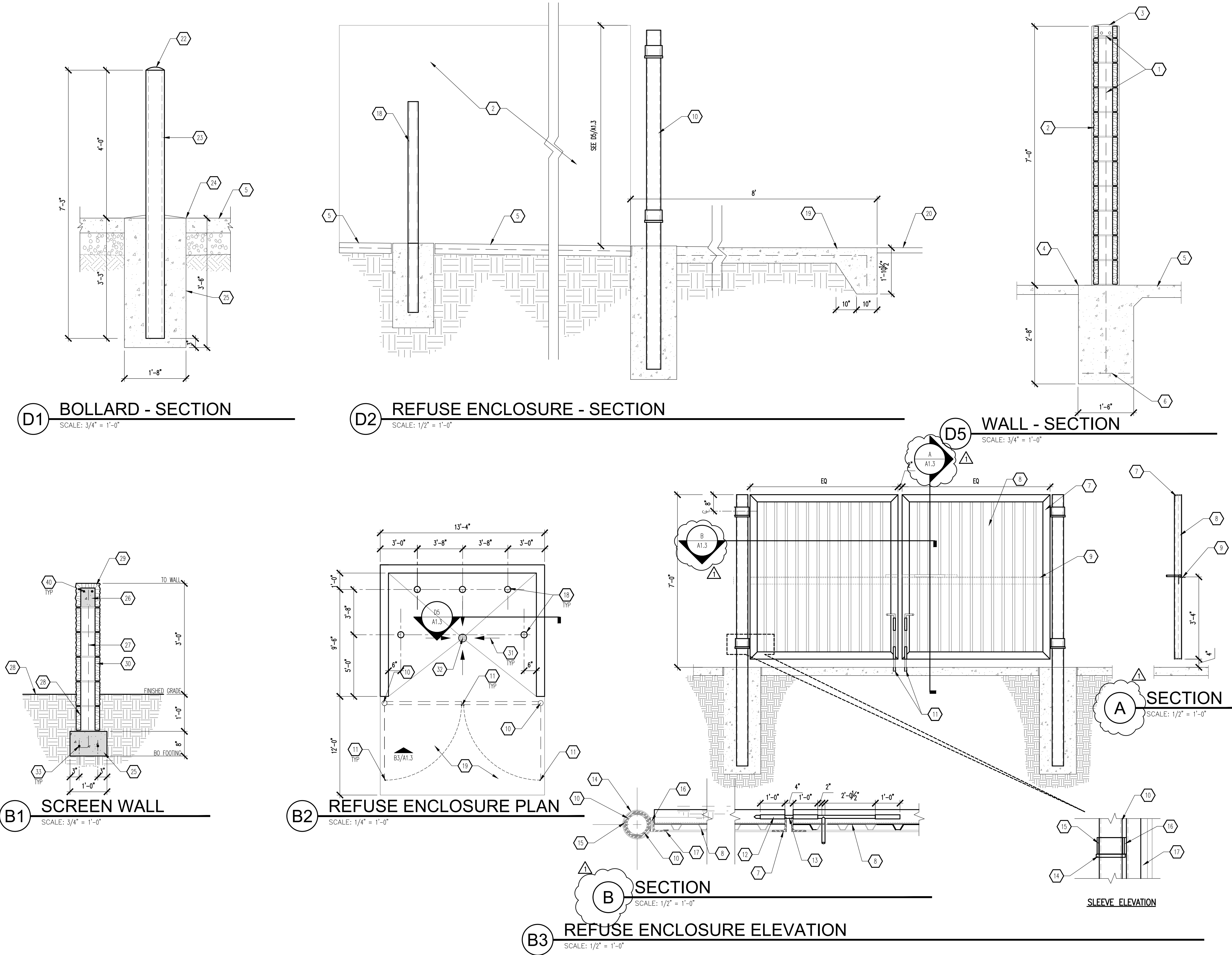
1. PAINT BLUE.
2. PAINT WHITE.
3. 12" HIGH BY 4" WIDE "NO PARKING" MARKING - WHITE PAINT.
4. HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
5. FLARED RAMP: SEE A3/A1.1.
6. WHEEL STOP: SEE B5 /1.2.
7. WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
8. HANDICAP POST SIGNAGE: SEE B4/A1.2.
9. TOP OF REINFORCING BAR FLUSH WITH TOP OF CONCRETE.
10. $\frac{3}{8}$ " DIAMETER HOLE.
11. (2) #4 BARS CONTINUOUS.
12. $\frac{3}{4}$ " REINFORCING BAR EMBEDDED 24" INTO SUBGRADE.
13. #5 REINFORCING BAR.
14. 4" WIDE WHITE PAINTED STRIPING.
15. 3,500 PSI CONCRETE FOUNDATION.
16. FINISHED SURFACE.
17. BITUMINOUS JOINT FILLER (CONCRETE PAVEMENT ONLY).
18. 6" DIAMETER STEEL PIPE FILLED WITH CONCRETE.
19. ROUND CONCRETE TOP.
20. PAINT SAFETY YELLOW.
21. 2" OD GALVANIZED STEEL SIGN POST.
22. "NO ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN.
23. 12" DIAMETER STEEL PIPE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.
24. CONCRETE FOUNDATION.
25. PRIME AND PAINT STEEL MEMBER FLAT BLACK.
26. 2 $\frac{3}{8}$ " STANDARD DUTY PIPE CENTER SUPPORT.
27. ADA APPROVED TRUNCATED DOME STRIP.



MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE		JOB NO.		DRAWN BY:	
KMAAT SITE DEVELOPMENT		Site Dympt		DTN	
200 CARLISLE BLVD. NE ALBUQUERQUE, NEW MEXICO 87110		Project Manager			
		Devlin Nguyen			
SHEET TITLE		SITE DETAILS			
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SCALE:					
AS NOTED		of-			



GENERAL NOTES

- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

KEYED NOTES

- (2) #5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS: #5 BRAS @ 32" OC VERTICAL GROUT REINFORCED CELLS, DUNWALL @ 16" OC HORIZONTAL.
- 8" CMU WALL WITH 2-COAT SYNTHETIC STUCCO SYSTEM. COLOR TO MATCH BUILDING STUCCO COLOR; COORDINATE WITH ARCHITECT FOR FINAL STUCCO COLOR.
- SLOPE STUCCO CAP.
- 1/2" EXPANSION JOINT MATERIAL.
- 6" SEALED CONCRETE SLAB AT 4,000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 WWM.
- (4) #4 BARS CONTINUOUS @ BOTTOM OF FOOTING #4 @ 16" OC ACROSS BOTTOM OF FOOTING.
- 3 1/2"x3 1/2"x6" STEEL ANGLE-WELD CORNERS (TYPICAL OF 4 SIDES).
- METAL DECKING, 16ga WITH SHEET METAL SCREWS @ 9" OC TOP, BOTTOM AND SIDES. PAINT FINISH, SHERWIN WILLIAMS #506143 BASKET BEIGE.
- 3 1/2" x 3 1/2" x 3/8" STEEL ANGLE-WELD FLUSH WITH METAL DECKING AT EACH END.
- 5" OD HEAVY DUTY PIPE POST.
- 3/4" DIAMETER CANE BOLT. PROVIDE CATCH TO HOLD IN POSITION WHEN REQUIRED TO ELIMINATE DRAG.
- STEEL TUBING WELD TO ANGLE AT TOP TO FIT STEEL ROD.
- 3/4" DIAMETER STEEL ROD TAPER END AND WELD 6" HANDLE.
- 3/4" SQUARE STOCK WRAP AROUND POST AT EACH LOCATION.
- 6" HEAVY DUTY PIPE SLEEVE 4" IN WIDTH.
- 1/2" x 3 1/2" FLAT BAR STOCK OVER 6" SLEEVE.
- 3 1/2" x 3 1/2" x 3/8" ANGLE OVER 1/2" FLAT BAR.
- BOLLARD: SEE D1/A1.3.
- 6" CONCRETE APRON AT 4,000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 WWM WITH TURNDOWN EDGE.
- ASPHALT PAVING.
- FINISHED GRADE.
- ROUND CONCRETE TOP.
- 6" STEEL PIPE FILLED WITH CONCRETE. PAINT FINISH - SAFETY YELLOW.
- BITUMINOUS JOINT FILLER (AT CONCRETE PAVEMENT ONLY).
- CONCRETE FOOTING.
- GROUT SOLID.
- #4 @ 48" OC.
- 8" STANDARD GRAY BLOCK WALL.
- 8" SPLIT-FACE BOND BEAM. CRECO BLOCK - DESERT BEIGE, OR APPROVED EQUAL.
- 8" SPLIT-FACE BLOCK WALL: CRECO BLOCK - DESERT BEIGE, OR APPROVED EQUAL.
- PROVIDE 1/4" PER FOOT SLOPE TO FLOOR DRAIN.
- FLOOR DRAIN: SEE UTILITY PLAN ON SHEET C105.
- CONTINUOUS #4.

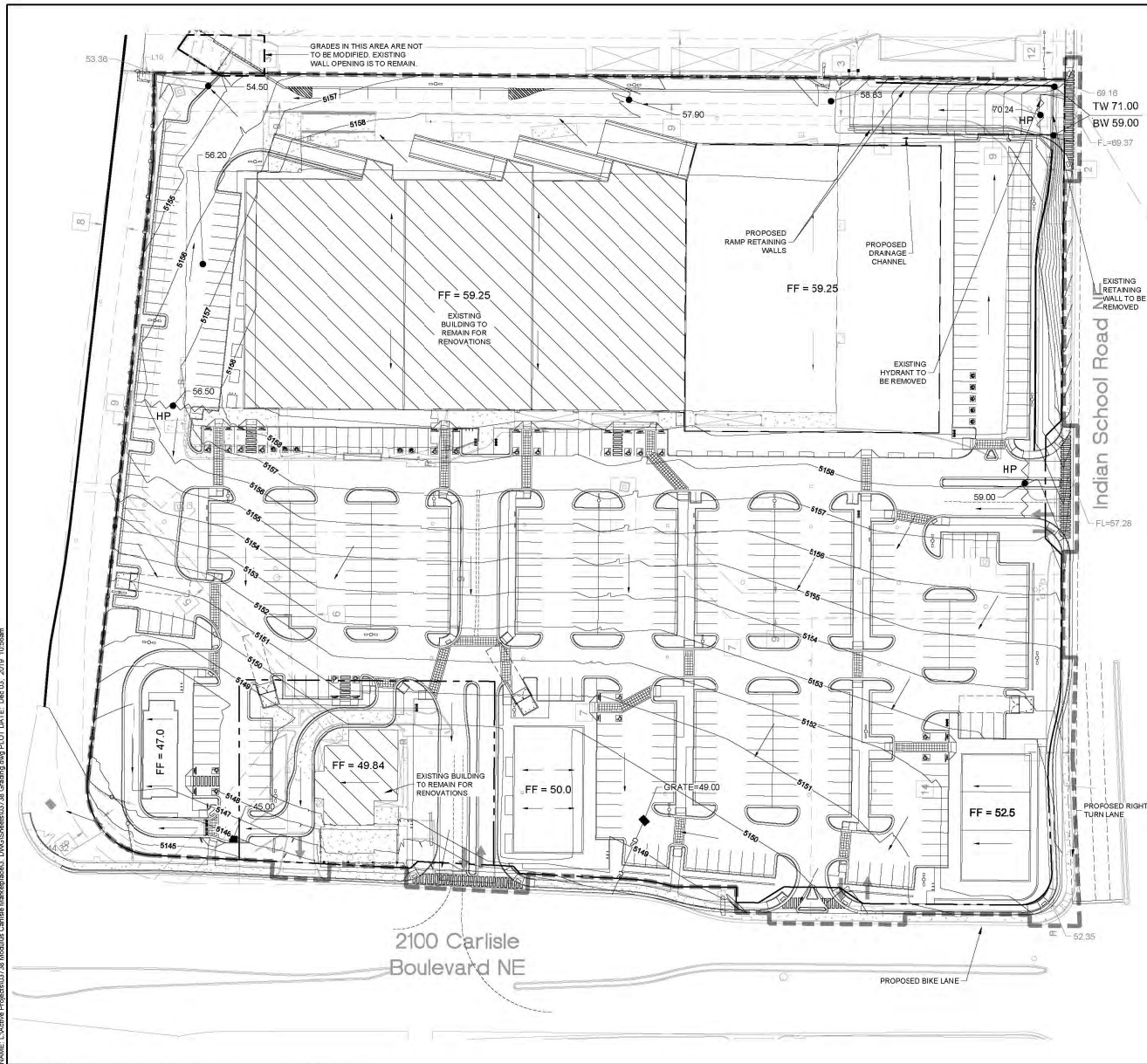
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MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE KIMART SITE DEVELOPMENT 2000 CARUSILE BLVD NE ALBUQUERQUE, NEW MEXICO 87110	PROJECT MANAGER Devin Nguyen	JOB NO. Site DypInt	DRAWN BY: DTN	SHEET TITLE SITE DETAILS
DATE: 04 Mar 2021	SCALE: AS NOTED	SHEET: A1.3	et.	

NAME: L:\Users\Project\2017\28 Module Carlisle Marketplace3 DMS\Sheet\02758 Grading.swg PLOT DATE: Dec 03, 2018 10:56am



NOTE
1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THE PLAN.
2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER.

LEGEND
PROPERTY LINE
FLOW ARROW
HIGH POINT (HP)
GRADING LIMITS
PROPOSED SPOT ELEVATIONS
EXISTING SPOT ELEVATIONS
EXISTING CONTOUR LINES
PROPOSED CONTOUR LINES

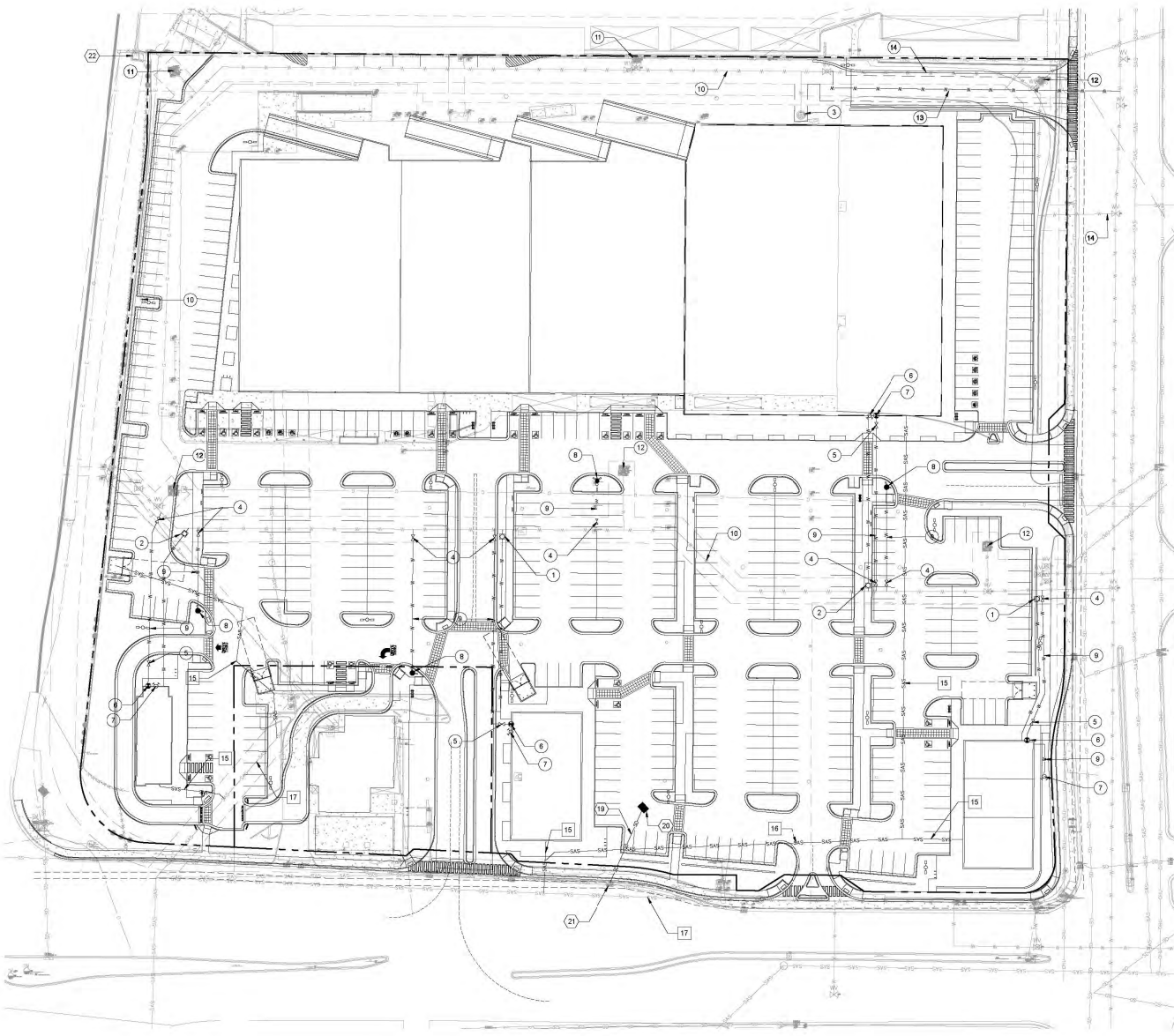
EASEMENT NOTES

- EXISTING 7' FROM EASEMENT - 120' WIDE, 15' DEEP, 15' HIGH AND AS SHOWN ON PLAT (301194, 340-80)
- EXISTING 5' X 10' P.U.E. (100' WIDE, 10' DEEP, 10' HIGH) AND AS SHOWN ON PLAT (301194, 340-80)
- WEST 1/2 OF VACATED BUILDING AREAS BE RETAINED AS P.U.E. FOR VACATION ORDINANCE 301194, 340-80
- EXISTING 7' X 10' P.U.E. (100' WIDE, 10' DEEP, 10' HIGH) AND AS SHOWN ON PLAT (301194, 340-80)
- EXISTING 7' UNDERGROUND EASEMENT (100' WIDE, 10' DEEP, 10' HIGH)
- EXISTING 30' UTILITY EASEMENT (100' WIDE, 10' DEEP, 10' HIGH)
- EXISTING PERMANENT 10' WIDE, 10' DEEP, 10' HIGH RECIPROCAL ADDRESS, EGRESS AND CROSS PARKING EASEMENT (100' WIDE, 10' DEEP, 10' HIGH) FOR THE USE OF PARKING AREAS, DRIVeways, COMMON UTILITIES AND OTHER COMMON AREAS (100' WIDE, 10' DEEP, 10' HIGH) SEE ALSO: 301, PG. 117; RE-DESIGNED (100' WIDE, 10' DEEP, 10' HIGH) AND 404 AND AGREEMENT AND DEED IN FULL OF EASEMENT AND COVENANTS (100' WIDE, 10' DEEP, 10' HIGH) MARKET PLACE
- EXISTING 20' PERMANENT P.U.E. (100' WIDE, 10' DEEP, 10' HIGH) AND AS SHOWN ON PLAT (301194, 340-80)
- EXISTING 20' PERMANENT P.U.E. (100' WIDE, 10' DEEP, 10' HIGH) AND AS SHOWN ON PLAT (301194, 340-80)
- EAST 1/2 OF VACATED BUILDING AREAS BE RETAINED AS P.U.E. FOR VACATION ORDINANCE 301194, 340-80
- EXISTING 7' PRIVATE UTILITY EASEMENT (100' WIDE, 10' DEEP, 10' HIGH) FOR TRACT A, ALTAIR COMPLEX (100' WIDE, 10' DEEP, 10' HIGH) SEE ALSO: 301194, 340-80
- EXISTING 10' P.U.E. (100' WIDE, 10' DEEP, 10' HIGH)
- EXISTING 7' P.U.E. (100' WIDE, 10' DEEP, 10' HIGH) AND AS SHOWN ON PLAT (301194, 340-80)
- LEASE AREA WITHIN TRACT A, ALTAIR COMPLEX (100' WIDE, 10' DEEP, 10' HIGH) SEE ALSO: 301194, 340-80



REVISION	DATE	BY	CHKD	APPD
1	12/03/2018	DAVID	DAVID	
PROJECT NAME: CARLISLE MARKETPLACE				
SHEET TITLE: CONCEPTUAL GRADING				
DRB SITE PLAN				
SHEET NUMBER: C-200				

NAME: L:\Active Projects\02719 Module Central Marketplace3 DWS\Sheet\02719 Utility Any Plot DATE: Dec-20, 2019 10:22am



- KEYED NOTES**
- 1) INSTALL 1" WATER SERVICE
 - 2) INSTALL 1 1/2" WATER SERVICE
 - 3) EXISTING WATER SERVICE
 - 4) INSTALL PUBLIC 8" GATE VALVE & VALVE BOX
 - 5) INSTALL PRIVATE 8" GATE VALVE & VALVE BOX
 - 6) INSTALL WALL INDICATOR VALVE
 - 7) INSTALL FIRE DEPARTMENT CONNECTION
 - 8) INSTALL PRIVATE FIRE HYDRANT
 - 9) INSTALL PRIVATE 8" WATER LINE
 - 10) EXISTING 10" PVC PUBLIC WATER LINE
 - 11) EXISTING PUBLIC FIRE HYDRANT TO REMAIN
 - 12) EXISTING PUBLIC FIRE HYDRANT TO BE REMOVED
 - 13) INSTALL 10" PVC PUBLIC WATER LINE
 - 14) EXISTING 10" PVC PUBLIC WATER LINE TO BE REMOVED
 - 15) INSTALL 4" SEWER SERVICE
 - 16) INSTALL 6" SEWER SERVICE
 - 17) EXISTING PUBLIC SEWER
 - 18) INSTALL SEWER MANHOLE (H/T U250)
 - 19) INSTALL STORM DRAIN PIPE
 - 20) INSTALL DROP INLET
 - 21) CONNECT TO EXISTING DROP INLET
 - 22) EXISTING DROP INLET

- LEGEND**
- PROPERTY LINE
 - WATER LINE
 - SANITARY SEWER LINE
 - STORM DRAIN
 - EASEMENT
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - POST / WALL INDICATOR VALVE
 - FIRE DEPARTMENT CONNECTION
 - SANITARY SEWER MANHOLE
 - DROP INLET

GENERAL NOTE

1. TYPE RBP BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO EACH PROPOSED BUILDING PER CDM STD DTL 2365. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.



VICINITY MAP

DESIGNED: 26/04/19
CHECKED: SNA
DATE: 12/30/2019

RESPEC
RESPEC CONSULTING
10000 W. 10TH AVE. SUITE 100
DENVER, CO 80231
TEL: 303.733.8800
WWW.RESPEC-CONSULTING.COM

STAMP
SEAL OF THE PROFESSION
STATE OF COLORADO
REGISTERED PROFESSIONAL ENGINEER
NO. 10000
EXPIRATION DATE 12/31/2024

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

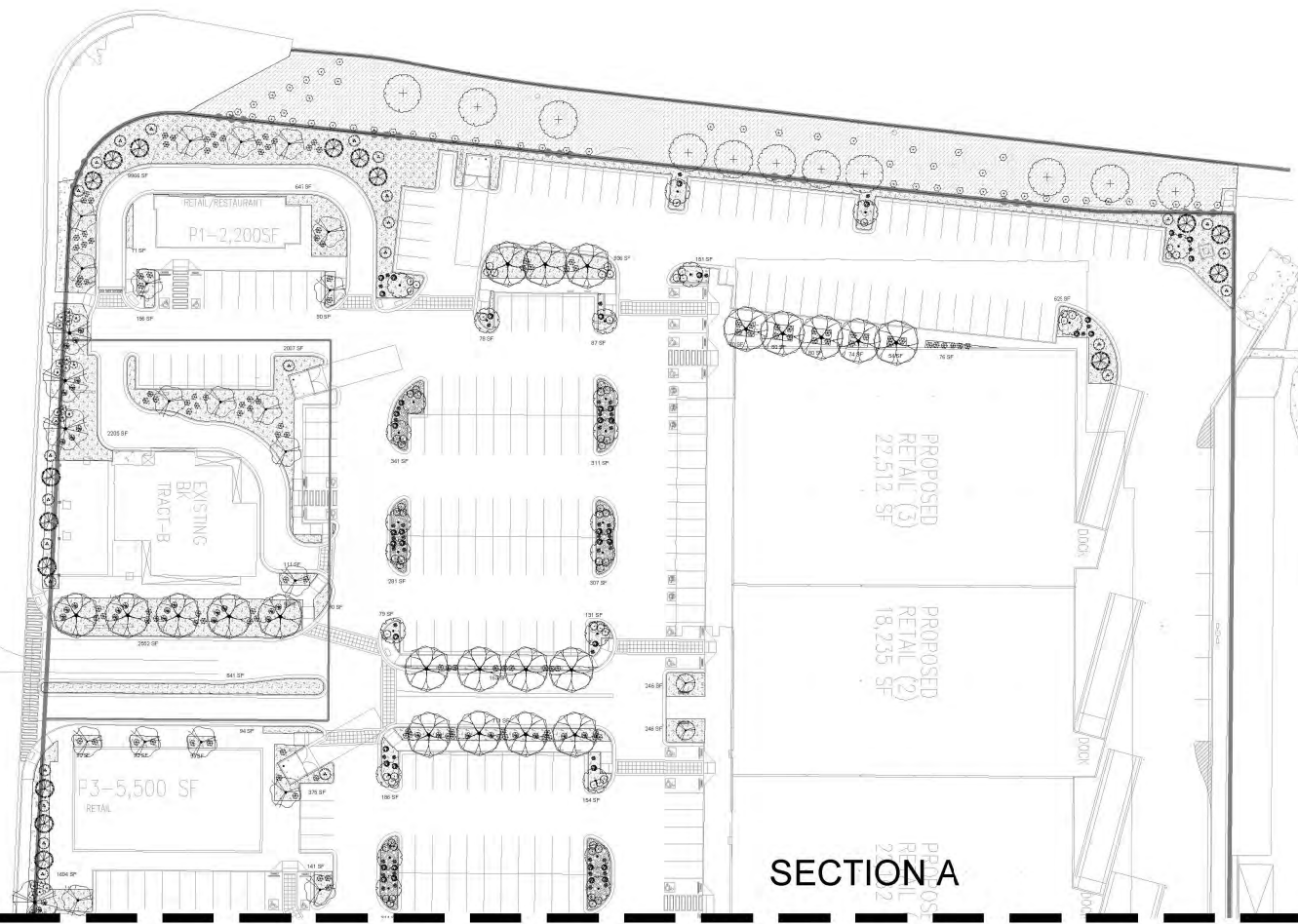
nm811
How many before you call before you dig

PROJECT NAME: CARLISLE MARKETPLACE

SHEET TITLE: CONCEPTUAL UTILITY

DESIGNED FOR: DRB SITE PLAN

SHEET NUMBER: C-300



SECTION A SECTION B

SITE DATA

GROSS LOT AREA (4.03 ACRES)	439,882 SF
LESS BUILDING(S)	121,368 SF
NET LOT AREA	318,512 SF
REQUIRED LANDSCAPE	47,778 SF
10% OF NET LOT AREA	45,041 SF
PROPOSED LANDSCAPE	1,387 SF
PROPOSED OFFSITE LANDSCAPE	13,084 SF
ROW EXISTING LANDSCAPE	65,112 SF
TOTAL PROPOSED LANDSCAPE	20 %
PERCENT OF NET LOT AREA	

REQUIRED STREET TREES	45
PROVIDED EXISTING AT 25' O.C. SPACING ALONG STREET	47
REQUIRED PARKING LOT TREES	45
PROVIDED AT 1 PER 10 SPACES (454 SPACES/10)	140"
TOTAL REQUIRED TREES: 90	
TOTAL PROVIDED TREES: 167	
*Trees provided per parking space quantity is due to IDO ordinance to provide 1 shade tree 25' O.C. along any pedestrian walkway	

REQUIRED LANDSCAPE COVERAGE	75% LIVE VEGETATIVE MATERIAL
(47,778 SF REQUIRED LANDSCAPE X 75%)	35,832 SF MIN.
PROVIDED GROUND COVER COVERAGE (EXCLUDES EXISTING ROW LANDSCAPE)	36,156 SF (1,438 SF)
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	75%

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES
 1. 1 HOUR/2 DAYS A WEEK
 2. 1 HOUR/2 DAYS A WEEK
 3. 1 HOUR/2 DAYS A WEEK

PLAN SCHEDULE SITE 10.30.19

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	U.E.
11	1	Existing Tree	Varies	Varies	50	(3.000)
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	U.E.
27	1	Chilopsis linearis / Desert Willow	2" B&B	FW	60	20' x 10'
28	1	Albizia julibrissis / Chinese Lilac	2" B&B	Medium	75	30' x 10'
35	1	Pyracantha coccinea 'Chardonnay' / Chardonnay Select Tree	2" B&B	Medium	70	25' x 10'
40	1	Ornus parviflora 'Rouge' / Rouge Elm	2" B&B	Medium	75	20' x 10'
11	1	Viburnum cuneatum / Chaste Tree	2" B&B	Medium	60	15' x 10'
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	U.E.
15	1	Pinus leucodermis / Boston Pine	6" B&B	Medium	75	10' x 10'
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	U.E.
55	1	Existing Shrub	Varies	Varies	25	(.000)
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	U.E.
122	1	Caryopteris x bodiniana 'Dark Knight' / Blue Mite Spirea	1 gal	Low	20	5' x 5'
143	1	Rosa 'America' 'Iceberg' / Iceberg Fragrant Rose	5 gal	Low	25	5' x 5'
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	U.E.
90	1	Prosopis juliflora / Red Yucca	5 gal	Low	30	5' x 5'
33	1	Nolina microcarpa / Beargrass	5 gal	FW	35	5' x 5'
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	U.E.
121	1	Baccharis x 'Stem' / Stem Cystine Shrub	5 gal	Low	30	5' x 5'
216	1	Acronychia affinis / Rosemary	5 gal	Low	30	5' x 5'
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	U.E.
125	1	Calamagrostis x 'variegata' / Feather Reed Grass	1 gal	Medium	25	10' x 10'
VINE/SPILLER	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWANCE	U.E.
36	1	Lonicera japonica 'Vulcan' / Halls Honeysuckle Flowering Vine	5 gal	Medium	35	(20' x 100')

REFERENCE NOTES SCHEDULE SITE 10.30.19

SYMBOL	DESCRIPTION	QTY	DETAIL
1	Aspenite 5/8" x 1 1/4" Gravel 3" Depth over Filter Fabric (Landscape area in ROW)	3,067 sf	10-11(10)
2	Aspenite 5/8" x 1 1/4" Gravel 3" Depth over Filter Fabric	45,041 sf	
3	2" x 4" Interlocking Plastic Curb 4" Depth over Filter Fabric	3,347 lf	
4	DOT Existing - Gravel and Landscape	13,084 sf	

GENERAL NOTES:

1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
4. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT CONNECTIONS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN "CLEAR SIGHT" AREAS.
5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (SECTION 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVER, MEASURED AT MATURITY OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS. 5-6(C)(1)(b) SHADE TREES ARE TO BE PLANTED APPROXIMATELY 25' O.C. ALONG ALL REQUIRED PEDESTRIAN WALKWAYS.
- 6-6(C)(5) IN REGARDS TO A MAXIMUM OF 75% OF GRAVEL OF ANY OUTDOOR SPACE AND ORGANIC MULCH SUCH AS BARK MULCH SURROUNDING VEGETATION ROOT BALLS AND BENEATH THE ENTIRE TREE CANOPY OR DRIPLINE.

PLANTING NOTES:

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE.
2. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.
3. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COO DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.
4. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
5. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.

IRRIGATION NOTES:

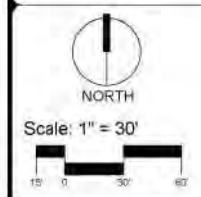
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE 1003 FOR DETAIL.
4. USE 2.0 GPH EMITTERS PER EACH TREE AND TWO 2.0 GPH EMITTERS PER EACH SHRUB/GROUND COVER. USE SIX 2.0 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUND COVERS.
5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE METER.
8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASEMENTS.
9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.

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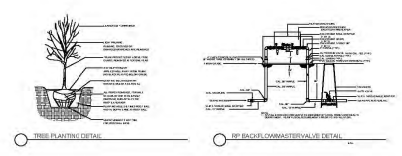


Date: 7/16/2019
 Revisions:
 8/19/2019
 10/31/2019
 Drawn by: V. Blount
 Reviewed by: TN

2100 Carlisle
 Site Redevelopment
 2100 Carlisle Blvd
 Albuquerque, New Mexico



Sheet Title:
Landscape Plan
 Sheet Number:
LP-01



SECTION A SECTION B

PLANT SCHEDULE SITE 10.30.19

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWABLE	U.I.
11	Existing Tree	Varies	Varies	50	100%	
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWABLE	U.I.
27	Chilopsis linearis / Desert Willow	2" B&B	ROW	60	100%	100%
28	Prosopis juliflora / Mesquite	2" B&B	Medium	75	100%	100%
58	Pinus attenuata / Mexican Blue Pine	2" B&B	Medium	75	100%	100%
46	Ulmus parviflorus / European Elm	2" B&B	Medium	75	100%	100%
11	Vitis rotundifolia / Cluster Vine	2" B&B	Medium	60	100%	100%
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWABLE	U.I.
19	Pinus insularis / Island Pine	6" S B&B	Medium	75	100%	100%
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWABLE	U.I.
55	Existing Shrub	Varies	Varies	25	100%	
DESIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWABLE	U.I.
122	Ceanothus leucodermis / Dark Knight / Blue Mist Spirea	1 gal	Low	20	100%	100%
142	Morea serotina / Tree Low / Gray Low Foliage Shrub	5 gal	Low	25	100%	100%
DESIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWABLE	U.I.
30	Frederickia virens / Red Fir	5 gal	Low	30	100%	100%
33	Nerium oleander / Oleander	5 gal	ROW	35	100%	100%
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWABLE	U.I.
101	Brachyotum / Shrub / Green Cane Shrub	5 gal	Low	30	100%	100%
216	Rosa rugosa / Rose	5 gal	Low	30	100%	100%
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWABLE	U.I.
125	Calamagrostis canadensis / Canada Bluegrass	1 gal	Medium	15	100%	100%
VINE REPAIRER	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	ALLOWABLE	U.I.
36	Lonicera japonica / Honeysuckle / Halls Honeysuckle Flowering Vine	5 gal	Medium	35	100%	100%

REFERENCE NOTES SCHEDULE SITE 10.30.19

SYMBOL	DESCRIPTION	QTY	DETAIL
1	Aspen 5/8" x 1/4" Gravel 3" Depth over Filter Fabric (Backfill over 100% Gravel)	1,087 sf	
2	Aspen 5/8" x 1/4" Gravel 3" Depth over Filter Fabric	45,041 sf	
3	2" x 4" Minimum Black Cobble 4" Depth over Filter Fabric	3,047 sf	
4	DOT Erosion - Gravel and Landscape	13,084 sf	

GENERAL NOTES

1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
4. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN "CLEAR SIGHT" AREAS.
5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (SECTION 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVER, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS. 5-6(C)(10) SHADE TREES ARE TO BE PLANTED APPROXIMATELY 25' O.C. ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. 5-6(C)(15) IN REGARDS TO A MAXIMUM OF 75% OF GRAVEL OR ANY OUTDOOR SPACE AND ORGANIC MULCH SUCH AS BARK MULCH SURROUNDING VEGETATION ROOT BALLS AND BENEATH THE ENTIRE TREE CANOPY OR DRIPLINE.

PLANTINGS NOTES

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPE, IDO AND WATER WASTE ORDINANCE.
2. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.
3. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE CON DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.
4. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
5. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.

IRRIGATION NOTES

1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE IDO FOR DETAIL.
4. USE 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUND COVER. USE SIX 2 GPH DRP EMITTERS PER TREE IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUND COVERS.
5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASEMENTS.
9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HANDSCAPE WITHOUT THE NEED OF BORING.

SITE DATA

GROSS LOT AREA (4.03 ACRES)	439,862 SF
LESS BUILDING(S)	121,369 SF
NET LOT AREA	318,513 SF

REQUIRED LANDSCAPE	47,773 SF
15% OF NET LOT AREA	47,773 SF
PROPOSED LANDSCAPE	45,041 SF
PROPOSED OFFSITE LANDSCAPE	1,897 SF
ROW EXISTING LANDSCAPE	18,084 SF
TOTAL PROPOSED LANDSCAPE	65,112 SF
PERCENT OF NET LOT AREA	20.44 %

REQUIRED STREET TREES	45
PROVIDED EXISTING AT 25' O.C. SPACING ALONG STREET	47
REQUIRED PARKING LOT TREES	45
PROVIDED AT 1 PER 10 SPACES (464 SPACES) @ 140"	45
TOTAL REQUIRED TREES: 90	
TOTAL PROVIDED TREES: 187	

*Tree provided per parking space quantity is due to IDO ordinance to provide 1 shade tree 25' O.C. along any pedestrian walkway

REQUIRED LANDSCAPE COVERAGE	35,832 SF MIN.
75% LIVE VEGETATIVE MATERIAL	35,832 SF MIN.
(47,773 SF REQUIRED LANDSCAPE X 75%)	35,832 SF MIN.
PROVIDED GROUND COVER COVERAGE	1,438 SF
(EXCLUDES EXISTING ROW LANDSCAPE)	1,438 SF
PERCENT GROUND COVER COVERAGE	
OF REQUIRED LANDSCAPE AREAS	75%

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES
ESTABLISHMENT AND SUMMER:
1 HOUR 3 DAYS A WEEK
SPRING:
1 HOUR 2 DAYS A WEEK
FALL:
1 HOUR 2 DAYS A WEEK
WINTER:
1 HOUR 2 DAYS PER MONTH

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505.698.2100 (fax)
design@huc.com



Date: 7/16/2019
Revisions:
▲ 08/19/2019
▲ 10/31/2019
▲
▲

Drawn by: V. Blount
Reviewed by: TN

2100 Carlisle
Site Redevelopment
2100 Carlisle Blvd
Albuquerque, New Mexico



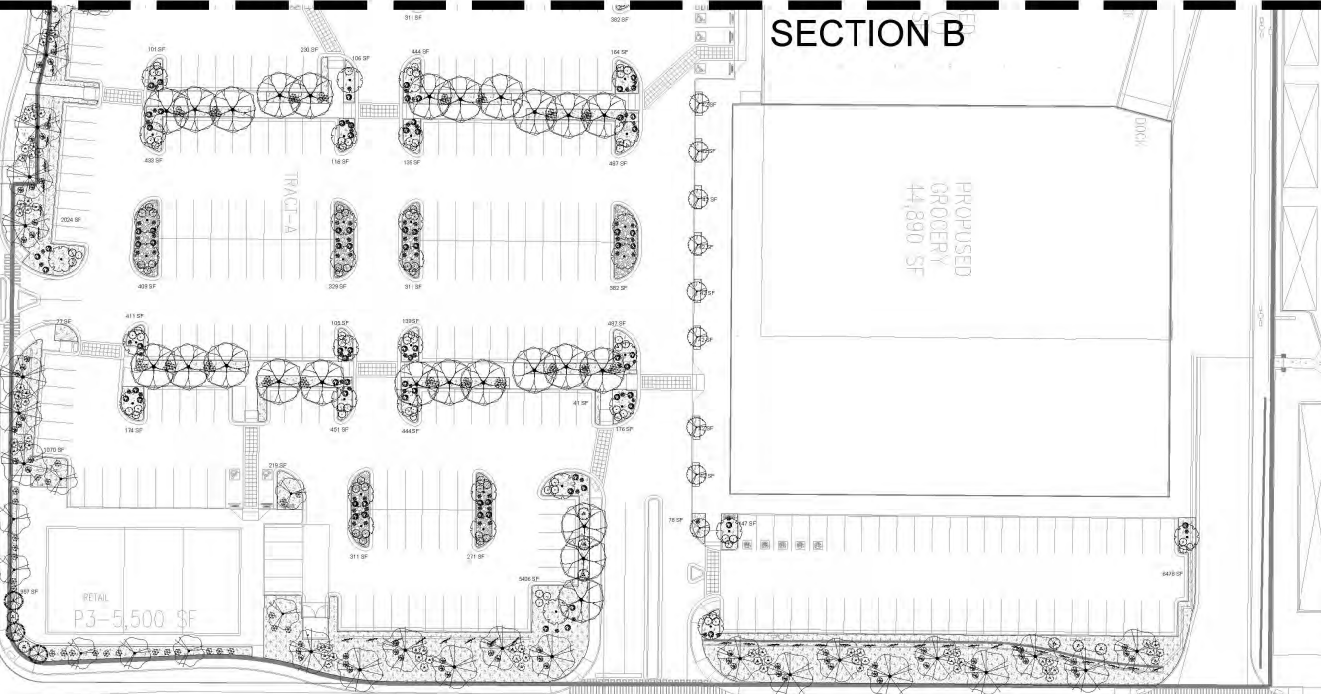
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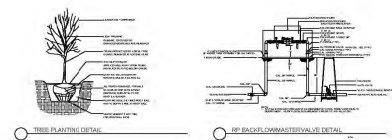
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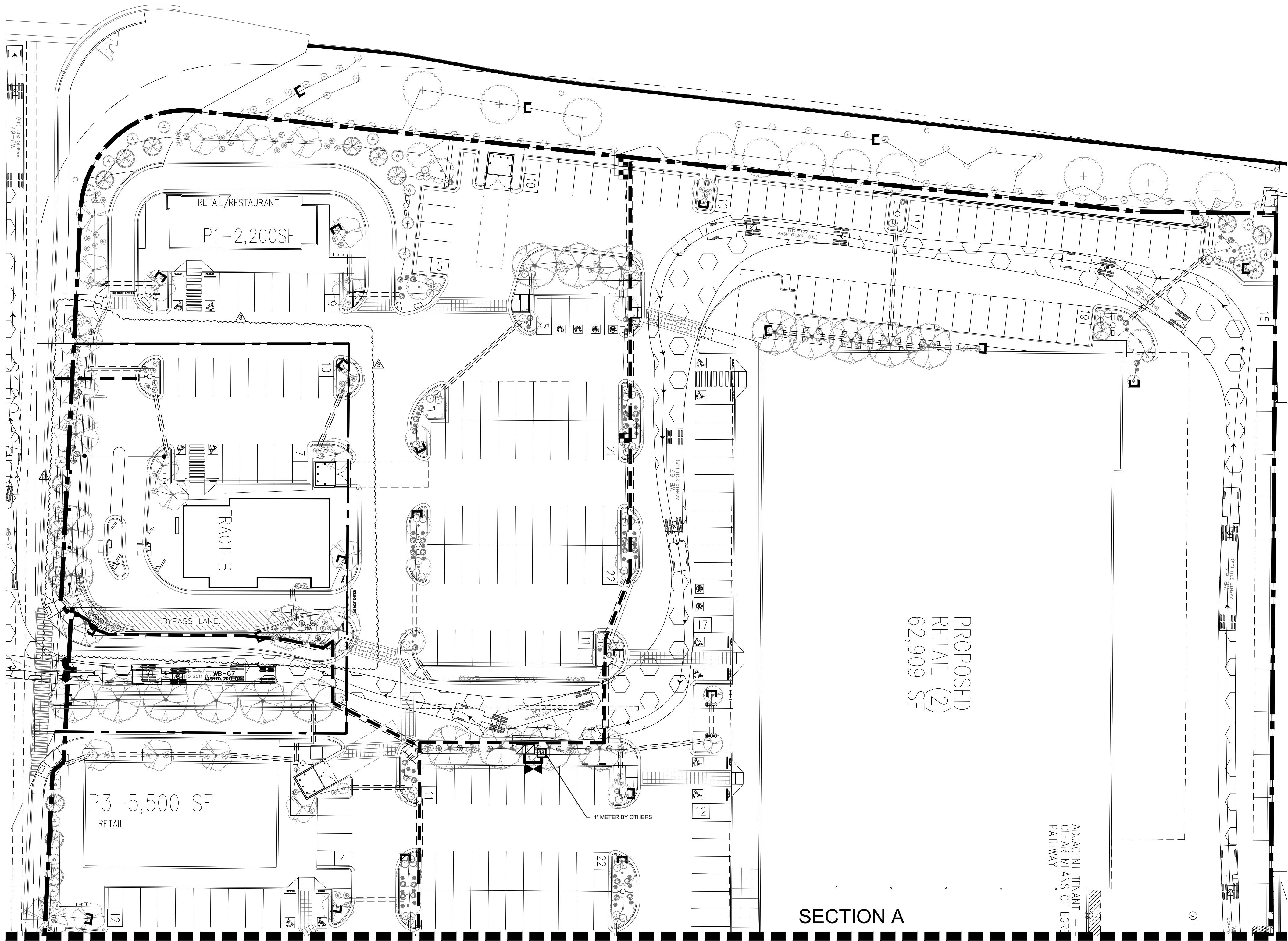
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LP-02



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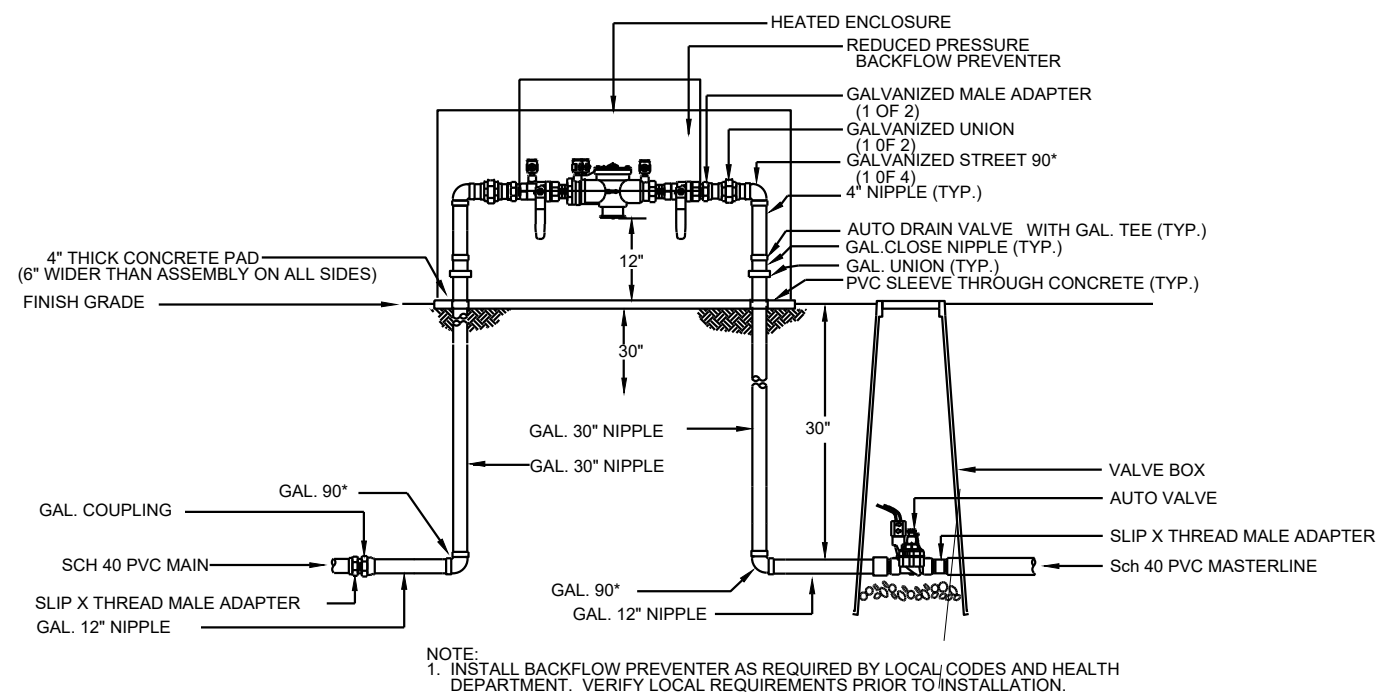




SECTION A
SECTION B

IRRIGATION LEGEND

Symbol	Item / Description	Manufacturer / Model	Size
	Controller -confirm location in field	Rainbird ESP-LX	13 Stations
	Ball Gate Valve -assumed point of connection	Spears Ball Valve	1.5"
	Reduced Pressure Backflow Heated Enclosure Master Valve	Febco 825 Y with Hot Box Rainbird PEB	1.5" 1.5"
	Automatic Drip Valve with pressure regulating filter in valve box	Rainbird PEB Rainbird PRF-100-RBY NDS 12"	1"
	Poly Drip Line w / Flush Cap 6 emitters per tree 2 emitters per shrub	Agrifirm TAE 20	3/4" 2 GPH
	PVC Masterline	Sch. 40	1.5"
	PVC Sleeve Drip Poly Lateral	Class 200	2" Min.
	PVC Sleeve PVC Masterline	Class 200	4" Min.



1 RP BACKFLOW/MASTER VALVE DETAIL

IRRIGATION NOTE

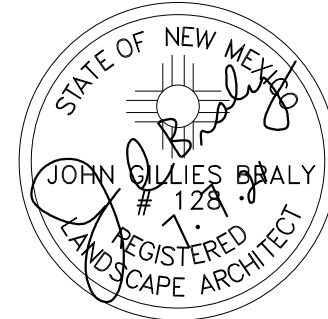
DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

- IRRIGATION NOTES:**
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
 2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE I103 FOR DETAIL.
 4. USE 6 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.
 5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
 6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
 7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
 8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASMENTS.
 9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.



YELLOWSTONE
LANDSCAPE

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Date: 02/19/2021

Revisions:

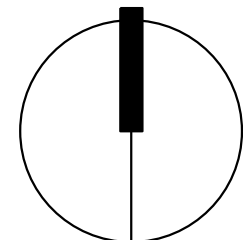
▲ 03/04/2021
▲ 07/07/2021
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Drawn by: LF

Reviewed by: CM

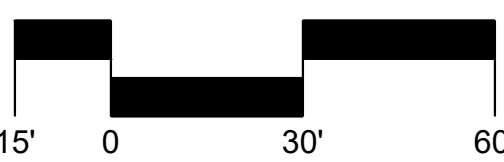
2100 Carlisle
Site Redevelopment

2100 Carlisle Blvd
Albuquerque, New Mexico



NORTH

Scale: 1" = 30'



Sheet Title:

Irrigation
Plan

Sheet Number:

LI-01

SECTION B



Symbol	Item / Description	Manufacturer / Model	Size
	Controller -confirm location in field	Rainbird ESP-LX	13 Stations
	Ball Gate Valve -assumed point of connection	Spears Ball Valve	1.5"
	Reduced Pressure Backflow Heated Enclosure Master Valve	Febo 825 Y with Hot Box	1.5"
	Automatic Drip Valve with pressure regulating filter in valve box	Rainbird PEB Rainbird PRF-100-RBY NDS 12"	1"
	Poly Drip Line w / Flush Cap 6 emitters per tree 2 emitters per shrub	Agrifirm TAE 20	¾" 2 GPH
	PVC Masterline	Sch. 40	1.5"
	PVC Sleeve Drip Poly Lateral	Class 200	2" Min.
	PVC Sleeve PVC Masterline	Class 200	4" Min.

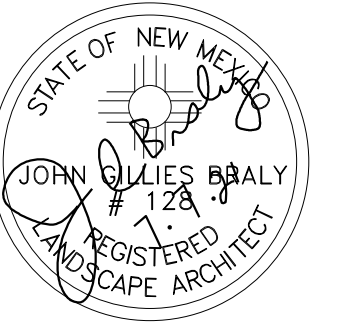


DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

- IRRIGATION NOTES:**
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
 2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND A CHECK VALVE. SEE 1103 FOR DETAIL.
 4. USE 6 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.
 5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
 6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
 7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
 8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UNDERGROUND UTILITIES.
 9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.



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Date: 02/19/2021

Revisions:

▲	<u>03/04/2021</u>	
▲	<u>05/20/2021</u>	HA
▲	<u>06/16/2021</u>	HA 
▲	<u>07/07/2021</u>	HA
▲	_____	

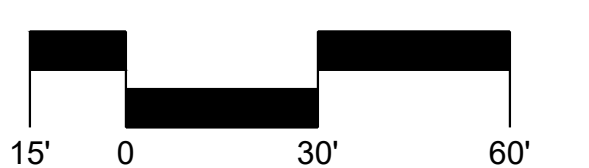
Drawn by: LF
Reviewed by: CM

2100 Carlisle
Site Redevelopment

2100 Carlisle Blvd
Albuquerque, New Mexico



Scale: 1" = 30'



Sheet Title:

Irrigation Plan

Sheet Number:

LI-02