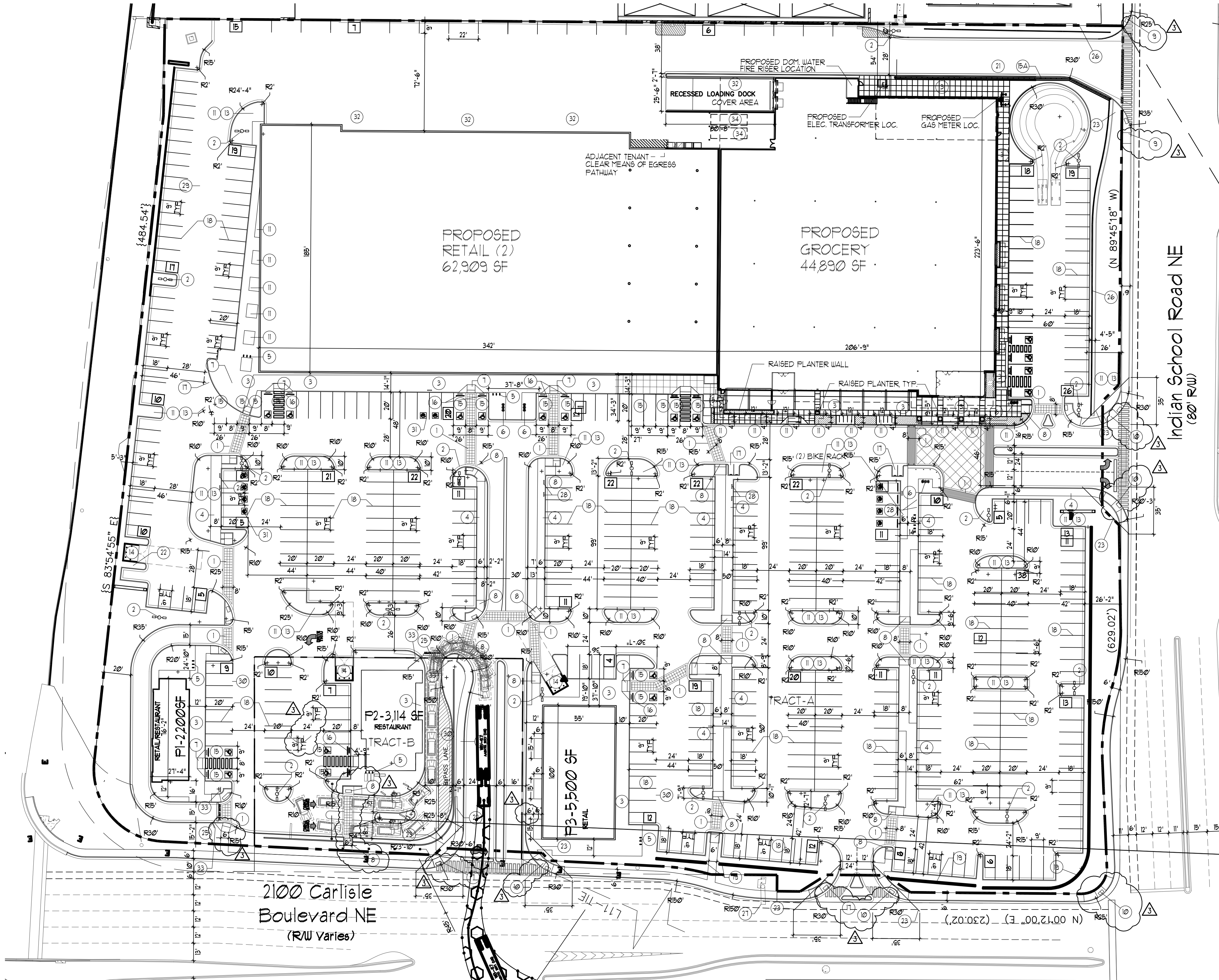


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



- KEYED NOTE:
- 1 8' OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL C5/A11.
 - 2 LIGHT POLE LOCATION RE: DETAIL A5/A11.
 - 3 CONC. SIDEWALK ADJACENT BLDG RE: DET B2/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - 4 CONC. SIDEWALK RE: DET B3/A11. RE: SITE PLAN FOR JOINT LAYOUT
 - 5 INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL B1/A12.
 - 5A INDICATES BIKE RACK LOCKER LOCATION. (5 BIKE CAPACITY)
 - 6 BENCH LOCATION RE: DETAIL 10/A12
 - 7 HANDICAP RAMP RE: A3/A11.
 - 8 HANDICAP RAMP RE: A1/A11.
 - 9 HANDICAP RAMP RE: A4/A11.
 - 10 HANDICAP RAMP RE: C1/A11.
 - 11 INDICATES LANDSCAPE PLANTING AREA GC TO PROVIDE COORDINATE REQ. SLEEVING FOR EA WELL LOCATION
 - 12 DRIVE AISLE PAINT DETAIL RE: DET C5/A12.
 - 13 6" HIGH CONC. ISLAND /CURB RE: SITE GRADING PLAN FOR INFO
 - 14 REFUSE ENCLOSURE RE: DET B2/A13.
 - 15 H.C. PARKING STALL RE: DET A3/A12.
 - 15A NEW RETAINING WALL PER SECTION 5-1(D) OF THE I.D.O.
 - 16 WHEELSTOP RE: DET B5/A12.
 - 17 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. B2/A12.
 - 18 PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - 19 INDICATES SPLIT FACE 3'-0" HIGH PAINTED PATIO KNEE WALL
 - 20 EXISTING SIDEWALK TO REMAIN
 - 21 NEW RAMP
 - 22 300 SF PYLON SIGN TO MATCH ADJACENT BUILDING RE: DETAIL 8/A13 FOR INFO
 - 23 INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERFAN.
 - 24 BOLLARD PAINTED SAFETY YELLOW RE: DET. D1/A12.
 - 25 "DO NOT ENTER" RE: DET 8/A12
 - 26 EXISTING RETAINING WALL TO REMAIN
 - 27 EXISTING DOT SIGN TO REMAIN
 - 28 ELECTRIC VEHICLE CHARGING STATION
 - 29 INDICATES EXISTING BUILDING FOOTPRINT AREA
 - 30 INDICATES CONSTRUCTION PHASE LINE
 - 31 ELECTRIC VEHICLE PARKING SPACE, TYPICAL OF 10
 - 32 PROPOSED 40 cu yd ROLL OFF CONTAINER
 - 33 "DO NOT ENTER" SIGN RE: DET B3/A12.
 - 34 DASHED LINE INDICATES TRASH COMPACTOR BY TENANT.

PROJECT NUMBER: _____

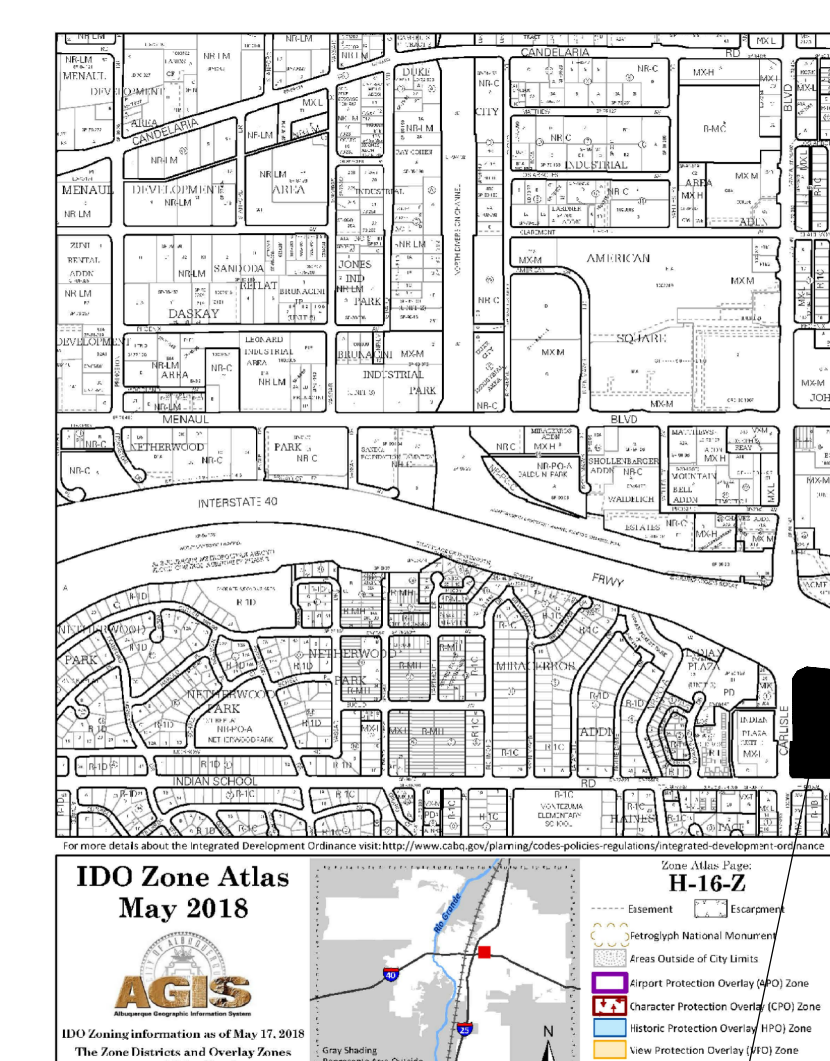
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

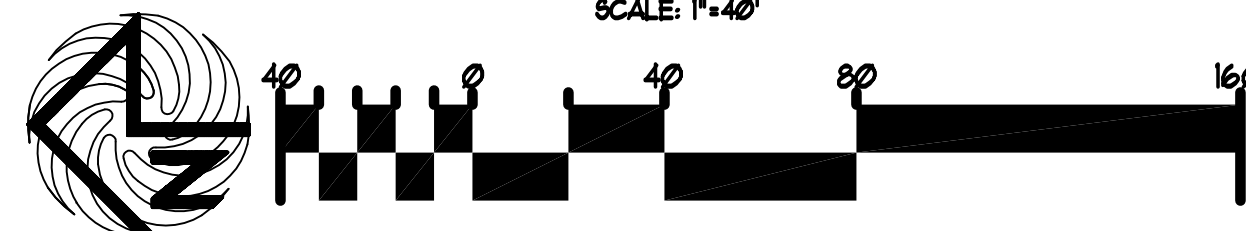
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ABCUWA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

* Environmental Health, if necessary



SITE PLAN FOR BUILDING PERMIT



LEGAL DESCRIPTION	SITE DATA TABLE	RETAIL USES	GROCERY	RESTAURANT	ALL USES
LEGAL DESCRIPTION-TRACT-A A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1934, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 2-3-A AND 2-3, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/160, DATED NOVEMBER 13, 1931, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 10, 2021, IN BOOK A18, PAGE 2183, AS DOCUMENT NO. 2001003108.	PROPOSED USES: BUILDING SIZE: TOTAL PARKING REQ. TOTAL PARKING PROV. HC PROVIDED: HC REQUIRED: BIKE SPACES PROVIDED: BIKE SPACES REQUIRED: MOTORCYCLE SPACES PROVIDED: MOTORCYCLE SPACES REQUIRED: ELECTRIC CHARGING STATION SPACES PROVIDED: ELECTRIC STATION REQUIRED: BURGER KING BURGER KING HC REQUIRED:	RETAIL USES 68,409 SF 213 SPACES	GROCERY 44,890 SF 180 SPACES	RESTAURANT 5,314 SF 24 SPACES	ALL USES (MAJOR-1/MAJOR-2/F-1/F-2/F-3) TOTAL SPACES REQ= 469 SPACES 499 SPACES PROVIDED 28 HC (INCLUDING 20 VAN ACCESSIBLE) 9 HC SPACES 46 BIKE SPACES 46 BIKE SPACES 6 MOTO SPACES 6 MOTO SPACES 10 ELEC. CHARGING STATION PARKS 9 ELEC. CHARGING STATION PARKS TOTAL SPACES REQ= 19 SPACES 1 HC SPACES

Lot 30-A, Block 1
Miraceros Addition
(03/13/1998, 98C-69)

THRU
RAMP
5F.

MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE
CARLISLE CROSSING
2100 CARLISLE BLVD NE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR, AIA

JOB NO.
9

DRAWN BY:
S

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

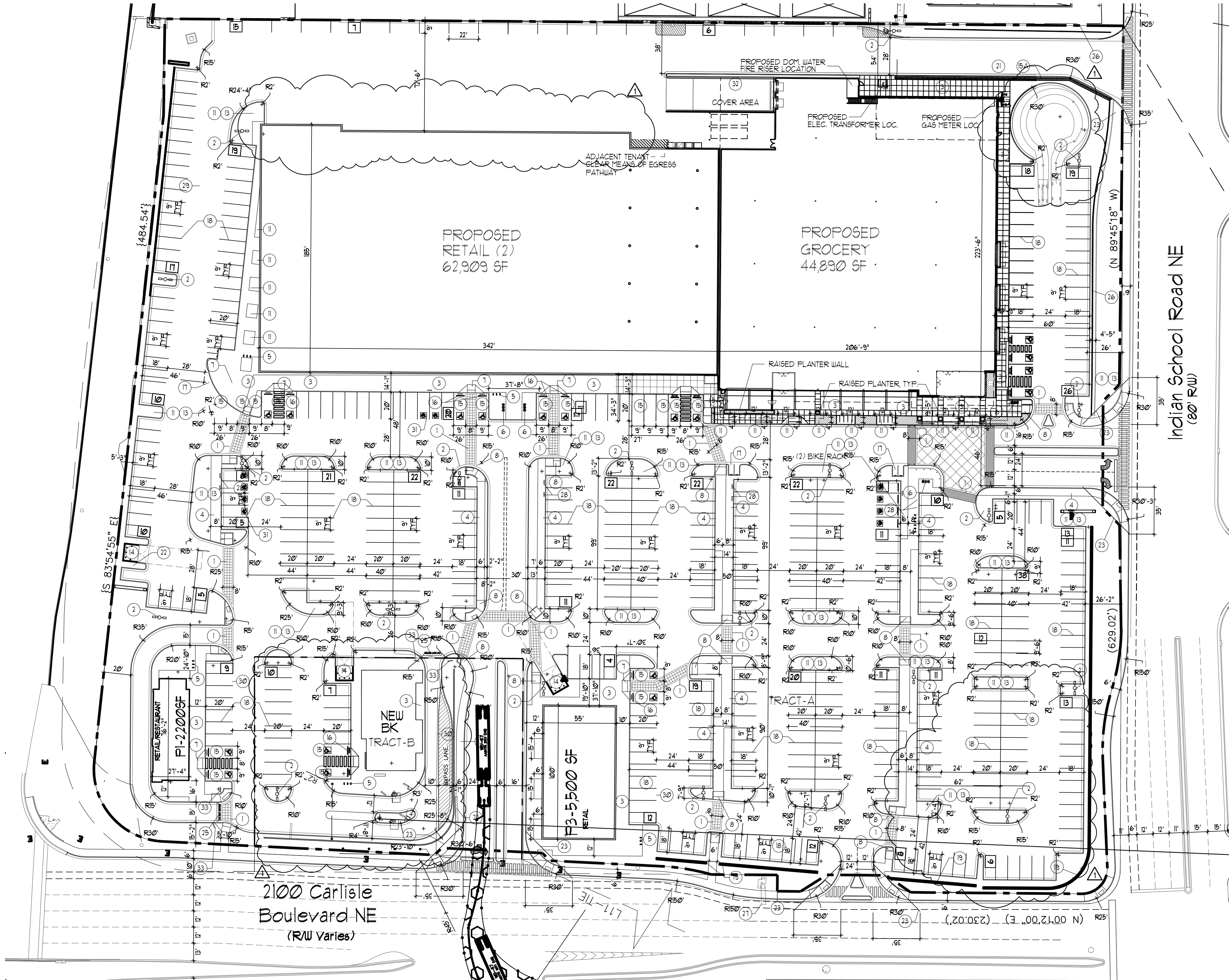
DATE:
29 June 2021

SCALE:
RE: BAR SCALE

REGISTERED ARCHITECT OF NEW MEXICO
STEPHEN A. DUNBAR
No. 4218
15 JULY 2021

REVISION

REV	DATE	BY
1		
2		
3		
4		
5		



- KEYED NOTE:
- 8' , OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL 6/A11
 - LIGHT POLE LOCATION RE: DETAIL 3/A11
 - CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - CONC. SIDEWALK RE: DET 1/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 13/A12
 - INDICATES BIKE RACK LOCKER LOCATION (5 BIKE CAPACITY)
 - BENCH LOCATION RE: DETAIL 10/A12
 - HANDICAP RAMP RE: 15/A11
 - HANDICAP RAMP RE: 16/A11
 - HANDICAP RAMP RE: 9/A11
 - HANDICAP RAMP RE: 17/A11
 - INDICATES LANDSCAPE PLANTING AREA GC TO PROVIDE COORDINATE REQ. SLEEVING FOR EA WELL LOCATION
 - DRIVE AISLE PAINT DETAIL RE: DET 9/A12
 - 6" HIGH CONC. ISLAND /CURB RE: SITE GRADING PLAN FOR INFO
 - REFUSE ENCLOSURE RE: DET.4/A13
 - H.C PARKING STALL RE: DET 2/A12
 - NEW RETAINING WALL PER SECTION 5-1(D) OF THE I.D.O.
 - WHEELSTOP RE: DET 4/A12
 - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A12
 - PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - INDICATES SPLIT FACE 3'-0" HIGH PAINTED PATIO KNEE WALL
 - EXISTING SIDEWALK TO REMAIN
 - NEW RAMP
 - 300 SF PYLON SIGN TO MATCH ADJACENT BUILDING RE: DETAIL 8/A13 FOR INFO
 - INDICATES CLEAR SIGHT TRIANGLE: NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTER/FAN
 - BOLLARD PAINTED SAFETY YELLOW RE: DET. 1/A13
 - "DO NOT ENTER" RE: DET 8/A12
 - EXISTING RETAINING WALL TO REMAIN
 - EXISTING DOT SIGN TO REMAIN
 - ELECTRIC VEHICLE CHARGING STATION
 - INDICATES EXISTING BUILDING FOOTPRINT AREA
 - INDICATES CONSTRUCTION PHASE LINE
 - ELECTRIC VEHICLE PARKING SPACE, TYPICAL OF 10
 - PROPOSED 40 cu yd ROLL OFF CONTAINER
 - "DO NOT ENTER" SIGN RE: DET 12/A12

PROJECT NUMBER: _____

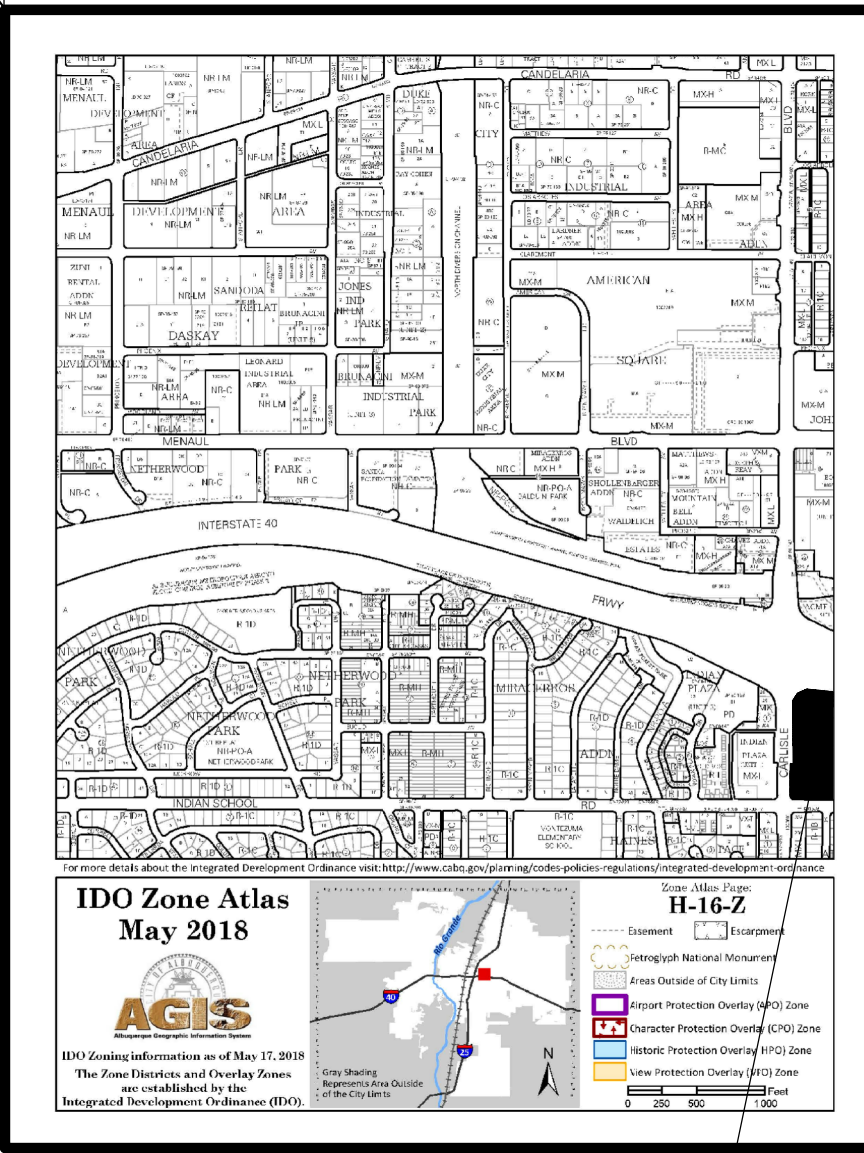
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

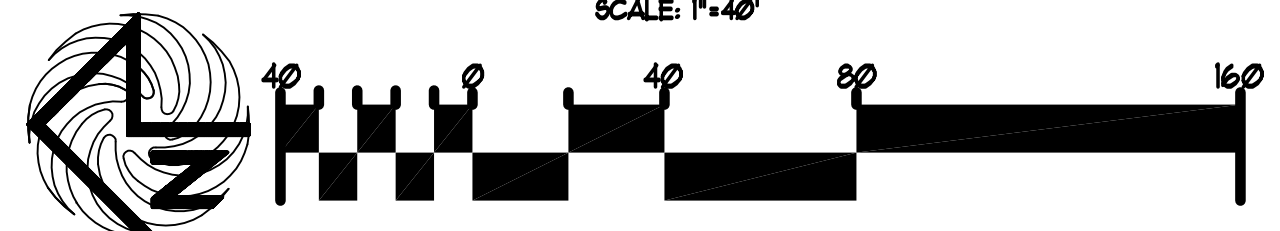
Traffic Engineering, Transportation Division	Date
DRB ABCUWA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

* Environmental Health, if necessary



SITE PLAN FOR BUILDING PERMIT

SCALE: 1"=40'



LEGAL DESCRIPTION	SITE DATA TABLE	RETAIL USES	GROCERY	RESTAURANT	ALL USES
LEGAL DESCRIPTION-TRACT-A A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1934, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 2-3-A AND 2-3, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/160, DATED NOVEMBER 13, 1931, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 20, 2001, IN BOOK A18, PAGE 2183, AS DOCUMENT NO. 2001043108.	PROPOSED USES: BUILDING SIZE: TOTAL PARKING REQ: TOTAL PARKING PROV: HC PROVIDED: HC REQUIRED: BIKE SPACES PROVIDED: BIKE SPACES REQUIRED: MOTORCYCLE SPACES PROVIDED: MOTORCYCLE SPACES REQUIRED: ELECTRIC CHARGING STATION SPACES PROVIDED: ELECTRIC STATION REQUIRED	RETAIL USES 68,409 SF 213 SPACES	GROCERY 44,890 SF 180 SPACES	RESTAURANT 22,000 SF 24 SPACES	ALL USES (MAJOR+MAJOR-2(F-1F-2F-3) TOTAL SPACES REQ: 469 SPACES 493 SPACES PROVIDED 28 HC (INCLUDING 20 VAN ACCESSIBLE) 9 HC SPACES 46 BIKE SPACES 46 BIKE SPACES 6 MOTO SPACES 10 ELEC. CHARGING STATION PARKS 9 ELEC CHARGING STATION PARKS
LEGAL DESCRIPTION-TRACT-B A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "B" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1934, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT B, AKA PARCEL 2-4, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/160, DATED NOVEMBER 13, 1931, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 20, 2001, IN BOOK A14, PAGE 2183, AS DOCUMENT NO. 2001003953.					

Lot 30-A, Block 1
Miraceros Addition
(03/13/1998, 98C-69)

THRU
RAV
5F.

MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: **CARLISLE CROSSING**
2100 CARLISLE BLVD NE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: **STEPHEN DUNBAR, AIA**

DATE: **29 June 2021**

SCALE: **RE: BAR SCALE**

REVISION

REV	DATE	BY
1		
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ADMINISTRATION AMENDMENT

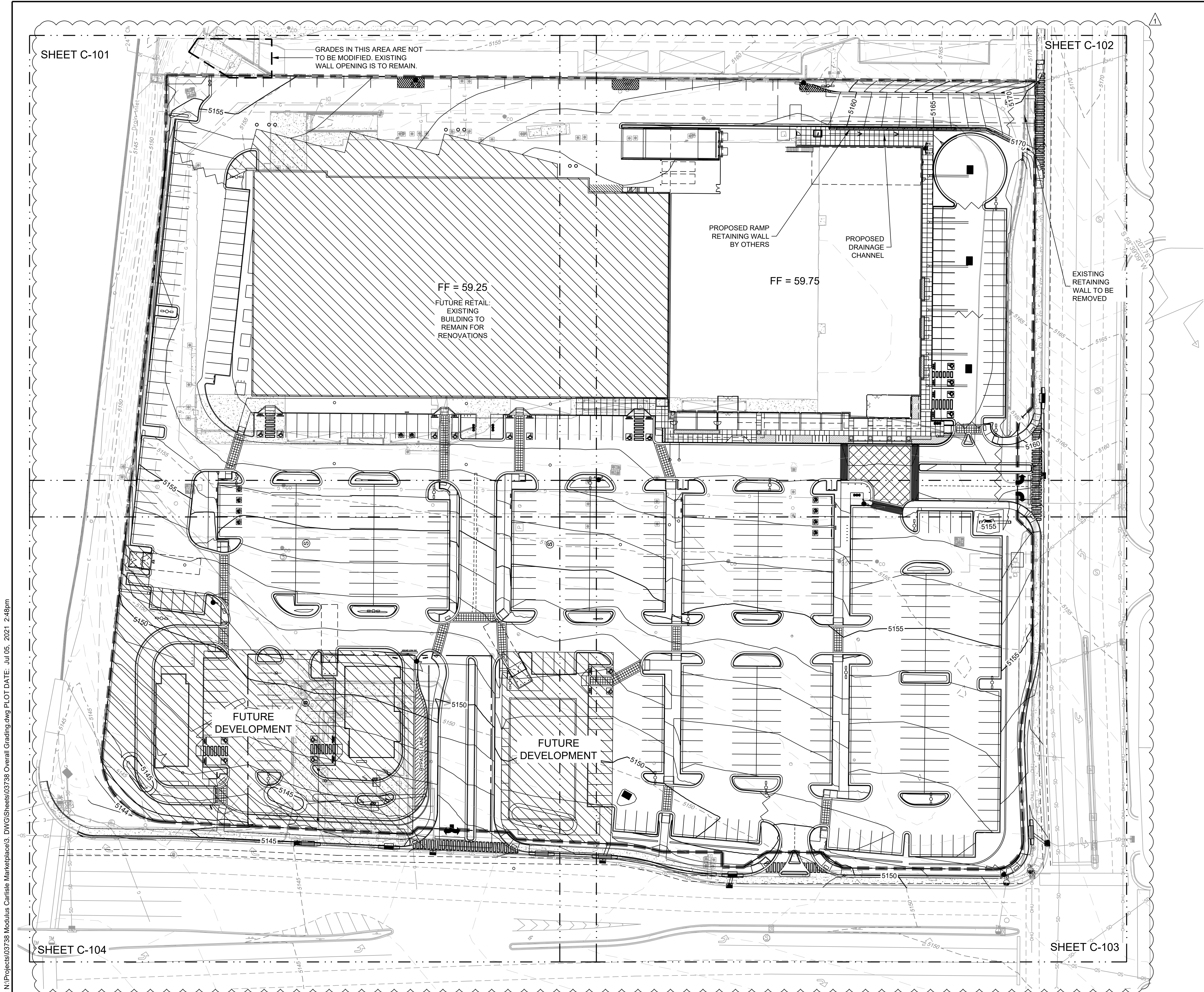
REV	DATE	BY
1	07 JUL 2021	

SHEET TITLE: **SITE PLAN FOR BUILDING PERMIT**

Sheet: **DP-1**

NAME: N:\Projects\03738 Modulus Carlisle Marketplace3, DWG\Sheets\03738 Overall Grading.dwg PLOT DATE: Jul 05, 2021 2:48pm

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VICINITY MAP

NOTE:

- THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
- PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER

GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
- REFER TO GEOTECHNICAL ENGINEERING SERVICES REPORT *PRELIMINARY GEOTECHNICAL ENGINEERING REPORT* BY TERRACON CONSULTANTS, INC. DATED FEBRUARY 4, 2021.
- SEE ARCHITECTURAL SITE PLAN AND DETAILS FOR PAVEMENT DESIGN SECTIONS AND LOCATIONS.

LEGEND

GRADING LIMITS	---
MAJOR CONTOUR	—4985—
MINOR CONTOUR	---4985---
EXISTING MAJOR CONTOUR	---4985---
EXISTING MINOR CONTOUR	---4985---
SLOPE ARROW	→1.5%→51.2%
SWALE	—
HIGH POINT	▲
MATCHLINE	—
FUTURE DEVELOPMENT	///

SCALE: 1" = 40'

DESIGNED: BE

DRAWN: BE

CHECKED: JS

DATE: 7.05.2021

PROJECT NAME: CARLISLE CROSSING

SHEET TITLE: OVERALL GRADING PLAN

SHEET NUMBER: C-100

REVISION

RESPEC

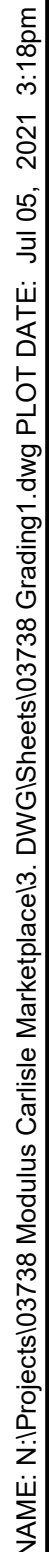
5871 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NM 87109
ALTIMA WATER & NATURAL RESOURCES
WWW.RESPEC.COM 505.293.9718

STAMP

JEREMY W. SHELL
NEW MEXICO
26347
07/05/21

THIS DRAWING IS INCOMPLETE
AND NOT TO BE USED FOR
CONSTRUCTION UNLESS IT IS
STAMPED, SIGNED AND DATED

nm811
Know what's below.
Call before you dig.



A detailed technical drawing of a mechanical assembly, possibly a pump or engine component. The drawing shows a cross-section of the assembly with various internal parts, including a central shaft, pistons, and valves. A large section on the left is hatched with diagonal lines, indicating a specific material or a cutaway view. The drawing is labeled with various dimensions and part numbers, such as '100', '101', '102', '103', '104', '105', '106', '107', '108', '109', '110', '111', '112', '113', '114', '115', '116', '117', '118', '119', '120', '121', '122', '123', '124', '125', '126', '127', '128', '129', '130', '131', '132', '133', '134', '135', '136', '137', '138', '139', '140', '141', '142', '143', '144', '145', '146', '147', '148', '149', '150', '151', '152', '153', '154', '155', '156', '157', '158', '159', '160', '161', '162', '163', '164', '165', '166', '167', '168', '169', '170', '171', '172', '173', '174', '175', '176', '177', '178', '179', '180', '181', '182', '183', '184', '185', '186', '187', '188', '189', '190', '191', '192', '193', '194', '195', '196', '197', '198', '199', '200', '201', '202', '203', '204', '205', '206', '207', '208', '209', '210', '211', '212', '213', '214', '215', '216', '217', '218', '219', '220', '221', '222', '223', '224', '225', '226', '227', '228', '229', '230', '231', 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KEY MAP

NOTE:

1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER.

KEYED NOTES

I.D.#	DESCRIPTION
1	INSTALL CMU RETAINING WALL. SEE DETAIL SHEET C-501.
2	INSTALL 2' CURB OPENING AND CHANNEL. SEE DETAIL SHEET C-500.
3	INSTALL CONCRETE DRAINAGE CHANNEL. SEE DETAIL SHEET C-501.
5	INSTALL 1' CURB OPENING. SEE DETAIL SHEET C-500.
7	INSTALL HANDRAIL FOR ADA RAMP BOTH SIDES OF RAMP.

GRADING NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
2. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2' BELOW EDGE OF PAVEMENT.
3. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
4. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
5. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
6. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
7. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
8. ALL DISTURBED AREAS TO BE RE-SEEDDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
9. REFER TO GEOTECHNICAL ENGINEERING SERVICES REPORT *PRELIMINARY GEOTECHNICAL ENGINEERING REPORT* BY TERRACON CONSULTANTS, INC. DATED FEBRUARY 4, 2021.

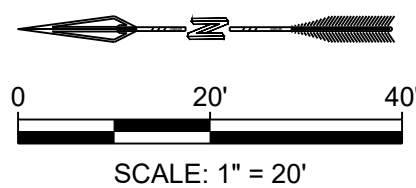
LEGEND

GRADING LIMITS	
MAJOR CONTOUR	
MINOR CONTOUR	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
SLOPE ARROW	
SWALE	
HIGH POINT	
MATCHLINE	
FUTURE DEVELOPMENT	

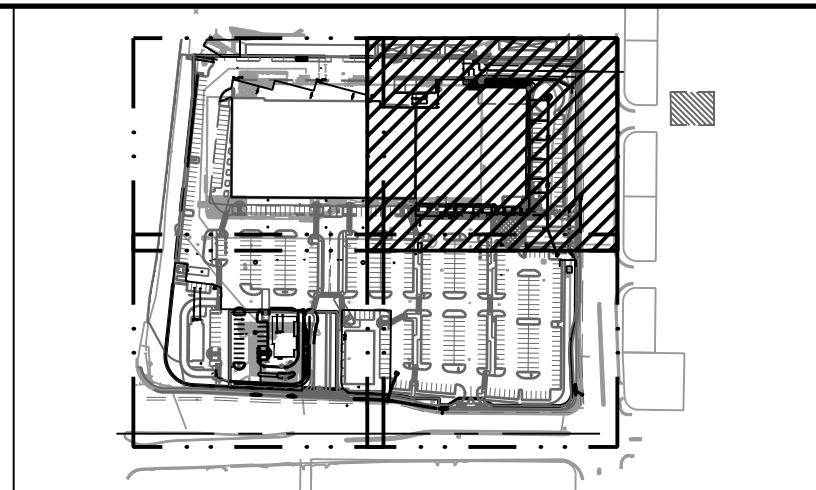
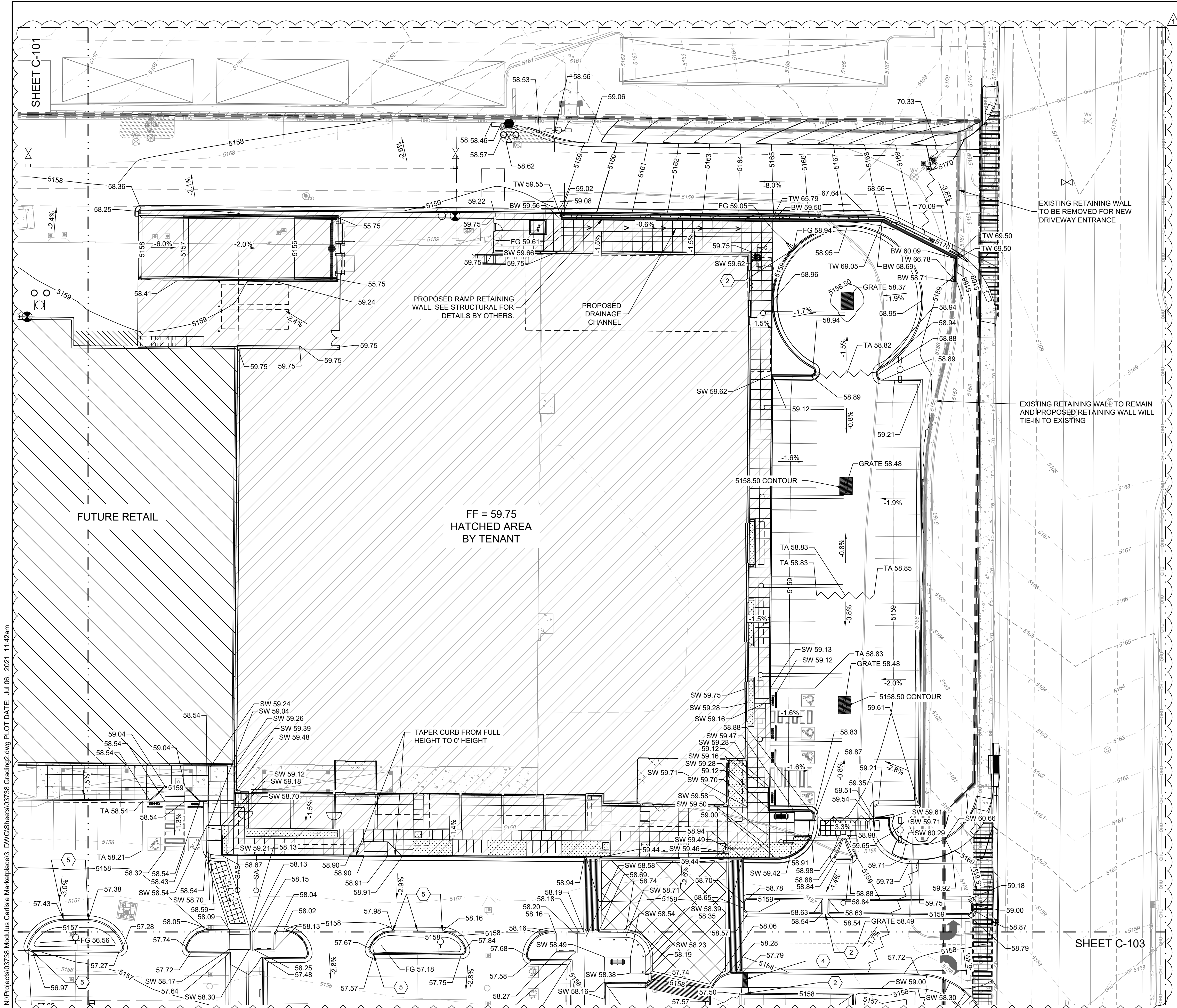
SPOT ELEVATION SYMBOLS

- [illegible]

WALL SPOT GRADE LOCATIONS



SUBMITTED FOR:	SHEET NUMBER:	C-101	SHEET TITLE:	GRADING PLAN 1	CARLISLE CROSSING	PROJECT NAME:			THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED	 RESPEC 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NEW MEXICO 87109 TEL: 505.253.9718 WWW.RESPEC.COM 505.253.9718	DESIGNED _____	BE _____	REVISION
											DRAWN _____	JS _____	
										DATE 7.05.2021			
										▲ UPDATED SITE PLAN (5 JULY 2021)			
										STAMP			



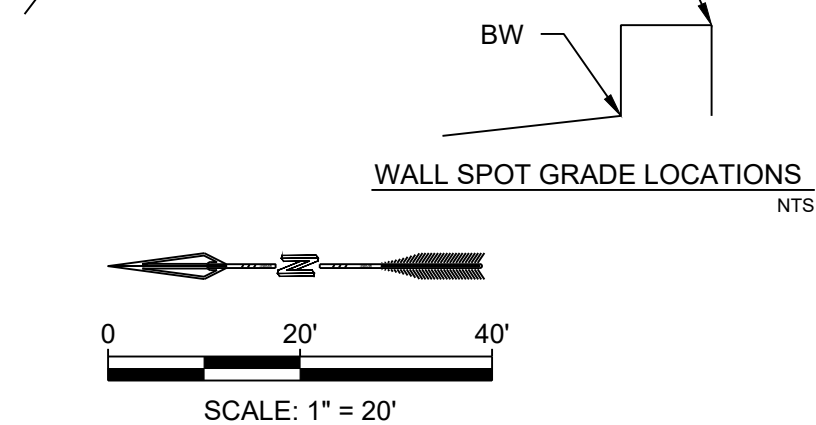
NOTE:
1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER.

KEYED NOTES	
I.D.#	DESCRIPTION
2	INSTALL 2' CURB OPENING AND CHANNEL. SEE DETAIL SHEET C-500.
4	2' SIDEWALK CULVERT PER COA STD DTL DWG 2236.
5	INSTALL 1' CURB OPENING. SEE DETAIL SHEET C-500.

- GRADING NOTES
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
 - FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
 - STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
 - GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
 - GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
 - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 - PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
 - ALL DISTURBED AREAS TO BE RE-SEEDDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
 - REFER TO GEOTECHNICAL ENGINEERING SERVICES REPORT *PRELIMINARY GEOTECHNICAL ENGINEERING REPORT* BY TERRACON CONSULTANTS, INC. DATED FEBRUARY 4, 2021.

LEGEND	
GRADING LIMITS	---
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	--- 4985 ---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
SLOPE ARROW	→ -1.5% → -57.2%
SWALE	—
HIGH POINT	▲
MATCHLINE	...
FUTURE DEVELOPMENT	▨

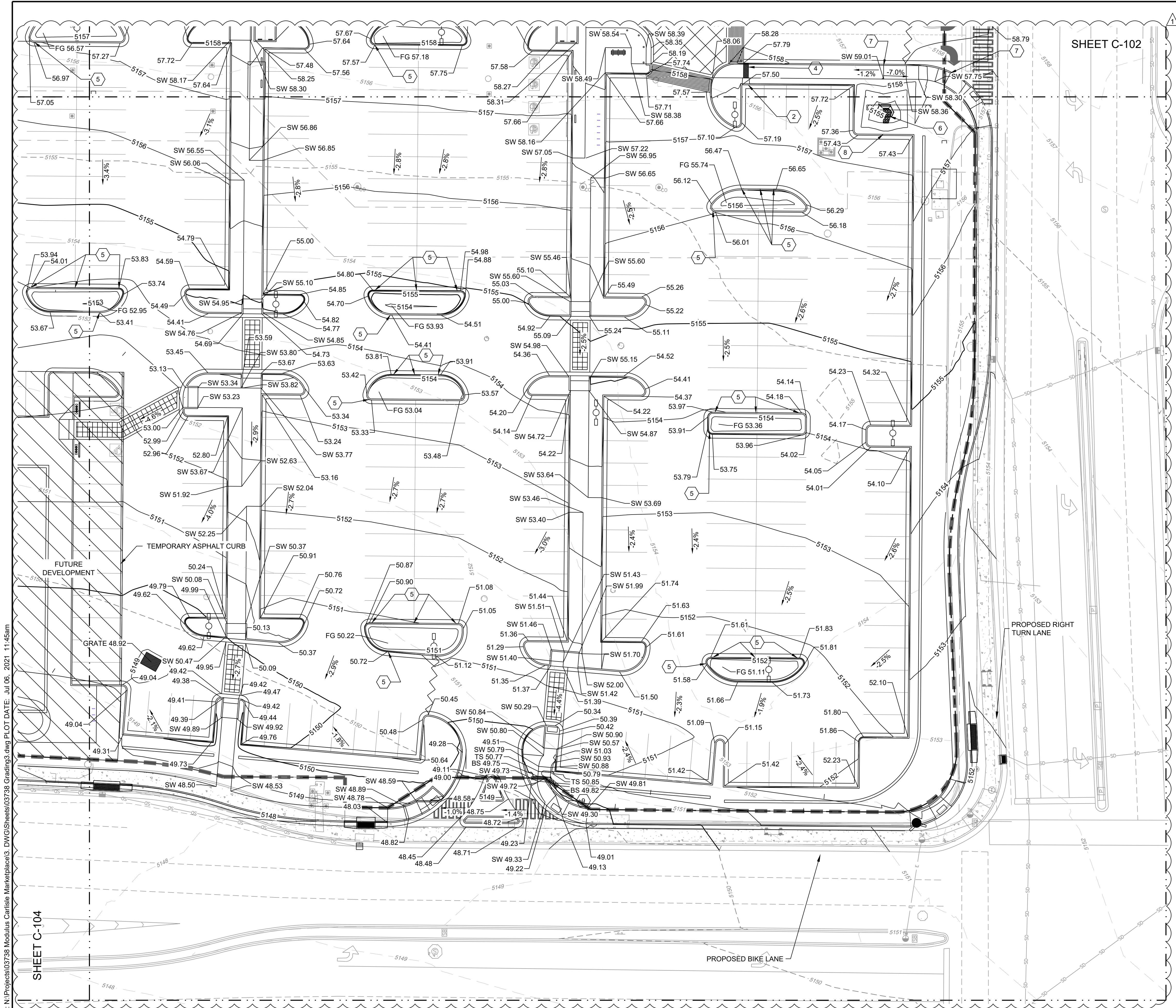
- SPOT ELEVATION SYMBOLS
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND
 - BS 20.00 BOTTOM STEP
 - TS 20.00 TOP STEP
 - TA 20.00 TOP ASPHALT
 - GRATE 20.00 TOP OF GRATE



NAME: N:\Projects\03738 Module Carlisle Marketplace3_DWG\Sheets\03738 Grading2.dwg PLOT DATE: Jul 06, 2021 11:42am

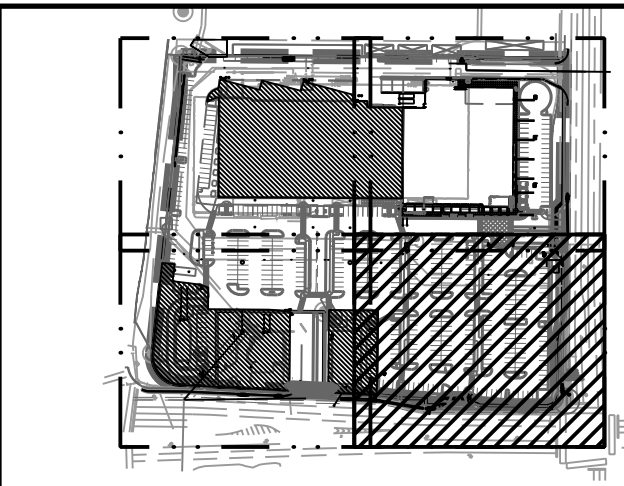
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DESIGNED BE DRAWN BE CHECKED JS DATE 7.06.2021	REVISION
RESPEC 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 ALBUQUERQUE, NM 87109 WWW.RESPEC.COM 505.293.9718 UPDATED SITE PLAN (5 JULY 2021)	
STAMP JEREMY W. SHELL NEW MEXICO 26341 PROFESSIONAL ENGINEER 07/05/21 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED	
PROJECT NAME: CARLISLE CROSSING	
SHEET TITLE: GRADING PLAN 2	
SUBMITTED FOR: CONSTRUCTION	
SHEET NUMBER: C-102	



NAME: N:\Projects\03738 Modulus Carlisle Marketplace3_DWG\Sheets\03738 Grading3.dwg PLOT DATE: Jul 06, 2021 11:45am

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- NOTE:
- THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
 - PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER

KEYED NOTES

I.D.#	DESCRIPTION
2	INSTALL 2' CURB OPENING AND CHANNEL. SEE DETAIL SHEET C-500.
4	2' SIDEWALK CULVERT PER COA STD DTL DWG 2236.
5	INSTALL 1' CURB OPENING. SEE DETAIL SHEET C-500.
6	RIP RAP PLUNGE POOL. SEE DETAIL SHEET C-500.
7	INSTALL HANDRAIL FOR ADA RAMP BOTH SIDES OF RAMP.
8	INSTALL 6' CURB OPENING. SEE DETAIL SHEET C-500.
9	INSTALL TWO 6" STEPS.

GRADING NOTES

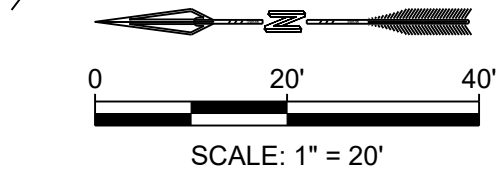
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING FORDY AND VET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
- REFER TO GEOTECHNICAL ENGINEERING SERVICES REPORT *PRELIMINARY GEOTECHNICAL ENGINEERING REPORT* BY TERRACON CONSULTANTS, INC. DATED FEBRUARY 4, 2021.

LEGEND

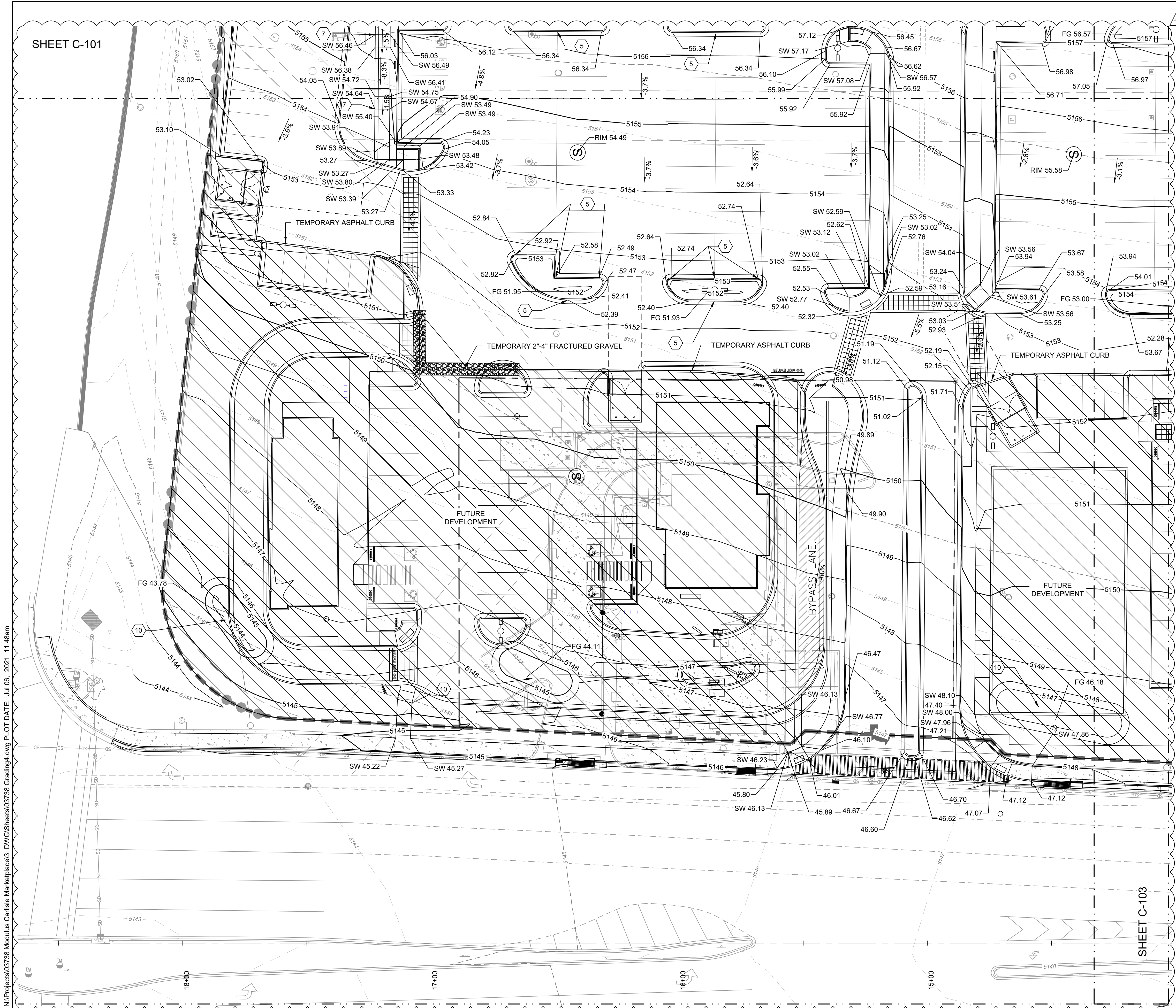
GRADING LIMITS	---
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	— 4985 —
EXISTING MAJOR CONTOUR	- - - 4985 - - -
EXISTING MINOR CONTOUR	- - - 4985 - - -
SLOPE ARROW	→ 1.5% → 51.2%
SWALE	~ ~ ~
HIGH POINT	~ ~ ~
MATCHLINE	...
FUTURE DEVELOPMENT	///

SPOT ELEVATION SYMBOLS

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
- 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- BW 20.00 BOTTOM WALL
- TW 20.00 TOP WALL
- SW 20.00 SIDEWALK
- FG 20.00 FINISHED GROUND
- BS 20.00 BOTTOM STEP
- TS 20.00 TOP STEP
- TA 20.00 TOP ASPHALT
- GRATE 20.00 TOP OF GRATE
- WALL SPOT GRADE LOCATIONS

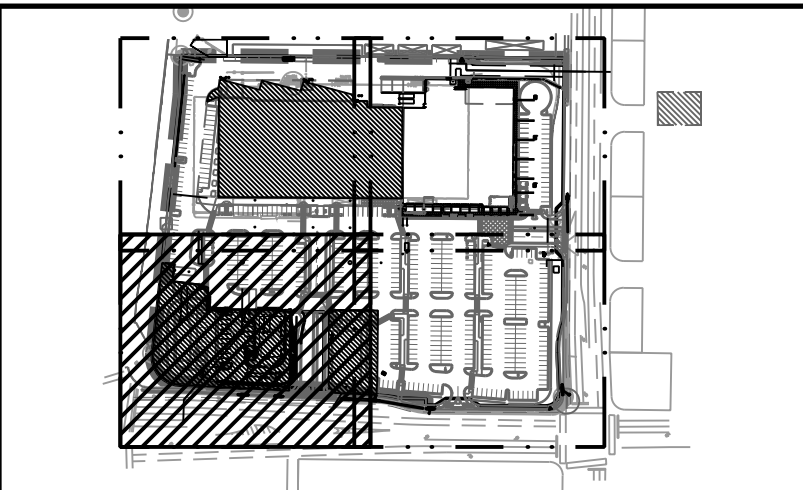


DESIGNED	BE	BE	JS	DATE	7.06.2021
DRAWN	BE	BE	JS	CHECKED	
RESPEC	RESPEC	RESPEC	RESPEC	RESPEC	RESPEC
5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 ALBUQUERQUE, NM 87109 WWW.RESPEC.COM 505.253.9718 UPDATED SITE PLAN (5 JULY 2021)					
STAMP					
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED					
PROJECT NAME: CARLISLE CROSSING					
SHEET TITLE: GRADING PLAN 3					
SUBMITTED FOR: CONSTRUCTION					
SHEET NUMBER: C-103					



NAME: N:\Projects\03738 Modulus Carlisle Marketplace3_DWG\Sheets\03738 Grading.dwg PLOT DATE: Jul 06, 2021 11:48am

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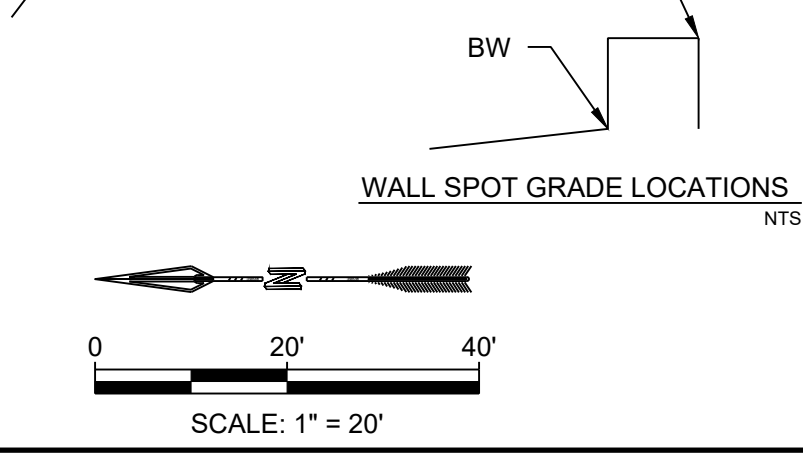
NOTE:
1. THE EXISTING PARKING LOT AND BUILDINGS WILL BE DEMOLISHED UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
2. PROPOSED PUBLIC INFRASTRUCTURE WILL BE INCLUDED ON PUBLIC WORK ORDER.

KEYED NOTES	
I.D.#	DESCRIPTION
5	INSTALL 1" CURB OPENING. SEE DETAIL SHEET C-500.
7	INSTALL HANDRAIL FOR ADA RAMP BOTH SIDES OF RAMP.
10	INSTALL TEMPORARY SEDIMENT POND.

- GRADING NOTES
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
 - FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
 - STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
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 - GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
 - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 - PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
 - ALL DISTURBED AREAS TO BE RE-SEED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
 - REFER TO GEOTECHNICAL ENGINEERING SERVICES REPORT *PRELIMINARY GEOTECHNICAL ENGINEERING REPORT* BY TERRACON CONSULTANTS, INC. DATED FEBRUARY 4, 2021.

LEGEND	
GRADING LIMITS	
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	— 4985 —
EXISTING MAJOR CONTOUR	--- 4985 ---
EXISTING MINOR CONTOUR	--- 4985 ---
SLOPE ARROW	← -1.5% -51.2%
SWALE	—
HIGH POINT	—
MATCHLINE	—
FUTURE DEVELOPMENT	—

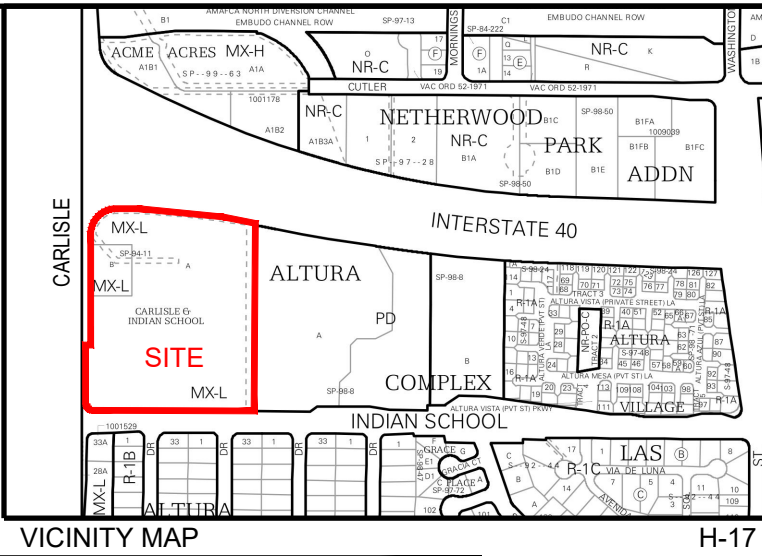
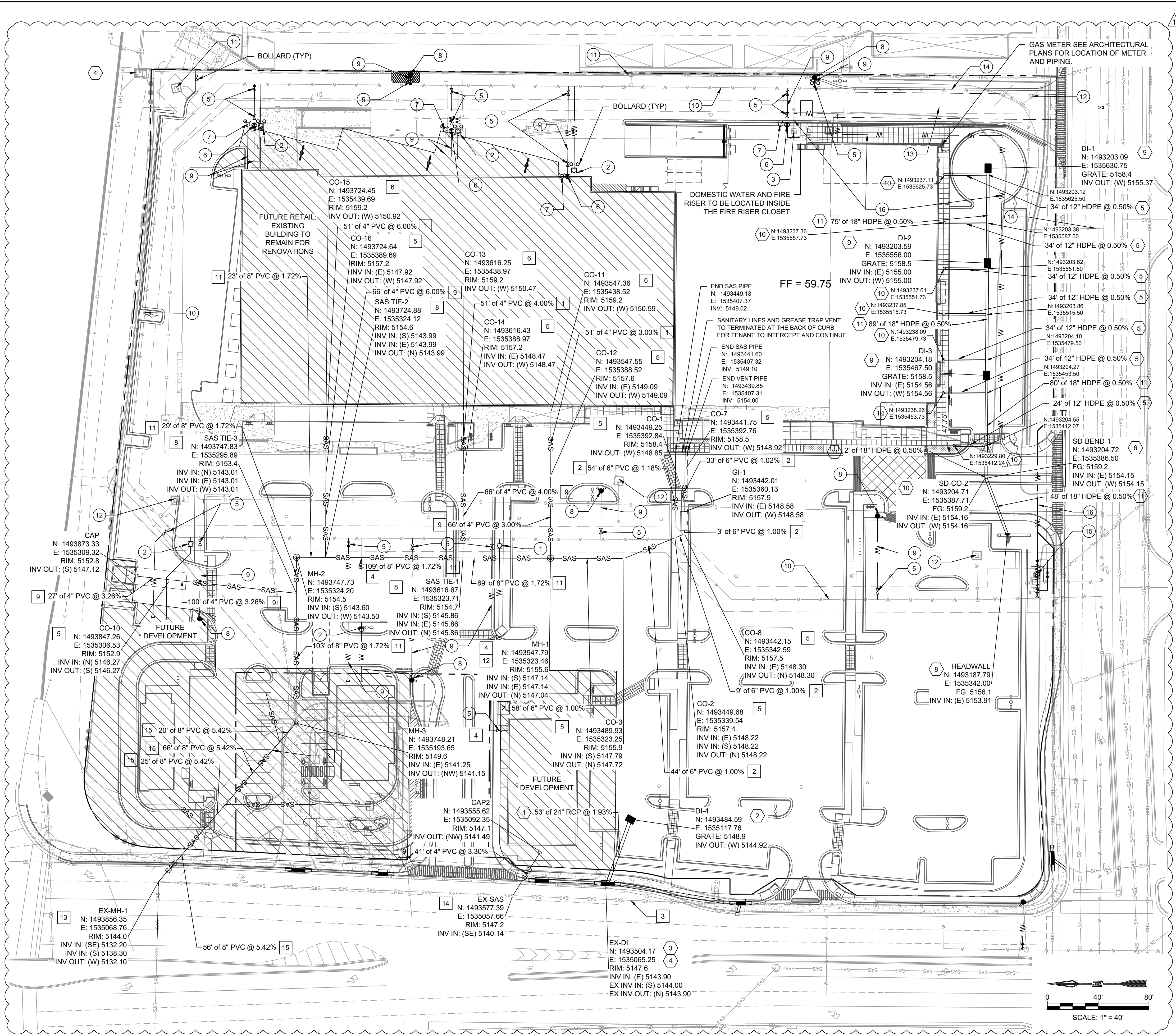
- SPOT ELEVATION SYMBOLS
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND
 - BS 20.00 BOTTOM STEP
 - TS 20.00 TOP STEP
 - TA 20.00 TOP ASPHALT
 - RIM 20.00 TOP OF GRATE



DESIGNED BE DRAWN BE CHECKED JS DATE 7.06.2021	REVISION
RESPEC 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 ALWAYS USE RESPEC'S WWW.RESPEC.COM 505.253.9718 RESPEC UPDATED SITE PLAN (5 JULY 2021)	
STAMP JEREMY W. SHELL NEW MEXICO 26341 07/05/21 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED	
nm811 Know what's below. Call before you dig.	
PROJECT NAME: SHEET TITLE: SUBMITTED FOR:	CARLISLE CROSSING GRADING PLAN 4 CONSTRUCTION
SHEET NUMBER: C-104	

NAME: N:\Projects\03738 Modulus Carlisle Marketplace3_DWG\Sheets\03738 Utility.dwg PLOT DATE: Jul 05, 2021 2:14pm

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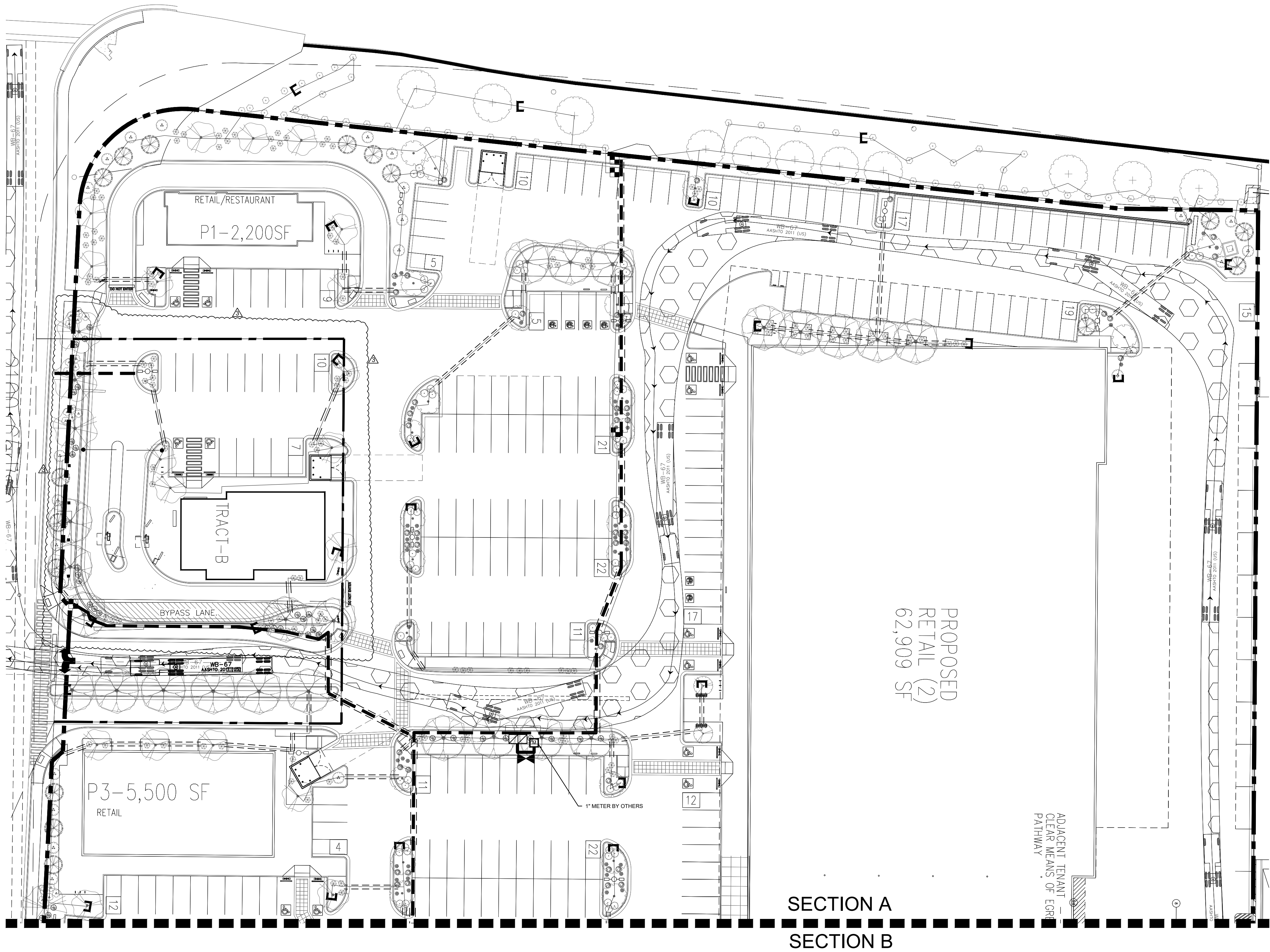
KEYED NOTES

1. INSTALL 1" WATER SERVICE AND METER PER COA STD DTL 2362
2. INSTALL 1-1/2" WATER SERVICE AND METER PER COA STD DTL 2363
3. REMOVE EXISTING WATER SERVICE
4. PUBLIC 6" GATE VALVE & VALVE BOX WITH PUBLIC WORK ORDER
5. INSTALL PRIVATE 6" GATE VALVE & VALVE BOX PER COA STD DTL 2326, 2328, AND/OR 2329
6. INSTALL WALL/POST INDICATOR VALVE
7. INSTALL FIRE DEPARTMENT CONNECTION
8. INSTALL PRIVATE FIRE HYDRANT PER COA STD DTL 2340
9. INSTALL PRIVATE 6" WATER LINE PER COA STD SPEC SECTION 801
10. EXISTING 10" PVC PUBLIC WATER LINE
11. EXISTING PUBLIC FIRE HYDRANT TO REMAIN
12. EXISTING PUBLIC FIRE HYDRANT TO BE REMOVED WITH PUBLIC WORK ORDER PLAN SET
13. 10" PVC PUBLIC WATER LINE TO BE CONSTRUCTED WITH PUBLIC WORK ORDER PLAN SET
14. EXISTING 10" PVC PUBLIC WATER LINE TO BE REMOVED WITH PUBLIC WORK ORDER
15. INSTALL 3" WATER SERVICE AND METER PER COA STD DTL 2370
16. INSTALL 3" WATER SERVICE LINE PER COA STD SPEC SECTION 802
17. INSTALL CAP
18. INSTALL 4" SANITARY SEWER SERVICE PER COA STD DTL 2125. INSTALL DOUBLE CLEANOUT 5' FROM BUILDING. SEE DETAIL ON SHEET C-500 (TYP).
19. INSTALL 6" SANITARY SEWER PER COA STD SPEC SECTION 901
20. EXISTING PUBLIC SANITARY SEWER
21. INSTALL 4" DIA. SEWER MANHOLE TYPE "E" PER COA STD DTL 2102
22. INSTALL SINGLE CLEANOUT PER DETAIL SHEET C-500
23. INSTALL DOUBLE CLEANOUT PER DETAIL SHEET C-500
24. TENANT TO INSTALL 3,000 GAL GREASE INTERCEPTOR PER DETAIL SHEET C-500. SEE GENERAL NOTES THIS SHEET.
25. CONNECT TO PRIVATE SANITARY SEWER PER COA STD DTL 2125
26. INSTALL 4" SANITARY SEWER PER COA STD SPEC SECTION 901
27. INSTALL 4" NDS INLET OR ENGINEER APPROVED EQUAL.
28. INSTALL 8" SANITARY SEWER PER COA STD SPEC SECTION 901
29. CONNECT TO PRIVATE SANITARY SEWER MANHOLE PER COA STD DTL 2118
30. CONNECT TO EXISTING PUBLIC SANITARY SEWER MANHOLE WITH PUBLIC WORK ORDER PER COA STD DTL 2116
31. CONNECT TO PUBLIC SANITARY SEWER WITH PUBLIC WORK ORDER PER COA STD DTL 2125
32. INSTALL 8" PUBLIC SANITARY SEWER WITH PUBLIC WORK ORDER PER COA STD SPEC SECTION 901
33. INSTALL 24" RCP STORM DRAIN PIPE
34. INSTALL DOUBLE DROP INLET TYPE "D" PER COA STD DTL 2206
35. CONNECT TO PUBLIC DROP INLET WITH PUBLIC WORK ORDER
36. EXISTING PUBLIC DROP INLET
37. INSTALL 12" HDPE STORM DRAIN PIPE
38. INSTALL 18" 45° BEND
39. INSTALL 12" TRENCH DRAIN AND SUMP PUMP. SEE DETAIL SHEET C-501 AND ARCHITECTURAL PLANS.
40. INSTALL CONCRETE HEADWALL
41. INSTALL SINGLE DROP INLET TYPE "D" PER COA STD DTL 2206
42. INSTALL SINGLE CLEANOUT PER DETAIL SHEET C-500
43. INSTALL 18" HDPE STORM DRAIN PIPE
44. INSTALL 18" TEE

GENERAL NOTES

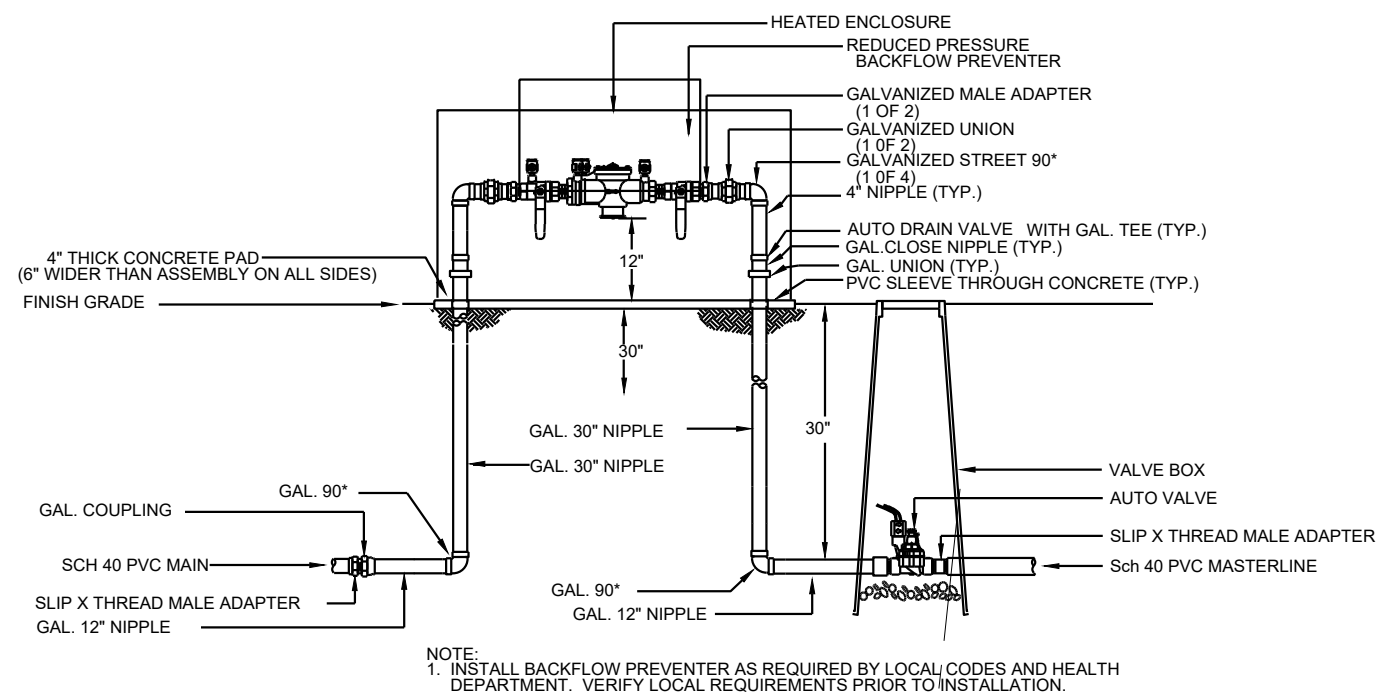
1. PARALLEL RBPA BACKFLOW PREVENTERS FOR ALL PROPOSED PRIVATE WATER LINES WILL BE PROVIDED INTERNAL TO EACH PROPOSED BUILDING PER COA STD DTL 2385. THE BACKFLOW PREVENTERS WILL BE THE SAME SIZE AS THE MAIN LINE.
2. TENANT SHALL LOCATE THE GREASE INTERCEPTOR AS SHOWN ON THIS SHEET. THE LANDLORD SHALL LEAVE THE AREA SURROUNDING THE GREASE INTERCEPTOR INCOMPLETE SO TENANT CAN INSTALL THE GREASE INTERCEPTOR WITHOUT DAMAGING LANDLORD'S WORK. AFTER TENANT INSTALLS THE GREASE INTERCEPTOR AT ITS EXPENSE, TENANT WILL BE RESPONSIBLE TO INSTALL ANY CURBING, LANDSCAPING, OR INITIAL PAVING WITHIN SUCH AREA AS CONTEMPLATED BY LANDLORD'S PLANS.
3. ALL UTILITIES LOCATED WITHIN PUBLIC RIGHT-OF-WAY AND/OR PUBLIC UTILITY EASEMENTS TO BE CONSTRUCTED WITH PUBLIC WORK ORDER PLAN SET.

REVISION	
DESIGNED	BE
DRAWN	BE
CHECKED	JS
DATE	7.05.2021
5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87109 WWW.RESPEC.COM 505.253.9718 RESPEC UPDATED SITE PLAN (5 JULY 2021)	
STAMP JEREMY W. SHELL NEW MEXICO 26347 PROFESSIONAL ENGINEER 07/05/21 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED	
PROJECT NAME: CARLISLE CROSSING	
SHEET TITLE: UTILITY PLAN	
SUBMITTED FOR: CONSTRUCTION	
SHEET NUMBER: C-105	



IRRIGATION LEGEND

Symbol	Item / Description	Manufacturer / Model	Size
	Controller -confirm location in field	Rainbird ESP-LX	13 Stations
	Ball Gate Valve -assumed point of connection	Spears Ball Valve	1.5"
	Reduced Pressure Backflow Heated Enclosure Master Valve	Febco 825 Y with Hot Box Rainbird PEB	1.5" 1.5"
	Automatic Drip Valve with pressure regulating filter in valve box	Rainbird PEB Rainbird PRF-100-RBY NDS 12"	1"
	Poly Drip Line w / Flush Cap 6 emitters per tree 2 emitters per shrub	Agrifirm TAE 20	3/4" 2 GPH
	PVC Masterline	Sch. 40	1.5"
	PVC Sleeve Drip Poly Lateral	Class 200	2" Min.
	PVC Sleeve PVC Masterline	Class 200	4" Min.

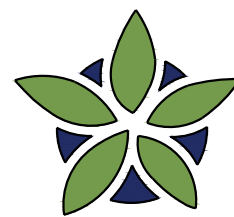


1 RP BACKFLOW/MASTER VALVE DETAIL

IRRIGATION NOTE

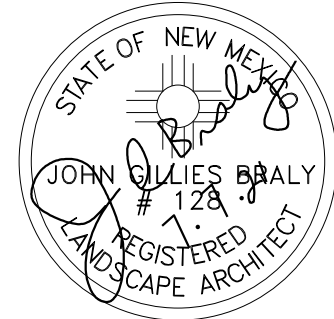
DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

- IRRIGATION NOTES:
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
 2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE I103 FOR DETAIL.
 4. USE 6 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.
 5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
 6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
 7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
 8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASMENTS.
 9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.



YELLOWSTONE
LANDSCAPE

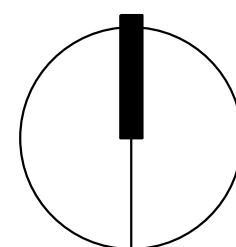
www.yellowstonelandscape.com
P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



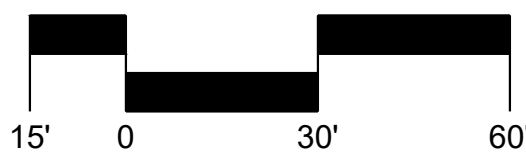
Date: 02/19/2021
Revisions:
▲ 03/04/2021
▲ 07/07/2021
▲
▲
▲

Drawn by: LF
Reviewed by: CM

2100 Carlisle
Site Redevelopment
2100 Carlisle Blvd
Albuquerque, New Mexico



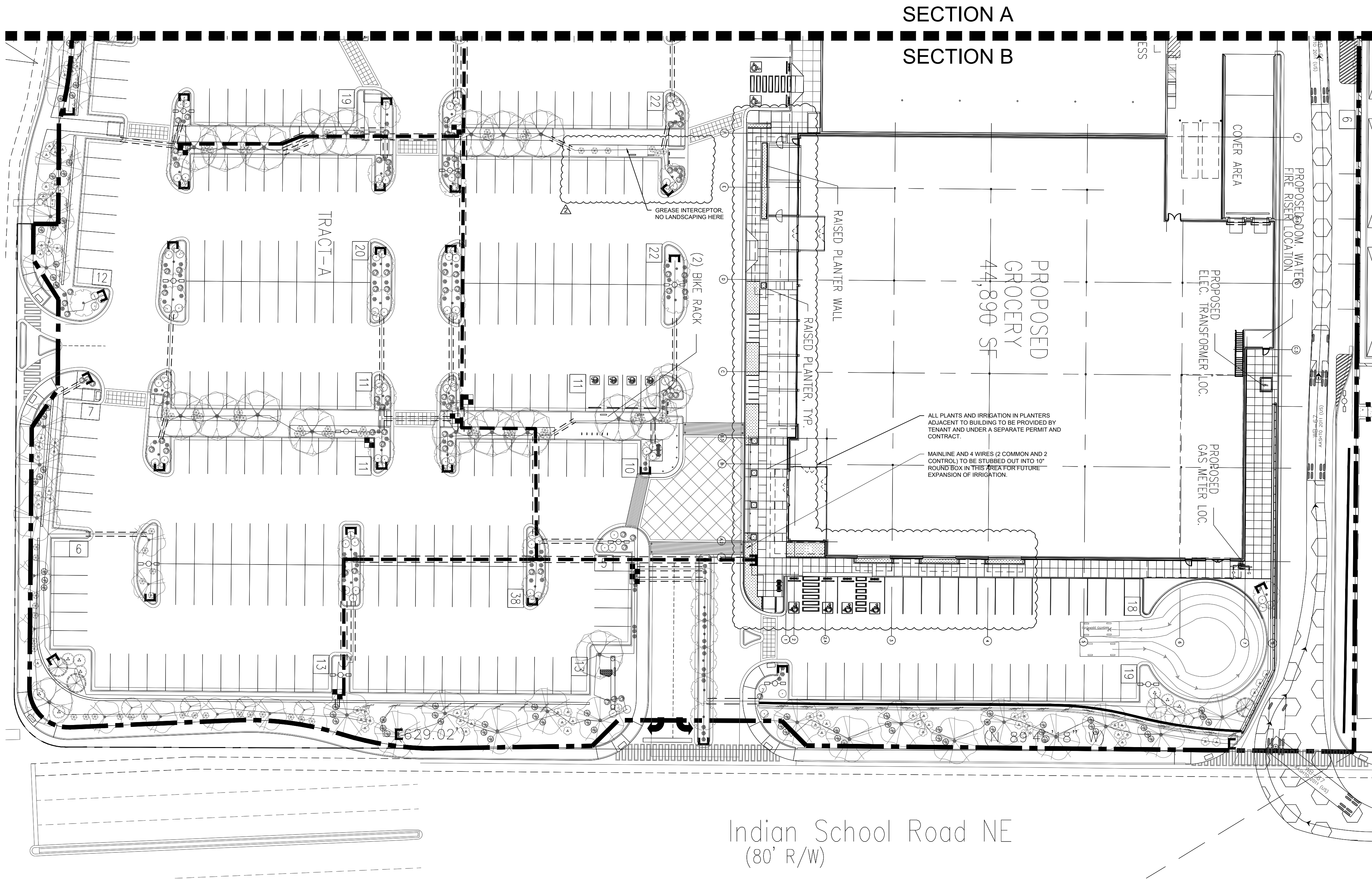
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Sheet Title:
**Irrigation
Plan**

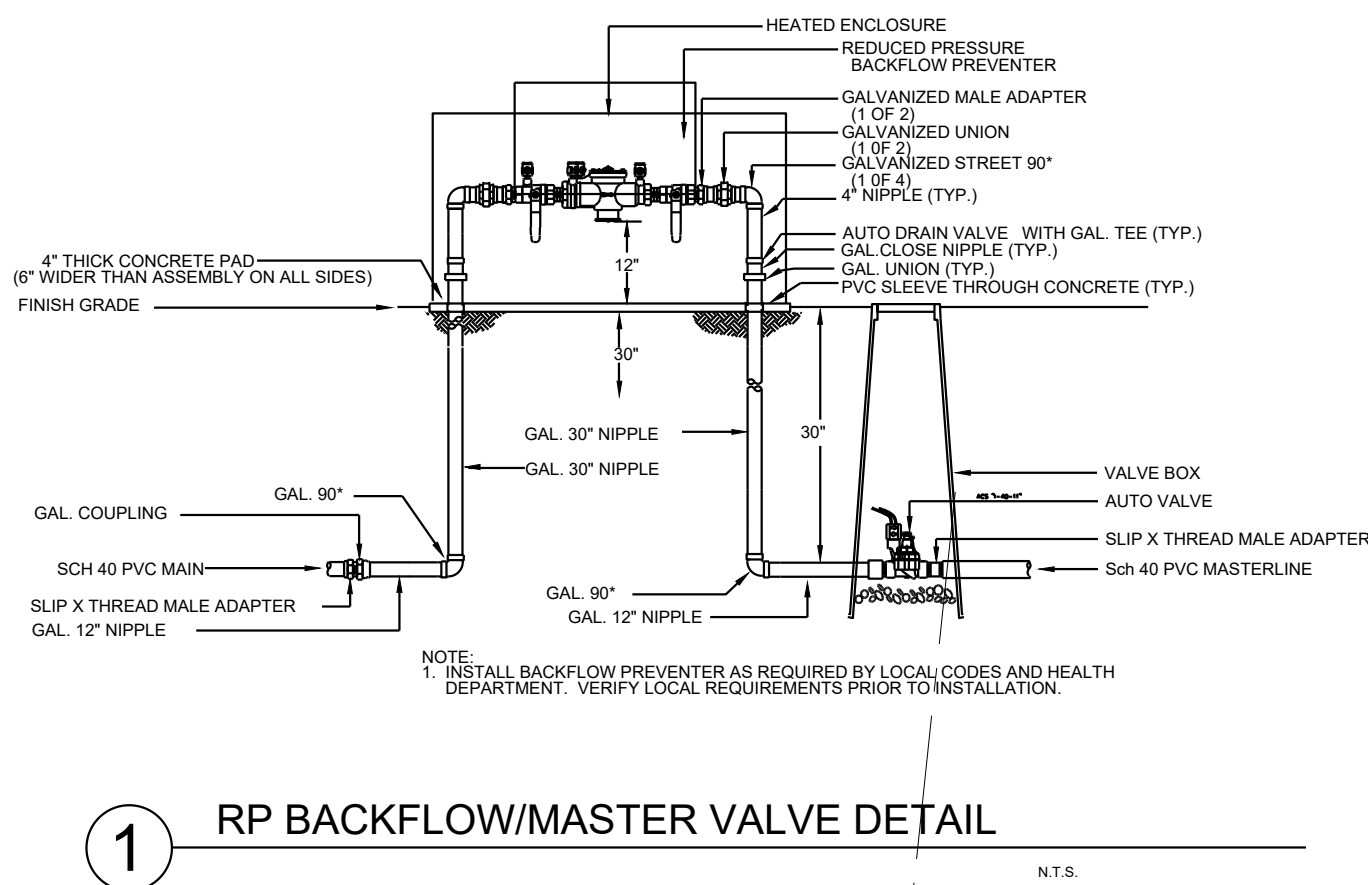
Sheet Number:

LI-01



IRRIGATION LEGEND

Symbol	Item / Description	Manufacturer / Model	Size
	Controller -confirm location in field	Rainbird ESP-LX	13 Stations
	Ball Gate Valve -assumed point of connection	Spears Ball Valve	1.5"
	Reduced Pressure Backflow Heated Enclosure Master Valve	Febco 825 Y with Hot Box Rainbird PEB	1.5" 1.5"
	Automatic Drip Valve with pressure regulating filter in valve box	Rainbird PEB Rainbird PRF-100-RBY NDS 12"	1"
	Poly Drip Line w / Flush Cap 6 emitters per tree 2 emitters per shrub	Agrifirm TAE 20	3/4" 2 GPH
	PVC Masterline	Sch. 40	1.5"
	PVC Sleeve Drip Poly Lateral	Class 200	2" Min.
	PVC Sleeve PVC Masterline	Class 200	4" Min.



IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

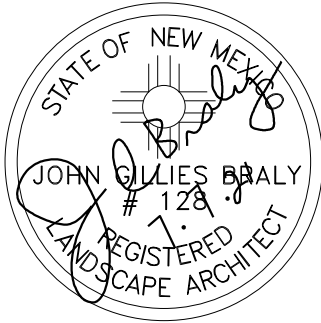
IRRIGATION NOTES:

- ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
- WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE I103 FOR DETAIL.
- USE 6 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.
- INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
- INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
- THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
- IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASMENTS.
- ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDSCAPE WITHOUT THE NEED OF BORING.



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Date: 02/19/2021

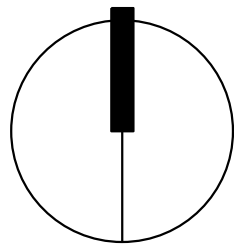
Revisions:

- 03/04/2021
- 05/20/2021 HA
- 06/16/2021 HA
- 07/07/2021 HA

Drawn by: LF

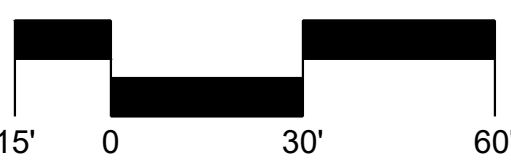
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NORTH

Scale: 1" = 30'

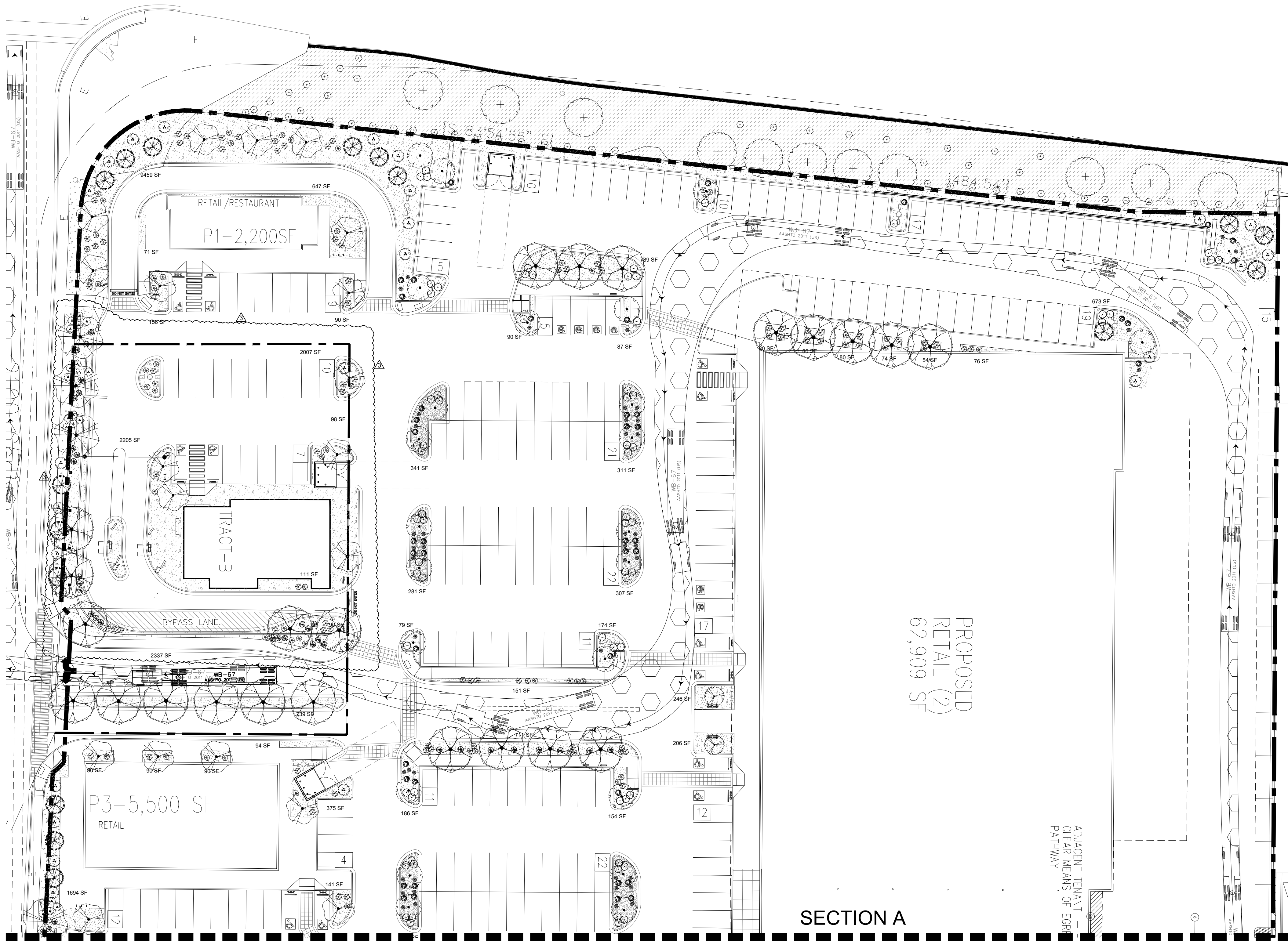


Sheet Title:

**Irrigation
Plan**

Sheet Number:

LI-02



SECTION A
SECTION B

SITE DATA

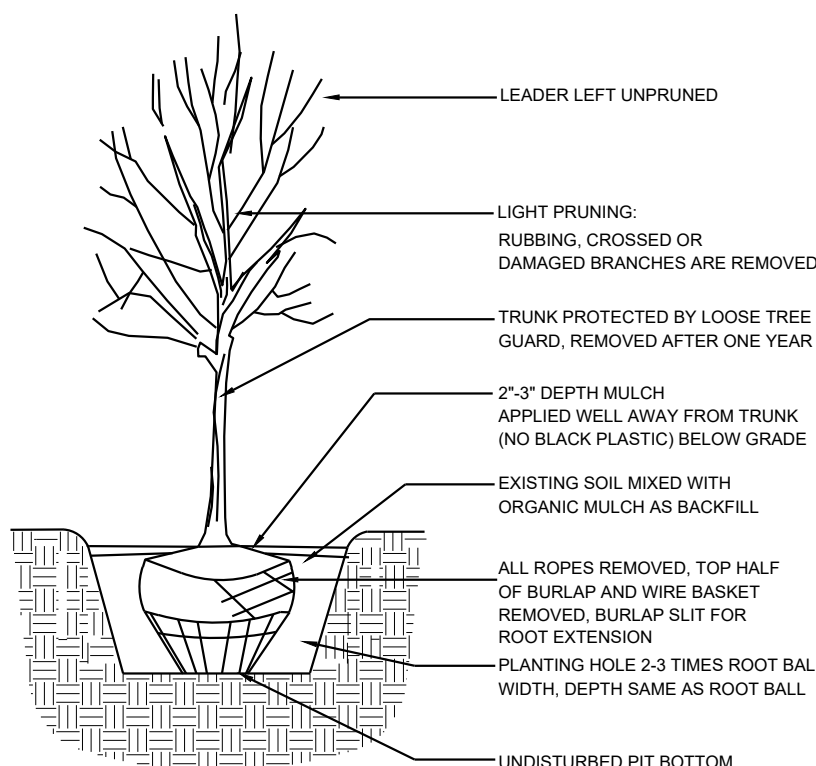
GROSS LOT AREA (4.03 ACRES)	431,693 SF
LESS BUILDING(S)	115,499 SF
NET LOT AREA	316,194 SF

REQUIRED LANDSCAPE	47,429 SF
15% OF NET LOT AREA	49,176 SF
PROPOSED LANDSCAPE	2,215 SF
PROPOSED OFFSITE LANDSCAPE	18,084 SF
ROW EXISTING LANDSCAPE	69,471 SF
TOTAL PROPOSED LANDSCAPE	22.0 %
PERCENT OF NET LOT AREA	

REQUIRED STREET TREES	45
PROVIDED/EXISTING AT 25' O.C. SPACING ALONG STREET	47
REQUIRED PARKING LOT TREES	45
PROVIDED AT 1 PER 10 SPACES (477 SPACES/10)	137**
TOTAL REQUIRED TREES: 90	
TOTAL PROVIDED TREES: 184	

** (tree provided per parking space quantity is due to IDO ordinance to provide 1 shade tree 25' O.C. along any pedestrian walkway)

REQUIRED LANDSCAPE COVERAGE	
75% LIVE VEGETATIVE MATERIAL	35,572 SF MIN.
(47,429 SF REQUIRED LANDSCAPE X 75%)	
PROVIDED GROUND COVER COVERAGE	36,219 SF
(EXCLUDES EXISTING ROW LANDSCAPE)	(1,436 SF)
PERCENT GROUND COVER COVERAGE	
OF REQUIRED LANDSCAPE AREAS	75%



1 TREE PLANTING DETAIL

PLANT SCHEDULE SITE 06.15.2021

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
+	11	EXISTING TREE	VARIES
DECIDUOUS TREES			
+	27	CHILOPSIS LINEARIS / DESERT WILLOW	2" B&B
+	26	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B
+	57	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B
+	43	ULMUS PARVIFOLIA 'BOSQUE' / BOSQUE ELM	2" B&B
+	10	VITEX AGNUS-CASTUS / CHASTE TREE	24" BOX
EVERGREEN TREES			
+	19	PINUS LEUCODERMIS / BOSNIAN PINE	6'-8" B&B
SHRUBS			
+	55	EXISTING SHRUB	VARIES
DESERT ACCENTS			
+	90	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL
+	33	NOLINA MICROCARPA / BEARGRASS	5 GAL
GRASSES			
+	139	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL
VINE/ESPALEIR			
+	36	LONICERA JAPONICA 'HALLIANA' / HALLS HONEYSUCKLE FLOWERING VINE	5 GAL
DECIDUOUS SHRUBS			
+	121	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL
+	159	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL
EVERGREEN SHRUBS			
+	101	BACCHARIS X 'STARN' / STARN COYOTE BRUSH	5 GAL
+	216	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
+	Amaretto 5/8"-1 1/4" Gravel 3" Depth over Filter Fabric, (landscape area in ROW)	2,215 sf	
+	Amaretto 5/8"-1 1/4" Gravel 3" Depth over Filter Fabric	45,030 sf	
+	2-4" Mountainair Blush Cobble 4" Depth over Filter Fabric	3,945 sf	
+	DOT Existing - Gravel and Landscape	18,084 sf	

GENERAL NOTES:

1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
4. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (section 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS. 5-6(C)(4)(h) SHADE TREES ARE TO BE PLANTED APPROXIMATELY 25' O.C. ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. 5-6(C)(5) IN REGARDS TO A MAXIMUM OF 75% OF GRAVEL OF ANY OUTDOOR SPACE AND ORGANIC MULCH SUCH AS BARK MULCH SURROUNDING VEGETATION ROOT BALLS AND BENEATH THE ENTIRE TREE CANOPY OR DRIPLINE.

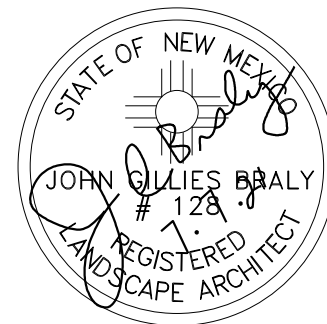
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5. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.



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Date: 7/16/2019

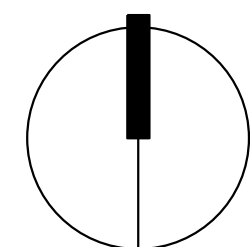
Revisions:

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▲	10/31/2019	06/25/2021 HA
▲	01/21/2021 LF	07/07/2021
▲	02/08/2021	
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▲	03/04/2021	

Drawn by: V. Blount

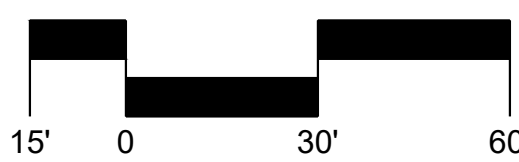
Reviewed by: TN, CM

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NORTH

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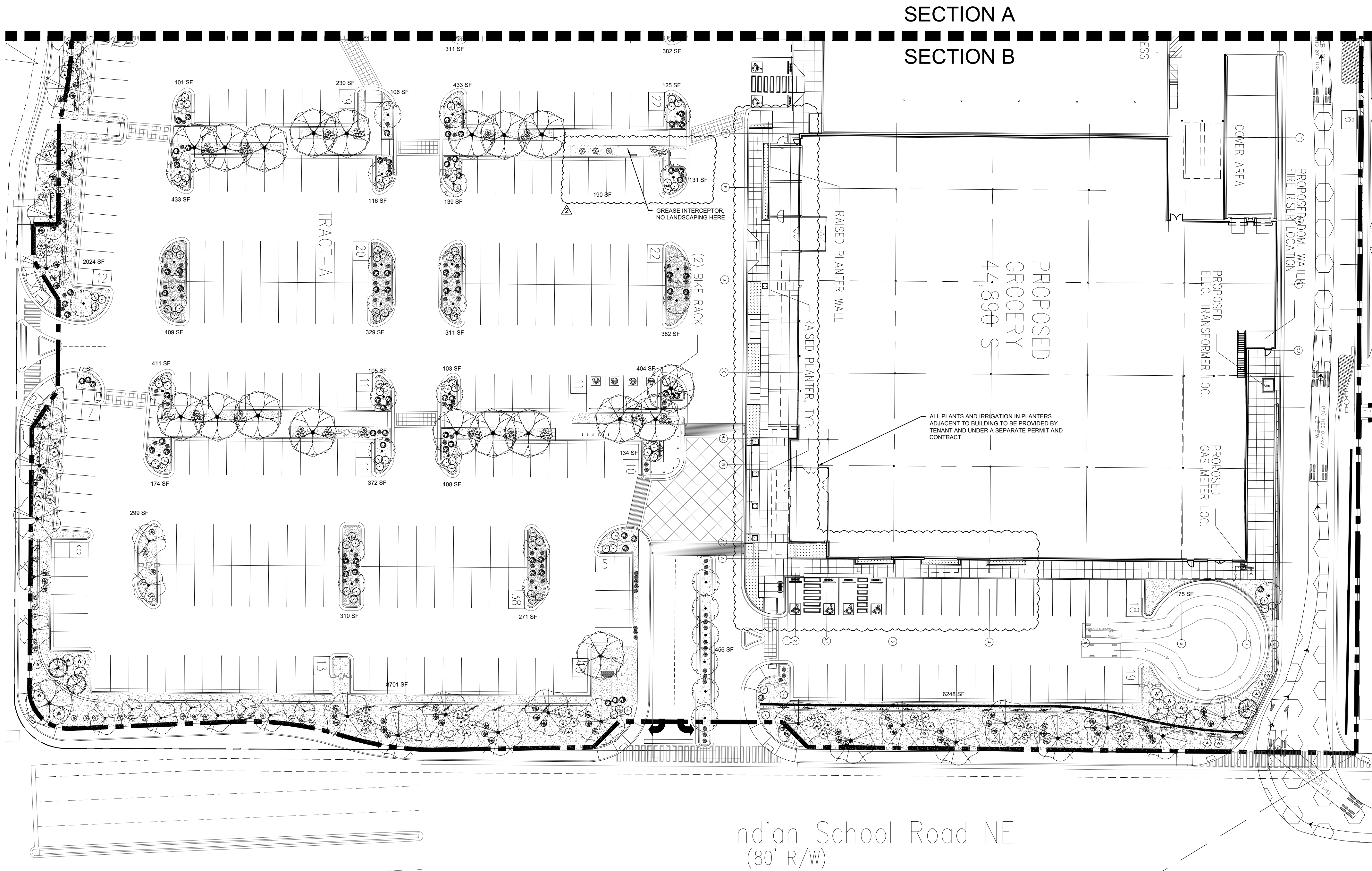


Sheet Title:

Landscape
Plan

Sheet Number:

LP-01



PLANT SCHEDULE SITE 06.15.2021

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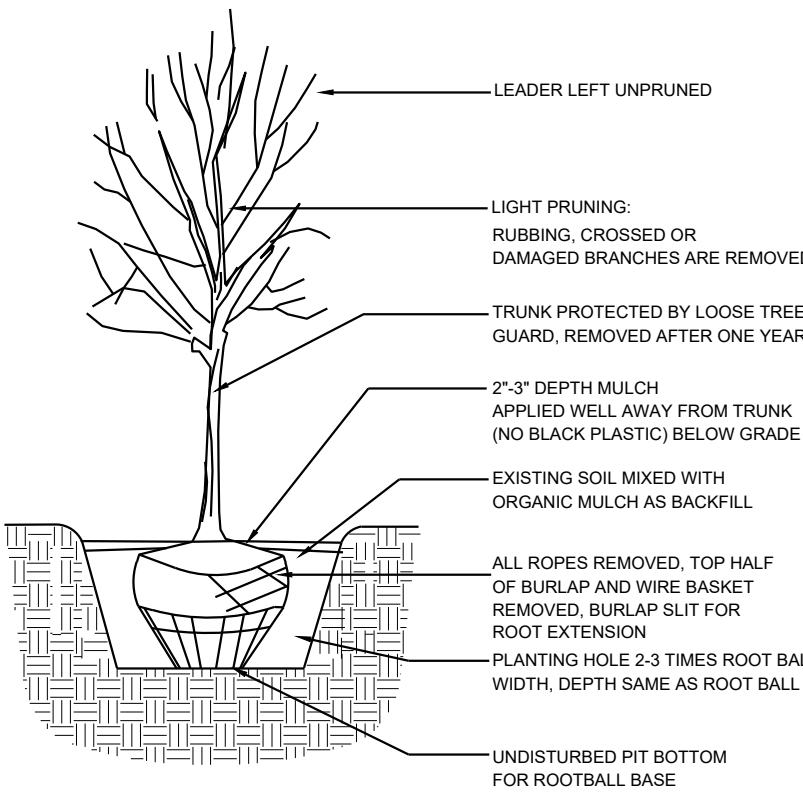
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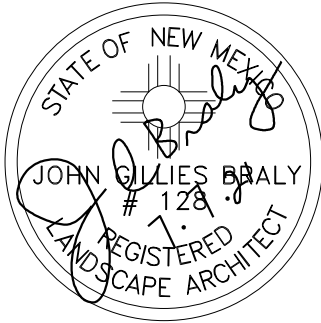


1 TREE PLANTING DETAIL



YELLOWSTONE LANDSCAPE

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Date: 7/16/2019

Revisions:

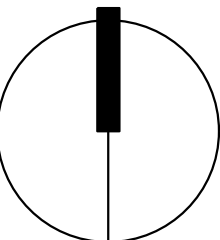
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▲	10/31/2019	06/16/2021 HA
▲	01/21/2021 LF	06/25/2021 HA
▲	02/08/2021	07/07/2021
▲	02/19/2021	
	03/04/2021	

Drawn by: V. Blount

Reviewed by: TN, CM

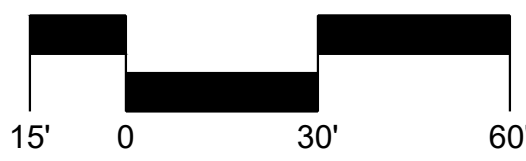
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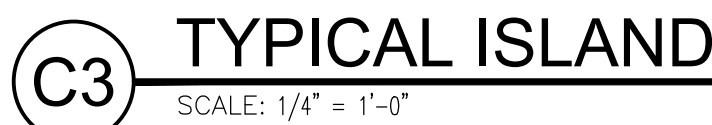
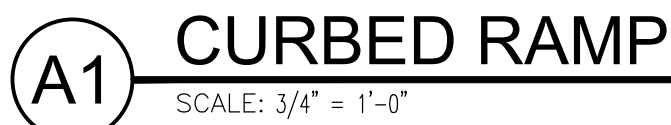
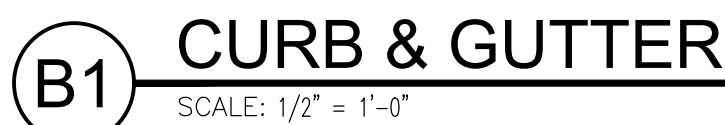


Sheet Title:

Landscape Plan

Sheet Number:

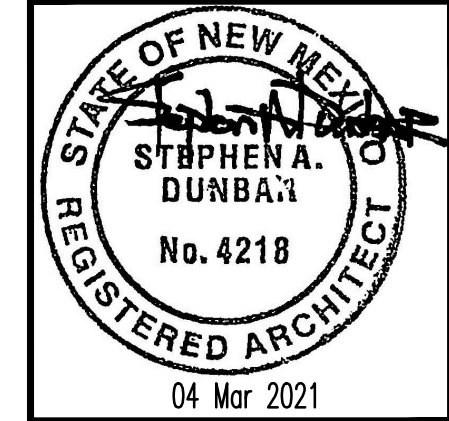
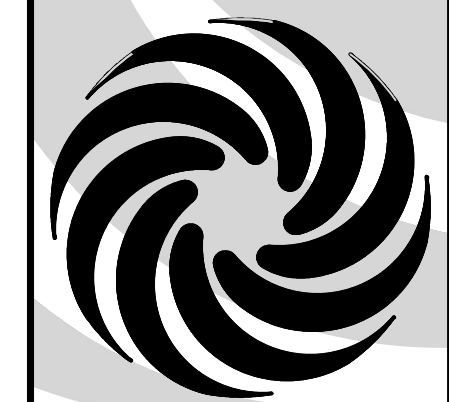
LP-02



1. 4" THICK PAVEMENT MARKING; WHITE IN COLOR.
2. 2" WIDE ADA APPROVED TRUNCATED DOME STRIP.
3. CURB AND GUTTER: SEE B1/A1.1.
4. CONCRETE SIDEWALK: SEE B3/A1.1.
5. CONCRETE EXPANSION JOINT: SEE B5/A1.1.
6. CONCRETE CONTROL JOINT: SEE B5/A1.1.
7. BROOM FINISH CONCRETE SURFACE AREA INSIDE OF TOOLED EDGE TO CREATE PICTURE FRAME EFFECT.
8. SMOOTH TOOLED FINISH AROUND EDGES, TYPICAL.
9. CONCRETE HANDICAP RAMP INTERNALLY COLORED DAWN COLORS #160 "BRICK RED"; SMOOTH TEXTURE.
10. FINISH WITH 3/8" DEEP X 1/2" WIDE GROOVES AT 2' OC.
11. CONCRETE FLUSH WITH PAVEMENT.
12. CURB, BEYOND.
13. 2% CROSS SLOPE, MAXIMUM.
14. RAMP: BEYOND.
15. RETAINING CURB.
16. SUBGRADE: COMPACTED AS SPECIFIED.
17. PAVEMENT AS SPECIFIED.
18. CONCRETE TURNDOWN CURB.
19. 4" THICK CONCRETE SIDEWALK.
20. SIDEWALK ELEVATIONS VARY -- HOLD FLUSH WITH FINISHED FLOOR AT ENTRANCE WAYS. PLANTING AREAS MAY EXIST BETWEEN THE BUILDING AND THE BACK-OF-SIDEWALK (SEE SITE PLAN). EXPANSION JOINTS DO NOT APPLY TO SIDEWALK SECTION ADJACENT TO PLANTING AREAS.
21. 3/4" EXPANSION JOINT MATERIAL.
22. STABILIZED AGGREGATE BASE COARSE, AS SPECIFIED.
23. STRUCTURAL FOUNDATION SYSTEM: SEE STRUCTURAL FOUNDATION PLAN.
24. CONCRETE CURB AND GUTTER.
25. SQUARE, STRAIGHT, STEEL ANCHOR BASE POLE. POLE & BRACKETS SHALL BE FACTORY FINISHED, PAINTED SEMI-GLOSS BLACK W/RAV POLES FOR SHIPPING. PROVIDE 1 QT. MATCHING PAINT TO TOUCH ANY SCRATCHES ON POLES ON JOB. SEE LIGHT FIXTURE SPECIFICATIONS FOR SPECIFICATIONS.
26. CONNECT WOUND WIRE TO REINFORCING BARS.
27. (3) #3 TIES AT 1/2' OC IN TOP 5".
28. #6 BARE COPPER GROUND WIRE.
29. CONDUIT AS INDICATED ON ELECTRICAL PLAN.
30. (6) #6 BARS VERTICAL.
31. 8'-0" COPPER WELD GROUND ROD BY ELECTRICAL CONTRACTOR.
32. NON-SINKING GROUT.
33. 2" CHAMFER.
34. FINISHED GRADE.
35. #3 TIES @ 12" OC.
36. #6 RETAINING CURB.
37. MONOLITHIC INTEGRALLY COLORED CONCRETE HANDICAP RAMP (4,000 PSI): PROVIDE ARCHITECT WITH SAMPLE COLOR FOR APPROVAL.
38. PROVIDE 3/4" DEEP BY 1/2" WIDE GROOVES @ 2' OC. EXTEND THE PULL WIDTH AND DEPTH OF THE RAMP.
39. 6" STANDUP CURB OR CURB AND GUTTER AS APPLICABLE (SEE SITE PLAN).
40. ADA APPROVED TRUNCATED STRIP AT 2' WIDTH.
41. EXPANSION JOINT.
42. WIDTH VARIES (6" MINIMUM); SEE SITE PLAN.
43. PROVIDE A 5' S' LAND AT TOP OF RAMP FOR CHANGE IN DIRECTION.
44. WIDTH VARIES (SEE SITE PLAN MINIMUM 6" WIDTH).
45. 3/4" CONCRETE EXPANSION JOINT SEALER: NOMALEX, OR APPROVED EQUAL.

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1	26 MAR 2021	DTN	ADDENDUM #1

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE

KMART SITE DEVELOPMENT
2100 CARLISLE BLVD. NE
ALBUQUERQUE, NEW MEXICO 87110

PROJECT MANAGER DevIn Nauwen	JOB NO. Site Dvplnt	DRAWN BY: DTN
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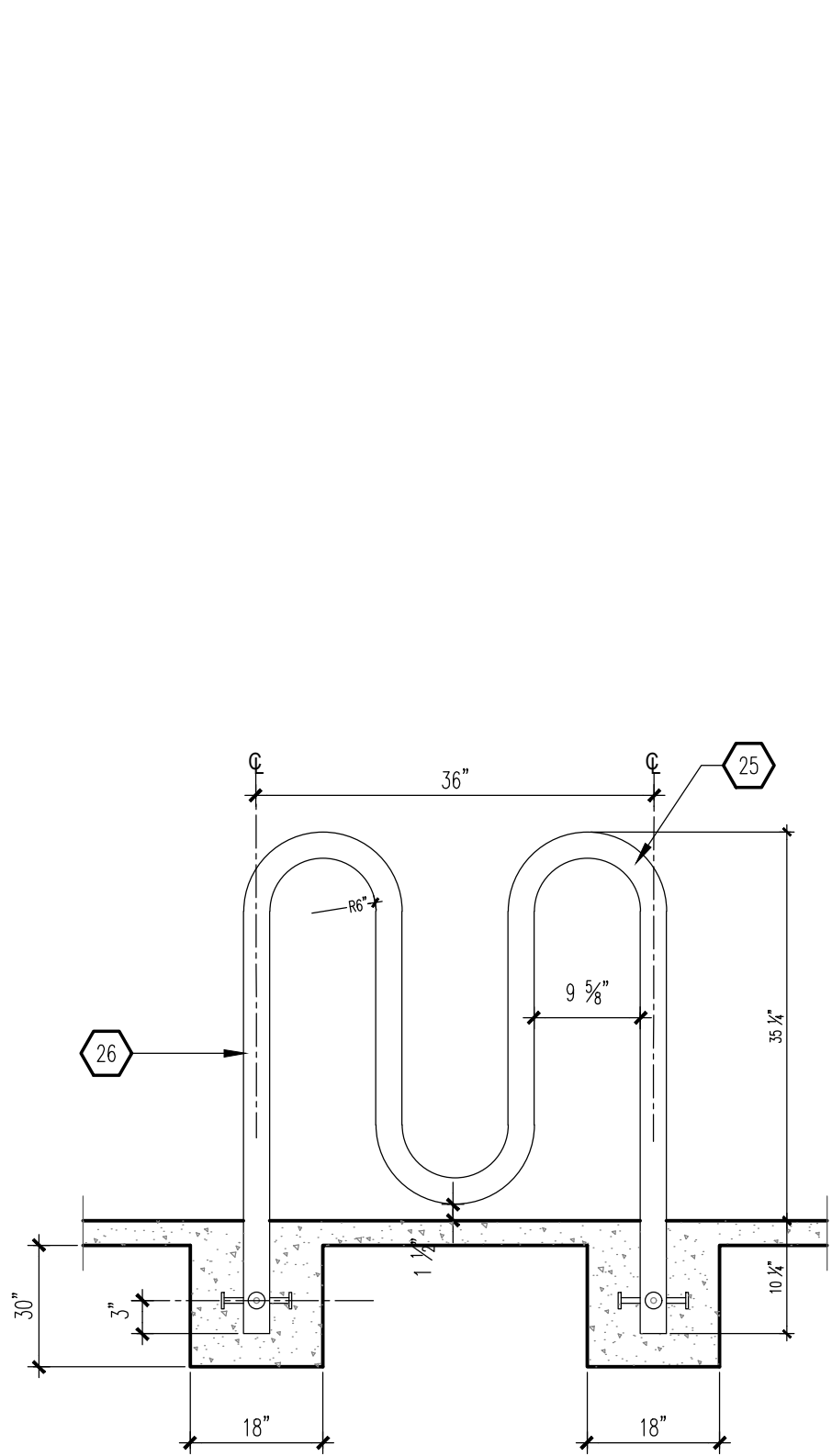
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DATE:
04Mar2021

SCALE:
AS NOTED

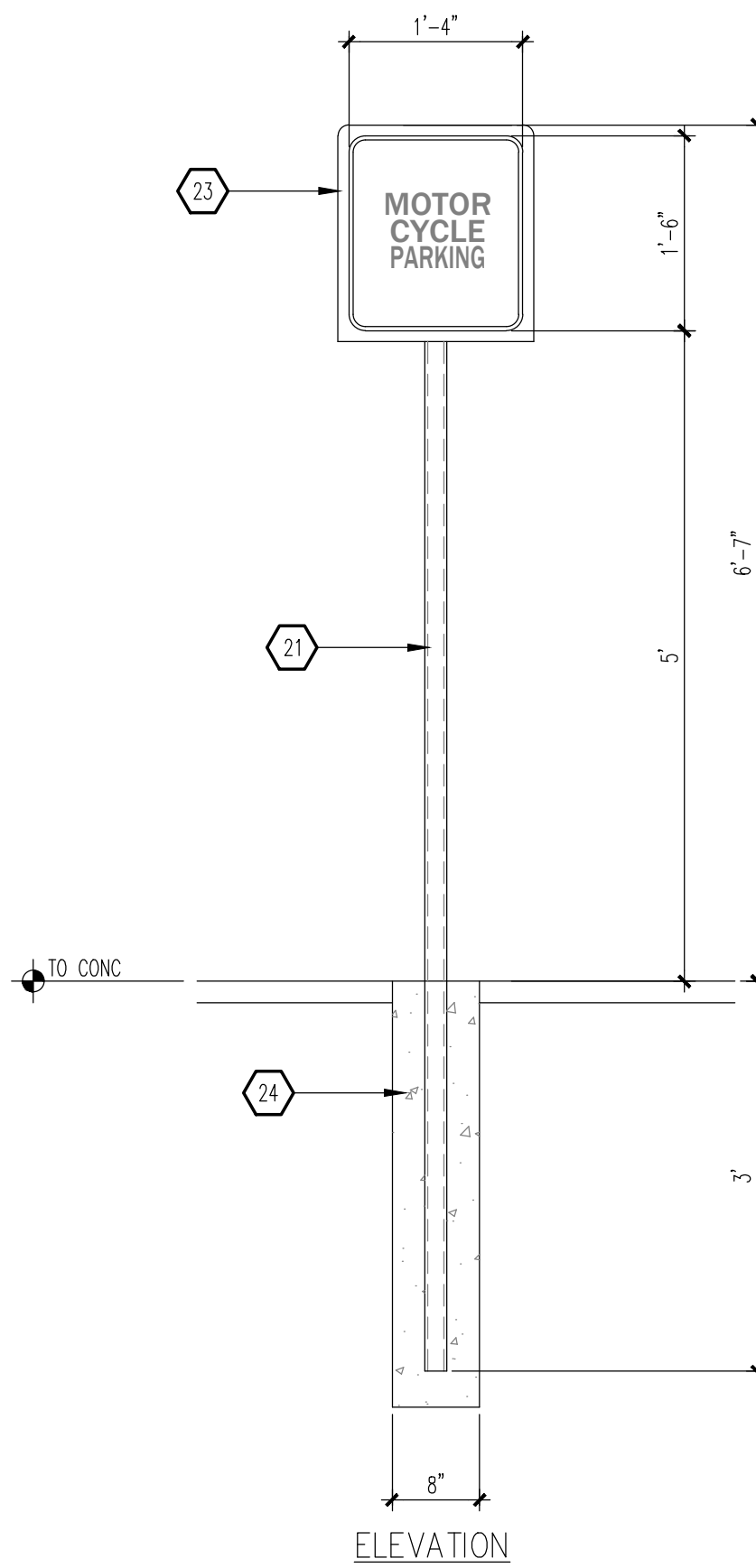
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A1.1



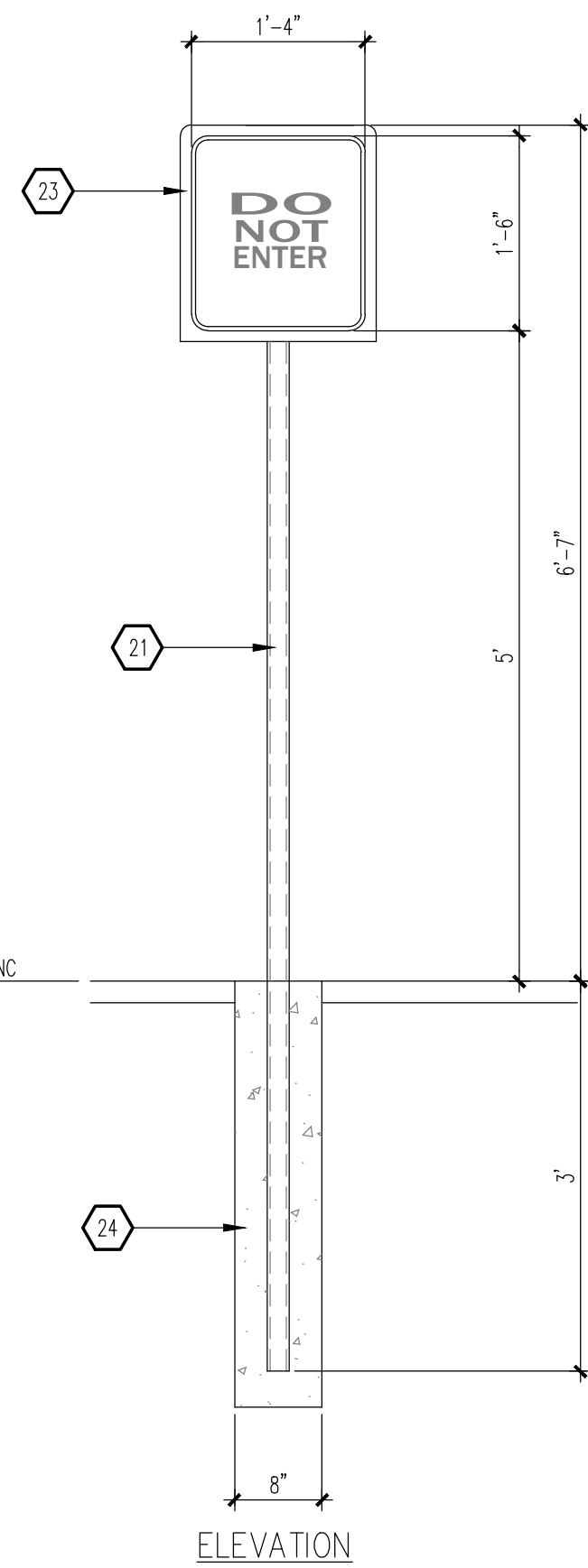
NOTE:
BICYCLE RACK SHALL BE DESIGN ACCORDING TO THE FOLLOWING GUIDELINES:
A. THE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE.
B. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT 2 OR MORE PLACES.
C. COMB/TOASTER RACKS ARE NOT ALLOWED.
D. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.
E. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
F. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
G. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.

B1 BIKE RACK
SCALE: 1/2" = 1'-0"



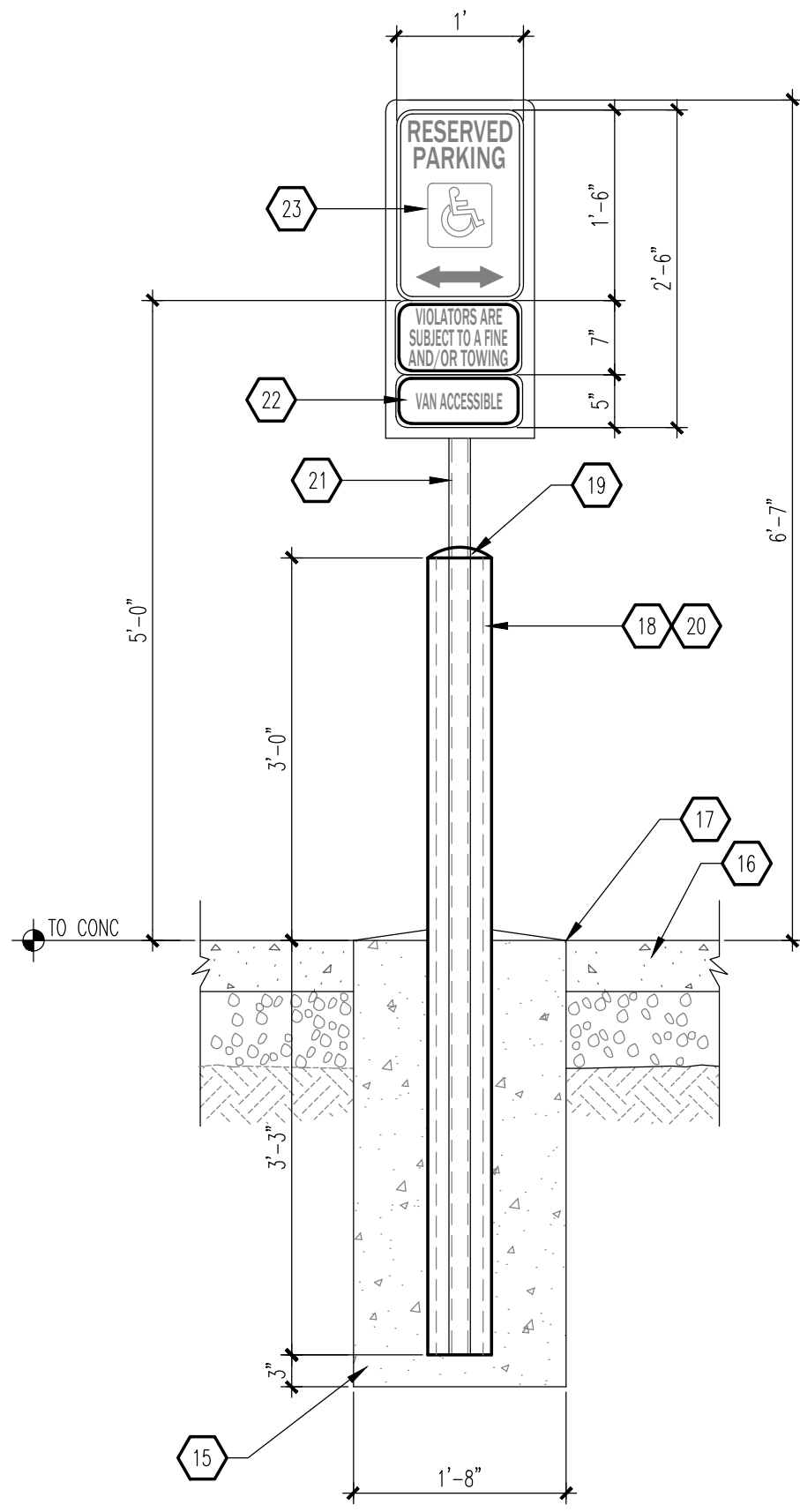
ELEVATION
PLAN

B2 MICS. SIGNAGE
SCALE: 3/4" = 1'-0"
NOTE:

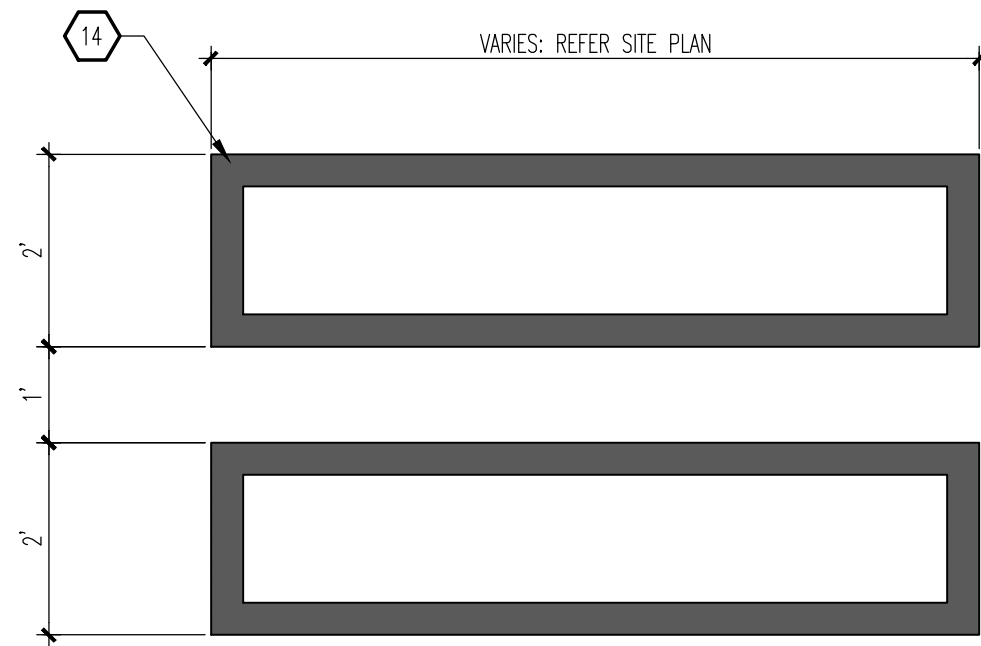


ELEVATION
PLAN

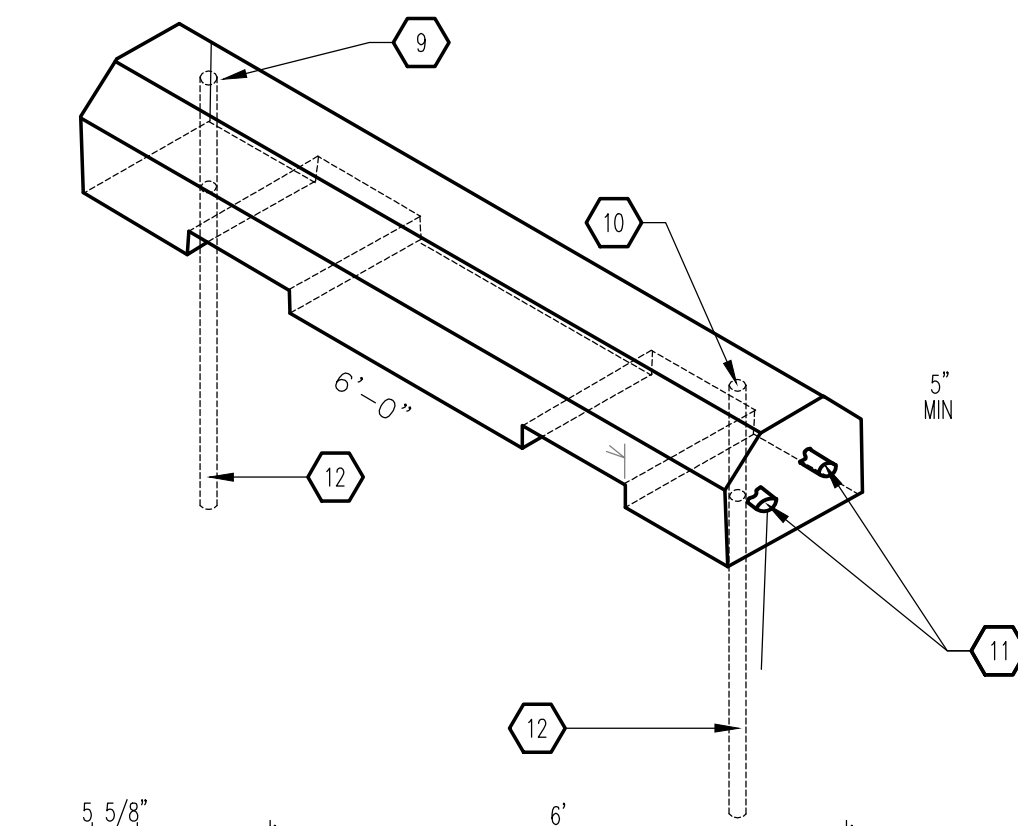
B3 MISC. SIGNAGE
SCALE: 3/4" = 1'-0"



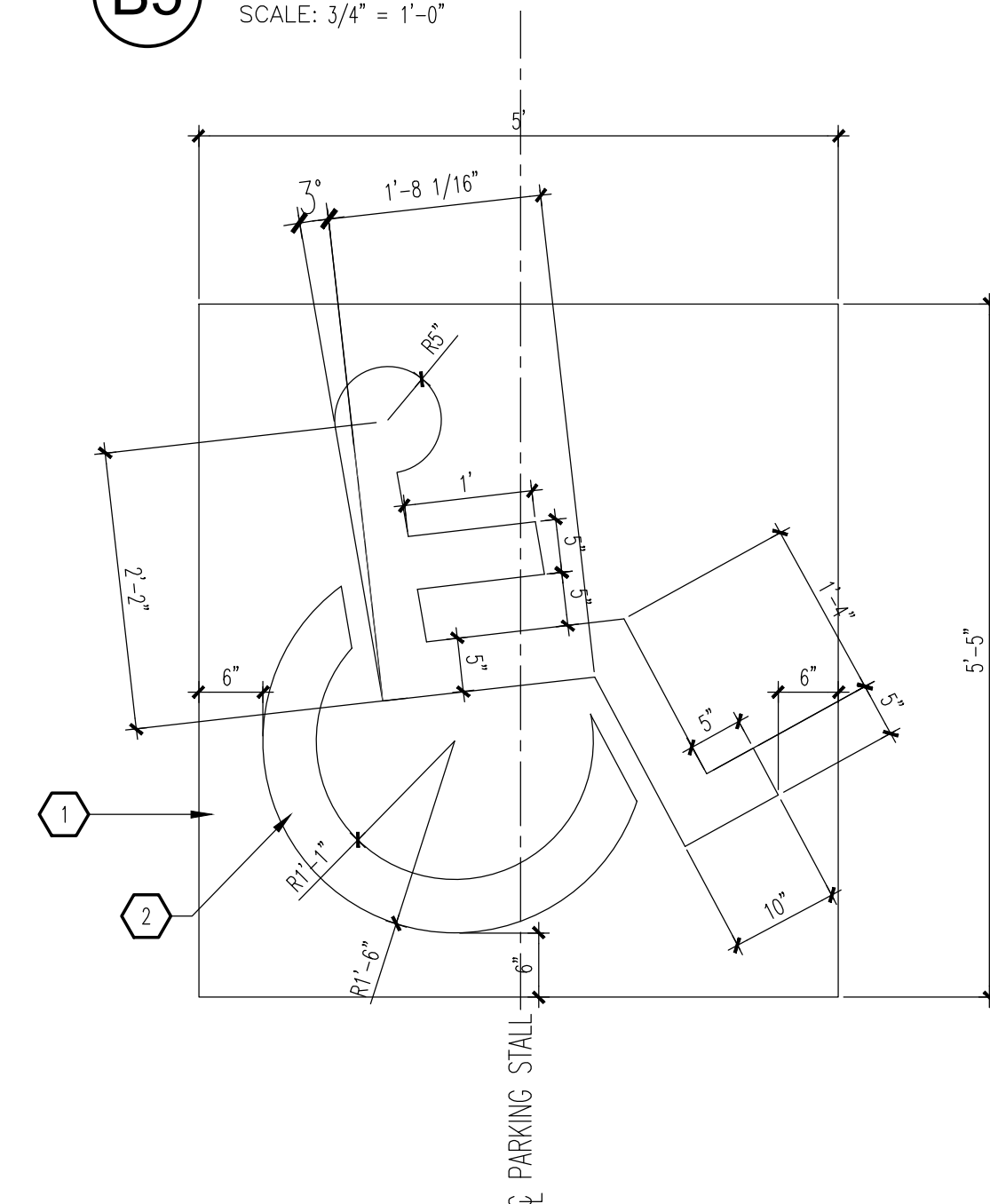
B4 MISC. SIGNAGE
SCALE: 3/4" = 1'-0"
NOTE:



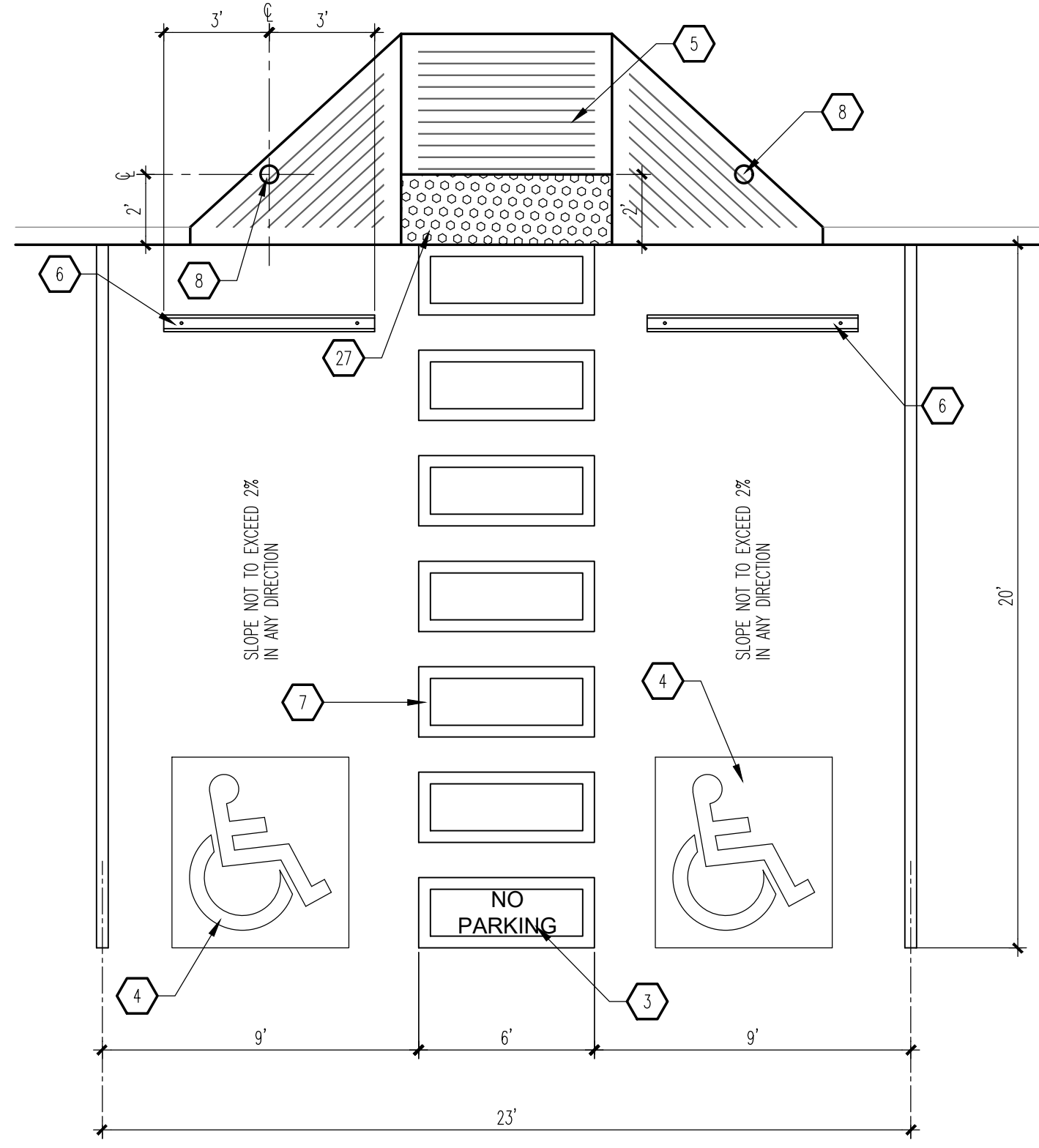
C5 WALKWAY PAVEMENT MARKING
SCALE: 1/2" = 1'-0"



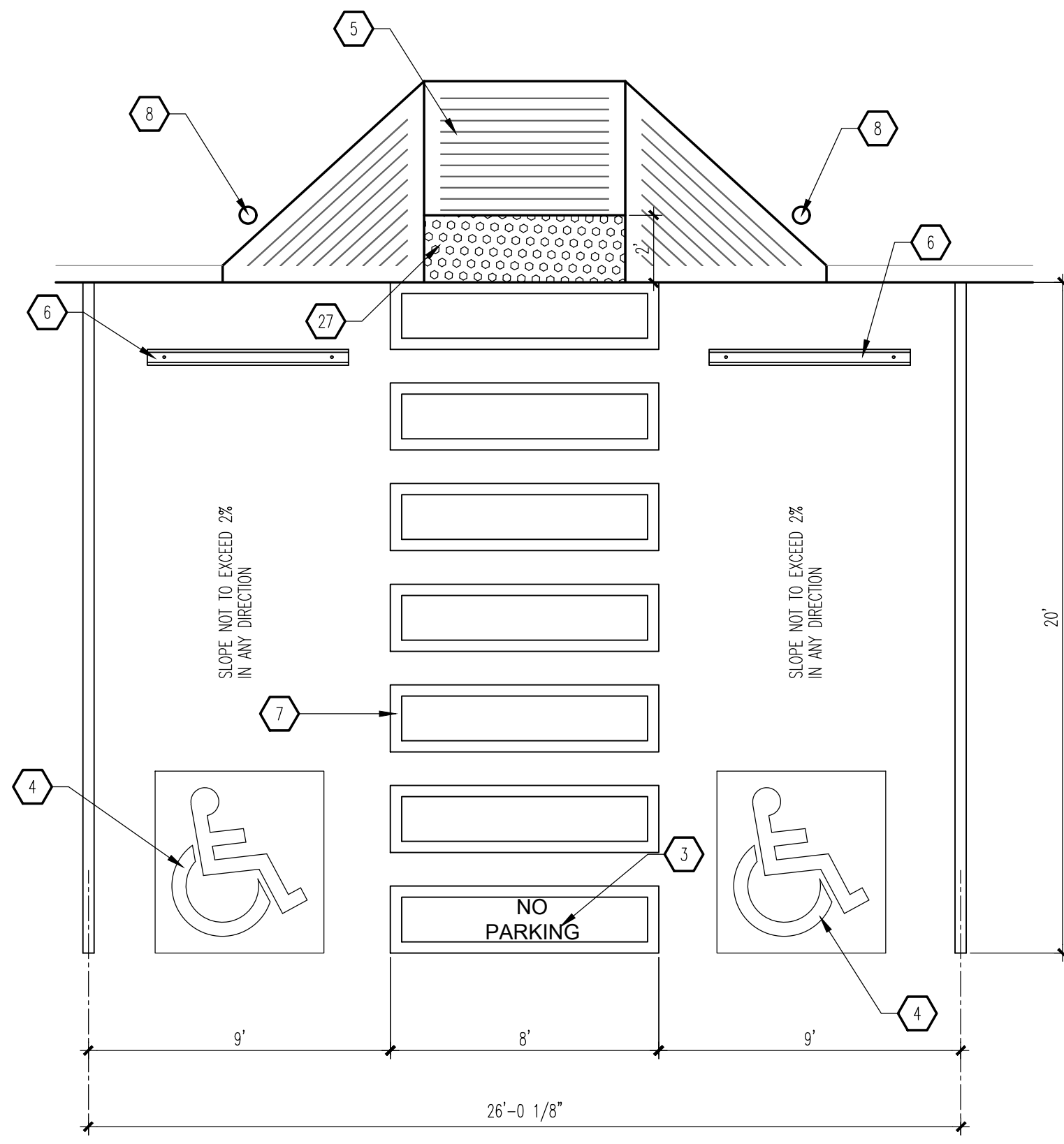
B5 WHEEL STOP
SCALE: 3/4" = 1'-0"



A5 HANDICAP SIGNAGE
SCALE: 3/4" = 1'-0"



A1 HC PARKING PLAN
SCALE: 1/4" = 1'-0"



A3 HC PARKING PLAN (VAN ACCESSIBLE)
SCALE: 1/4" = 1'-0"

GENERAL NOTES

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

KEYED NOTES

1. PAINT BLUE.
2. PAINT WHITE.
3. 12" HIGH BY 4" WIDE "NO PARKING" MARKING - WHITE PAINT.
4. HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
5. FLARED RAMP: SEE A3/A1.1.
6. WHEEL STOP: SEE B5/1.2.
7. WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
8. HANDICAP POST SIGNAGE: SEE B4/A1.2.
9. TOP OF REINFORCING BAR FLUSH WITH TOP OF CONCRETE.
10. 3/8" DIAMETER HOLE.
11. (2) #4 BARS CONTINUOUS.
12. 3/4" REINFORCING BAR EMBEDDED 24" INTO SUBGRADE.
13. #5 REINFORCING BAR.
14. 4" WIDE WHITE PAINTED STRIPING.
15. 3,500 PSI CONCRETE FOUNDATION.
16. FINISHED SURFACE.
17. BITUMINOUS JOINT FILLER (CONCRETE PAVEMENT ONLY).
18. 6" DIAMETER STEEL PIPE FILLED WITH CONCRETE.
19. ROUND CONCRETE TOP.
20. PAINT SAFETY YELLOW.
21. 2" OD GALVANIZED STEEL SIGN POST.
22. "VAN ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN.
23. 1/2" STEEL PLATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.
24. CONCRETE FOUNDATION.
25. PRIME AND PAINT STEEL MEMBER FLAT BLACK.
26. 2 3/4" STANDARD DUTY PIPE CENTER SUPPORT.
27. ADA APPROVED TRUNCATED DOME STRIP.

REVISION

BY

DATE

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MODULUS ARCHITECTS

100 SUN AVENUE N.E., Ste 305

ALBUQUERQUE, NEW MEXICO 87109

PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO

STEPHEN A. DUNBAR

No. 4218

REGISTERED ARCHITECT

04 Mar 2021

PROJECT TITLE

KMART SITE DEVELOPMENT

2000 CARLSBULE BLVD NE

ALBUQUERQUE, NEW MEXICO 87110

PROJECT MANAGER

Devin Nguyen

JOB NO.

Site Dymint

DRAWN BY:

DYN

SHEET TITLE

SITE DETAILS

DATE:

04 Mar 2021

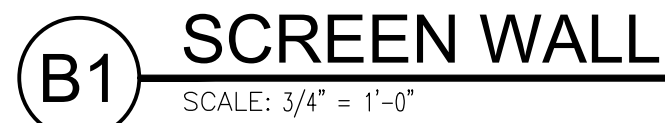
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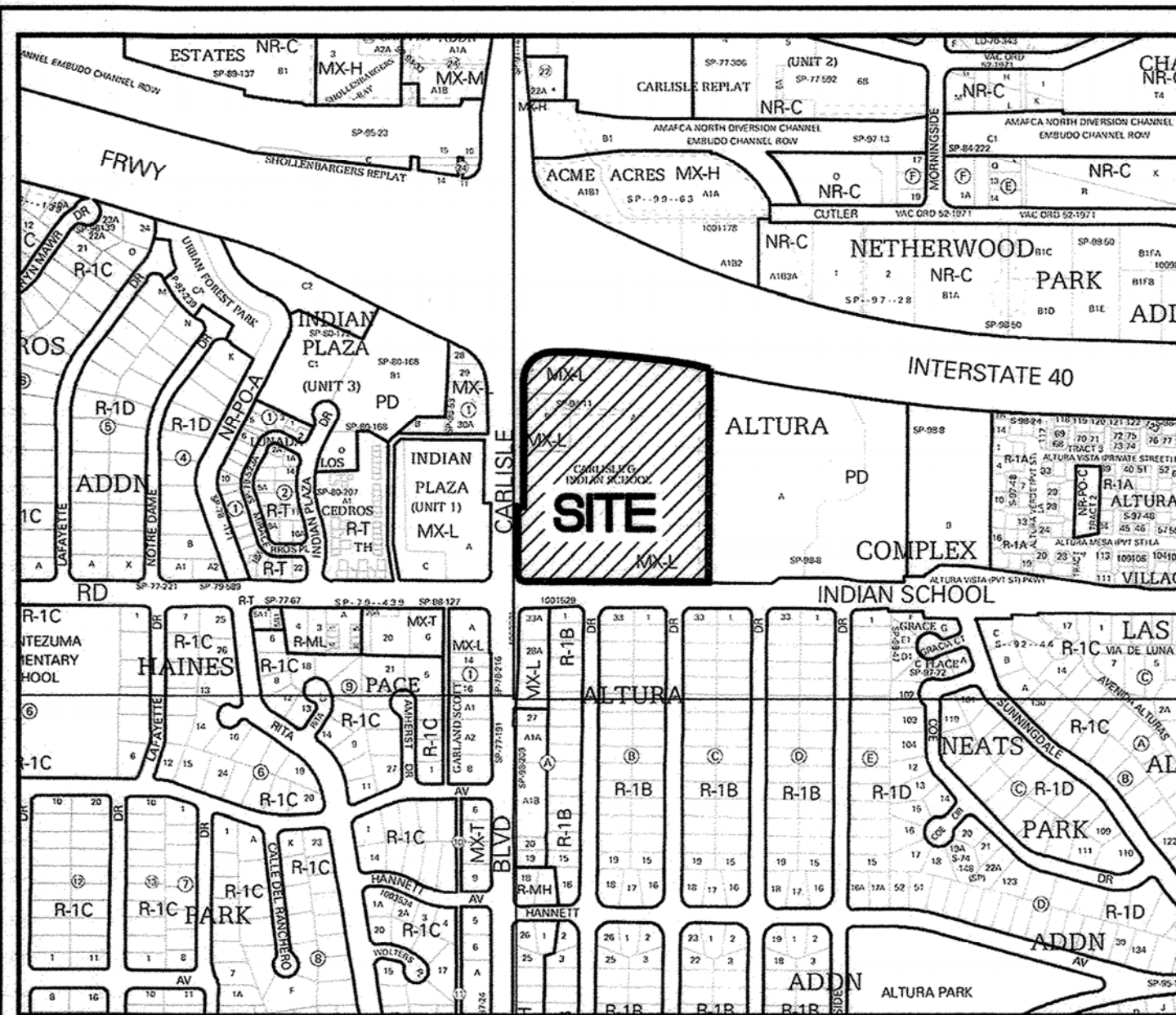
sheet:

A1.2

of:



- A



Vicinity Map - Zone Atlas H-17-Z

N.T.S.

Subdivision Data

GROSS ACREAGE.....10.7183 ACRES
ZONE ATLAS PAGE NO.....H-17-Z
NUMBER OF EXISTING TRACTS.....2
NUMBER OF TRACTS CREATED.....2
MILES OF FULL-WIDTH STREETS.....0.00 MILES
MILES OF HALF-WIDTH STREETS.....0.00 MILES
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE.....0.1457 ACRES
DATE OF SURVEY.....JANUARY 2020

DOC# 2020128551

12/18/2020 10:17 AM Page: 1 of 4
PLAT R-25-00-B: 2020C P: 0125 Linda Stover, Bernalillo County

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF WHO HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR DISTRIBUTION LINES, CONDUITS AND PIPES, INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION, INSPECTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE

CARLISLE ASSOCIATES LIMITED PARTNERSHIP
BY: CARLISLE MANAGEMENT LIMITED PARTNERSHIP G.P.
BY: CARLISLE ASSOCIATES CORPORATION, G.P.
DAVID ROSEN, DIRECTOR

STATE OF } SS
COUNTY OF }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON NOVEMBER 18, 2020
CARLISLE ASSOCIATES LIMITED PARTNERSHIP
BY: CARLISLE MANAGEMENT LIMITED PARTNERSHIP
BY: CARLISLE ASSOCIATES CORPORATION, G.P.
DAVID ROSEN, DIRECTOR

By: Kathleen Markart
NOTARY PUBLIC

KATHLEEN MARKART
Notary Public, State of New York
No. 0146327050
Qualified in Suffolk County
Commission Expires June 28, 2023

MY COMMISSION EXPIRES June 28, 2023

Indexing Information

Section 11, Township 10 North, Range 3 East, N.M.P.M.
Subdivision: Carlisle and Indian School Subdivision
Owner: Carlisle Associates Limited Partnership
UPC #: 101705904004630123 (Tract A)
101705901506330139 (Tract B)

Purpose of Plat

1. REPLAT AS SHOWN HEREON.
2. VACATE EASEMENTS AS SHOWN HEREON.
3. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON.
4. GRANT EASEMENTS AS SHOWN HEREON.

Legal Description

A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1994, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 2-3-A AND 2-3, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3(119)160, DATED NOVEMBER 13, 1997, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 20, 2001, IN BOOK A18, PAGE 2159, AS DOCUMENT NO. 2001043708:

AND

A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "B" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1994, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT B, AKA PARCEL 2-4, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3(119)160, DATED NOVEMBER 13, 1997, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 11, 2001, IN BOOK A14, PAGE 2183, AS DOCUMENT NO. 2001003593;

BEING MORE PARTICULARLY DESCRIBED TOGETHER BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY OF INDIAN SCHOOL ROAD NE, MARKED BY A 1/2" REBAR WITH CAP "LS 10855", WHENCE A TIE TO ACS MONUMENT "12-J16", BEARS S 58°39'09" W, A DISTANCE OF 868.12 FEET;

THENCE, COINCIDING WITH SAID NORTHERLY INDIAN SCHOOL ROAD NE RIGHT-OF-WAY, N 89°47'18" W, A DISTANCE OF 628.91 FEET TO A POINT OF CURVATURE, MARKED BY A 1/2" REBAR, DISTURBED;

THENCE, LEAVING SAID NORTHERLY INDIAN SCHOOL ROAD NE RIGHT-OF-WAY, 39.34 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A DELTA OF 90°09'12", AND A CHORD BEARING OF N 44°42'42" W, A DISTANCE OF 35.40 FEET, BEING A POINT ON THE EASTERLY RIGHT-OF-WAY OF CARLISLE BOULEVARD NE, MARKED BY A CHISELED "X",

THENCE, COINCIDING WITH SAID EASTERLY CARLISLE BOULEVARD NE RIGHT-OF-WAY, THE FOLLOWING FIVE COURSES:

N 00°21'54" E, A DISTANCE OF 230.14 FEET TO AN ANGLE POINT MARKED BY A CHISELED "X";

S 89°37'03" E, A DISTANCE OF 20.00 FEET TO AN ANGLE POINT MARKED BY A PK NAIL WITH TAG "LS 14271";

N 00°22'32" E, A DISTANCE OF 49.19 FEET TO A POINT OF CURVATURE, MARKED BY A PK NAIL WITH TAG "LS 14271";

37.92 FEET ALONG A CURVE TO THE LEFT, BEING NON-TANGENT TO THE PREVIOUS COURSE HAVING A RADIUS OF 165.88 FEET, A DELTA OF 13°05'52", AND A CHORD BEARING N 09°23'36" E, A DISTANCE OF 37.84 FEET TO A POINT OF TANGENCY, MARKED BY A PK NAIL WITH TAG "LS 14271";

N 02°50'41" E, A DISTANCE OF 371.59 FEET TO A POINT OF CURVATURE, MARKED BY A PK NAIL WITH TAG "LS 14271";

LEAVING SAID EASTERLY CARLISLE BOULEVARD NE RIGHT-OF-WAY, 87.53 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 53.77 FEET, A DELTA OF 93°16'01", AND A CHORD BEARING N 49°28'41" E, A DISTANCE OF 78.18 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF INTERSTATE 40, MARKED BY A PK NAIL WITH SHINER;

THENCE, COINCIDING WITH SAID SOUTHERLY INTERSTATE 40 RIGHT-OF-WAY, THE FOLLOWING TWO COURSES:

S 83°53'19" E, A DISTANCE OF 484.51 FEET TO AN ANGLE POINT, MARKED BY A PK NAIL WITH TAG "LS 14271";

S 89°14'36" E, A DISTANCE OF 71.42 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, MARKED BY A CHISELED "X";

THENCE, LEAVING SAID SOUTHERLY INTERSTATE 40 RIGHT-OF-WAY, S 00°24'59" W, A DISTANCE OF 713.42 FEET TO THE SOUTHEAST CORNER OF SAID TRACT "A", TO THE POINT OF BEGINNING, CONTAINING 10.7183 ACRES (466,889 SQ. FT.), MORE OR LESS.

Treasurer's Certificate

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

PAID ON UPC#

101705904004630123

101705901506330139

PROPERTY OWNER OF RECORD

Indian School Subdivision

BERNALILLO COUNTY TREASURER'S OFFICE

Jovanne Gallegos

Plat for

Tracts A-1 and B-1

Carlisle & Indian School Subdivision
less than a portion conveyed to NMDOT

Being Comprised of

Tract A and B

Carlisle & Indian School Subdivision

City of Albuquerque

Bernalillo County, New Mexico

February 2020

Project Number: PR-2019-002677

Application Number: SD-2020-00032

Plat Approvals:

R. J. ... 2/12/2020
PNM Electric Services
Don Dumas 2/12/2020
Qwest Corp. d/b/a CenturyLink QC
... 2/12/2020
New Mexico Gas Company
... 2/12/2020
Comcast

City Approvals:

Loren N. Reinharder P.S. 2/4/2020
City Surveyor
... 2-5-20
Traffic Engineer
... Dec 16, 2020
ABCWA
... 2.5.20
Code Enforcement
... 02-05-2020
Parks and Recreation Department
... 4/14/2020
AMAFCA
... 2-5-2020
City Engineer
... Dec 16, 2020
DRB chairperson, Planning Department
N/A

Real Property
Surveyor's Certificate

I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner 2/4/2020
Will Plotner Jr.
N.M.R.P.S. No. 14271

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
wplotnerjr@gmail.com



Sheet 1 of 4
190772

2020 C-125

(1)

The easements shown as
portions to remain without the dot
hatch are for reference only

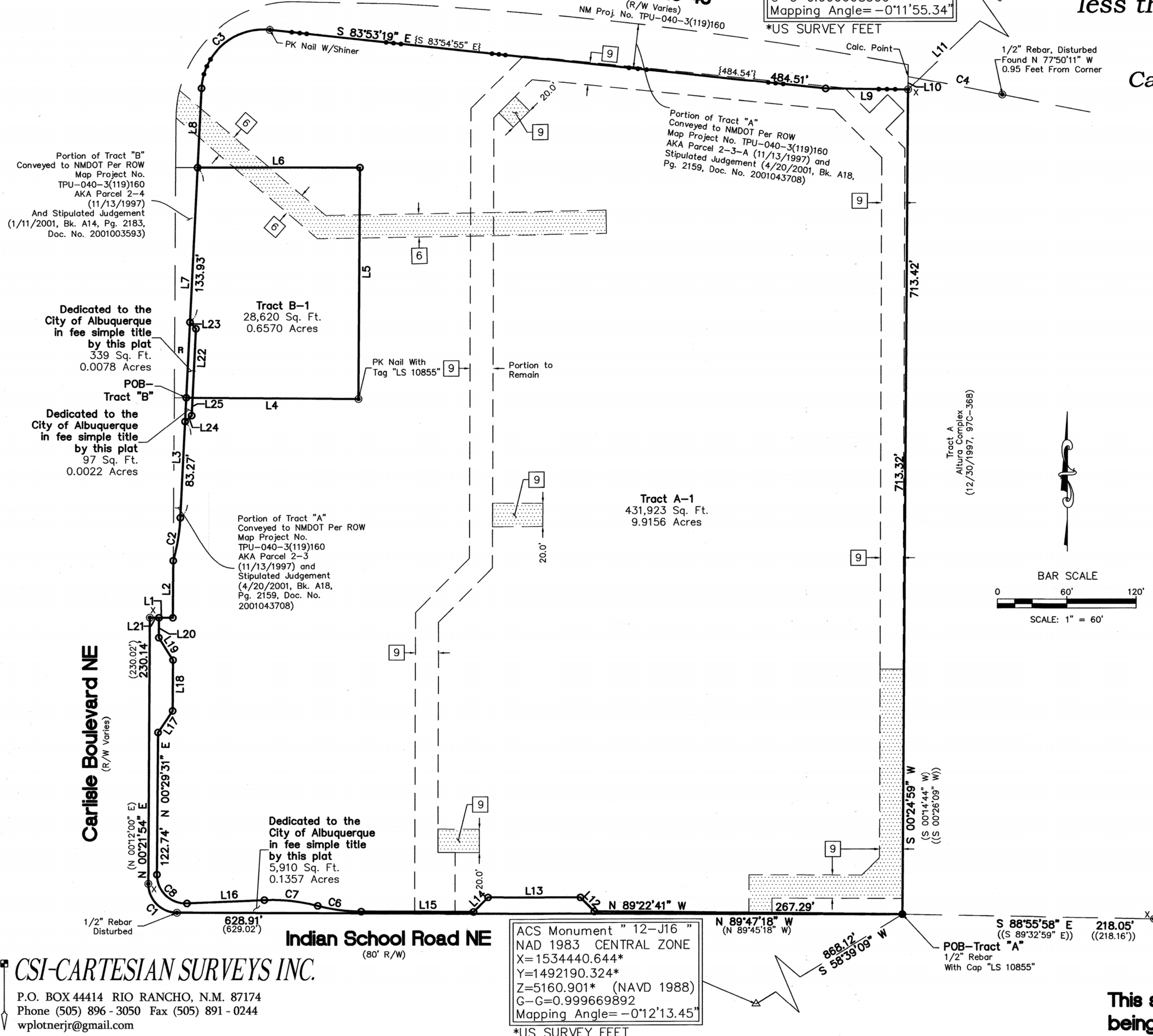
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12/19/2020 10:17 AM Page: 2 of 4
PLAT R-825,00 8, 2020C-125 Linda Stover, Bernalillo County

ACS Monument "9-H17"
NAD 1983 CENTRAL ZONE
X=1537088.971*
Y=1495173.375*
Z=5180.854* (NAVD 1988)
G-G=0.999668300
Mapping Angle=-0°11'55.34"

Plat for
Tracts A-1 and B-1
Carlisle & Indian School Subdivision
less than a portion conveyed to NMDOT
Being Comprised of
Tract A and B
Carlisle & Indian School Subdivision
City of Albuquerque
Bernalillo County, New Mexico
February 2020

Easement Notes

- 1 EXISTING 7' PNM EASEMENT (12/29/1969, BK. MISC. 159, PG. 619) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 2 EXISTING 5' X 58.5' P.U.E. (6/6/1966, D-805, FOLIO 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 3 WEST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS 30' P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965 AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 4 EXISTING 7' X 500' P.U.E. (6/6/1966, BK. D805, PG. 492-493) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 5 EXISTING 7' UNDERGROUND PNM EASEMENT (3/3/1994, 94C-65)
- 6 EXISTING 20' UTILITY EASEMENT (3/3/1994, 94C-65) VACATED BY THE FILING OF THIS PLAT SHOWN HEREON AS [Hatched Box]
- 7 EXISTING PERMANENT MUTUAL NON-EXCLUSIVE RECIPROCAL INGRESS, EGRESS AND CROSS-PARKING EASEMENT ACROSS TRACTS A AND B FOR THE USE OF PARKING AREAS, DRIVEWAYS, COMMON UTILITIES AND OTHER COMMON AREAS PER PARKING AGREEMENT (3/16/1971, BK. MISC. 208, PG. 117), RE-RECORDED (12/21/1971, BK. MISC. 241, PG. 404) AND AGREEMENT AND DECLARATION OF EASEMENT AND COVENANTS (8/23/2000, BK. A9, PG. 2693), BLANKET IN NATURE
- 8 EXISTING 20' PERPETUAL P.U.E. AND RIGHT-OF-WAY EASEMENT (11/8/1965, BK. D-790, PG. 7-9) AND AS SHOWN ON PLAT (3/3/1994, 94C-65)
- 9 EXISTING 20' PERMANENT PUBLIC WATERLINE EASEMENT (8/30/2001, BK. A24, PG. 647, DOC. NO. 2001102359) PORTIONS TO BE VACATED BY PLATTING ACTION SHOWN HEREON AS [Hatched Box]
- 10 EAST 1/2 OF VACATED SOLANO AVENUE NE RETAINED AS 30' P.U.E. PER VACATION ORDINANCE #2742 DATED 10/12/1965
- 11 EXISTING 7' PRIVATE PNM AND US WEST COMMUNICATIONS EASEMENT FOR TRACT A, ALTURA COMPLEX (3/24/1980, BK. 761, PAGE 543, DOC. NO. 8017867)
- 12 EXISTING 10' P.U.E. (12/30/1997, 97C-368)
- 13 EXISTING 7' P.U.E. (3/23/1972, BK. MISC. 253, PG. 556-558) AND AS SHOWN ON PLAT (12/30/1997, 97C-368)
- 14 INTENTIONALLY OMITTED
- 15 PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA WITH THE FILING OF THIS PLAT SHOWN HEREON AS [Hatched Box]
- 16 20' PUBLIC SEWER EASEMENT GRANTED TO AND MAINTAINED BY ABCWUA WITH THE FILING OF THIS PLAT
- 17 BLANKET ACCESS EASEMENT FOR TRASH PICKUP BENEFITING THE OWNERS OF TRACT A AND TO BE MAINTAINED BY THE OWNERS OF TRACT A-1 GRANTED WITH THE FILING OF THIS PLAT



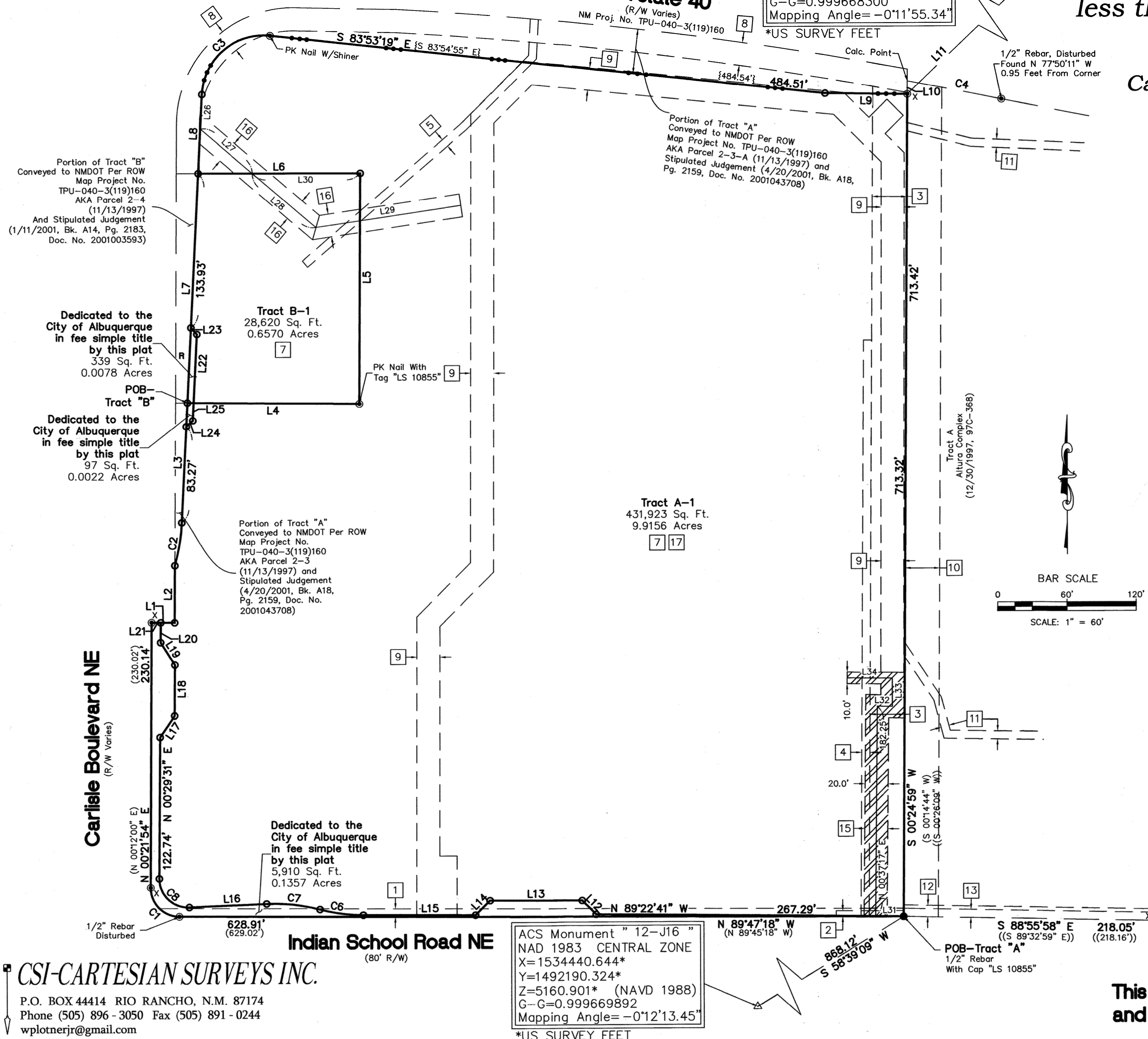
This sheet shows easements
being vacated shown hereon as [Hatched Box]

ACS Monument "9-H17"
NAD 1983 CENTRAL ZONE
X=1537088.971*
Y=1495173.375*
Z=5180.854* (NAVD 1988)
G-G=0.999668300
Mapping Angle=-0°11'55.34"
*US SURVEY FEET

Plat for
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**This sheet shows remaining easements
and easements granted**

Documents

1. TITLE SEARCH REPORT PROVIDED BY STEWART TITLE, HAVING FILE NO. 01147-54258 AND AN EFFECTIVE DATE OF MAY 17, 2019.
2. PLAT OF RECORD FOR TRACTS "A" AND "B", CARLISLE AND INDIAN SCHOOL SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 3, 1994, IN BOOK 94C, PAGE 65.
3. NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT RIGHT OF WAY MAP, NEW MEXICO PROJECT NO. TPU-040-3(119)160, WITH FINAL DATE OF NOVEMBER 13, 1997.
4. WARRANTY DEED FOR SUBJECT TRACTS, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON NOVEMBER 2, 1992, IN BOOK BCR 92-26, PAGE 415, AS DOC. NO. 19992110057.
5. WARRANTY DEED FOR TRACT B, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 4, 2001, IN BOOK A17, PAGE 6150, DOC. NO. 2001037685.

Notes

1. FIELD SURVEY PERFORMED IN AUGUST 2015.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).

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PLAT R:325.00 B: 2020C P: 0125 Linda Stover, Bernalillo County

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Public Utility Easements

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (3/3/1994, 94C-65)
((N 90°00'00" E))	RECORD BEARINGS AND DISTANCES PER PLAT (12/30/1997, 97C-368)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES PER NMDOT MAP PROJECT NO. TPU-140-3(119)160 DATED 11/13/1997
[N 90°00'00" E]	RECORD BEARINGS AND DISTANCES PER DEED (4/4/2001, BK. A17, PG. 6150, DOC. NO. 2001037685)
⊙	FOUND MONUMENT AS INDICATED
⊙	FOUND CHISELED "X"
⊙ X	SET PK NAIL WITH TAG "LS 14271" UNLESS OTHERWISE NOTED

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	39.34' (39.25')	25.00' (25.00')	90°09'12"	35.40'	N 44°42'42" W
C2	37.92' {37.92}	165.88' {165.88}	13°05'52"	37.84'	N 09°23'36" E
C3	87.53' {87.54}	53.77' {53.77}	93°16'01"	78.18'	S 49°28'41" W
C4	84.01' ((84.15'))	3474.98' ((3495.17'))	1°23'07"	84.01'	S 79°04'24" E
C5	392.05' ((392.31'))	5803.04' ((5802.85'))	3°52'15"	391.97'	S 80°22'17" E
C6	38.05'	150.00'	14°32'06"	37.95'	S 82°31'16" E
C7	46.77'	156.00'	17°10'44"	46.60'	N 83°50'35" W
C8	40.55'	25.00'	92°55'28"	36.25'	S 45°58'13" E

Plat for
Tracts A-1 and B-1
Carlisle & Indian School Subdivision
less than a portion conveyed to NMDOT
Being Comprised of
Tract A and B
Carlisle & Indian School Subdivision
City of Albuquerque
Bernalillo County, New Mexico
February 2020

Line Table		
Line #	Direction	Length (ft)
L1	S 89°37'03" E (S 89°48'00" E)	20.00' (20.00')
L2	N 00°22'32" E (N 00°12'00" E) {N 00°21'12" E}	49.19'
L3	N 02°50'41" E {N 02°49'02" E}	103.83' {104.10'}
L4	S 89°36'56" E (S 89°47'59" E) [S 89°47'53" E]	149.44' [149.57']
L5	N 00°22'57" E (N 00°12'00" E) [N 00°12'00" E]	200.00' (200.00') [200.00']
L6	S 89°58'50" W (N 89°47'59" W) [N 89°47'53" W]	140.89' [140.97']
L7	N 02°50'41" E {N 02°49'02" E} [N 02°39'44" E]	199.19' {200.08'} [200.18']
L8	N 02°50'41" E {N 02°49'02" E}	68.57' {67.42'}
L9	S 89°14'36" E {S 89°16'12" E}	71.42' {71.41'}
L10	N 00°25'51" E {N 00°25'51" E} ((N 00°26'09" E))	11.24' ((10.19'))
L11	N 46°17'13" E	2632.20'
L12	N 44°47'18" W	17.05'
L13	N 89°47'18" W	79.85'
L14	S 45°12'42" W	17.78'
L15	N 89°47'18" W	97.34'
L16	S 87°34'03" W	67.30'
L17	N 34°30'56" E	22.36'
L18	N 00°29'31" E	44.06'
L19	N 32°16'20" W	23.12'
L20	N 00°29'31" E	17.29'
L21	S 89°37'03" E	7.90'
L22	S 02°50'41" W	59.60'
L23	N 42°09'19" W	7.67'
L24	N 47°50'41" E	7.67'
L25	S 02°50'41" W	15.37'
L26	S 02°50'41" W	29.98'
L27	S 49°33'48" E	59.40'
L28	S 49°33'48" E	72.61'
L29	N 81°18'10" E	38.67'
L30	S 89°58'50" W	93.76'
L31	N 89°22'40" W	24.38'
L32	S 89°22'43" E	13.12'
L33	N 00°03'30" E	24.44'
L34	N 89°29'54" W	39.13'

CSI-CARTESIAN SURVEYS INC.

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