



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Greystar		Phone: (512) 473-4221
Address: 1717 West 6th Street, Suite 262		Email: nwhittaker@greystar.com
City: Austin	State: TX	Zip: 78703
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 8th Street NW		Email: vos@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Minor Amendment to Site Plan - EPC for adjustments in response to soil and drainage conditions, accessibility requirements, and reviewer comments at building permit.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

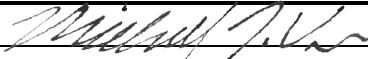
Lot or Tract No.: Tract 4	Block:	Unit:
Subdivision/Addition: North Andalucia at La Luz	MRGCD Map No.:	UPC Code: 101206207301831301
Zone Atlas Page(s): E-12	Existing Zoning: PD	Proposed Zoning: No Change
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 7.7061 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5301 Antequera Road NW Between: Bosque School Road and: Mirandela Street

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2020-003658

Signature: 	Date: 5/7/21
Printed Name: Michael J. Vos, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00668	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2020-003658

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

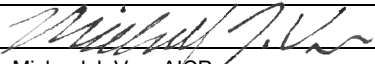

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

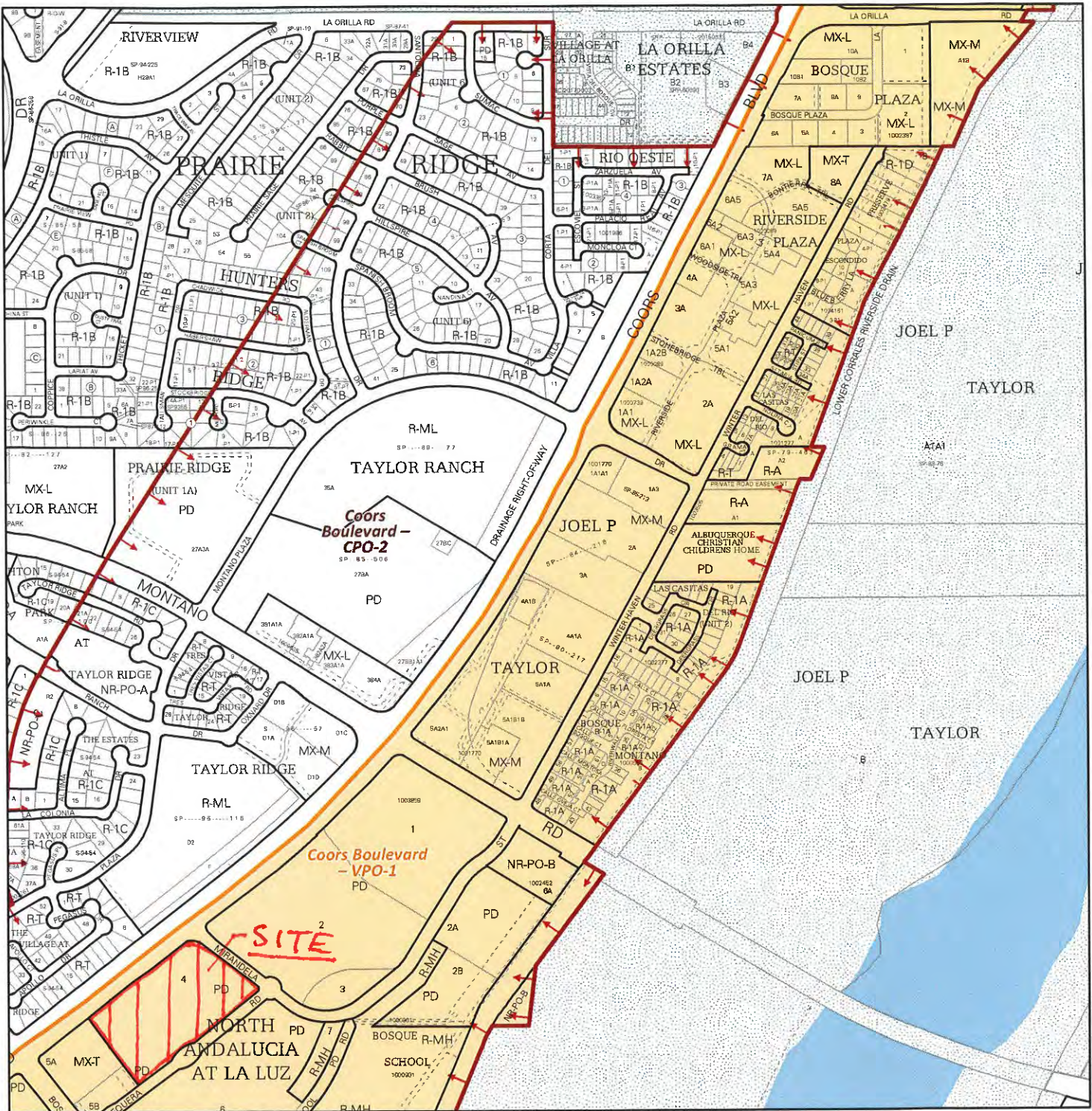
ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>		
<p>Signature: </p>	<p>Date: 5/7/21</p>	
<p>Printed Name: Michael J. Vos, A CP</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>	
<p>FOR OFFICIAL USE ONLY</p>		
<p>Project Number:</p> <p>PR-2020-003658</p>	<p>Case Numbers</p> <p>SI-2021-00668</p>	
<p>Staff Signature:</p>		
<p>Date:</p>		



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
E-12-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

April 15, 2020

Mr. Dan Serrano, Chair
Environmental Planning Commission
City of Albuquerque
Planning Department
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Andalucía Senior Housing Site Plan and Related Applications

Dear Mr. Serrano:

The purpose of this letter is to authorize Greystar, Consensus Planning, Isaacson & Arfman, and Meeks and Partners for approval of a Site Plan – EPC and related applications for a multi-family development on the below referenced property.

Legal Description: Tract 4, North Andalucía at La Luz, containing 7.7061 acres

Silver Leaf Ventures, LLC is the owner of the property and Greystar is the contract purchaser. Thank you for your consideration.

Sincerely,

A handwritten signature in blue ink, appearing to be 'A. W.', is written over the typed name and title.

Managing Member
Silver Leaf Ventures, LLC

April 15, 2020

Mr. Dan Serrano, Chair
Environmental Planning Commission
City of Albuquerque
Planning Department
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Andalucía Senior Housing Site Plan and Related Applications

Dear Mr. Serrano:

The purpose of this letter is to authorize Consensus Planning, Isaacson & Arfman, and Meeks and Partners to act as our agents for approval of a Site Plan – EPC and related applications for a multi-family development on the below referenced property.

Legal Description: Tract 4, North Andalucía at La Luz, containing 7.7061 acres

Silver Leaf Ventures, LLC is the owner of the property and Greystar is the contract purchaser. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Nic Whittaker", written in a cursive style.

Nic Whittaker
Senior Director
Development
Greystar



May 7, 2021

Mr. James M. Aranda, Deputy Director/ZEO
Albuquerque Planning Department
600 North 2nd Street NW
Albuquerque, NM 87102
jmaranda@cabq.gov

Dear Mr. Aranda:

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to request approval of a Minor Amendment to the Overture at Andalucia Site Plan – EPC based on changed conditions and design changes necessitated during development of the building permit drawings due to platting, accessibility, and soil conditions. The subject site is legally described as Tract 4, Plat of North Andalucia at La Luz containing approximately 7.7 acres and is located at 5301 Antequera Road NW.

The Applicant is nearing final approval and issuance of the building permit for this project, which was approved by the Environmental Planning Commission on September 10, 2020 (PR-2020-003658). The project received final sign-off approval by the Development Review Board on October 28, 2020 with delegation for minor Transportation notes and recording of an Infrastructure Improvements Agreement, which occurred in March 2021.

As this project progressed with more detailed design and ultimately the construction drawings for building permit, a few changes arose, which include the following:

1. Consultation on final design of the retaining walls along Coors Boulevard with a geotechnical engineer revealed that the soils would likely undercut the Coors Boulevard right-of-way during construction of the proposed multi-tiered retaining wall. To solve this issue, a Corten steel sheet pile wall is proposed along a portion of this edge of the property.
2. The Applicant proposed to vacate a small piece of right-of-way and replat the property to align the property boundary and right-of-way for Antequera Road to match the built roadway conditions.
3. Modifications were required to the accessible walkway entering the site and additional accessible parking spaces have been added based on City ADA review of the project. ADA ramp details have also been slightly updated to meet current Transportation standards.
4. The building elevations for the cottage duplex units were updated to remove a thin stone veneer from the base of the exterior walls, which provides for a cleaner design that better matches the larger primary building design as viewed from the surrounding streets. Minor modifications to windows and awning were made to the primary building to accommodate roof drainage requirements with downspouts.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

These changes are clouded and noted on the attached revised Site Plan, details, and elevation sheets. The Grading and Drainage plan was resubmitted and approved by Hydrology staff for the new retaining wall and updated site plan. Lastly, the Landscape Plan was updated to reflect minor adjustments to the landscape areas and tree placements to match the changes on the site plan.



The change to the retaining wall system is the biggest change in this minor amendment request, so the Project Engineer scheduled and held a meeting with representatives of the affected neighborhood associations. A copy of the minutes from this meeting are attached. This amendment meets the criteria to be considered a minor amendment under Section 14-16-6-4 (Y)(2)(a) of the IDO based on the following (Applicant responses following each criterion in italics):

6-4(Y)(2) Minor Amendments

6-4(Y)(2)(a) A minor amendment must meet all of the following criteria:

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

At the time of the original approval, the full sub-consultant team necessary to prepare construction drawings was not assembled and the plans were not reviewed in the same level of detail as is required by Building Safety to obtain a permit. Indicative of the iterative design process, the original Grading and Drainage plan was a conceptual plan, which has been updated with greater details than what is required for EPC or DRB approval. The proposed changes respond to new information relative to soil and drainage conditions, accessibility requirements, and responses to reviewer comments that were not known, and could not reasonably have been known, at the time of the Environmental Planning Commission approval of this project.

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

The proposed amendment does not affect any dimensional standard thresholds, as shown in the table. One dwelling unit was modified within the existing overall building footprint, so the square footage remains the same as approved by the EPC. No changes to building height, setbacks, number of dwelling units, total number of parking spaces, or other standards were adjusted. The proposed retaining wall was changed from multiple tiers to a single Corten steel sheet pile wall but is retaining the same or less grade difference as originally approved by the EPC. The reason for this change was due to the soil conditions and the change has been deemed necessary by the City Engineer for this lot based on those technical requirements and allowed by the IDO in Section 5-7 Walls and Fences.

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

The Amendment is not decreasing the amount of open space within the development. The total amount of landscaped open space area is slightly increased by the proposed amendment.



4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

The buildings are remaining as originally approved. While the amendment shifts a property line to match the existing built conditions of Antequera Road, this is a north-to-south move in parallel to the proposed building so the minimum setback is unchanged.

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

The total number of units is not changing with this request.

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.

The proposed amendment removes a thin stone veneer from the base of the duplex cottage units, which will match most of the larger building with a cleaner stucco finish. By switching away from the veneer, the durability of these facades will be improved with easier maintenance that will ensure the perception of building quality from the adjacent streets remains over time. The minor modifications to windows and awnings were made to accommodate drainage downspouts from the roof of the primary building. The changes to the street-facing façade along Antequera (east) were only to relocate awnings to another location on the same façade, so the overall quality of design and articulation is unchanged when viewed from the street and adjacent multi-family development.

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

The total amount of landscape area is reduced by a small amount (5,370 square feet or approximately 6%) due to the addition of a second accessible path from the Antequera public right-of-way to the main building entrance, removal of a landscape island to accommodate an accessible pathway to the dog park, and the final sizing of the stormwater ponding areas, which include some landscaping but are excluded from the final landscaping calculations. This reduction does not waive any required screening nor reduce any landscaping requirements such as street trees along the property boundaries of the site. Due to the change to the retaining wall system, a wider landscape area is being provided at the grade of Coors Boulevard, which allows for more of the trees and groundcover to be visible as individuals drive, ride, or walk by the property. Overall, this amendment results in an improved visual quality of the site as viewed from adjacent streets and public areas.



8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

The amendment does not change the number of dwelling units, square footages, amount of parking, or means of ingress or egress, so no increase in traffic is anticipated.

9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

The amendment does not change any access or circulation, nor does it require any infrastructure that has not already been determined by the Development Review Board (DRB). The Applicant revised the infrastructure list through the DRB process (updated list included in this application) to include the new retaining wall on the list for this development and all other improvements remain the same.

10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

The proposed amendment does not change any existing conditions placed on the property by the EPC or DRB (see attached notice of decision). EPC Condition number 5 required the Applicant to provide details for the retaining wall to be reviewed and approved by the DRB, which occurred, as required. However, further design and soils analysis of those details required the proposed modification. This revised retaining wall has been reviewed and approved by Hydrology staff and the DRB through an amendment to the approved infrastructure list consistent with the EPC condition.

11. The amendment does not affect a property in an Overlay zone as regulated per 0, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

The proposed amendment does not affect any standards or requirements of the Coors Boulevard Character Protection or View Protection Overlay zones, as applied to this property.

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

The zoning and land use are for senior, age-restricted multi-family residential, which is not changing with this request.

13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

The site has not yet been built per the approved plan, so there are no nonconformities on the site.



Based on the IDO Criteria and responses provided above, we respectfully request approval of the attached Minor Amendment as provided for in the IDO. Please do not hesitate to contact us if you have any questions or require any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "James K. Strozier".

James K. Strozier, FAICP
Principal



Overture Andalucia Neighborhood Meeting Minutes

1. Meeting Date & Time:
 - a. Thursday March 18, 2021 at 3:30pm
2. Location:
 - a. Meeting held virtually on Google Meets
3. Attendance:
 - a. Isaacson & Arfman, Inc.
 - i. Fred Arfman
 - ii. Ian Anderson
 - b. Consensus Planning
 - i. Jim Strozier
 - ii. Michael Vos
 - c. Neighborhood Representatives
 - i. Rene' Horvath – Westside Coalition of Neighborhood Association/Taylor Ranch Neighborhood Association Rep
 - ii. Pat Gallagher – Neighbor/La Luz Landowner's Association
4. Meeting Discussion:
 - a. Purpose – Primary purpose of the meeting is to discuss the technical reasons that require the revision from a tiered block wall system to a Corten steel sheet pile retaining wall along the perimeter adjacent to Coors Blvd.
 - i. Reviewed perimeter wall section exhibit, showing both wall systems individually and a composite overlay.
 - ii. Tiered block wall system shown with Geotech recommended angle of repose at 1.5:1 for soils on site.
 - iii. Noted that due to the angle of repose recommended, the construction of a tiered wall system at the required elevations will undermine the existing Coors Roadway, thus is deemed un-constructable.
 - iv. Discussed the sheet pile wall system shown and noted how the wall will be constructed. Due to the sheet pile being driven into the ground, the angle of repose is not an issue during construction for this type of wall system.
 - v. Noted as an engineered solution for the design limitations and the existing conditions present.
 - vi. Comparison of the systems shows that with the sheet pile, an additional landscape width of 10' is added on the top elevation of the wall adjacent to Coors, rather than spaced between the tiered walls.
 - vii. Wall location is also shifted further away from Coors Blvd, allowing an additional elevation drop to the safety fence by 2-ft. Lessening any view obstruction from Coors Blvd looking northeast.
 - viii. Reviewed sample pictures of previously constructed sheet pile retaining wall used at Isleta Casino, noting the architectural element and benefit of the self-sealing Corten steel.

- ix. Discussed the specific location on site where the sheet pile wall will be utilized, in locations with elevation different >10' and in locations where the angle of repose dictates that a tiered block wall is un-constructable (specifically along Coors Blvd).
- x. Perimeter block wall will be utilized where it is applicable (along Mirandela Street, Antequera Road, and shared boundary with Credit Union to the South).
- xi. Explained the planned landscaping on both the high side and low side of the wall will provide additional screening of the wall for public along Coors Blvd and tenants on site.

5. Neighbor Feedback

- a. Understood reasoning behind change, specifically the 'un-constructability' of the block wall and the need to maintain Coors Blvd for public safety.
- b. Agreed that the sheet pile wall is an engineering solution to the limitations and existing conditions present on and surrounding the site.
- c. Suggested to match neighboring sites as closely as possible to maintain a consistent 'feel' of the area:
 - i. Response: Site design has taken inspiration from neighboring properties and will match certain items where possible
- d. Emphasized the need to maintain the Coors Blvd view corridor of Sandia Mountains
 - i. Response: Verified that the project has met the view corridor conditions, achieving City approval on this item, and as noted above, the view frame will actually be lowered with the new Corten steel sheet pile wall system.

6. Adjournment

- a. Meeting was adjourned at 4:30 pm on March 18, 2019

Minutes by: Ian Anderson, P.E.

Approved by: Fred Arfman, P.E.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 26, 2021

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: Overture Andalucia
5301 Antequera Rd. NW
Grading and Drainage Plan
Engineer's Stamp Date: 03/10/21
Hydrology File: E12D015G**

Dear Mr. Arfman:

PO Box 1293

Based upon the information provided in your submittal received 03/11/2021, the Grading and Drainage Plan is approved for Building Permit, Grading Permit, Paving Permit, and Work Order.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

Please provide Drainage Covenant for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to clabadie@cabq.gov or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC
Attn: Charlotte LaBadie
600 2nd St. NW, Ste. 400
ABQ, NM, 87102

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

A handwritten signature in purple ink that reads "Renée C. Brissette".

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 2019-003055
DRB Application No.: _____

**Overture Andalusia Senior Housing
PROPOSED NAME OFSITE DEVELOPMENT PLAN**

**Tract 4, North Andalusia at La Luz
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		8'	PCC Sidewalk	Coors Blvd.	So. Property Line	Mirandela St.	/	/	/
		6'	PCC Sidewalk	Mirandela St.	Coors Blvd.	Antequera Rd.	/	/	/
		6"	PCC Sidewalkj	Antequera Rd.	Mirandela St.	So. Property Line	/	/	/
		24' - 30'	Entrances (2)	Antequera Rd.	SE corner & Mid-pt.		/	/	/
		10"	Prv't. Fire Line Connection with Valves	Antequera Rd.	Site Entrance		/	/	/
		4"	Water Service & Vault	Antequera Rd.	Site Entrance		/	/	/
		1"	Irrigation Service	Antequera Rd.	Site Entrance		/	/	/
		8' - 17'	Corten Steel Sheet Pile Rtg. Wall	Coors Blvd ROW 20' offset east	SW Prop. Corner	extending 470' N.	/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 The designated sidewalks are Site Plan controlled and will not be financially guaranteed.
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
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Fred C. Arfman, PE

NAME (print)

ISAACSON & ARFMAN, INC.

FIRM

3/23/2021

SIGNATURE - date

Maggie Gould Apr 8, 2021
DRB CHAIR - date

Jeanne Wolfenbarger Apr 8, 2021
TRANSPORTATION DEVELOPMENT - date

Blaine Carter Apr 12, 2021
UTILITY DEVELOPMENT - date

Ernest Armijo Apr 8, 2021
CITY ENGINEER - date

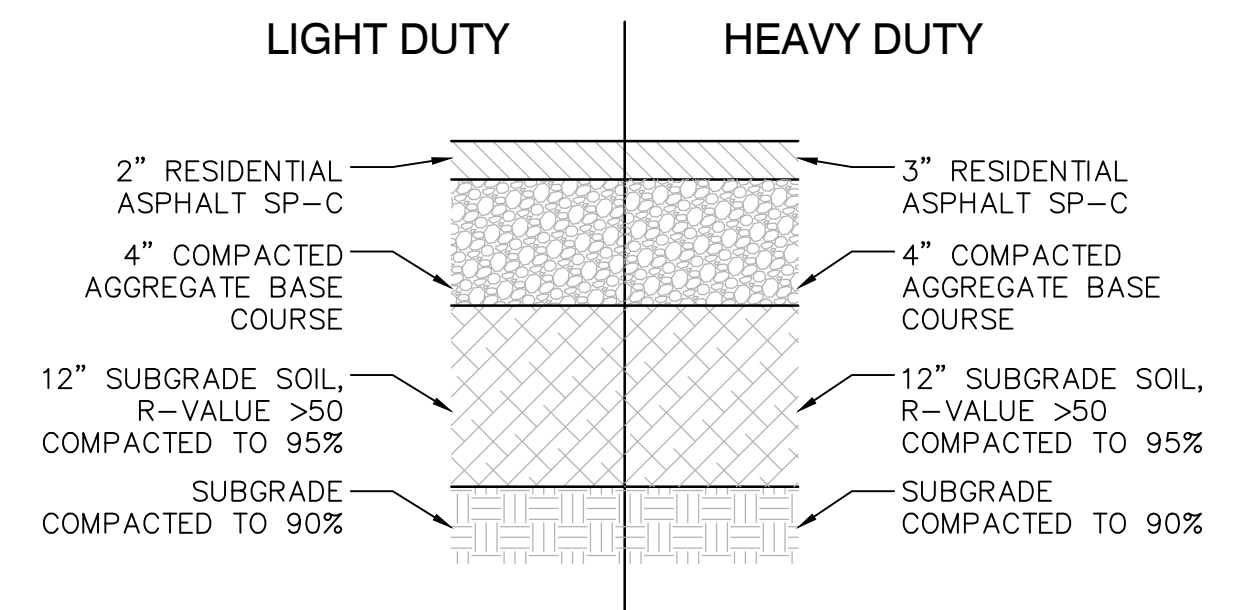
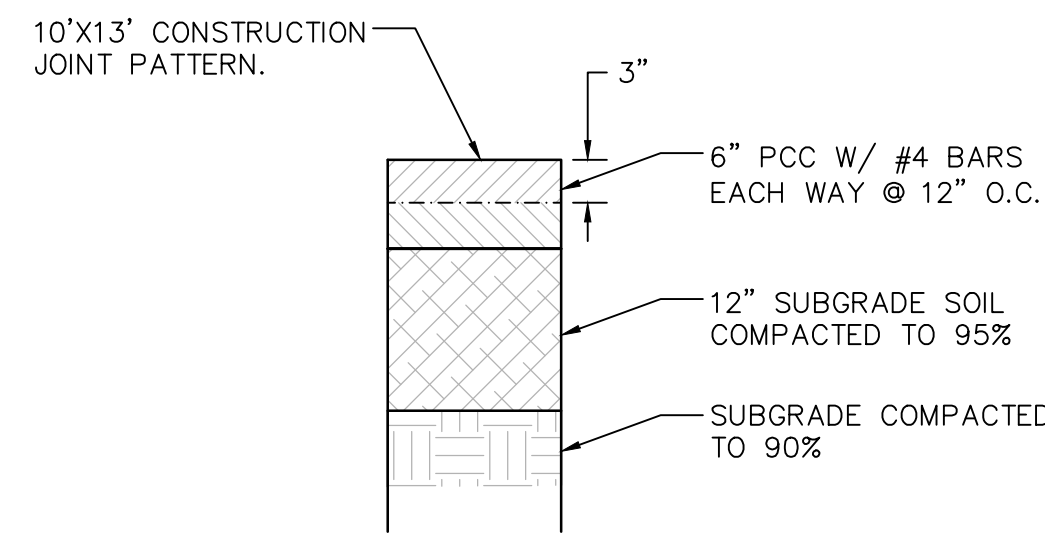
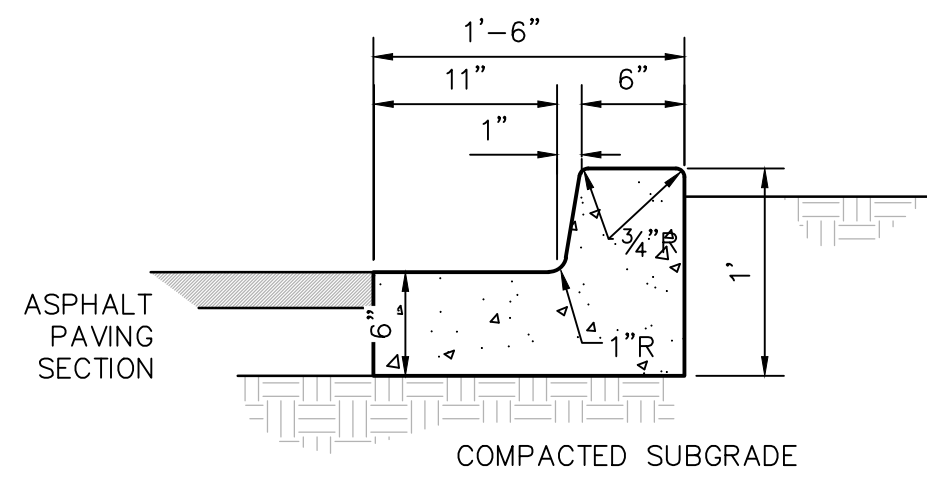
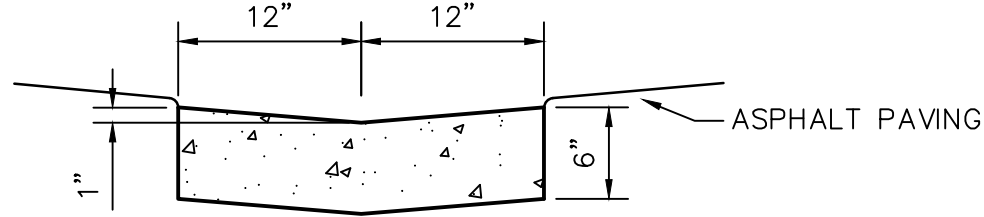
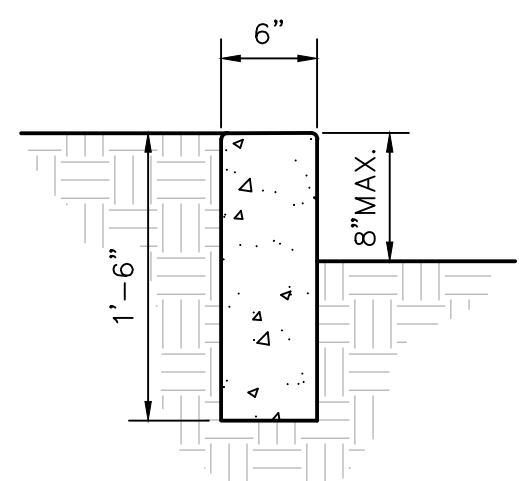
Cheryl Sommerfeldt Apr 9, 2021
PARKS & RECREATION - date

Carl Garcia Apr 8, 2021
CODE ENFORCEMENT - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



- GENERAL NOTES**
- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
 - REQUIRES FULL FORM ON ALL FACES.
 - CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
 - 1/2" EXPANSION JOINTS 24' O.C.

- GENERAL NOTES**
- EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
 - CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
 - 1/2" EXPANSION JOINTS 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES. SEAL WITH _____
 - EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).

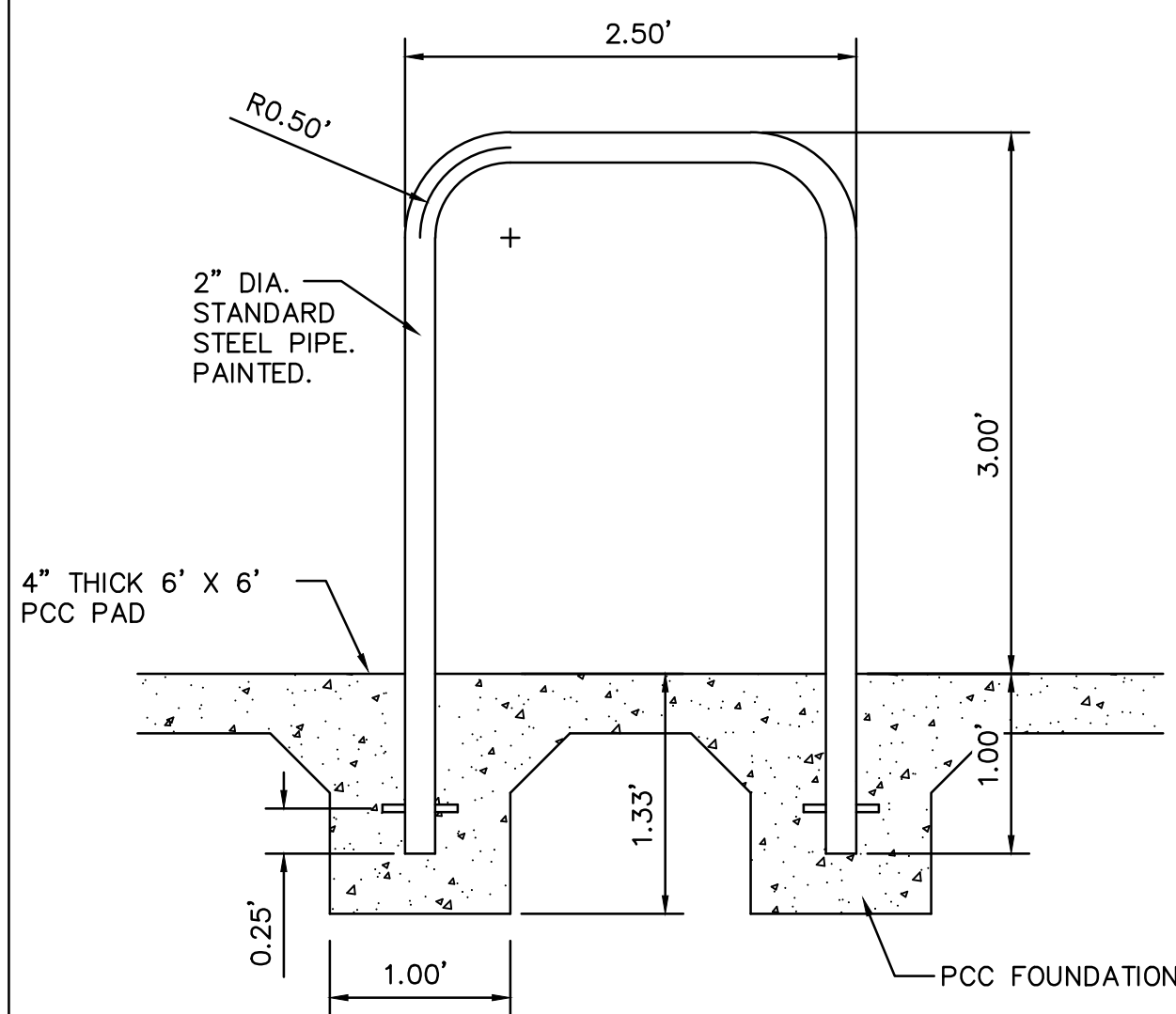
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 - 1/2" EXPANSION JOINTS 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES

CONCRETE PAVING SECTION

ASPHALT PAVING SECTIONS

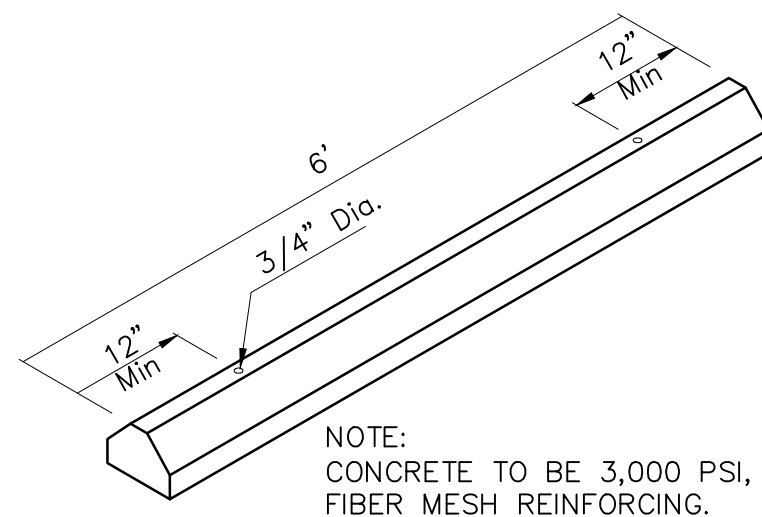
HEADER CURB

SCALE: N.T.S.



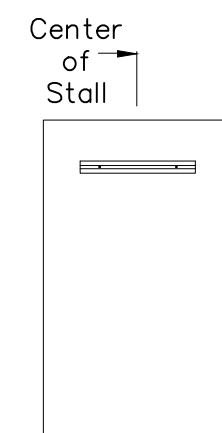
ALLEY GUTTER

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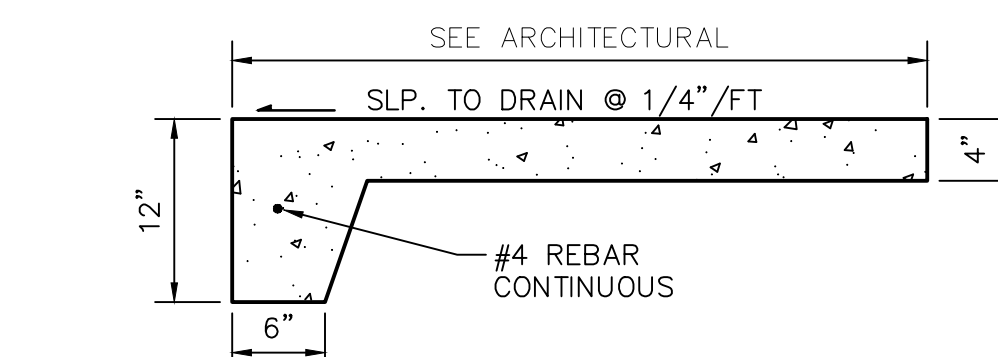


MEDIAN CURB AND GUTTER

SCALE: N.T.S.



- NOTES:**
- WHEEL STOPS TO BE PLACED 2' BACK, CENTERED IN THE PARKING STALL
 - WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.

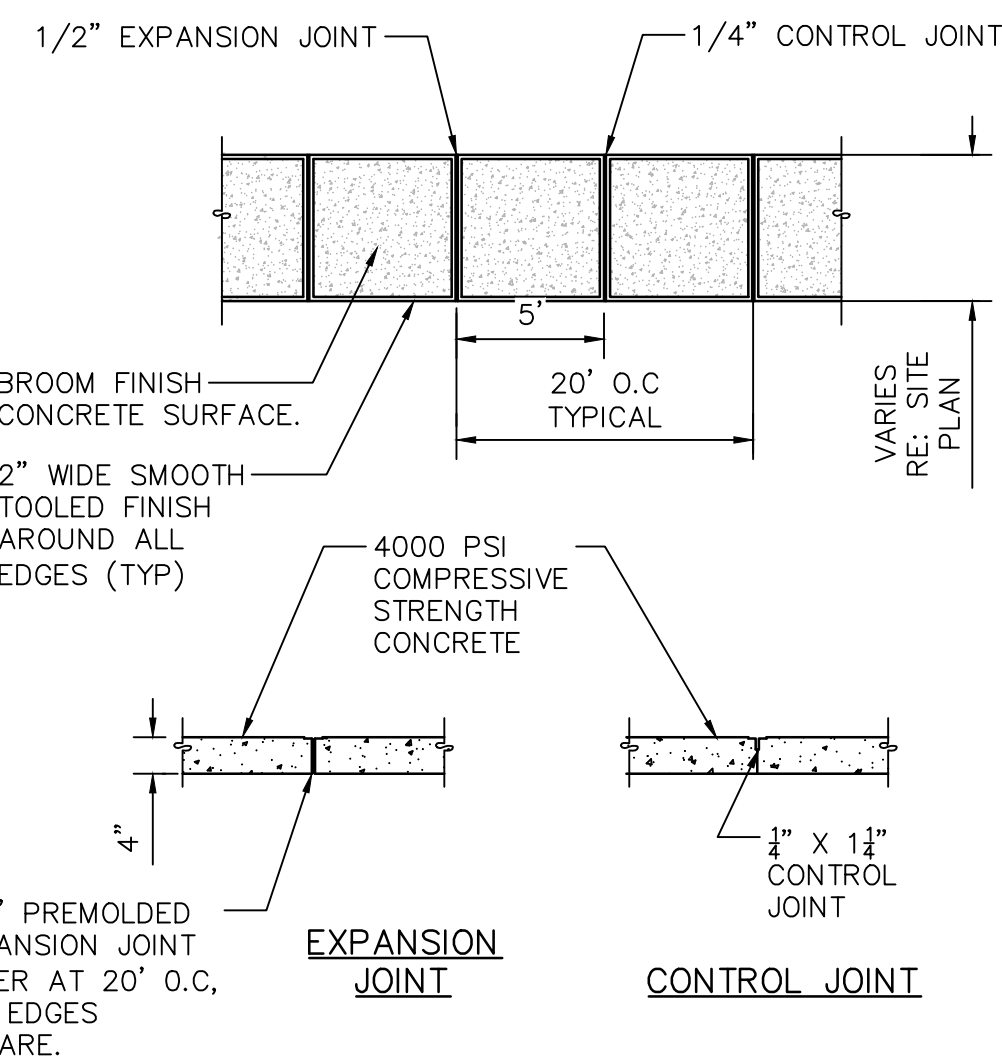


GENERAL NOTES

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- REQUIRES FULL FORM ON ALL FACES.
- CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
- 1/2" EXPANSION JOINTS 24' O.C., CURB RETURNS AND EACH SIDE OF DRIVES

SIDEWALK - TURNED DOWN EDGE

SCALE: N.T.S.



TYPICAL SIDEWALK

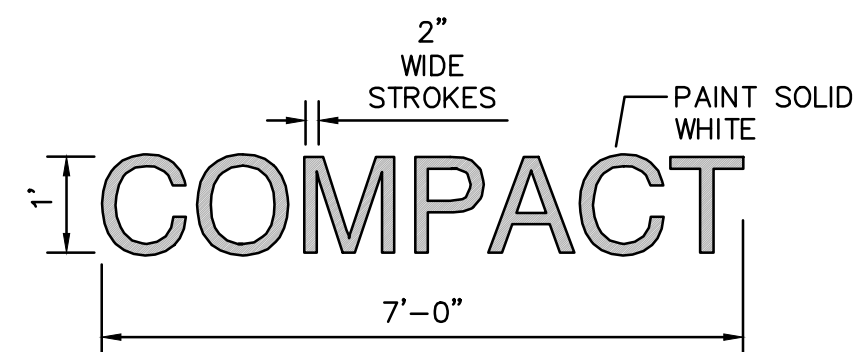
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BICYCLE RACK - 'STAPLE'

SCALE: N.T.S.

WHEEL STOP

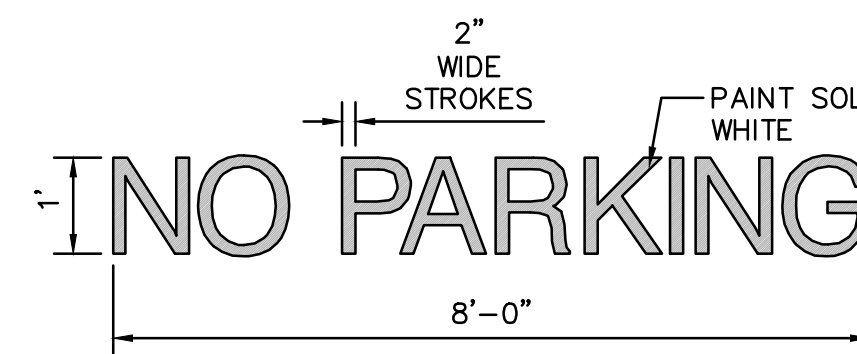
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PAINTED 'COMPACT'

AT ALL COMPACT PARKING SPACES

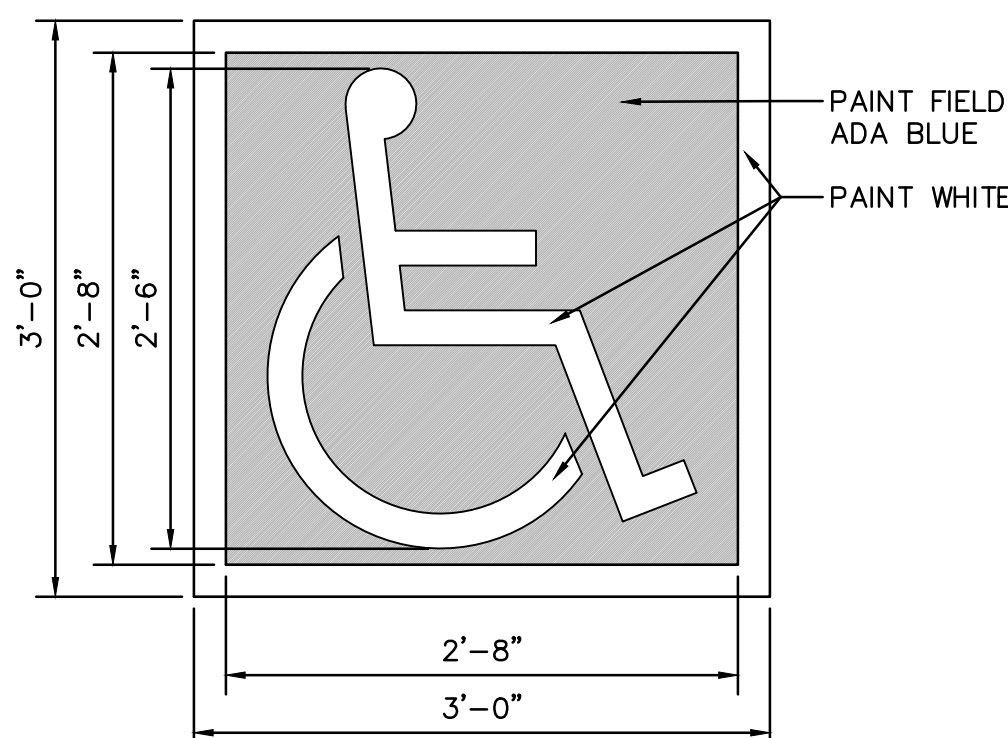
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PAINTED 'NO PARKING'

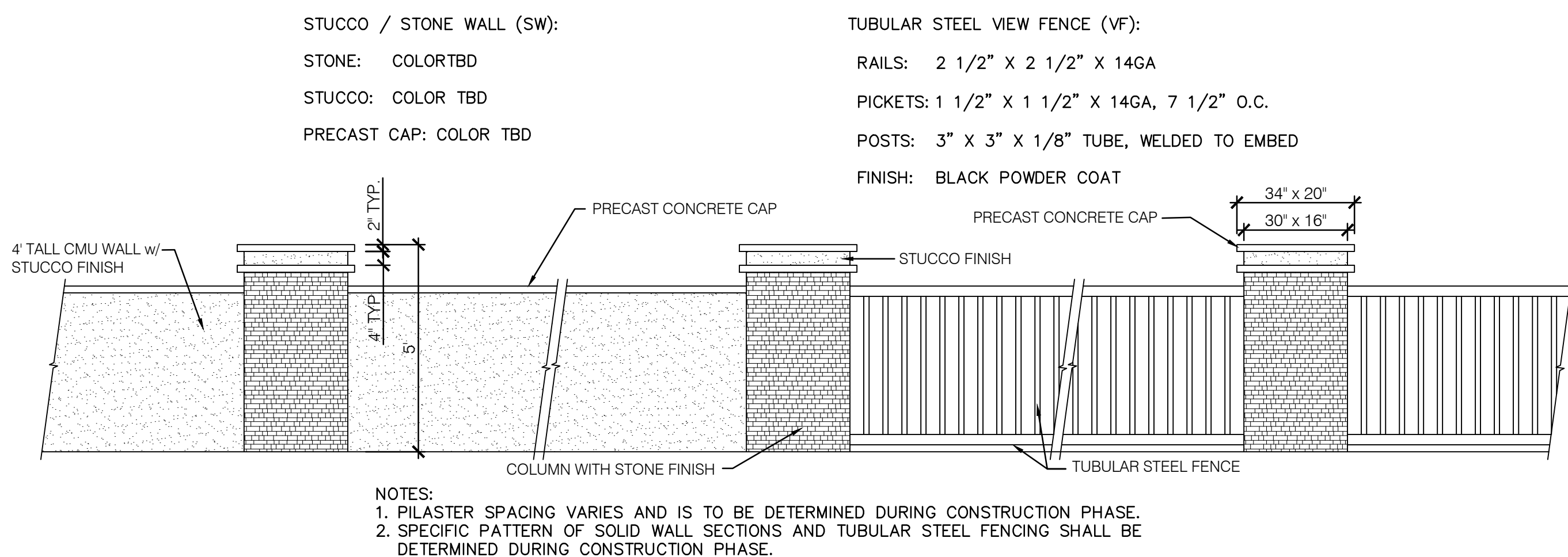
AT ADA ACCESS AISLES ADJACENT TO ADA PARKING

SCALE: N.T.S.



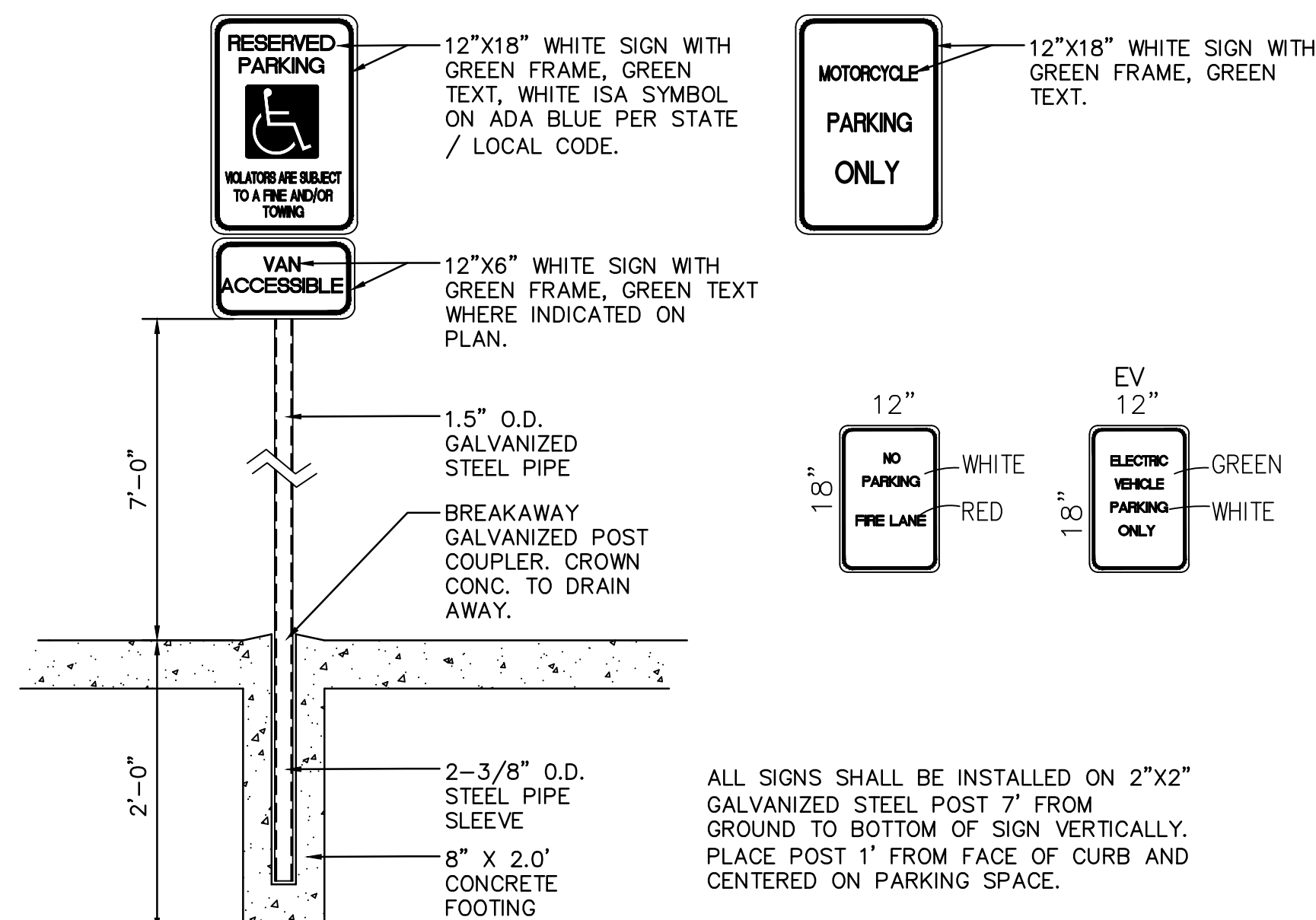
ACCESSIBILITY SYMBOL

SCALE: N.T.S.



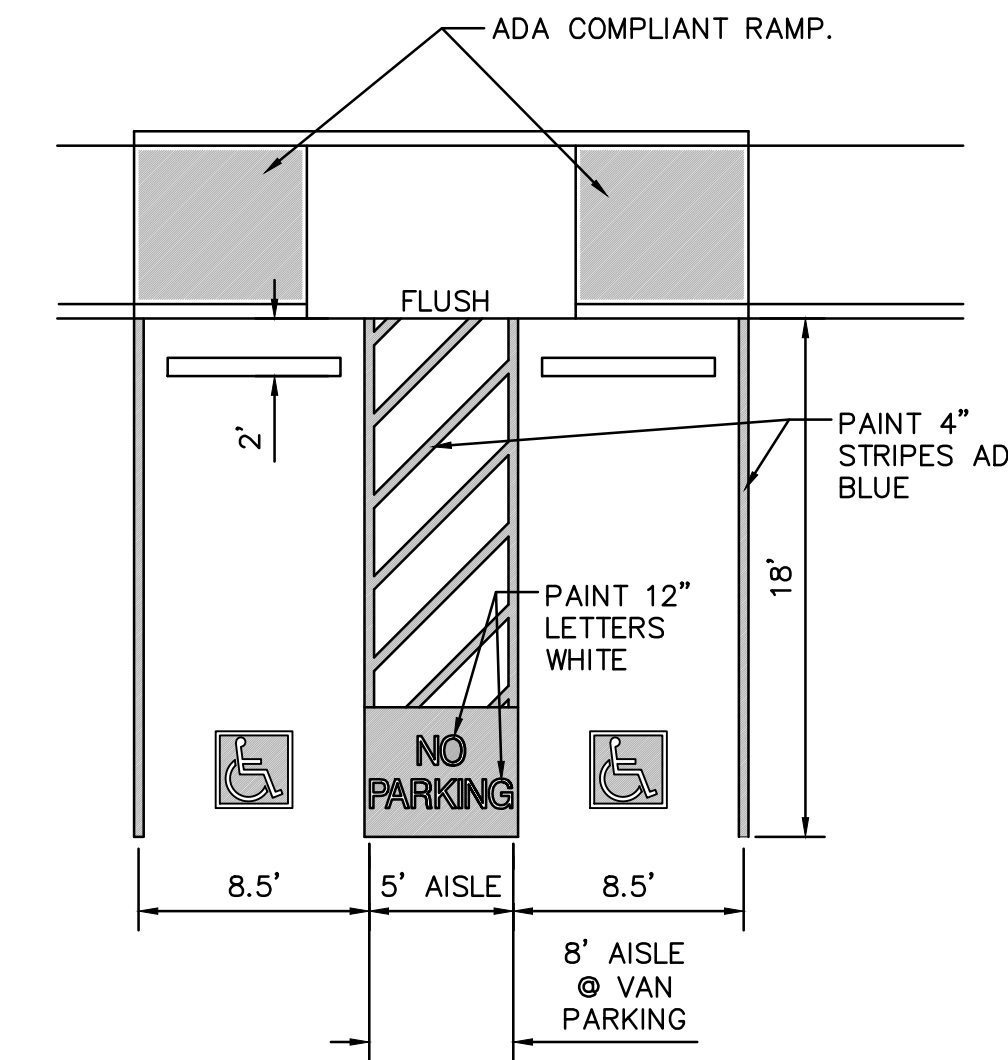
FENCE/WALL GENERAL DESIGN INFORMATION

SCALE: N.T.S.



PARKING SIGNS

SCALE: N.T.S.



ADA PARKING DETAIL

SCALE: N.T.S.

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 Albuquerque, NM 87108
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Date

OVERTURE ANDALUCIA
 Albuquerque, New Mexico
 a development of
 Greystar Development Group, LP

ISSUE/DESIGN DEVELOPMENT	PROJECT NUMBER: IA 2360
FILE:	FILE: BJB
DRAWN BY:	FILE: FCA
CHECKED BY:	DATE: 10-23-2020

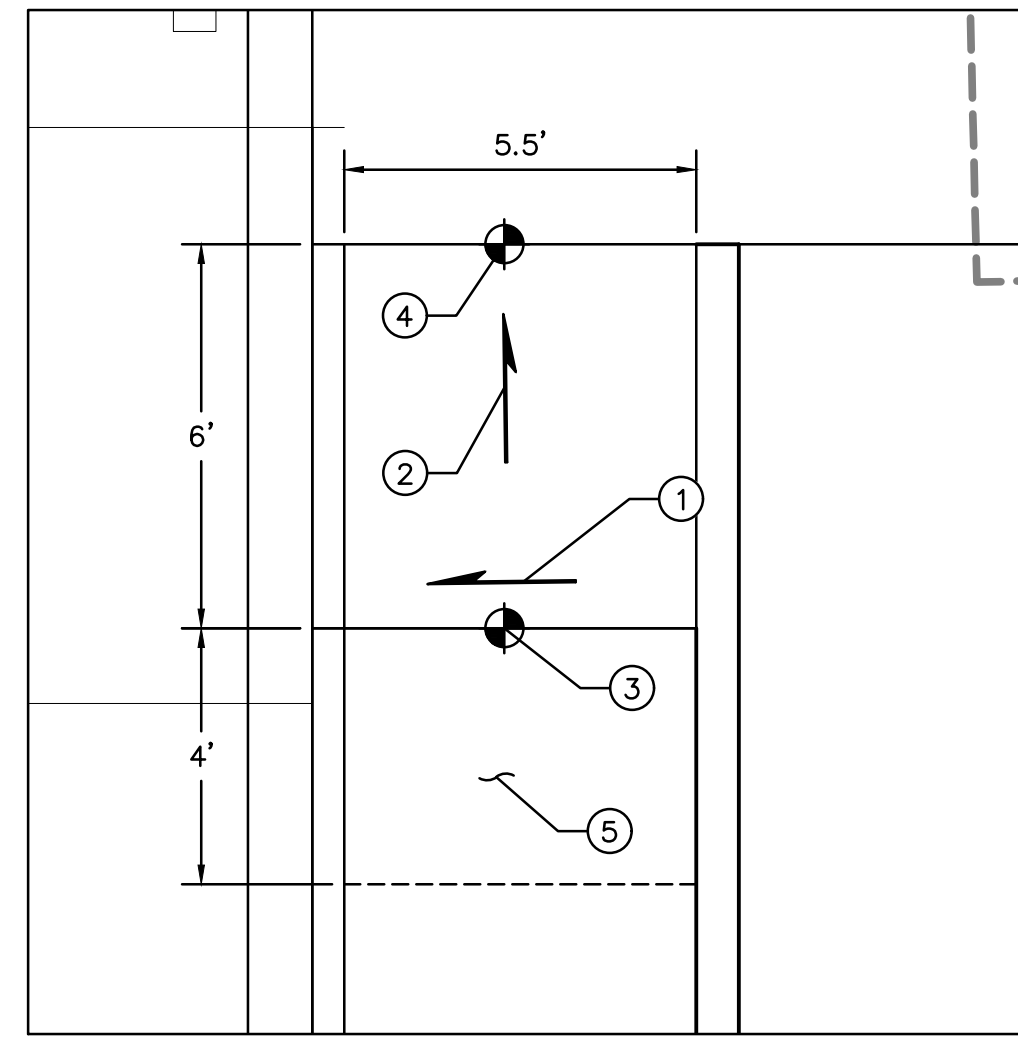
Description	Date	No

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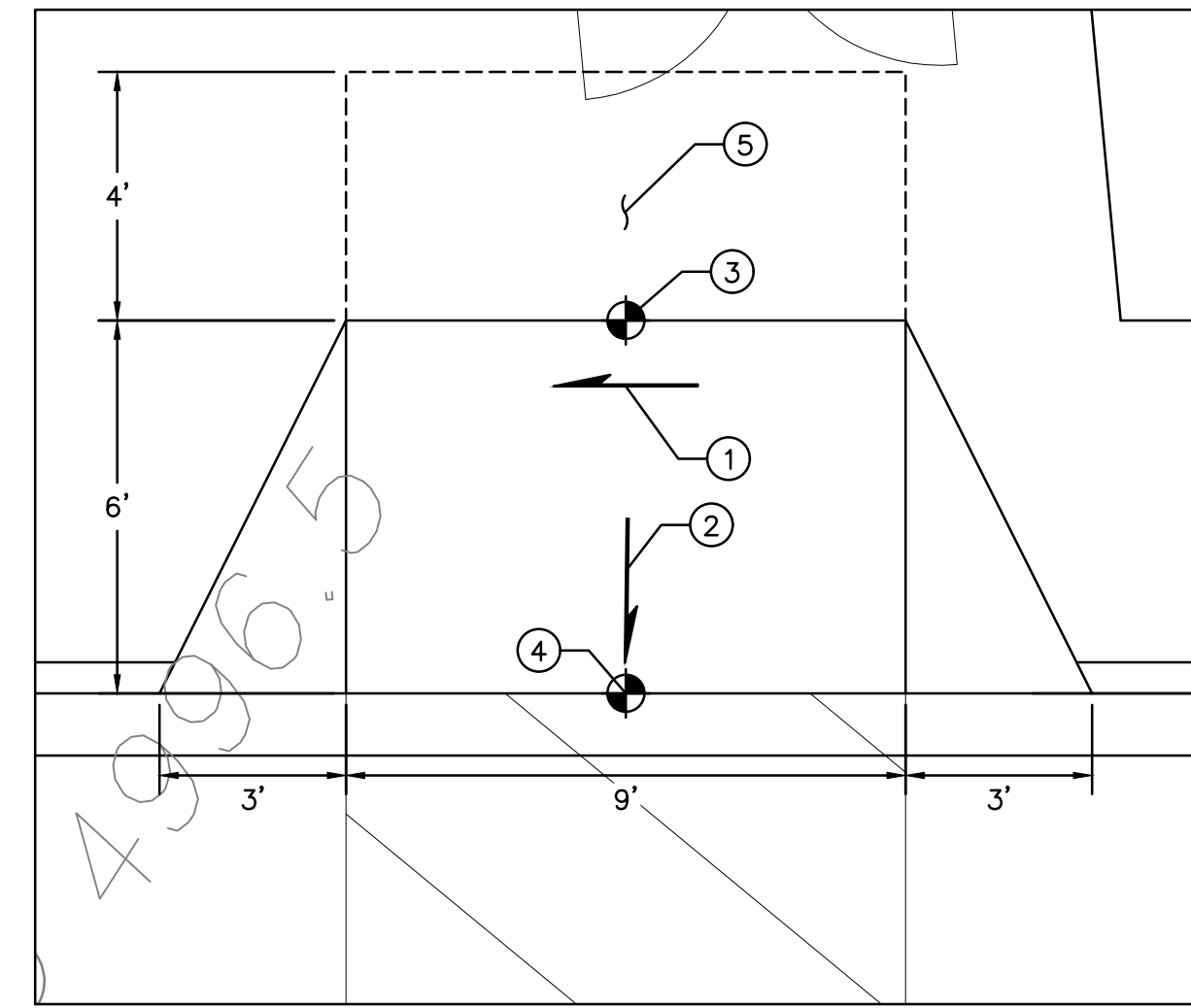
Site Details

SHEET NUMBER

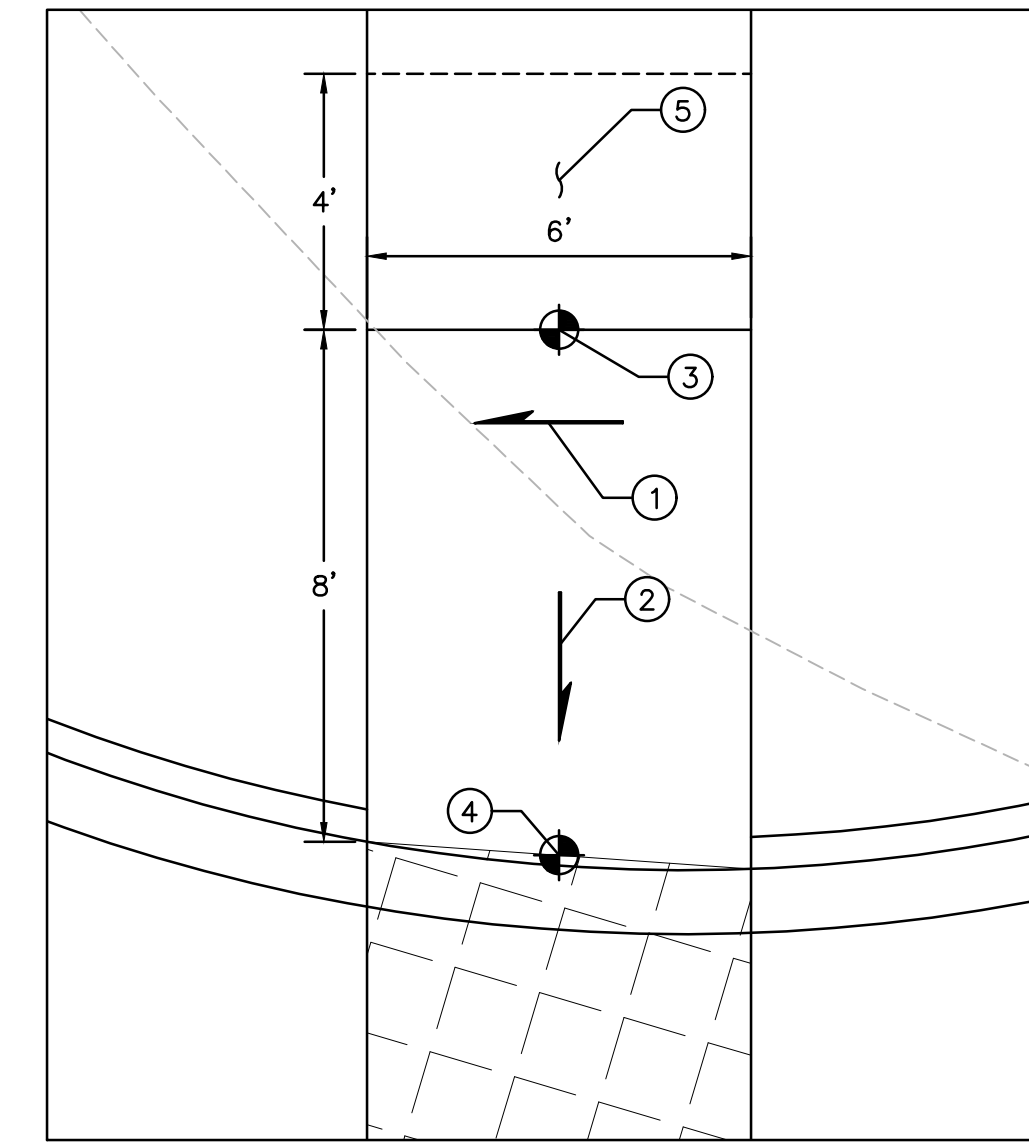
CP-501



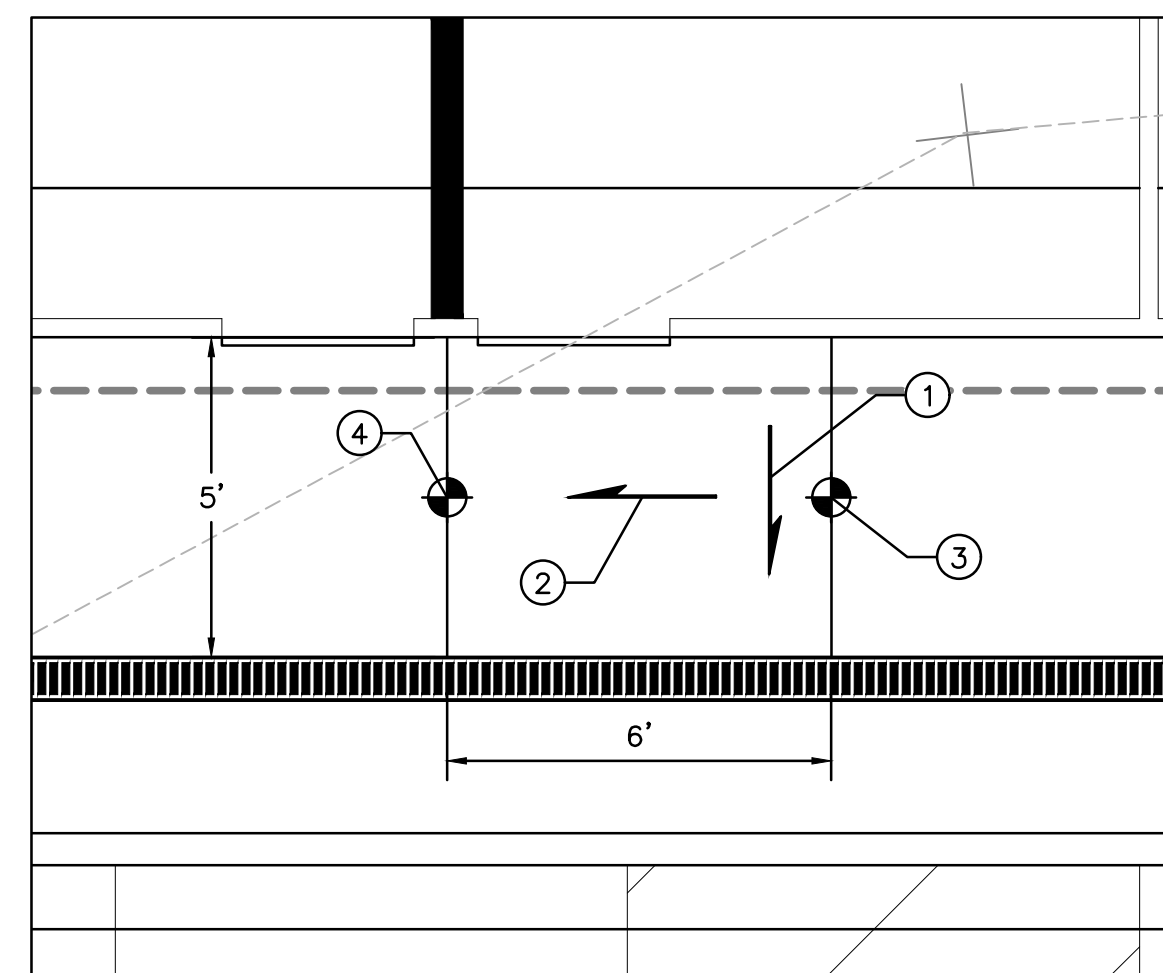
CONDITION A
SCALE: 1" = 3'



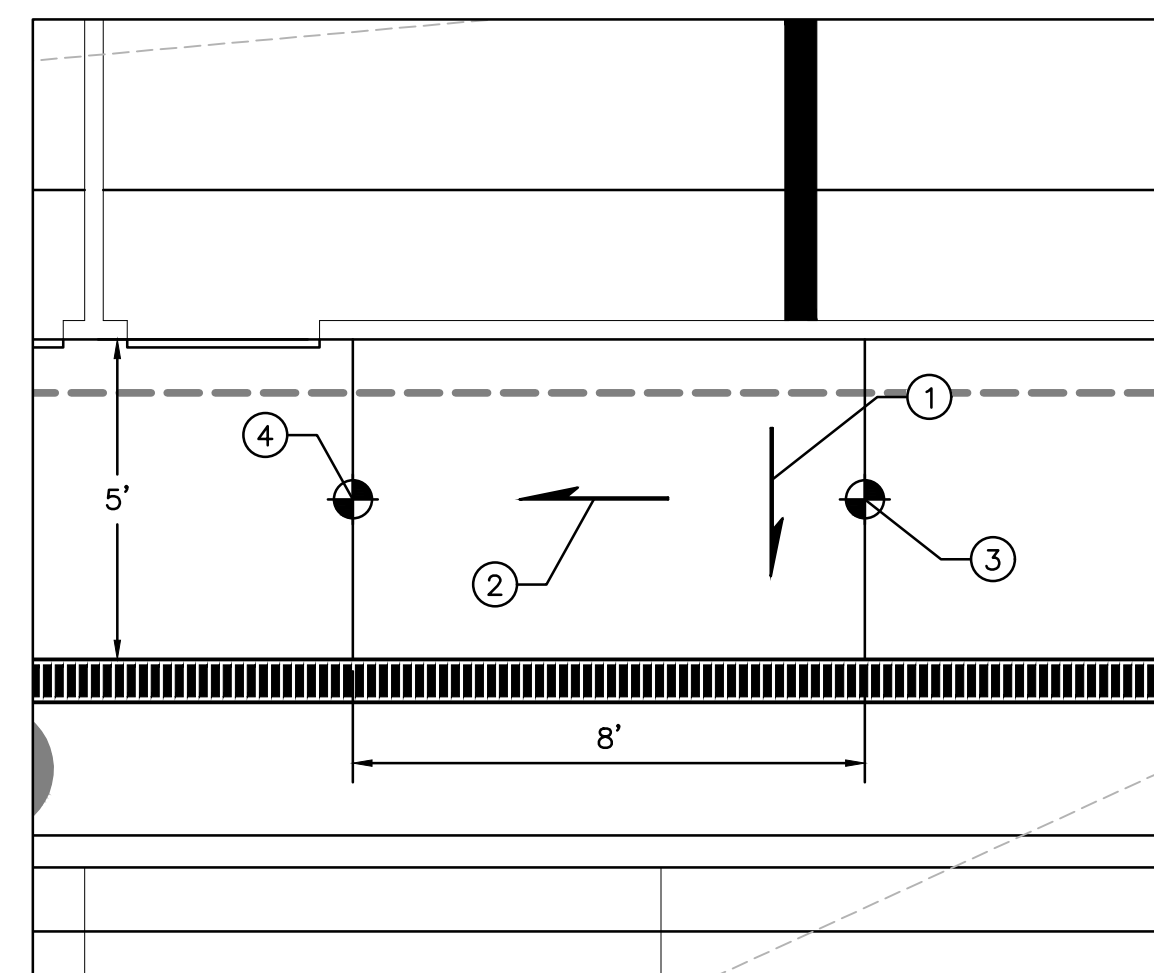
CONDITION B
SCALE: 1" = 3'



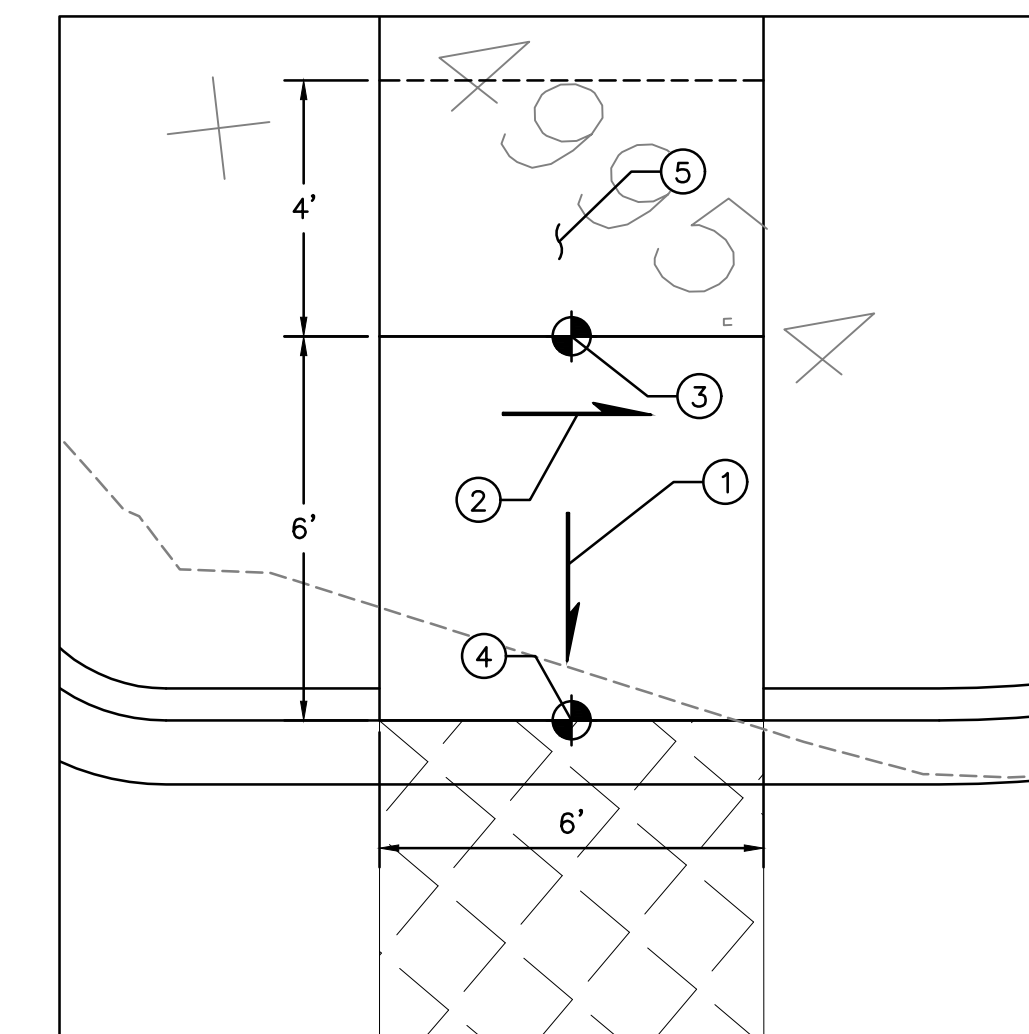
CONDITION C
SCALE: 1" = 3'



CONDITION D
SCALE: 1" = 3'



CONDITION E
SCALE: 1" = 3'



CONDITION F
SCALE: 1" = 3'

ADA RAMPS DETAILS

KEYED NOTES

1. RAMP TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
2. ACCESSIBLE RAMP TARGET LONGITUDINAL SLOPE = 7%. LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
3. REFER TO FINAL GRADING PLAN FOR TOP OF RAMP FINAL GRADE, MAXIMUM ELEVATION CHANGE ACROSS RAMP = 6"
4. REFER TO FINAL GRADING PLAN FOR BOTTOM OF RAMP FINAL GRADE
5. MINIMUM 4' LANDING, MAXIMUM SLOPE = 2% IN ALL DIRECTIONS

W:\PROJECTS\2000-2380\2380\DWG\CONCEPTUAL_PLANS\CP-502.dwg 10/28/2020 3:32 PM

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OVERTURE ANDALUCIA
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ISSUE: DESIGN DEVELOPMENT
PROJECT NUMBER: IA 2360
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No	Date	Description

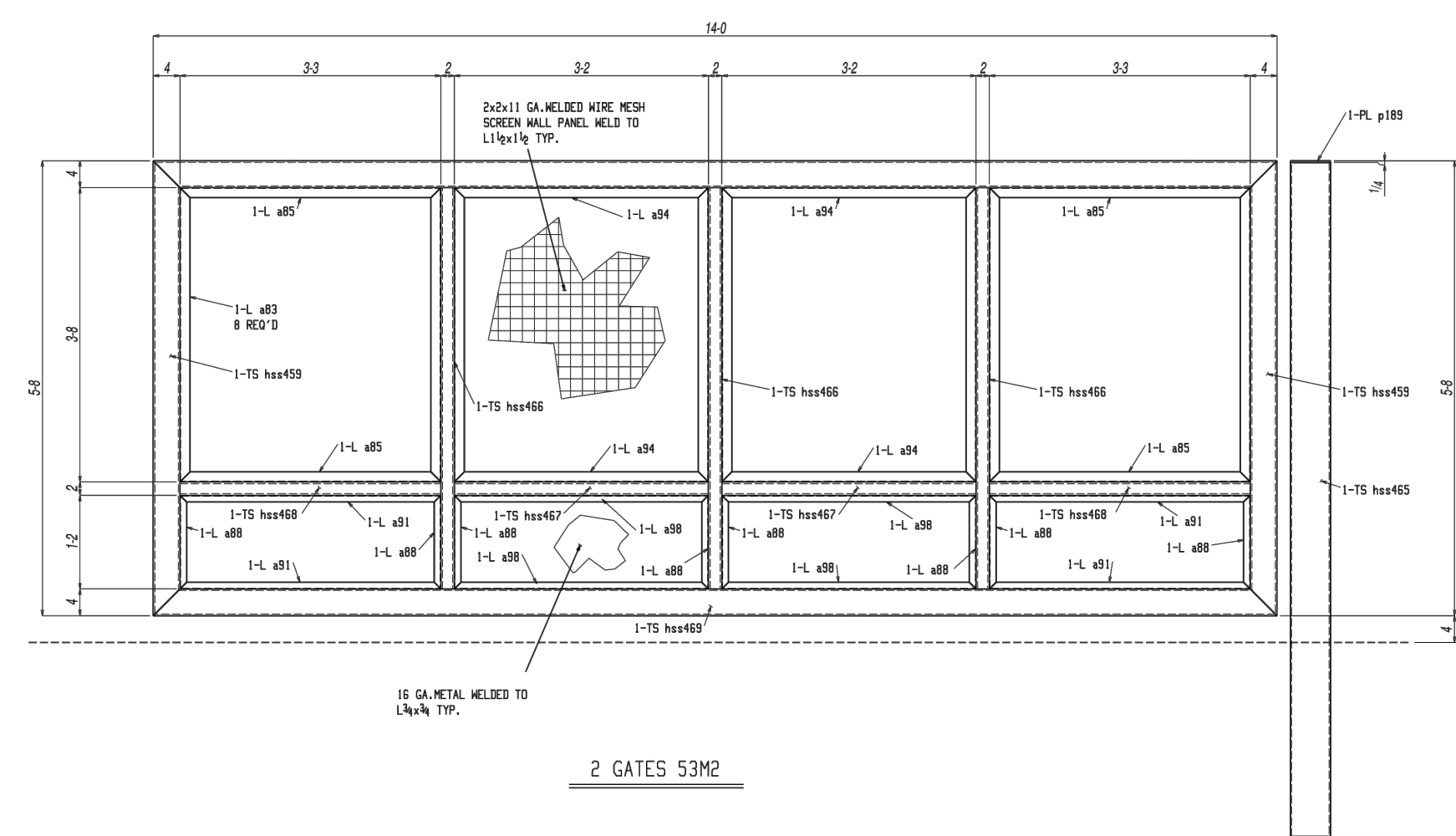
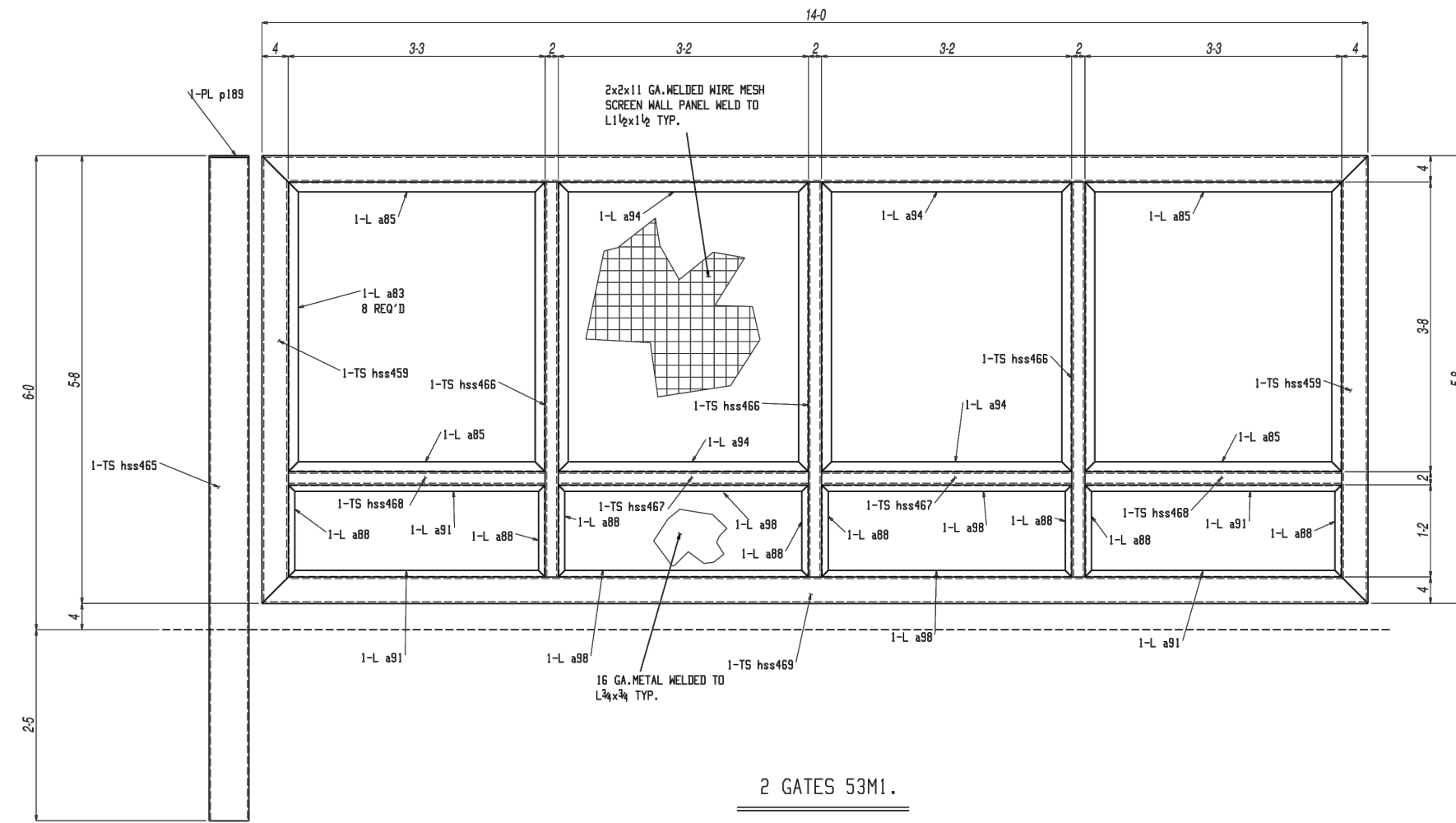
SHEET TITLE

Site Ramp Details

SHEET NUMBER

CP-502

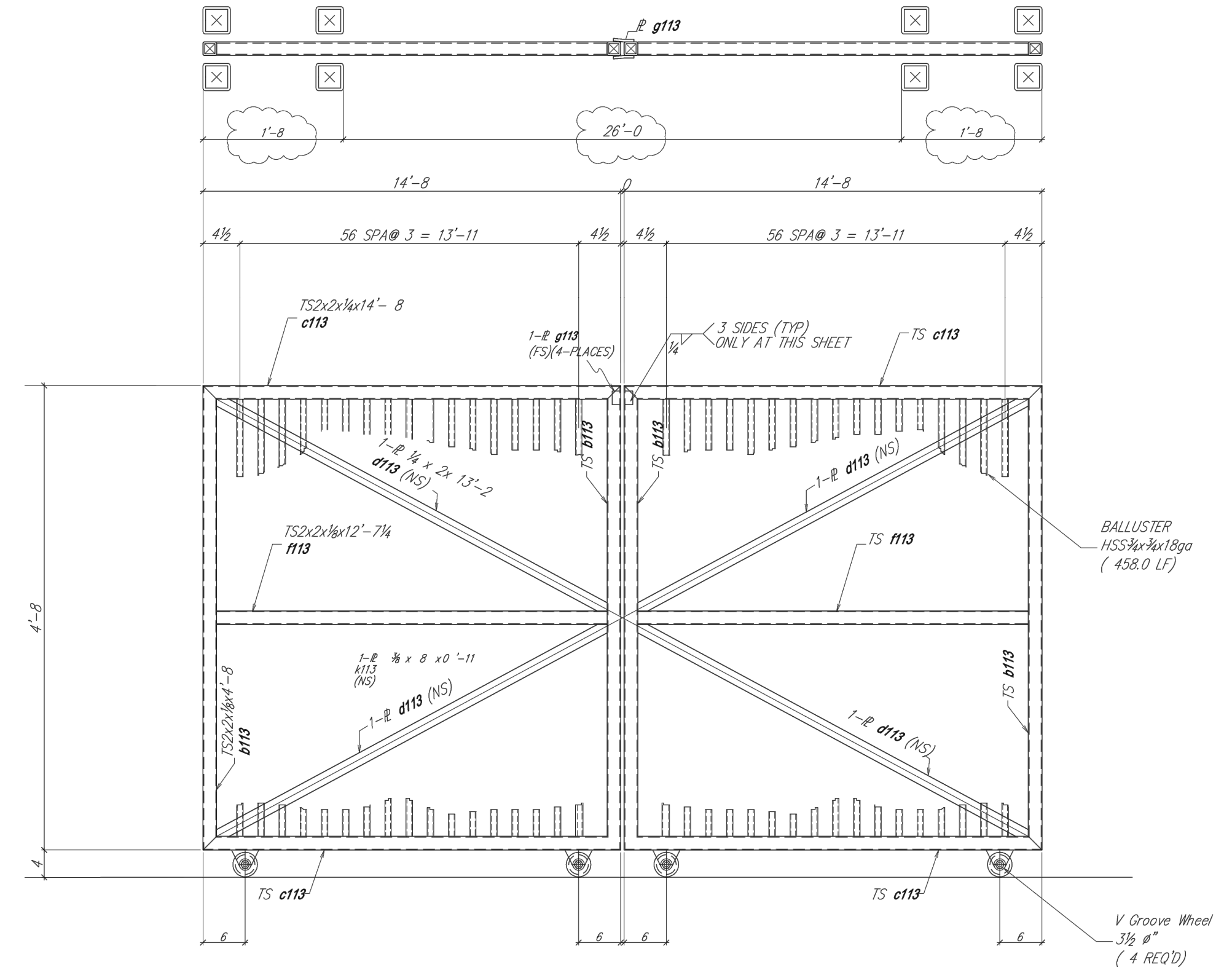
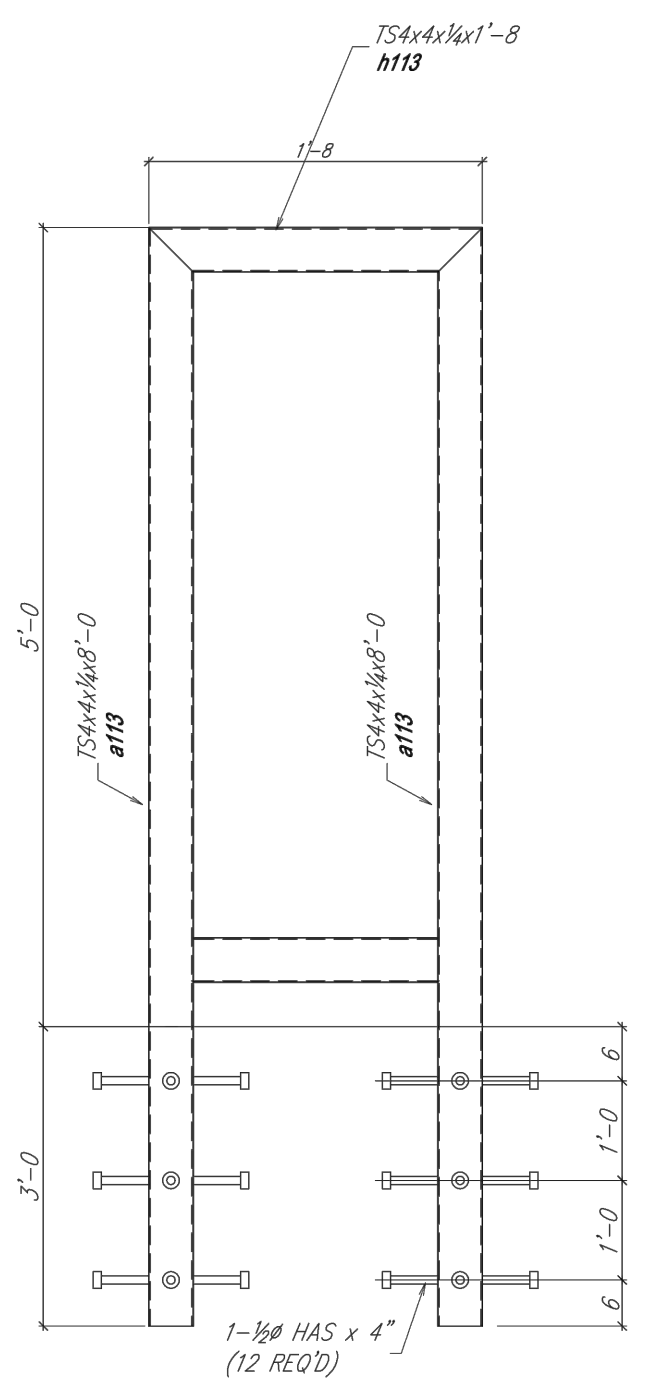
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BILL OF MATERIAL						
LINE	QTY	PC	DESCRIPTION	LENGTH	WEIGHT	ADVANCE
1	2	ASB	ASB	14.0	ASB	140
2	2	ASB	ASB	8.0	ASB	200
3	2	ASB	ASB	14.0	ASB	200
4	2	ASB	ASB	8.0	ASB	100
5	2	ASB	ASB	14.0	ASB	100
6	2	ASB	ASB	8.0	ASB	100
7	2	ASB	ASB	14.0	ASB	100
8	2	ASB	ASB	8.0	ASB	100
9	2	ASB	ASB	14.0	ASB	100
10	2	ASB	ASB	8.0	ASB	100
11	2	ASB	ASB	14.0	ASB	100
12	2	ASB	ASB	8.0	ASB	100
13	2	ASB	ASB	14.0	ASB	100
14	2	ASB	ASB	8.0	ASB	100
15	2	ASB	ASB	14.0	ASB	100
16	2	ASB	ASB	8.0	ASB	100
17	2	ASB	ASB	14.0	ASB	100
18	2	ASB	ASB	8.0	ASB	100
19	2	ASB	ASB	14.0	ASB	100
20	2	ASB	ASB	8.0	ASB	100

Notes: ALL W SHAPES - A850 GR. 50
 PLATES & BARS - 304 S.S.
 STRUCTURAL TUBES - 4550 GR. B
 PIPES - 403 GR. B
 WELDS - E70XX ELECTRODES
 PAINT - PC MRS TO READ BY SIZE UP ON END OF PC, EXCEPT W
 MARK & SURE END AS SHOWN ON EXACT, PLUM & SET UP.

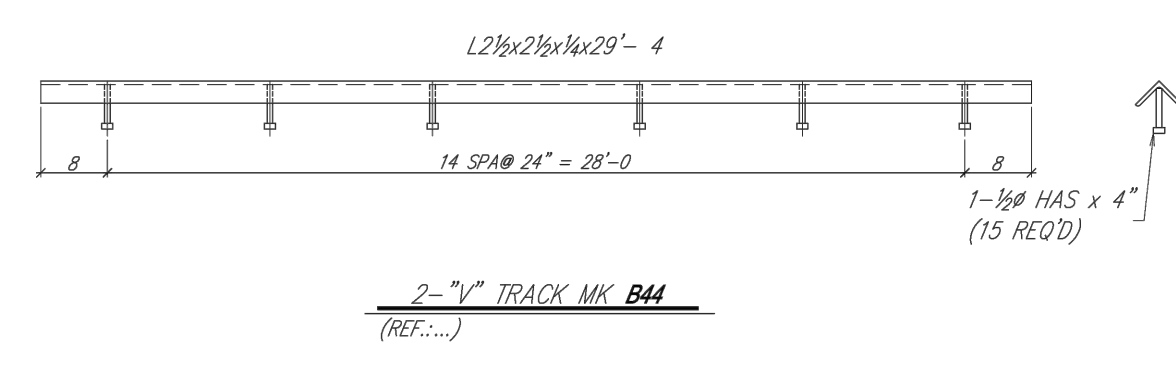
SWING GATE
 SCALE: N.T.S.



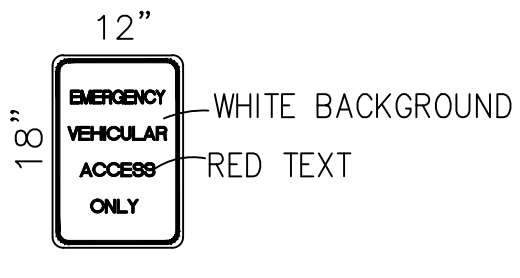
BILL OF MATERIAL						
LINE	QTY	PC	DESCRIPTION	LENGTH	WEIGHT	ADVANCE
1	4	1113	TS 2x2x1/4	0	0	
2	4	1113	TS 2x2x1/4	4	0	
3	4	1113	TS 2x2x1/4	14	0	
4	4	1113	#8x8	12	2	
5	2	1113	TS 2x2x1/4	12	2	
6	4	1113	# 8x2	0	3	
7	2	1113	# 8x2	0	11	
8	4	1113	TS 2x2x1/4	1	8	
9	ONE	1113	# 8x1/4	0	1/4	
10	4	1113	# 8x2	0	2	
11	113	ACQ-18x18x18	4500	1.1		
12	4	1113	V Groove Wheel	50	4	
13	12	BA HAS	0	4		

MATERIAL LIST FOR ONE GATE
 (TOTAL REQ'D = 2)

ONE-DOUBLE CAR GATES MK. A44
 (REF.: CORDOVA ROAD)



SLIDING GATE
 SCALE: N.T.S.



EMERGENCY ACCESS SIGN
 SCALE: N.T.S.

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Date 10-28-20

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DRAWN BY: BJB
CHECKED BY: FCA
DATE: 10-23-2020

Description	Date	No

SHEET TITLE
Site Gate Details
 SHEET NUMBER
CP-503

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA (7.71 AC.):	335,848 SF
BUILDING AREA:	- 113,643 SF
NET AREA:	222,205 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 33,331 SF

PROVIDED LANDSCAPE AREA
PROPOSED LANDSCAPE
(EXCLUDING DOG PARK, MAIN PONDING AREA, TURF GRASS AREA AND COURTYARD) 86,487 SF (38%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE (75%)	64,865 SF
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE (34.3%)	222,737 SF
REQUIRED GROUND-LEVEL PLANT COVERAGE (25%)	16,216 SF
PROVIDED GROUND-LEVEL PLANT COVERAGE (27%)	17,455 SF

TURF GRASS AREAS
NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION.

ALLOWABLE TURF GRASS AREA (10%)	3,333 SF
PROVIDED TURF GRASS AREA (9.9%)	3,319 SF

PARKING LOT AREA
AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

PROVIDING 234 PARKING SPACES.

TOTAL PARKING LOT AREA:	56,957 SF
PROVIDED LANDSCAPE AREA: (35%)	19,877 SF

PARKING LOT TREES
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

234 PARKING SPACES / 10 SPACES = 24 TREES REQUIRED
PROVIDED: 32 TREES

STREET TREES
STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN STREET TREES, WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE INSTALLED AT A FREQUENCY OF 25 FEET PER LINEAR FOOT OF STREET FRONTAGE. NEW STREET TREES SHALL BE PLANTED ALONG COORS BLVD NW, MIRANDELA ST NW, AND ANTEQUERA RD NW.

COORS BLVD: 659 LF / 25 FEET PER TREE = 26 REQUIRED TREES
PROVIDED: 27 TREES
MIRANDELA ST NW: 442 LF / 25 FEET PER TREE = 18 REQUIRED TREES
PROVIDED: 19 TREES
ANTEQUERA RD NW: 824 LF / 25 FEET PER TREE = 33 REQUIRED TREES
PROVIDED: 34 TREES

COORS BOULEVARD - CPO-2 OVERLAY ZONE
SETBACK FROM THE ROW OF COORS BOULEVARD A MINIMUM OF 35 FEET WITH A MINIMUM VEGETATIVE COVERAGE OF 50 PERCENT FOR THE REQUIRED SETBACK. A COMBINATION OF WALLS OR DECORATIVE FENCES AND A VEGETATIVE SCREEN THAT VISUALLY SCREENS VEHICULAR CIRCULATION AREAS, PARKING LOTS, AND PARKED CARS FROM COORS BOULEVARD.
COORS BLVD SETBACK AREA: 23,987 SF AT 50% COVERAGE = 11,993 SF
PROVIDED: 17,816 SF (74%)

NMDOT ROW
A LANDSCAPING PERMIT SHALL BE PROVIDED TO THE NMDOT FOR ANY LANDSCAPING WITHIN NMDOT HIGHWAY RIGHT OF WAY.

USABLE LANDSCAPE OPEN SPACE
PROVIDED: 101,433 SF
(INCLUDES LANDSCAPE AREA PROVIDED WITHOUT R.O.W., TURF GRASS AREAS, DOG PARK, AND COURTYARDS)

PLANT LEGEND

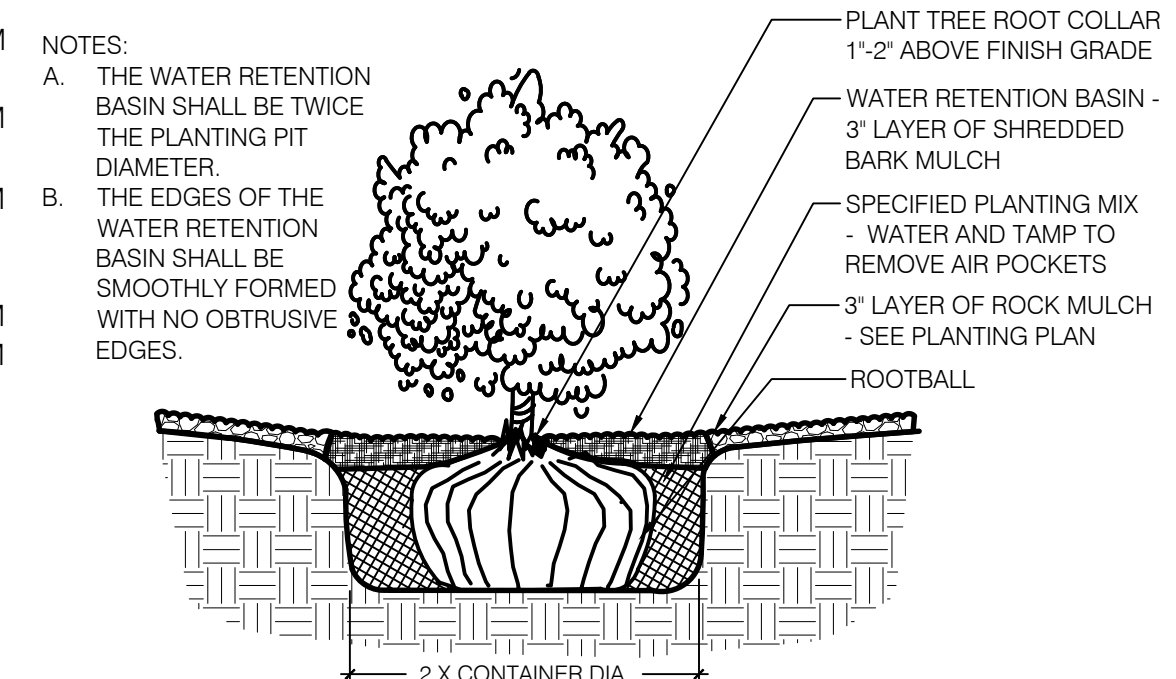
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	INSTALLED SIZE	MATURE HEIGHT	MATURE SPREAD	WATER USE
TREES							
⊙	Platanus aceriflora 'Bloodgood'	BLOODGOOD SYCAMORE	33	2" CALIPER, 10'-12" HT.	50'	40'	MEDIUM
⊙	Fraxinus oxycarpa 'Raywood'	RAYWOOD ASH	11	2" CALIPER, 10'-12" HT.	35'	25'	MEDIUM
⊙	Pistacia chinensis	CHINESE PISTACHE	29	2" CALIPER, 10'-12" HT.	60'	60'	MEDIUM
⊙	Robinia ambigua 'Purple Robe'	PURPLE ROBE LOCUST	15	2" CALIPER, 8' MIN. HT.	30'	30'	MEDIUM
⊕	Forestiera neomexicana	NEW MEXICO OLIVE	21	1-1/2" CALIPER, 6' MIN. HT.	15'	15'	MEDIUM
⊗	Chilopsis linearis 'Bubba'	DESERT WILLOW	30	2" CALIPER, 8' MIN. HT.	20'	25'	LOW
⊙	Pyrus calleryana 'Cleveland'	ORNAMENTAL PEAR	33	2" CALIPER, 8' MIN. HT.	45'	30'	MEDIUM
⊙	Prunus cerasifera	PURPLE LEAF PLUM	21	2" CALIPER, 8' MIN. HT.	20'	20'	MEDIUM
⊙	Pinus nigra	AUSTRIAN PINE	17	B&B, 8' MIN. HEIGHT	40'	25'	MEDIUM
⊙	Vitex agnus-castus	CHASTE TREE	29	1-1/2" CALIPER, 6' MIN. HT.	20'	20'	MEDIUM
SHRUBS							
⊙	Chrysothamnus nauseosus	CHAMISA	76	5 GALLON	48"	48"	LOW
⊙	Rosmarinus officinalis 'Arp'	ARP ROSEMARY	105	5 GALLON	36"	36"	LOW
⊙	Nolina microcarpa	BEAR GRASS	63	5 GALLON	48"	48"	LOW
⊙	Perovskia altipicifolia	RUSSIAN SAGE	112	5 GALLON	48"	60"	MEDIUM
⊙	Buddleja davidii	BLACK KNIGHT	76	5 GALLON	72"	72"	MEDIUM
⊙	Black Knight	BUTTERFLY BUSH					
⊙	Hesperaloe parviflora	RED YUCCA	97	5 GALLON	48"	48"	LOW
⊙	Juniperus scopulorum 'Medora'	MEDORA JUNIPER	98	5 GALLON	120"	36"	MEDIUM
⊙	Prunus besseyi	WESTERN SAND CHERRY	93	1 GALLON	18"	72"	LOW
⊙	Artemisia 'Powis Castle'	ARTEMISIA	130	1 GALLON	24"	24"	MEDIUM
⊙	Salvia greggii	CHERRY SAGE	186	1 GALLON	36"	36"	LOW
⊙	Cotoneaster horizontalis	PROSTRATE ROCK COTONEASTER	72	1 GALLON	8"	60"	MEDIUM
⊙	Perpusillus'						
⊙	Ericameria laricifolia 'Aquirre'	TURPENTINE BUSH	134	1 GALLON	24"	24"	LOW
⊙	Cytisus x praecox 'Allgold'	ALLGOLD BROOM	104	1 GALLON	48"	24"	MEDIUM
⊙	Mulhenburgia capillaris	REGAL MIST	132	1 GALLON	36"	36"	MEDIUM
⊙	Regal Mist	MUHLI GRASS					
⊙	Nassella tenuissima	MEXICAN FEATHER GRASS	406	1 GALLON	24"	24"	LOW

LANDSCAPE MATERIALS

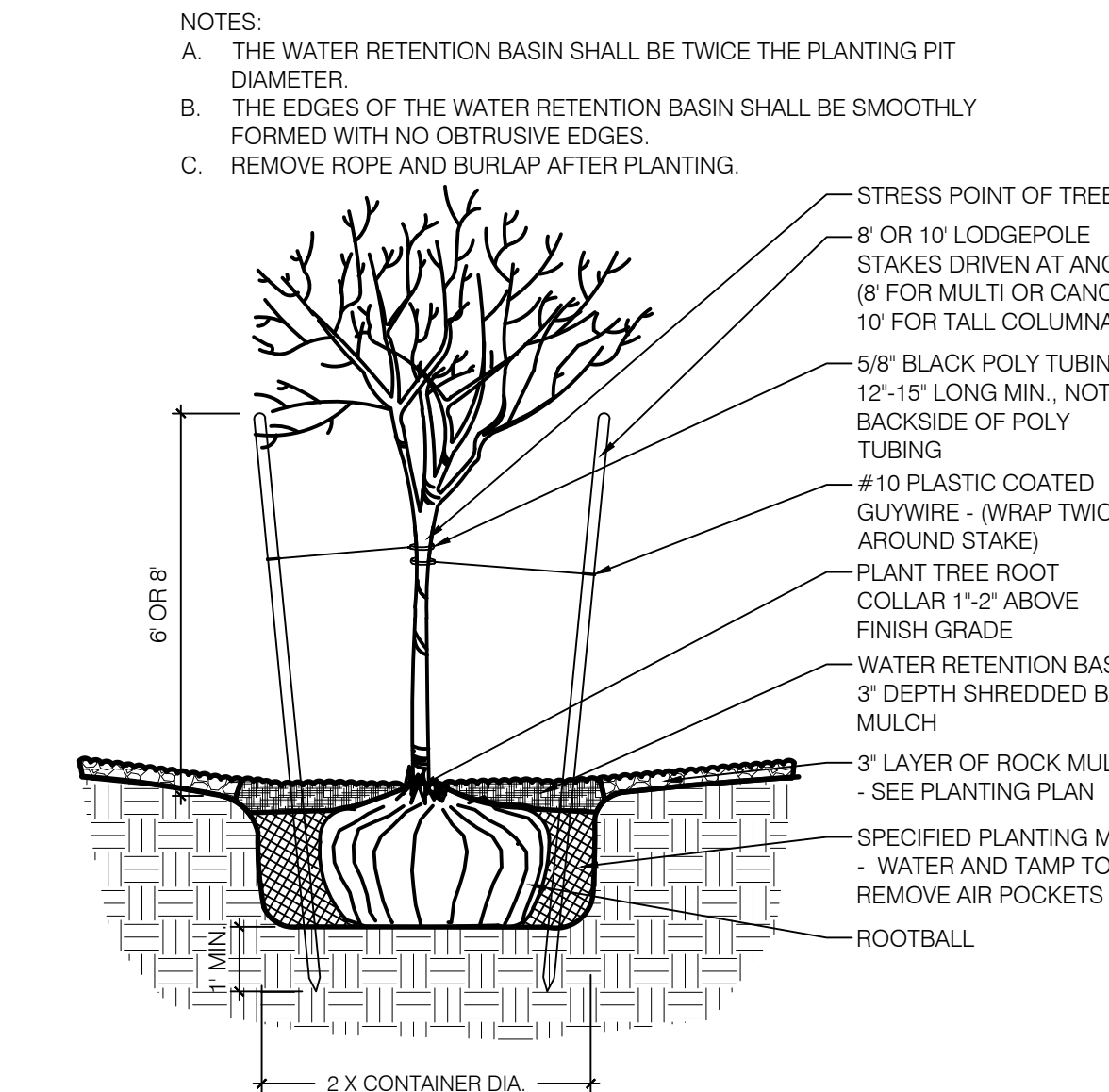
QTY	SYMBOL	DESCRIPTION
97,115 SF	[Pattern]	LANDSCAPE AREAS TO BE COVERED WITH 3" DEPTH VALLEY GOLD GRAVEL OR 4" DEPTH 2"-4" BUILDLOGY BROWN COBBLE, OR EQUAL, OVER FILTER FABRIC. SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. (4,400 SF IN COURTYARDS, 6,228 SF MAIN PONDING AREA)
3,319 SF	[Pattern]	TURF GRASS AREA (500 SF IN COURTYARDS)
3,055 SF	[Pattern]	ENGINEERED WOOD FIBER PLAYGROUND MULCH
64 EA	[Symbol]	MOSS ROCK LANDSCAPE BOULDERS (3 MIN. DIMENSION)

SITE FURNISHINGS LEGEND

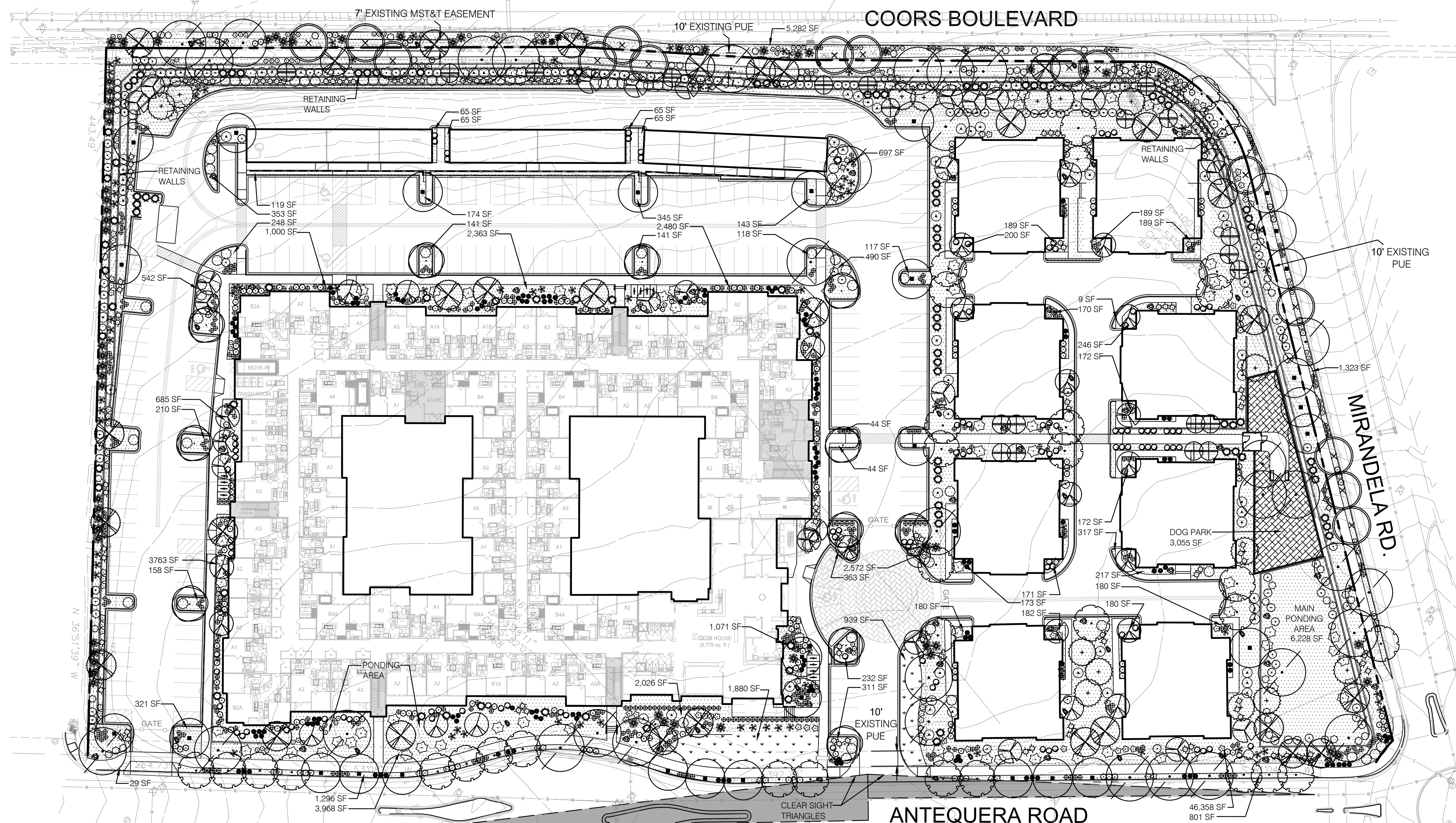
QTY	SYMBOL	DESCRIPTION
2 EA	[Symbol]	6' LONG BENCH WITH BACK
333 LF	[Symbol]	DOG PARK FENCING WITH 2 GATES



A SHRUB PLANTING DETAIL
SCALE: N.T.S.



B TREE PLANTING DETAIL
SCALE: N.T.S.



A1 LANDSCAPE PLAN
SCALE: 1" = 40'-0"
NORTH



Landscaping Architecture
Urban Design
Planning Services

302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

REVISIONS

#	Date	Description

Project Name: **OVERTURE ANDALUCIA**
Landscape Plan
Prepared for: **Greystar**
1717 W. 6th Street, Suite 262, Austin, TX 78703

NOT FOR CONSTRUCTION



Designed By: KP,CG

Drawn By: KP

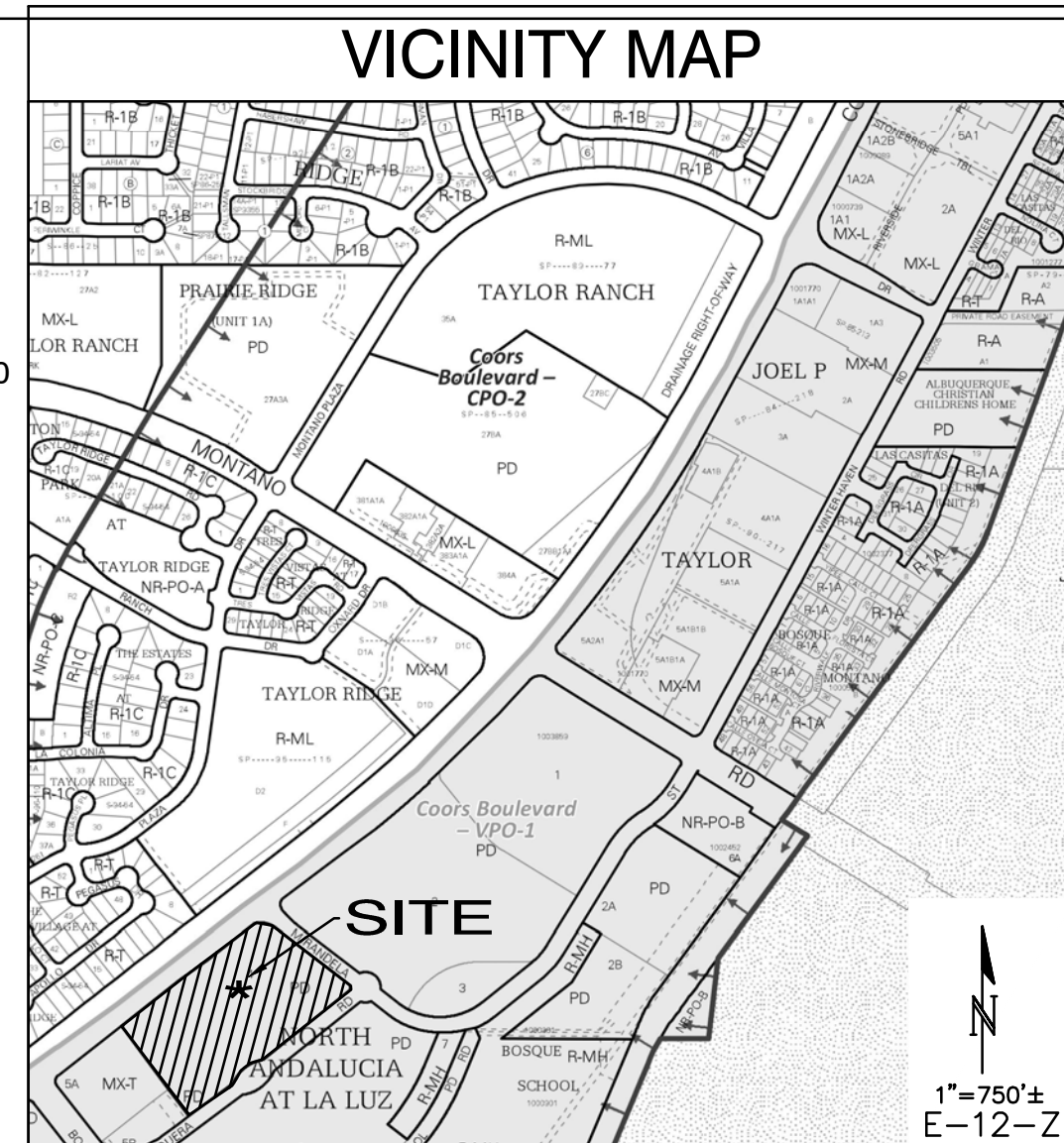
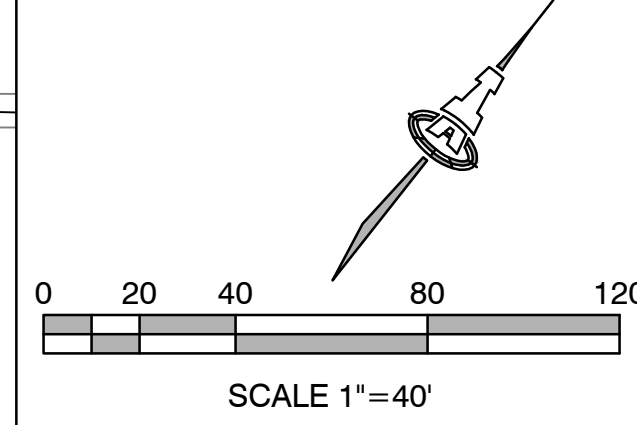
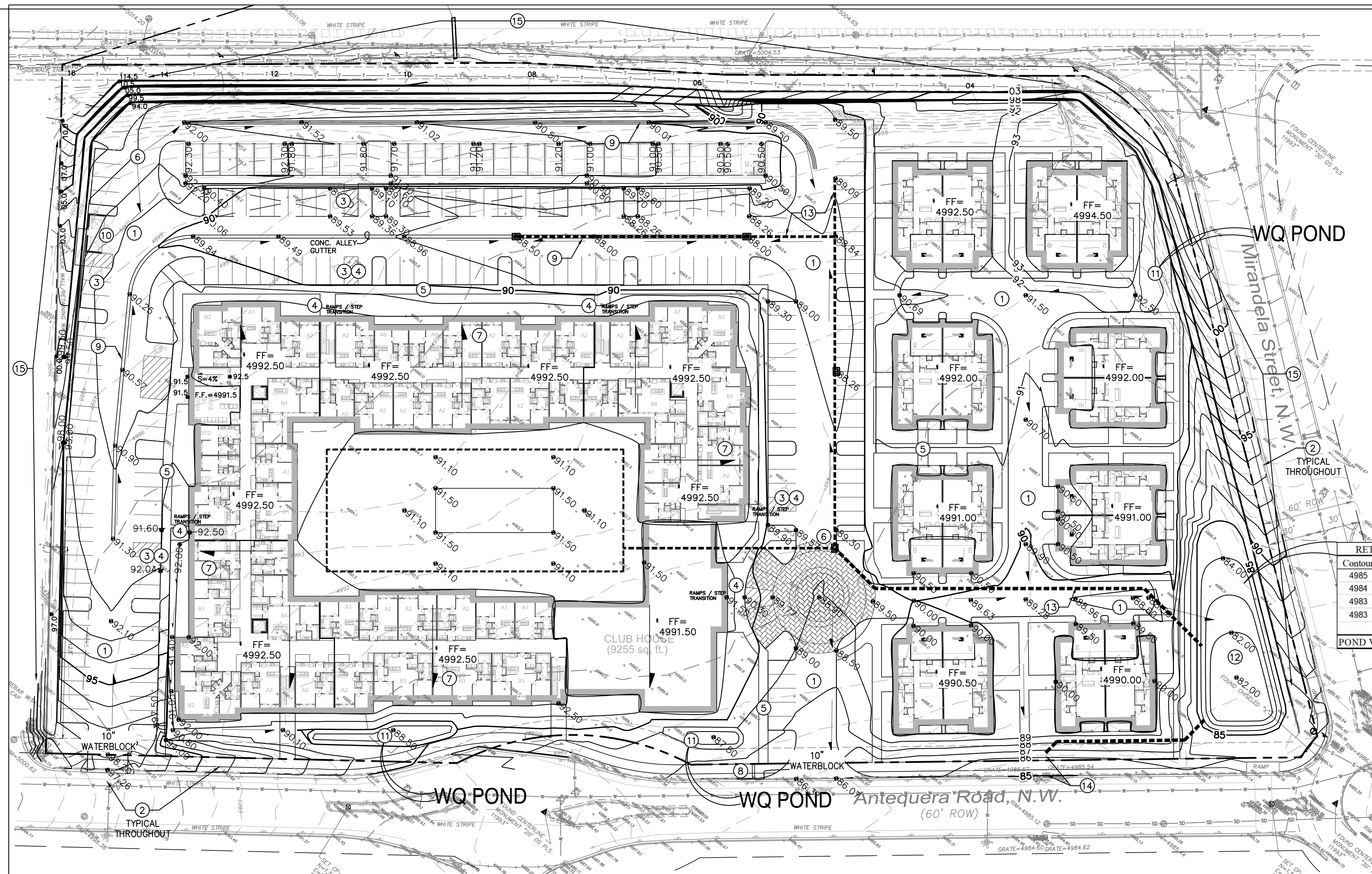
Checked By: CG

Date: 10/15/20

Project No: SI-2020-00356

Sheet Title: LANDSCAPE PLAN

L101



KEYED NOTES

THESE NOTES ARE REFERENCED ON SHEETS CG-100, CG-101, CG-102 AND CG-103. NOT ALL NOTES ARE USED ON EACH SHEET. UNDERLINED NOTES INDICATE ASSOCIATED DETAIL ON SHEET CG-501.

1. PAVING CONCEPTUAL GRADES.
2. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
3. SLOPE WITHIN ADA COMPLIANT PARKING AREAS TO BE MAXIMUM 2% IN ANY DIRECTION. FINAL LOCATION OF ADA SPACES MAY BE ADJUSTED.
4. ADA COMPLIANT 1:12 MAX. SLOPE ACCESS RAMP. ADDITIONAL RAMPS WILL BE LOCATED WHERE REQUIRED.
5. ADA COMPLIANT PEDESTRIAN ACCESS WALK. MAX. 5% SLOPE, MAX. 2% CROSS-SLOPE.
6. HIGH POINT / GRADE BREAK LOCATION.
7. ROOF DISCHARGE TO EXTERIOR ALL SIDES. INSTALL PRECAST SPLASHPAD AND/OR EXTEND INLET LINES TO STORM DRAIN SYSTEM. ROOF DISCHARGE TO INTERIOR COURTYARD WILL BE LIMITED.
8. COVERED CONCRETE SIDEWALK CULVERT (S.O.19 PERMIT REQUIRED IF IN PUBLIC R.O.W.) FINAL LOCATION(S) BY BUILDING PERMIT SUBMITTAL.
9. 2' WIDE CONCRETE ALLEY GUTTER.
10. CONCRETE DUMPSTER PAD.
11. STORMWATER QUALITY RETENTION POND. FINAL LOCATION(S) BY BUILDING PERMIT SUBMITTAL. PERCOLATION TRENCHES TO ASSIST INFILTRATION WILL BE INCLUDED.
12. RETENTION POND. TOTAL OF ALL ON-SITE RETENTION PER DRAINAGE MASTER PLAN.
13. PRIVATE STORM DRAIN SYSTEM.
14. EXISTING 24" STUB PROVIDED AS PART OF MASTER DRAINAGE CONCEPT. MAX. DISCHARGE FROM SITE = 28.2 CFS.
15. SITE TIERED RETAINING WALL(S) (RETAINING > 30'). FINAL DESIGN BY BUILDING PERMIT SUBMITTAL.

RETENTION POND		
Contour	Area	Volume
4985	5890	
4984	4365	5128 CF
4983	3015	3690 CF
4983	1840	1214 CF
POND VOLUME =		10031 CF

NOTE: FINAL RETENTION POND CONFIGURATION AND VOLUME SHALL BE BASED ON TOTAL REQUIRED VOLUME PER DRAINAGE MASTER PLAN, LESS RETENTION VOLUME PROVIDED WITHIN STORMWATER QUALITY PONDS THROUGHOUT SITE.

REQUIRED POND VOLUME

THE DRAINAGE MASTER PLAN (DMP) INCORPORATED THE REQUIREMENT TO RETAIN THE FIRST 0.44" OF PRECIPITATION ON-SITE FOR THIS PROPERTY (BASIN A-5). THE DMP CALCULATED THIS RETENTION VOLUME AS 0.28 AC.FT.

THIS REQUIRED RETENTION IS INTENDED TO REDUCE THE 100-YEAR 10-DAY VOLUME DIRECTED TO POND 'A'.

FOR NEW CONSTRUCTION, THE CABQ STORMWATER QUALITY (S.Q.) VOLUME IS BASED ON THE 90TH PERCENTILE STORM EVENT OF 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION]. THEREFORE, THE RETENTION VOLUME PROVIDED WITHIN THE PROPOSED PONDS WILL BE SIZED TO STORE 0.34"/SF TO ACCOUNT FOR THE INITIAL ABSTRACTION. THIS WILL SATISFY THE DRAINAGE MASTER PLAN REQUIREMENT TO RETAIN THE FIRST 0.44" OF PRECIPITATION.

TOTAL POND VOLUME = (7.71 AC.*43560 SF/AC * .34"/SF)/12 = 9,516 SF.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS APPROXIMATELY 70% OF TOTAL AREA: (0.70 * 7.71 AC) = 235,094 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.34" * TYPE 'D' AREA: 0.34"/12 * (235,094 SF) = 6,661 CF. THE PROPOSED RETENTION POND(S) WILL STORE MORE THAN THIS REQUIRED VOLUME.

RETENTION PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED WITH THE BUILDING PERMIT CONSTRUCTION DOCUMENTS. AREAS SHOWN (LABELED WITH *) INDICATE ANTICIPATED POND LOCATIONS. PRIVATE FACILITY DRAINAGE COVENANT(S) WILL BE PROVIDED BY THE PROPERTY OWNER FOR DRAINAGE INFRASTRUCTURE INCLUDING PONDS AND OUTFALL STRUCTURES. THESE WILL BE RECORDED AS REQUIRED.

PROJECT INFORMATION

PROPERTY: THE SITE IS A DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP E-12. THE SITE IS BOUND TO THE NORTHEAST BY MIRANDELA ST., TO THE NORTHWEST BY COORS BLVD., TO THE SOUTHEAST BY ANTEQUERA RD. AND TO THE SOUTHWEST BY DEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-STORY MULTI-FAMILY APARTMENT BUILDING AND EIGHT DUPLEX HOUSING UNITS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT 4 PLAT OF NORTH ANDALUCIA AT LA LUZ, ALBUQUERQUE, NEW MEXICO.

AREA: 7.7061 AC

ADDRESS: 5301 ANTEQUERA RD NW, ALBUQUERQUE NM 87120

BENCHMARK: NAVD 1988 FROM AGRS MONUMENT "NM_448_N8", PUBLISHED ELEVATION (FEET) = 5021.651

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER FEMA FLOOD HAZARD MAP 35001C0114H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

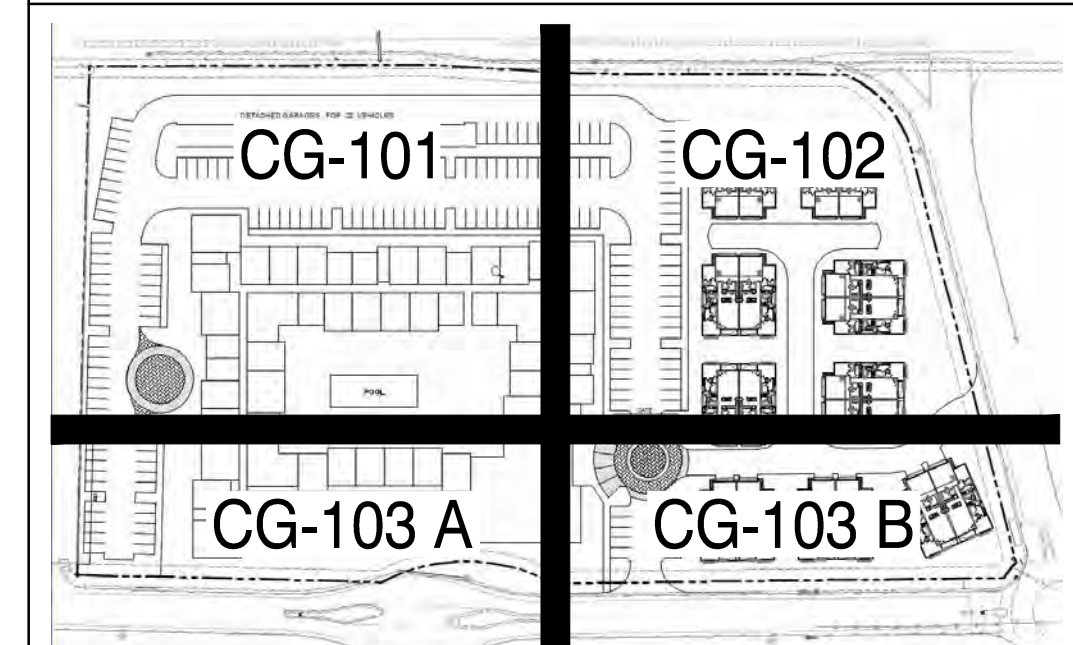
DRAINAGE PLAN CONCEPT:

THE NORTH ANDALUCIA DRAINAGE MASTER PLAN PREPARED BY BOHANNAN HUSTON WITH STAMP DATE 2/19/13, ESTABLISHED THE CRITERIA FOR NORTH ANDALUCIA, TRACTS 1-8 AND BOSQUE SCHOOL, TRACTS 1-2. THIS 7.71 ACRE PROPERTY, IDENTIFIED AS BASIN A-5, WAS PROPOSED TO BE DEVELOPED WITH THE FOLLOWING LAND TREATMENTS: 0% A, 24% B, 10% C, 66% D.

THE SITE IS PERMITTED FREE DISCHARGE (LESS STORMWATER QUALITY VOLUME REQUIREMENTS) TO THE NORTH ANDALUCIA DRAINAGE POND 'A' BASED ON AN ANTICIPATED RATE OF 3.66 CFS/ACRE (28.19 CFS).

A 24"Ø STORM DRAIN STUB TO THE PROPERTY WITH FULL CAPACITY FLOWRATE OF 29.92 CFS WAS PROVIDED FOR ON THE MASTERPLAN WHICH WILL ACCEPT THE FREE DISCHARGE FROM BASIN A-5.

GRADING & DRAINAGE SHEET KEY



Isaacson & Arfman, Inc.
Civil Engineering Consultants

128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iacivil.com

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NOT FOR CONSTRUCTION

DATE: **05/28/20**

Professional Engineer Seal: FRED C. ARFMAN, NEW MEXICO, 7322, LICENSED PROFESSIONAL ENGINEER

OVERTURE ANDALUCIA
Albuquerque, New Mexico
a development of
Greystar Development Group, LP

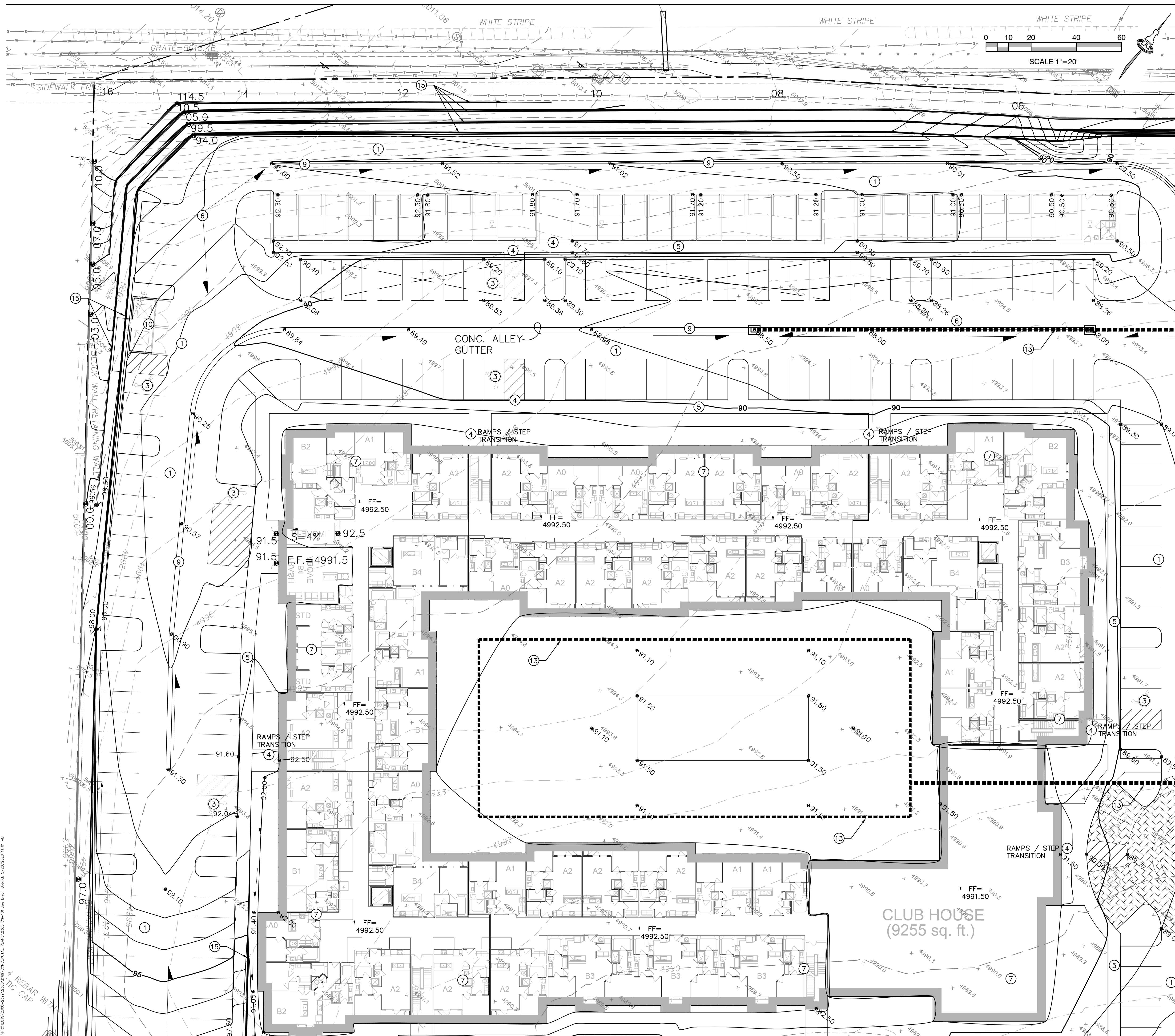
ISSUE:	DESIGN DEVELOPMENT
PROJECT NUMBER: IA-2380	
FILE:	
DRAWN BY: BJB	
CHECKED BY: FCA	
DATE: 05-28-2020	

No.	Date	Description

SHEET TITLE: **Overall Grading & Drainage Plan**

SHEET NUMBER: **CG-100**

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KEYED NOTES

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- TYPICAL: DEPRESS LANDSCAPING FOR WATER HARVESTING (TYPICAL). NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.

ADA COMPLIANCE

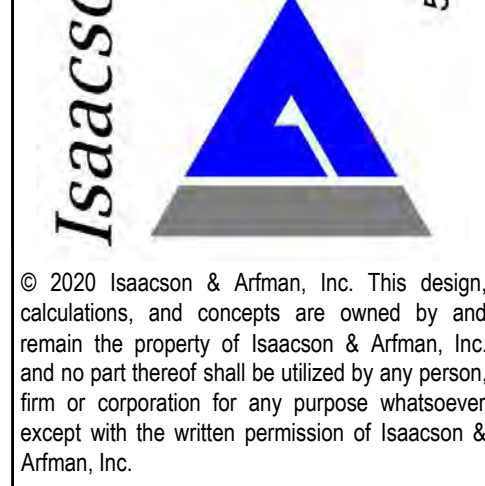
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 LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
 ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

EXISTING SIDEWALKS SHALL BE IN SUBSTANTIAL COMPLIANCE WITH ADA STANDARDS OR IT SHALL BE REPAIRED OR REPLACED.

LEGEND

- 5088 EXISTING CONTOUR
- 5001.62 EXISTING SPOT ELEVATION
- 88 PROPOSED 1.0' CONTOUR
- 88.5 PROPOSED 0.5' CONTOUR
- 88.3 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 4992.50 FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN / INLET

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Date **05/28/20**

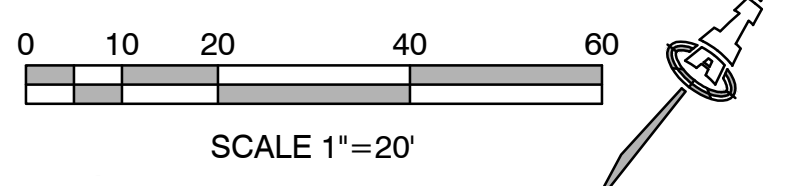
OVERTURE ANDALUCIA
 Albuquerque, New Mexico
 a development of
 Greystar Development Group, LP

DESIGN DEVELOPMENT	
ISSUE:	PROJECT NUMBER: IA 2380
FILE:	DRAWN BY: BJB
CHECKED BY:	FCA
DATE:	05-28-2020

No.	Date	Description

SHEET TITLE
Grading & Drainage Plan 1 Of 3

SHEET NUMBER
CG-101



KEYED NOTES

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NOT FOR CONSTRUCTION

DATE: **05/28/20**

OVERTURE ANDALUCIA
Albuquerque, New Mexico
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Greystar Development Group, LP

ADA COMPLIANCE

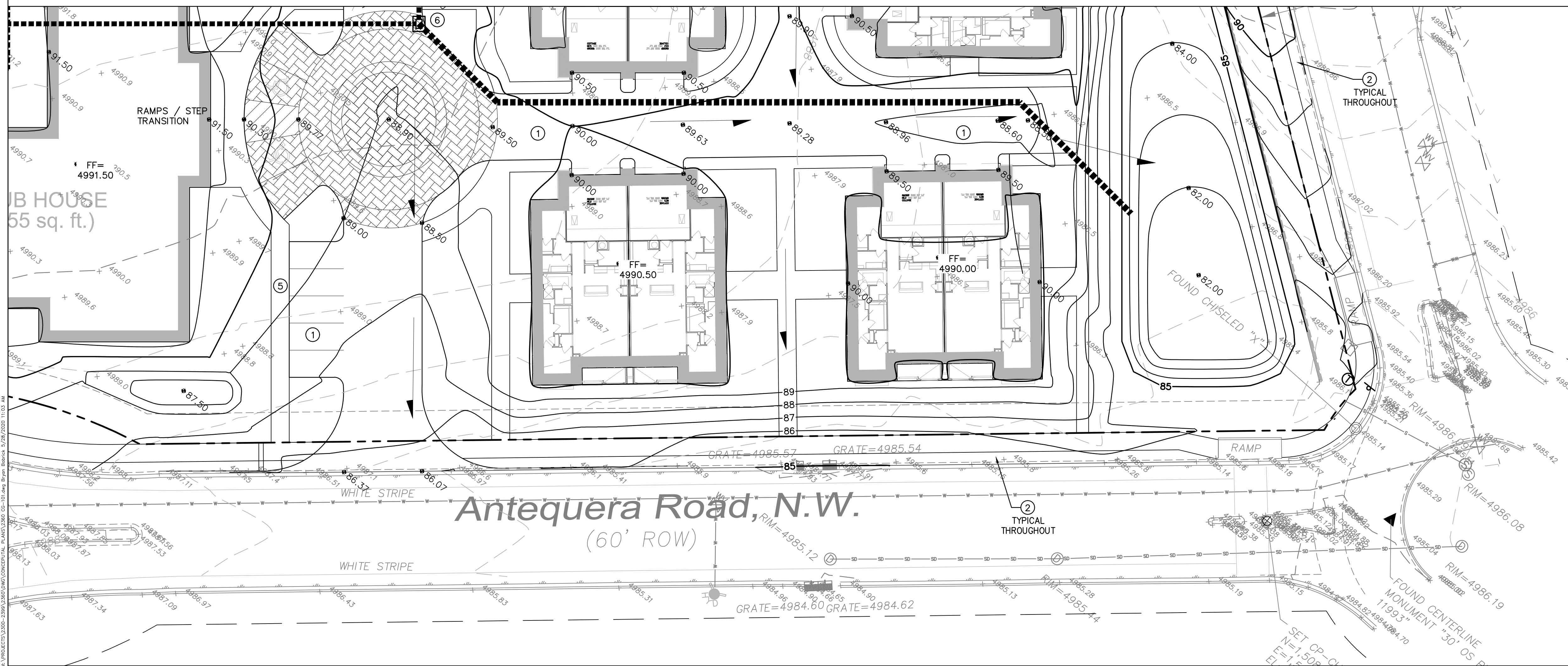
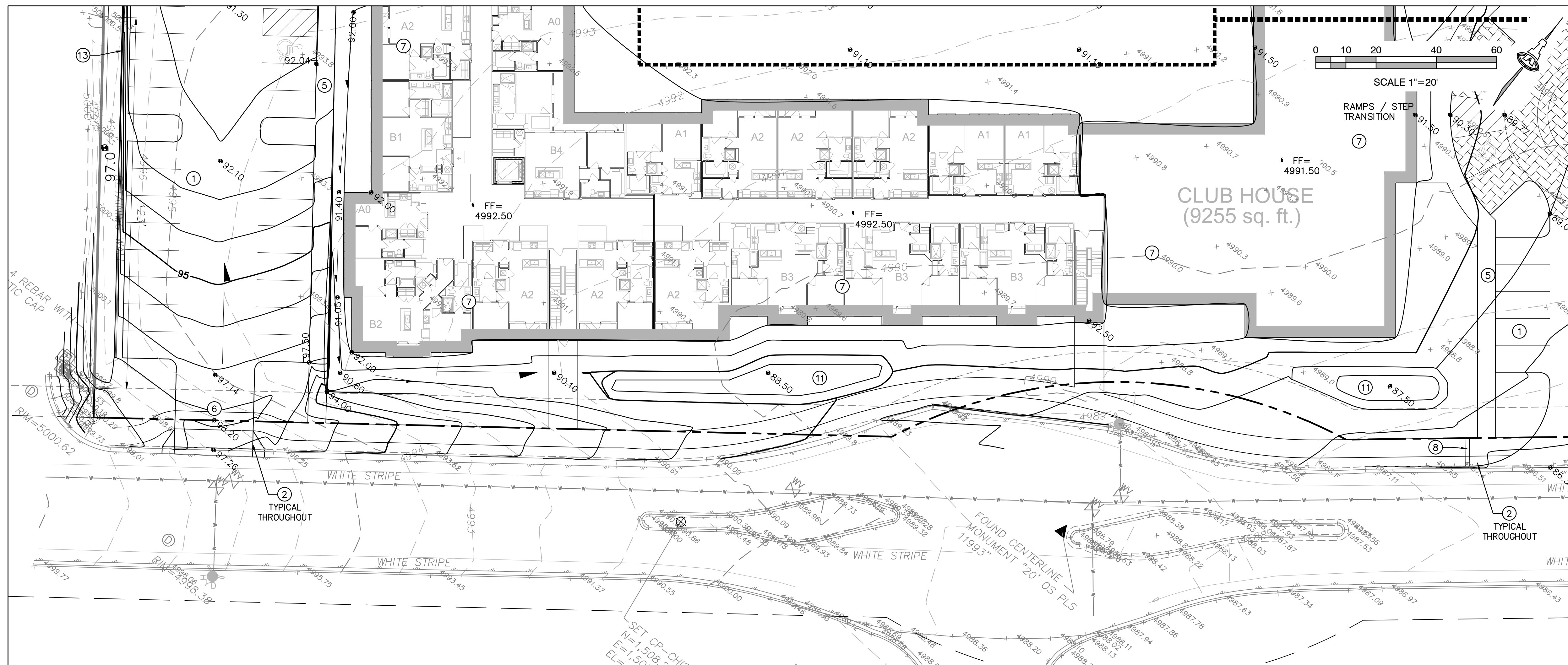
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	EXISTING SPOT ELEVATION
	PROPOSED 1.0' CONTOUR
	PROPOSED 0.5' CONTOUR
	PROPOSED SPOT ELEVATION
	FLOW DIRECTION
	FINISH FLOOR ELEVATION
	PROPOSED STORM DRAIN / INLET

DESIGN DEVELOPMENT	
ISSUE:	PROJECT NUMBER: IA 2380
FILE:	DRAWN BY: BJB
CHECKED BY:	FCA
DATE:	05-28-2020
SHEET TITLE	
Grading & Drainage Plan 2 Of 3	
SHEET NUMBER	
CG-102	



KEYED NOTES

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LEGEND

	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED 1.0' CONTOUR
	PROPOSED 0.5' CONTOUR
	PROPOSED SPOT ELEVATION
	FLOW DIRECTION
	FINISH FLOOR ELEVATION
	PROPOSED STORM DRAIN / INLET

No.	Date	Description

SHEET TITLE

Grading & Drainage Plan 3 Of 3

SHEET NUMBER

CG-103

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NEW MEXICO
 7322
 LICENSED PROFESSIONAL ENGINEER

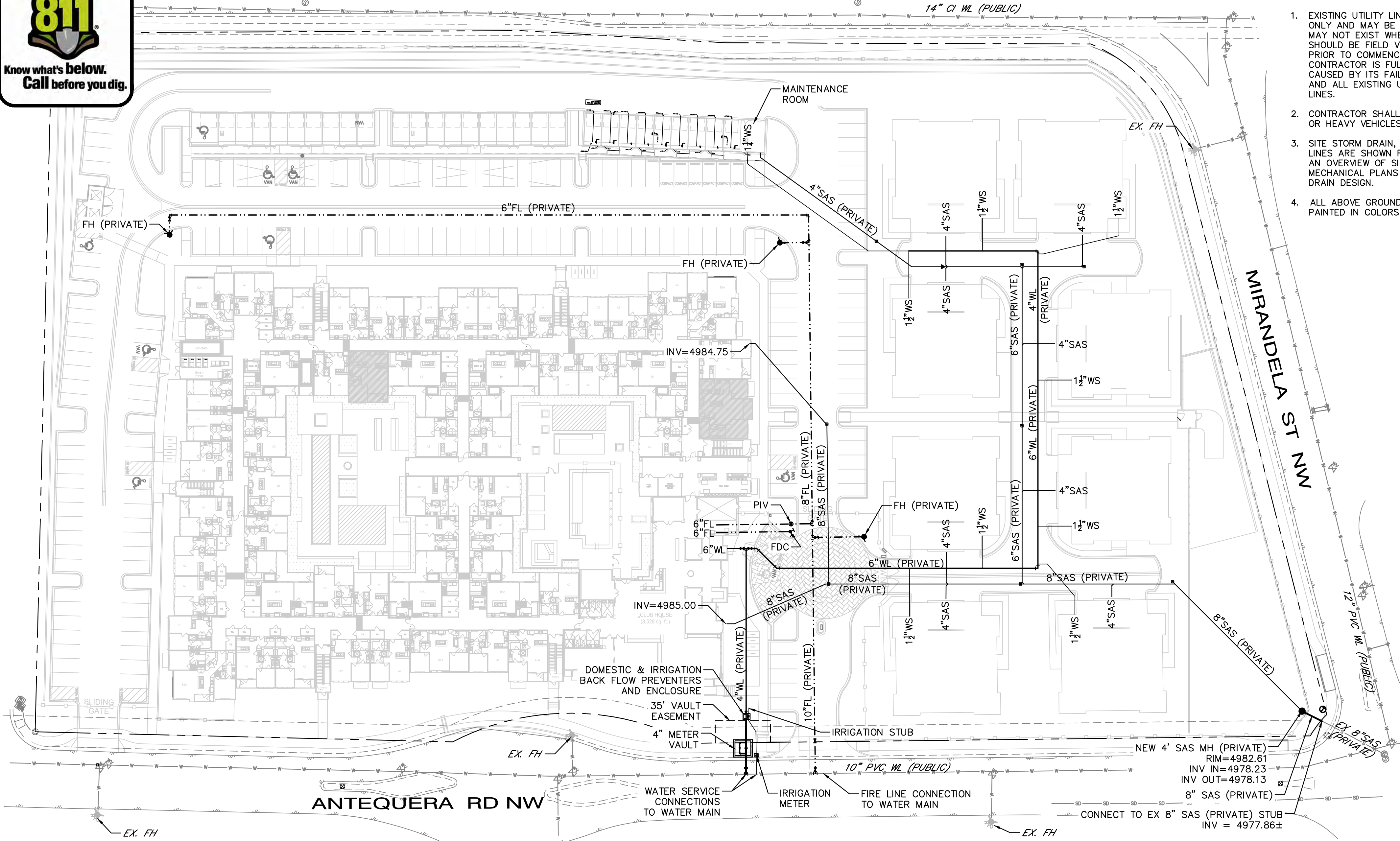
Date **05/28/20**

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 Albuquerque, New Mexico
 a development of
 Greystar Development Group, LP

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 Plot: bmc



COORS BLVD NW



PRIVATE FIRE LINE CONNECTION TO PUBLIC WATERLINE AND METER VAULT TO BE CONSTRUCTED UNDER COA/ABCWUA WORK ORDER.

GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

UTILITY NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED UTILITIES SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM COVER SHALL BE 36" FOR WATERLINES AND 48" FOR SANITARY SEWER, EXCEPT AT BUILDING CONNECTIONS.
- UTILITY LINES SHALL BE INSTALLED AFTER COMPLETION OF THE SITE ROUGH GRADING.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO SURFACE IMPROVEMENTS SUCH AS PAVEMENT, SIDEWALKS, AND LANDSCAPING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING PLUMBING AND ALL NECESSARY FITTINGS. FITTING COSTS SHALL BE INCIDENTAL. REFER TO THE MECHANICAL AND/OR PLUMBING PLANS FOR SERVICE CONNECTIONS.
- DRY UTILITY LOCATIONS AND DESIGN ARE NOT A PART OF THIS PLAN. CONTRACTOR SHALL COORDINATE WITH THE LOCAL DRY UTILITY COMPANIES TO DETERMINE THE SIZE, DEPTH, LOCATION, FITTINGS AND REQUIRED APPURTENANCES FOR THE DRY UTILITY SERVICE LINES ON THE SITE. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR SERVICE CONNECTIONS.
- TRENCHING, BORING, AND JACKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 700. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY PER ASTM D-1557.
- ALL WATER VALVE BOXES, MANHOLE RINGS & COVERS, AND OTHER SURFACE ITEMS FOR THE UTILITIES SHALL BE ADJUSTED TO FINISHED GRADE.
- ALL CROSSINGS OF WATER AND SEWER LINES SHALL HAVE 12" MIN CLEARANCE. IF 12" CLEARANCE IS NOT POSSIBLE, BOTH PIPES SHALL BE ENCASED IN CONCRETE OR AS DIRECTED BY THE ENGINEER.
- VALVES, METERS, SERVICE LINES, METER AND VALVE BOXES, TAPPING SLEEVES, HYDRANTS, AND OTHER WATER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 800.
- WATERLINES LESS THAN 4" DIAMETER SHALL BE COPPER TYPE K MEETING ASTM B 88 REQUIREMENTS. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- ALL FITTINGS AND COUPLINGS FOR WATERLINES LESS THAN 4" IN DIAMETER ARE TO BE COPPER, SOLDER JOINT FITTINGS IN ACCORDANCE WITH ASME 16.18 OR ASME B16.22.
- ALL FITTINGS AND COUPLINGS FOR WATERLINES 4" IN DIAMETER OR LARGER ARE TO BE MEGA LUG MECHANICAL JOINTS OR ENGINEER APPROVED EQUIVALENT.
- JOINTS SHALL BE RESTRAINED BY MEGA LUG HARNESSSES, OR ENGINEER APPROVED EQUIVALENT. JOINT RESTRAINTS SHALL BE INSTALLED AT DISTANCES FROM THE FITTINGS AS SHOWN ON THE JOINT RESTRAINT TABLE IN THESE PLANS.
- BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FIRE LINES SHALL USE PIPE MATERIALS LISTED AND APPROVED FOR FIRE SERVICE BY UNDERWRITERS LABORATORIES.
- FIRE DEPARTMENT CONNECTIONS SHALL MEET UL 405, NFPA 1963, AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
- ADJUST WATER AND FIRE LINES TO AVOID FOOTINGS, SEWER LINES, AND OTHER CONDUITS. INSTALL FITTINGS AS NEEDED.
- SEWER MANHOLES, CLEANOUTS, SEWER SERVICE TAPS, AND OTHER SEWER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 900 / APWA SPEC. SECT. 900 / LOCAL UTILITY COMPANY SPECIFICATIONS
- SEWER SERVICE LINES SHALL BE INSTALLED AT A 2% MINIMUM SLOPE, UNLESS OTHERWISE SPECIFIED ON THE PLANS. THE PIPE SHALL DRAIN AT A CONSTANT SLOPE BETWEEN FITTINGS. THE PIPE SHALL DRAIN TOWARD THE SEWER MAIN AT ALL LOCATIONS.
- ALL SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.

2360 CU-101.dwg 28 October 2020
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 Civil Engineering Consultants
 128 Monroe Street NE
 Albuquerque, NM 87108
 505-268-8628 | www.iaacvil.com



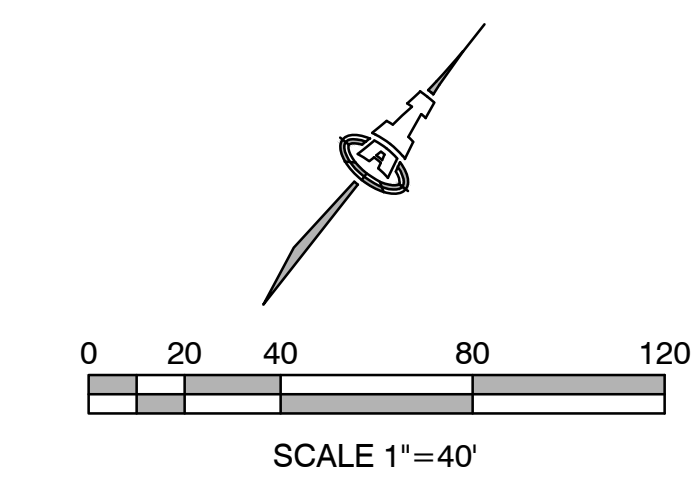
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Date: 10-28-20

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 Greystar Development Group, LP

LEGEND

- EXISTING WATERLINE
- EXISTING FIRE HYDANT
- EXISTING WATER VALVE
- EXISTING SEWER LINE
- EXISTING SEWER MANHOLE
- NEW WATERLINE
- NEW FIRE LINE
- NEW FIRE HYDANT
- NEW WATER VALVE
- NEW FDC
- NEW PIV
- NEW SEWER LINE



ISSUE/DESIGN DEVELOPMENT	PROJECT NUMBER: IA 2360
FILE:	FILE: BJB
DRAWN BY:	FILE: FCA
CHECKED BY:	DATE: 10-23-2020

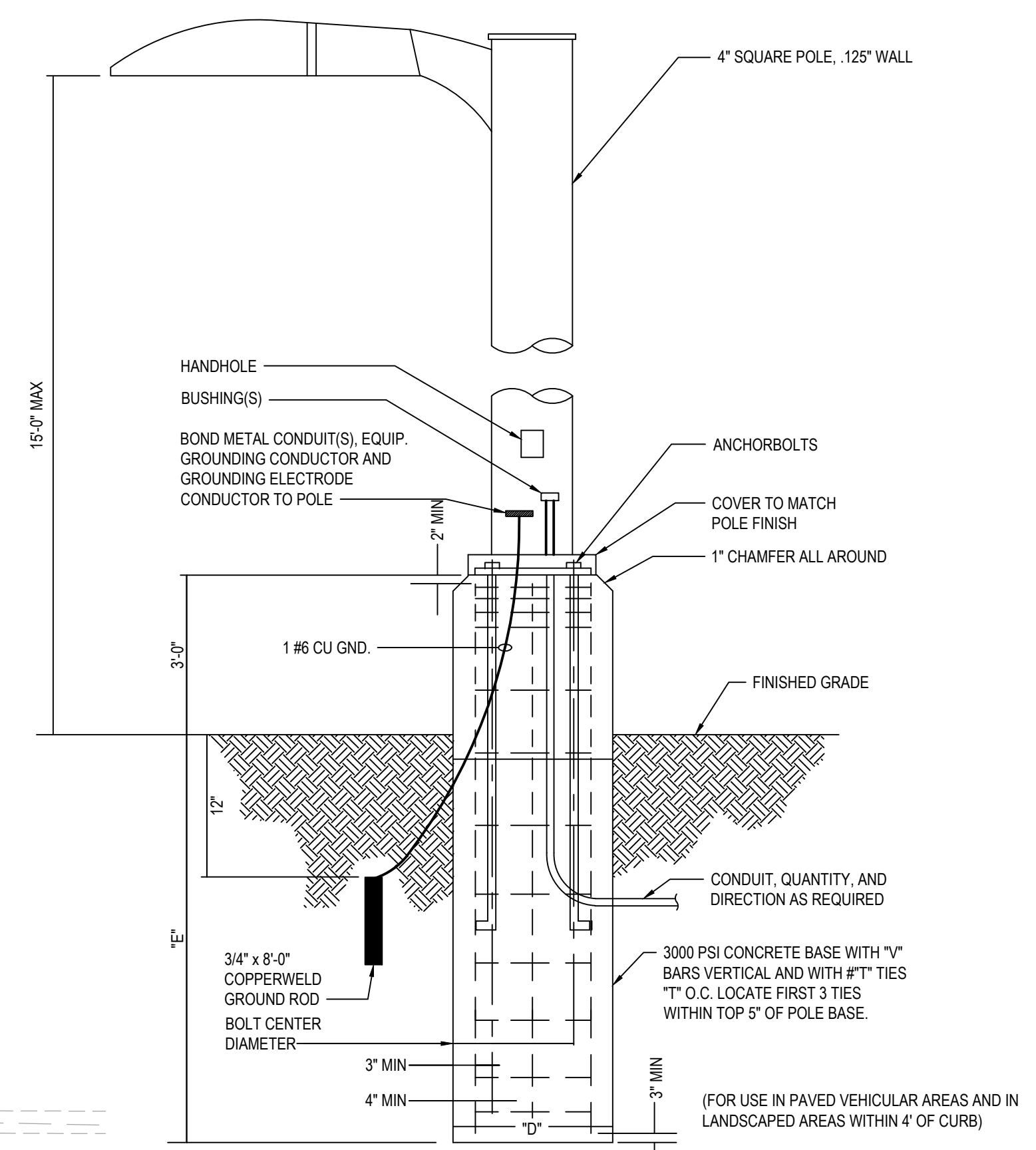
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SHEET TITLE
Site Utility Plan

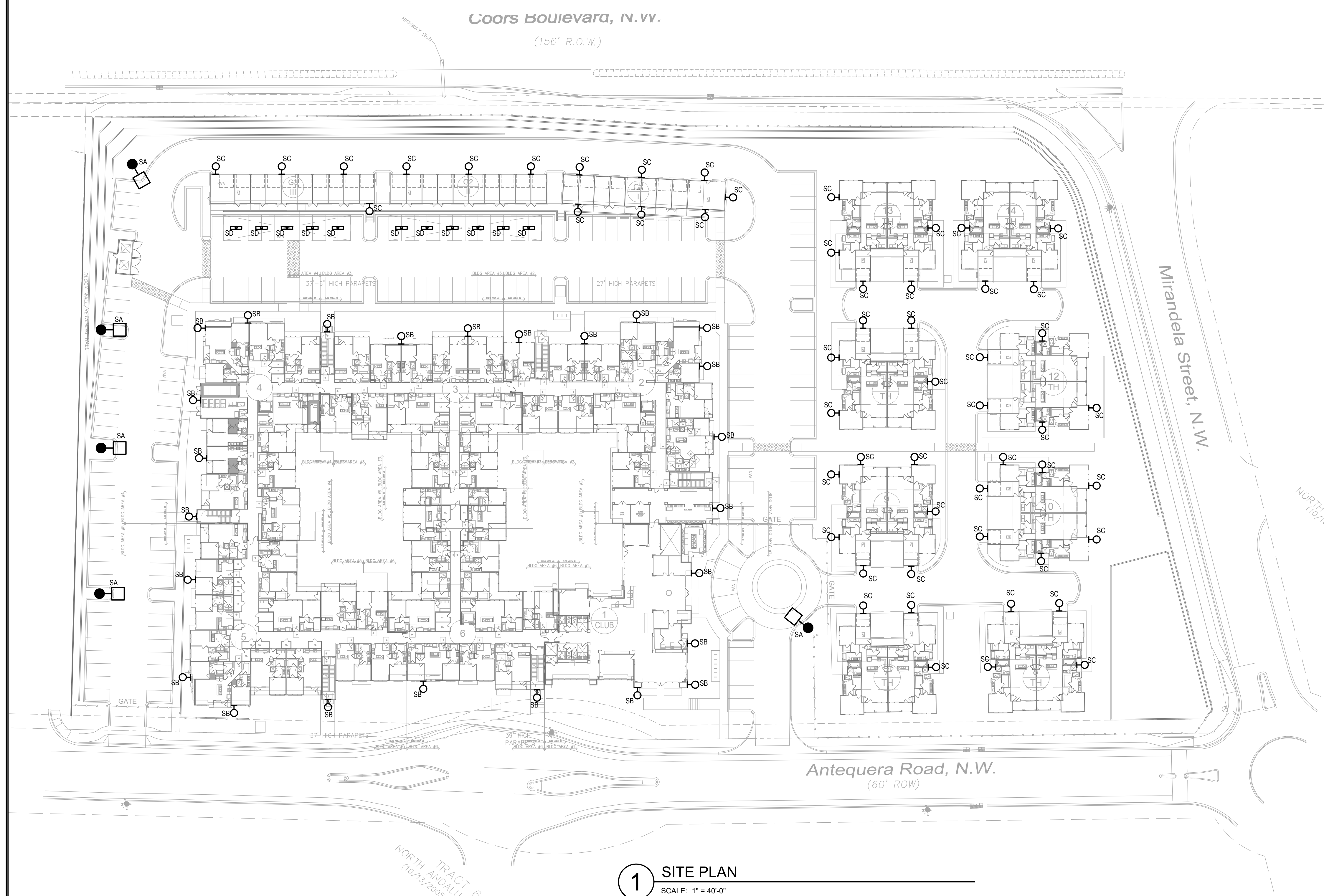
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CU-101

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SITE LIGHTING LEGEND				
SYMBOL	TYPE	DESCRIPTION	LAMPS	NOTES
● □	SA	SINGLE HEAD, FULL CUT OFF, POLE MOUNTED FIXTURE TYPE III DISTRIBUTION, 3000K. BOTTOM OF FIXTURE @ 15' ABOVE FINISH GRADE.	135W LED	HOUSE SIDE SHIELD
○	SB	WALL PACK, FULL CUT OFF TYPE III DISTRIBUTION, 3000K. BOTTOM OF FIXTURE @ 15' ABOVE FINISH GRADE.	71W LED	
○	SC	WALL PACK, FULL CUT OFF TYPE III DISTRIBUTION, 3000K. BOTTOM OF FIXTURE @ 10' ABOVE FINISH GRADE.	40W LED	
□	SD	4' ENCLOSED STRIP CARPORT LIGHT, VAPOR TIGHT, 3000K WET LOCATED RATED/LISTED	30W LED	



2 POLE MOUNTED AREA FIXTURE DETAIL
SCALE: N.T.S.



1 SITE PLAN
SCALE: 1" = 40'-0"



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ALBUQUERQUE, NEW MEXICO

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DATE	ISSUED FOR

REVISIONS

DATE	DESCRIPTION

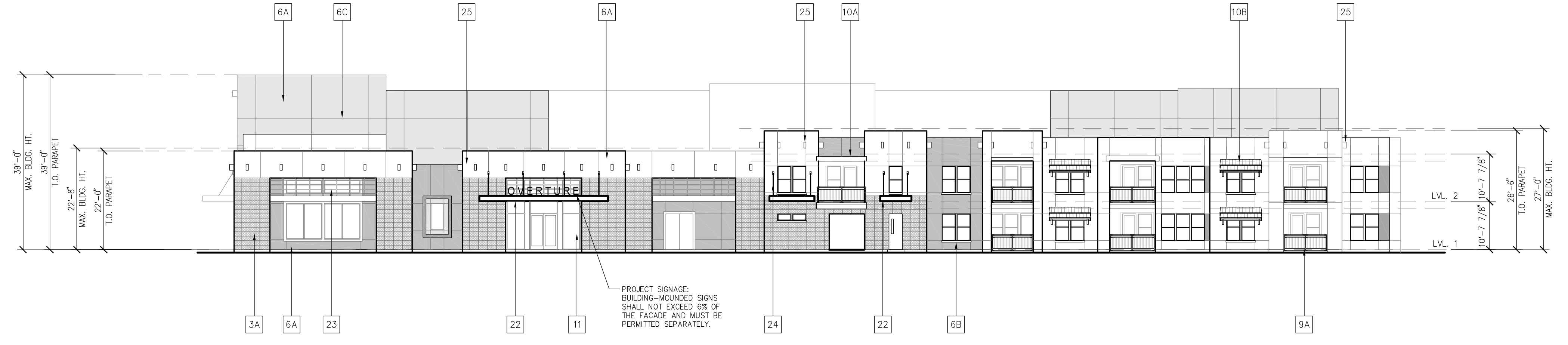
Project Number: 2030307
 Drawn By: TrB Checked By: MJ
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SITE PLAN

SHEET NUMBER

E1.01

NOT ISSUED FOR CONSTRUCTION



2 NORTH ELEVATION
1/16"=1'-0"



1 EAST ELEVATION
1/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: X/A6.XX)
6A	EXTERIOR STUCCO SYSTEM
6B	STUCCO COVERED FOAM TRIM
6C	STUCCO CONTROL JOINT (RE: X/A6.XX)
7B	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
7C	FIBER CEMENT TRIM (SMOOTH FINISH)
9A	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
10A	COMPOSITE SHINGLE ROOF
10B	TERRACOTTA ROOF, FLAT TILE
11	STOREFRONT GLAZING SYSTEM
22	DECORATIVE METAL AWNING (CORTEN LOOK)
23	DECORATIVE METAL SHADING GRID
24	DECORATIVE STEEL CABLE ACCENT
25	DECORATIVE WOOD BEAM

PROPOSED FACADE COLOR PALETTE

** NOTE: DEPICTED MATERIALS AND COLORS ARE PRELIMINARY IN NATURE. FINAL OWNER APPROVED SELECTIONS WILL BE SUBMITTED FOR APPROVAL.

EXTERIOR STUCCO SYSTEM:
OFFWHITE, BEIGE, OR EARTHTONES

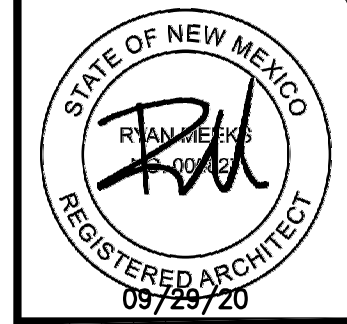
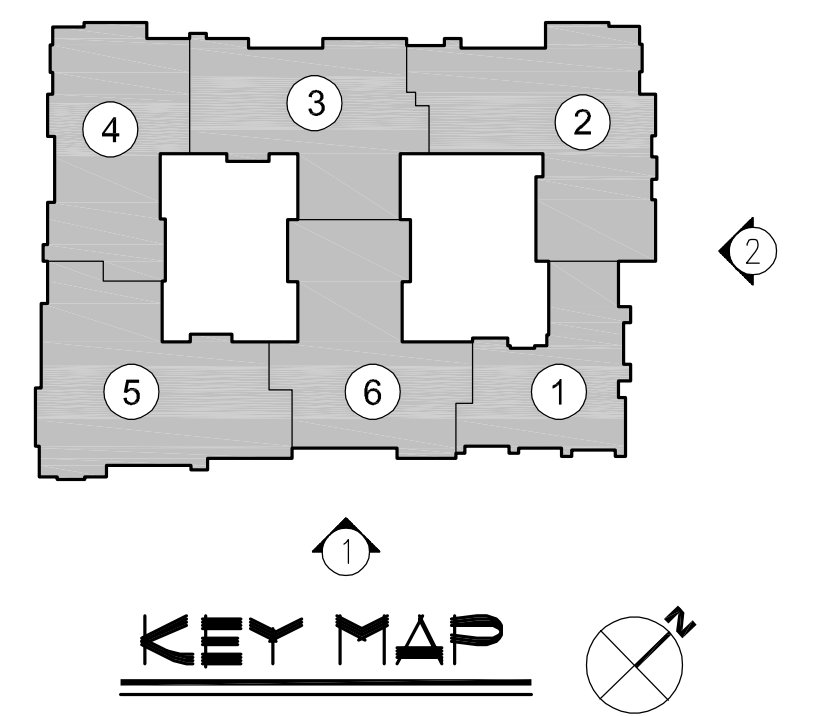
STONE VENEER:
NATURAL STONE (SPLIT FACE)

TERRACOTTA ROOF (FLAT TILE):
NATURAL RED

GUARDRAIL SYSTEM:
BRONZE

METAL CANOPY:
CORTEN LOOK

METAL BRACKETS:
BRONZE/BLACK



NO.	DATE	REVISION

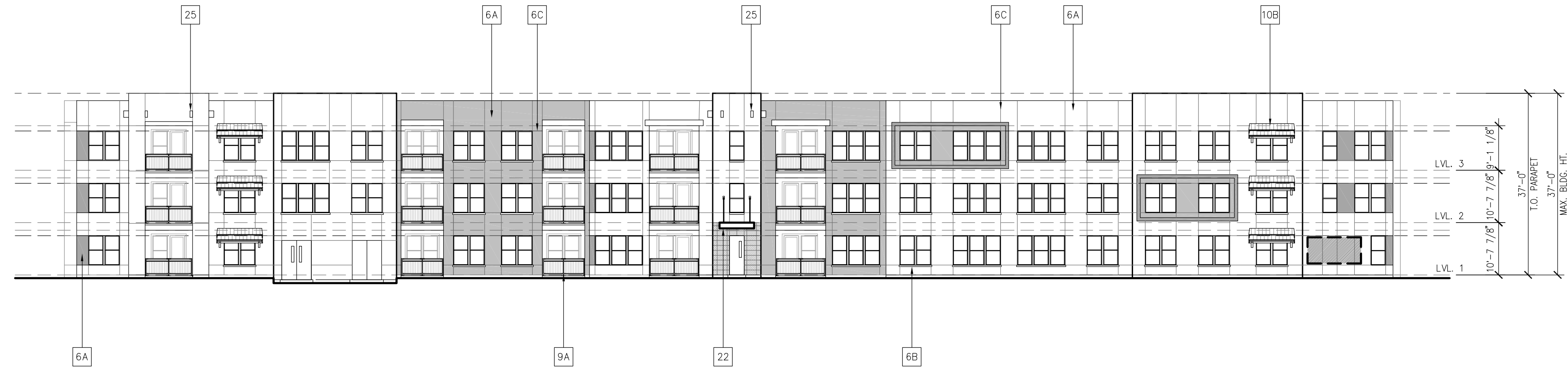
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SHEET TITLE
ELEVATIONS

DRAWING NO.
A4.00



2 SOUTH ELEVATION
1/16" = 1'-0"



1 WEST ELEVATION
1/16" = 1'-0"

ELEVATION KEYNOTE LEGEND:

3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: X/A6.XX)
6A	EXTERIOR STUCCO SYSTEM
6B	STUCCO COVERED FOAM TRIM
6C	STUCCO CONTROL JOINT (RE: X/A6.XX)
7B	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
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24	DECORATIVE STEEL CABLE ACCENT
25	DECORATIVE WOOD BEAM

NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE

PROPOSED FACADE COLOR PALETTE

** NOTE: DEPICTED MATERIALS AND COLORS ARE PRELIMINARY IN NATURE. FINAL OWNER APPROVED SELECTIONS WILL BE SUBMITTED FOR APPROVAL.

EXTERIOR STUCCO SYSTEM:
OFFWHITE, BEIGE, OR EARTHTONES

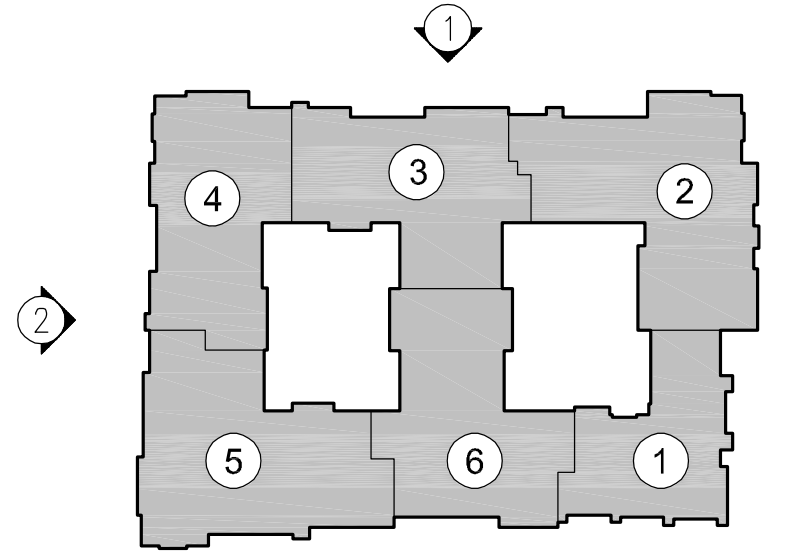
STONE VENEER:
NATURAL STONE (SPLIT FACE)

TERRACOTTA ROOF (FLAT TILE):
NATURAL RED

GUARDRAIL SYSTEM:
BRONZE

METAL CANOPY:
CORTEN LOOK

METAL BRACKETS:
BRONZE/BLACK



KEY MAP

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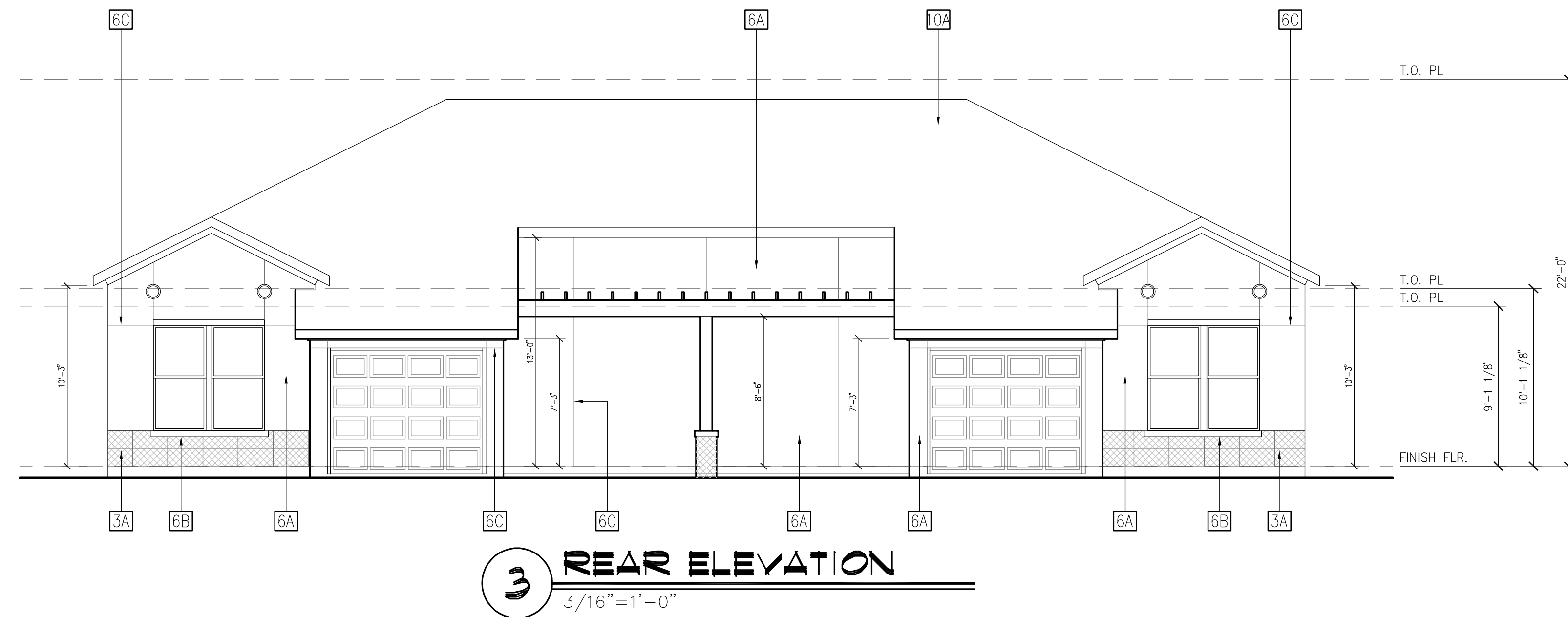
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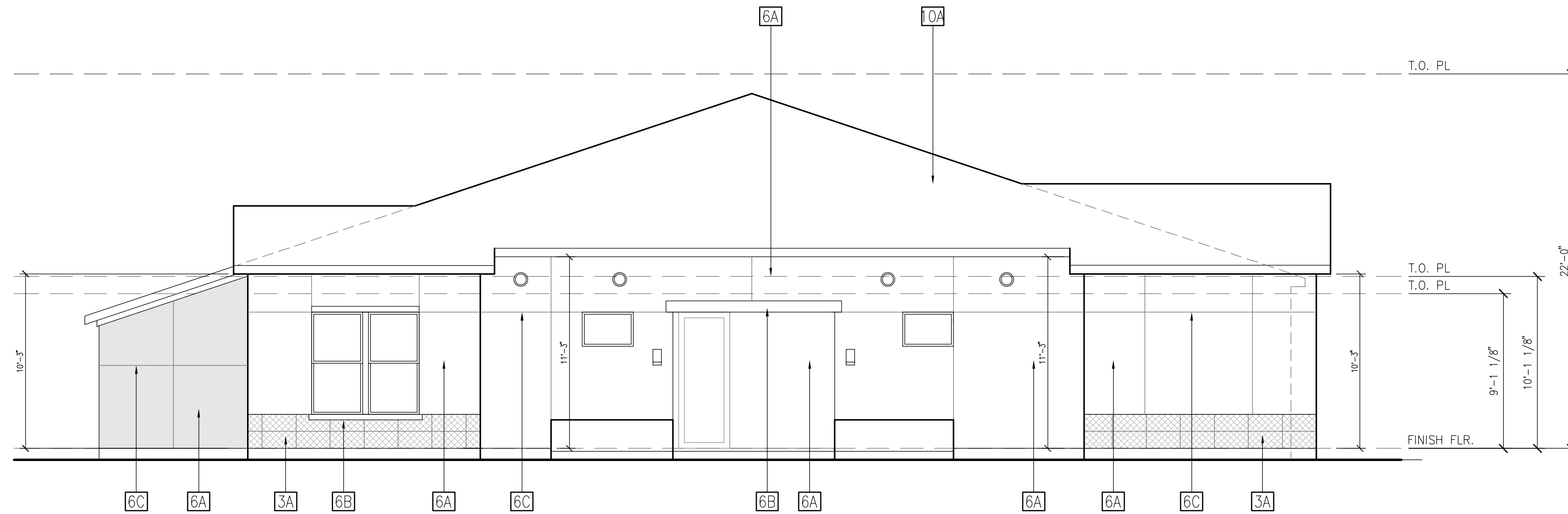
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ELEVATIONS

DRAWING NO.
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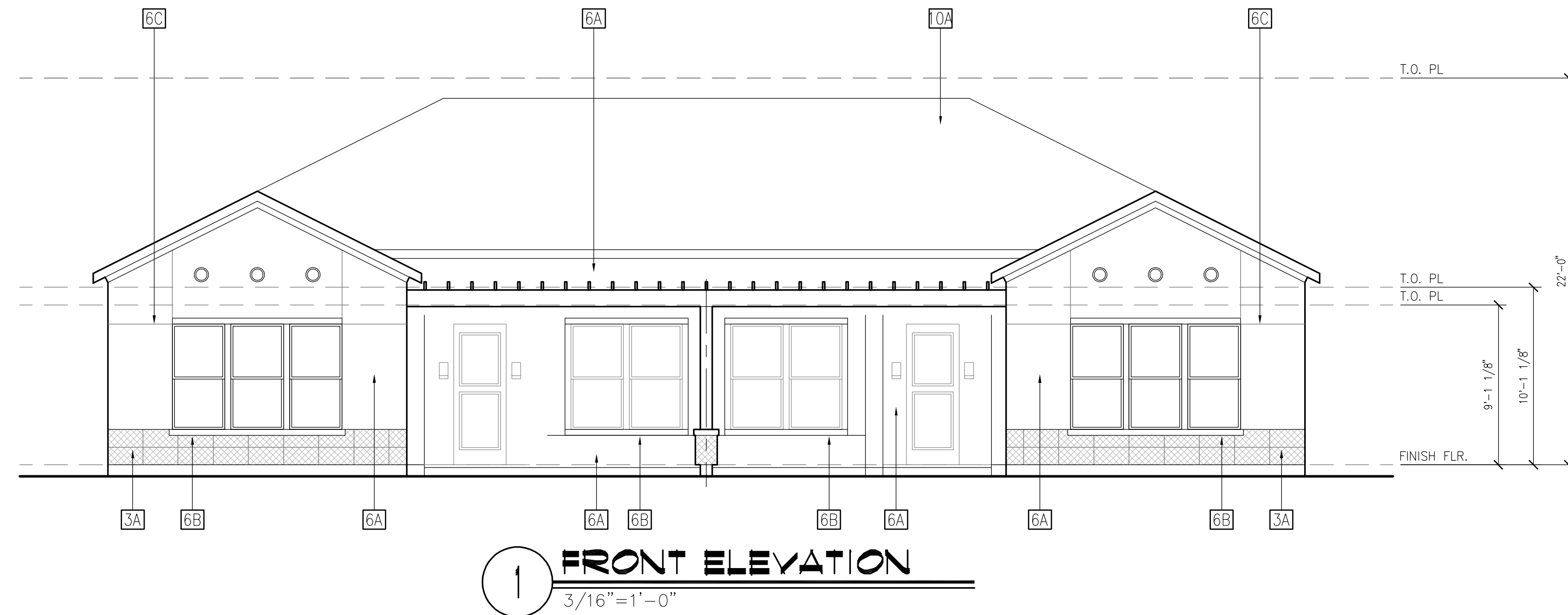
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3 REAR ELEVATION
3/16"=1'-0"



2 SIDE ELEVATION
3/16"=1'-0"



1 FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: X/A6.XX)
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NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE

PROPOSED FACADE COLOR PALETTE

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EXTERIOR STUCCO SYSTEM:
OFFWHITE, BEIGE, OR EARTHTONES

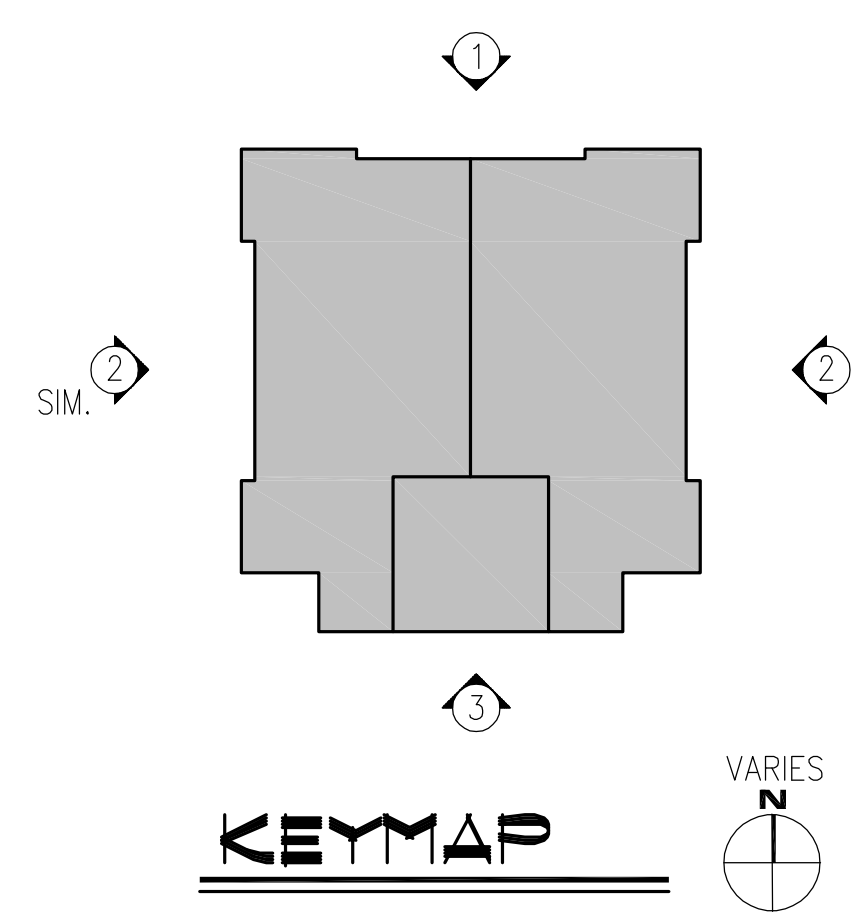
STONE VENEER:
NATURAL STONE (SPLIT FACE)

TERRACOTTA ROOF (FLAT TILE):
NATURAL RED

GUARDRAIL SYSTEM:
BRONZE

METAL CANOPY:
CORTEN LOOK

METAL BRACKETS:
BRONZE/BLACK



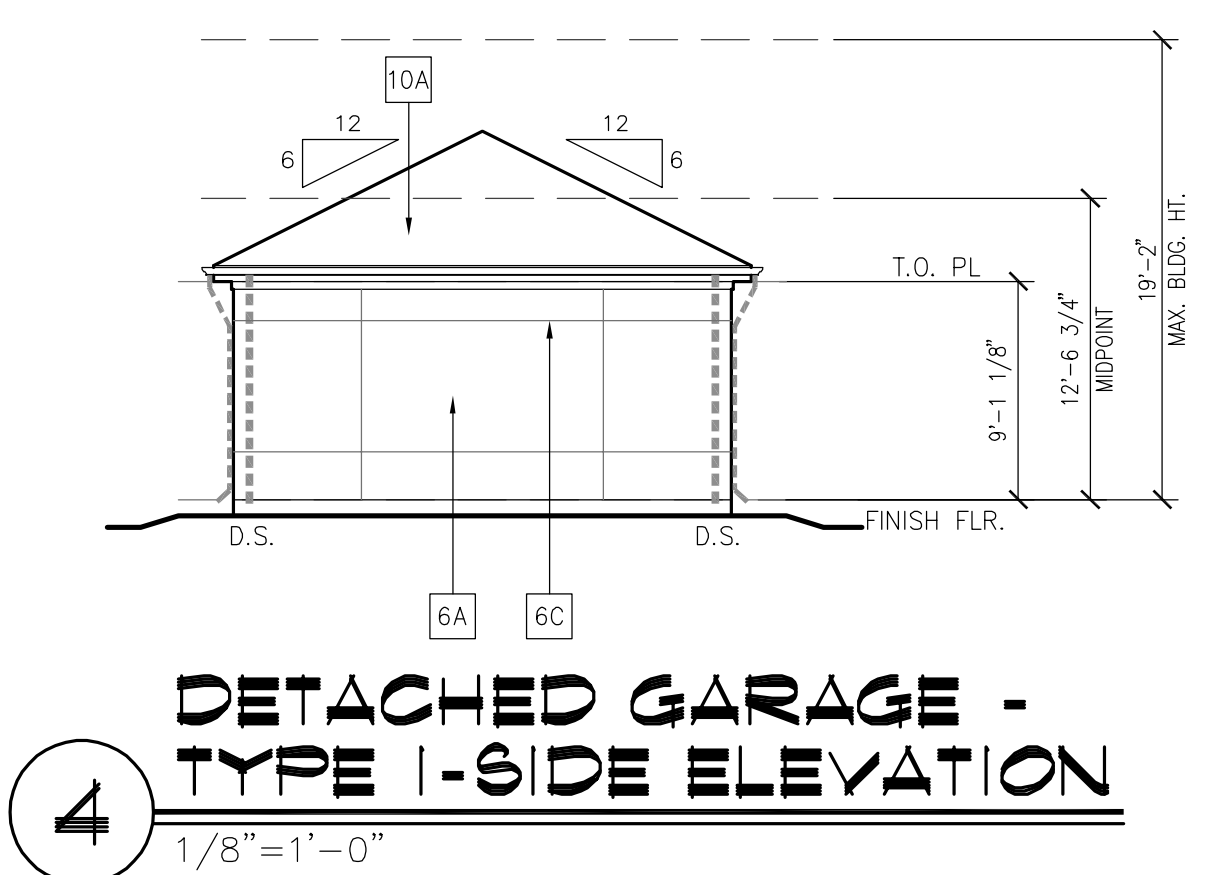
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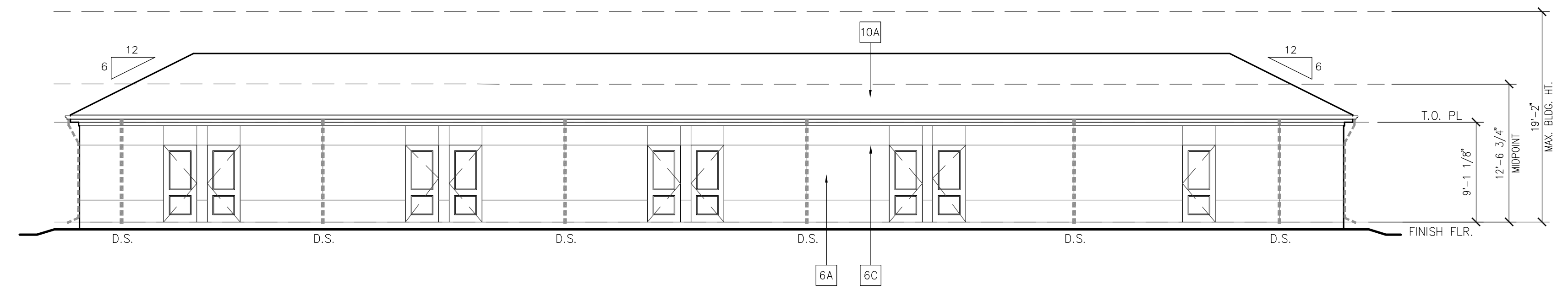
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SHEET TITLE
TOWNHOUSE ELEVATIONS

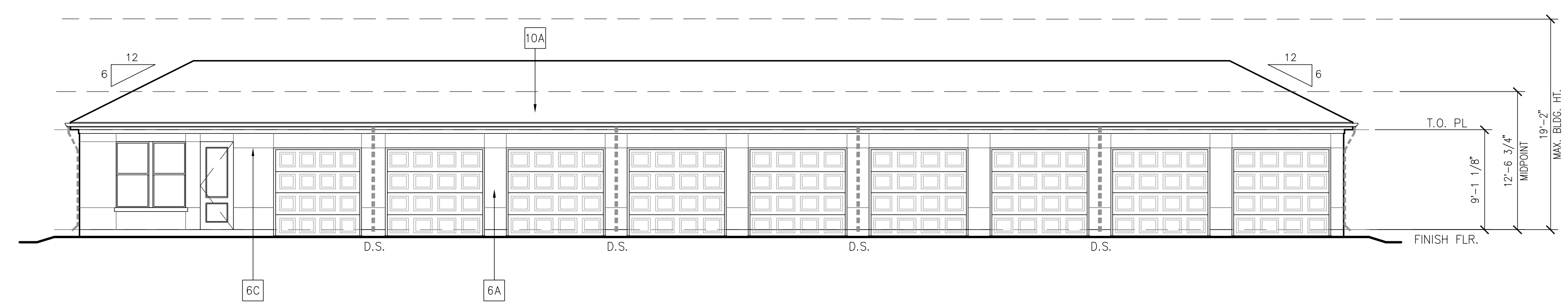
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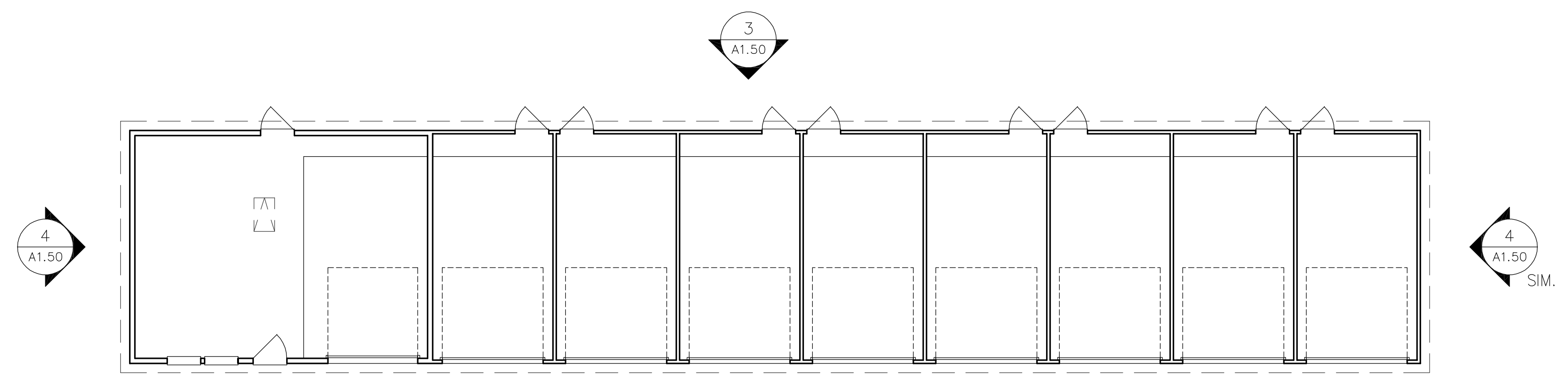
4 DETACHED GARAGE - TYPE I-SIDE ELEVATION
 1/8"=1'-0"



3 DETACHED GARAGE TYPE I - FRONT ELEVATION
 1/8"=1'-0"



2 DETACHED GARAGE TYPE I - ROOF PLAN
 1/8"=1'-0"



1 DETACHED GARAGE TYPE I - PLAN
 1/8"=1'-0"

ELEVATION KEYNOTE LEGEND:

3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: X/A6.XX)
6A	EXTERIOR STUCCO SYSTEM
6B	STUCCO COVERED FOAM TRIM
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NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE

PROPOSED FACADE COLOR PALETTE

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EXTERIOR STUCCO SYSTEM:
 OFFWHITE, BEIGE, OR EARTHTONES

STONE VENEER:
 NATURAL STONE (SPLIT FACE)

TERRACOTTA ROOF (FLAT TILE):
 NATURAL RED

GUARDRAIL SYSTEM:
 BRONZE

METAL CANOPY:
 CORTEN LOOK

METAL BRACKETS:
 BRONZE/BLACK

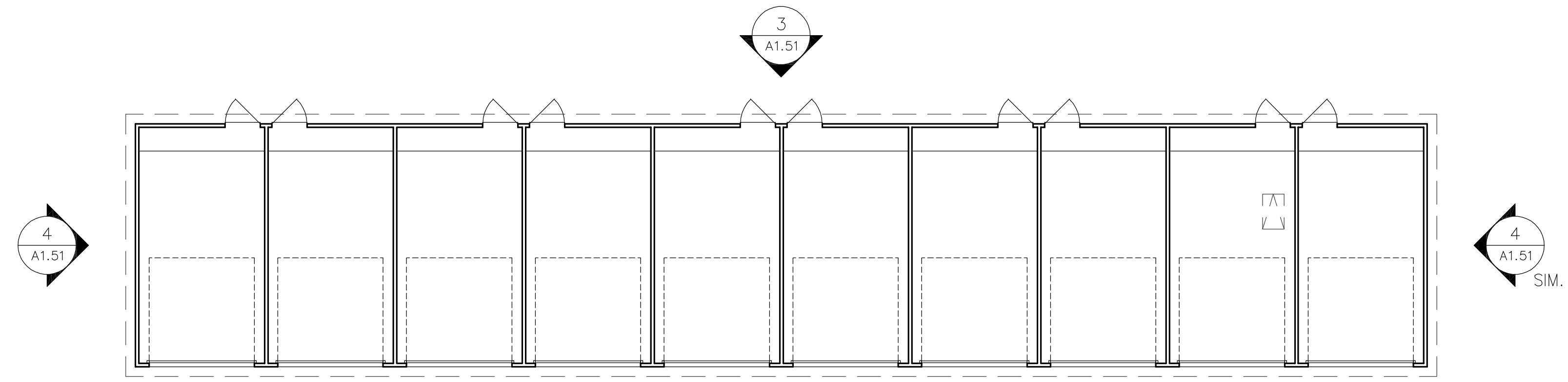
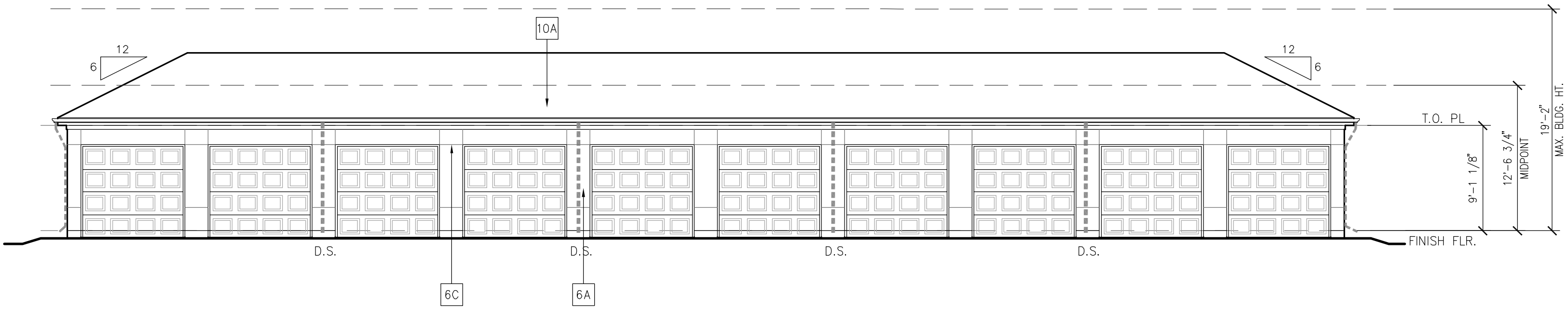
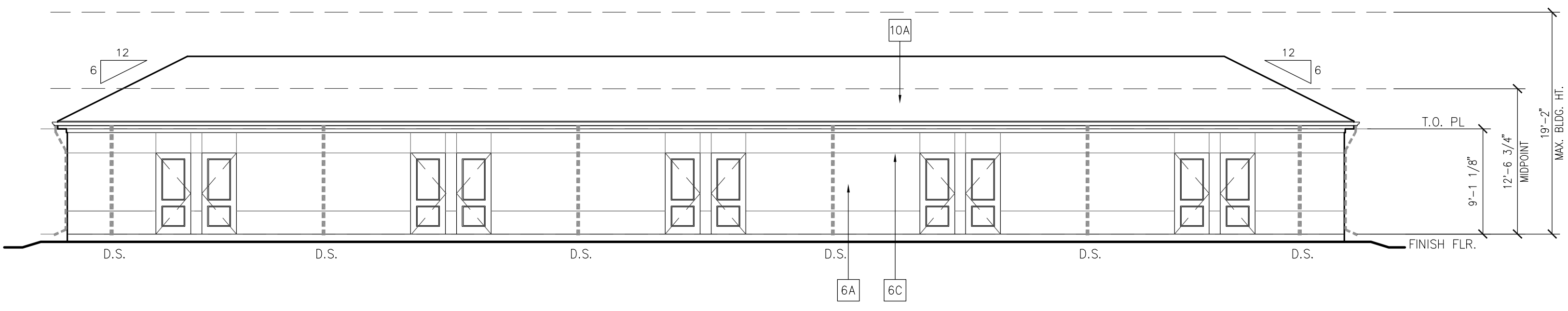
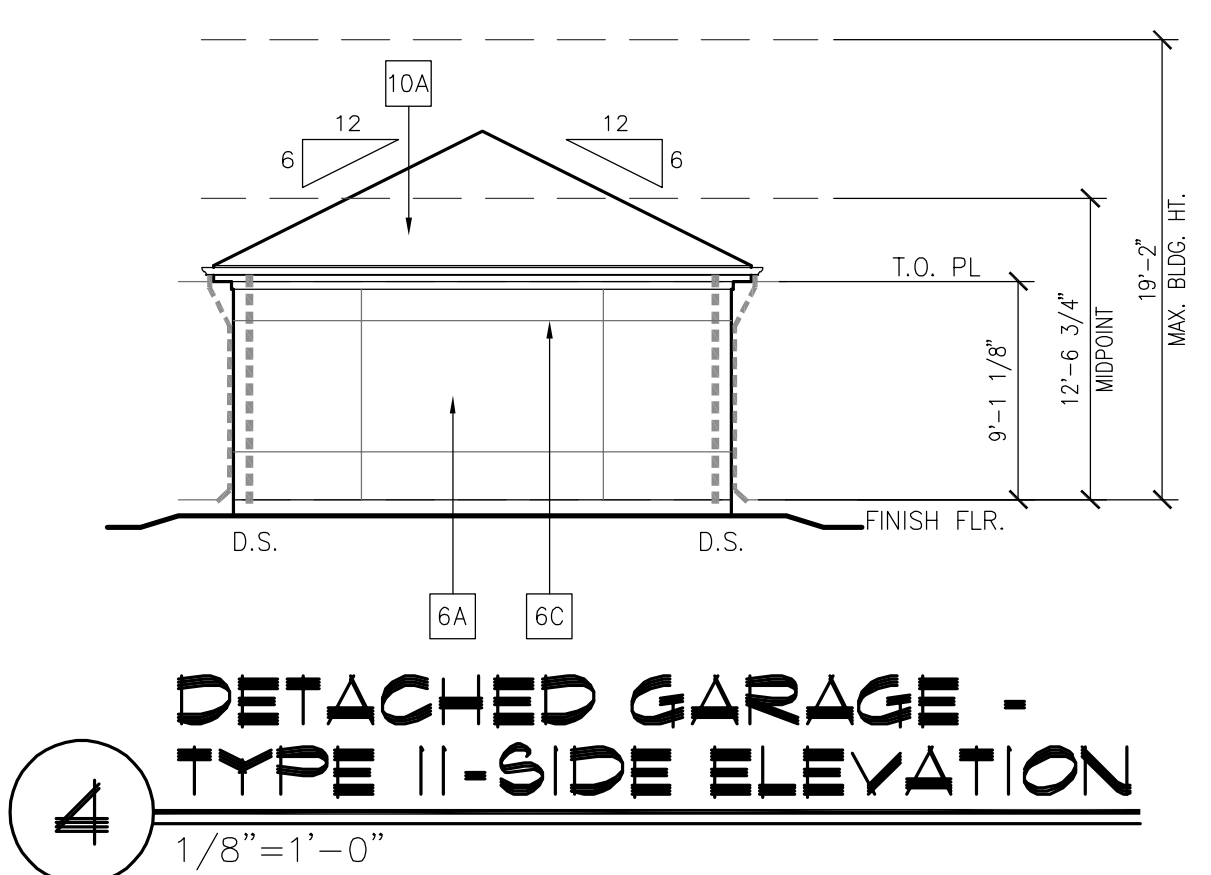
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SHEET TITLE
DETACHED 10 CAR GARAGE

DRAWING NO.
A1.50



ELEVATION KEYNOTE LEGEND:

NO.	DATE	REVISION
3A		THIN STONE VENEER (SPLIT-FACE)
3B		MASONRY CONTROL JOINT (RE: X/A6.XX)
6A		EXTERIOR STUCCO SYSTEM
6B		STUCCO COVERED FOAM TRIM
6C		STUCCO CONTROL JOINT (RE: X/A6.XX)
7B		FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
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24		DECORATIVE STEEL CABLE ACCENT
25		DECORATIVE WOOD BEAM

PROPOSED FACADE COLOR PALETTE

** NOTE: DEPICTED MATERIALS AND COLORS ARE PRELIMINARY IN NATURE. FINAL OWNER APPROVED SELECTIONS WILL BE SUBMITTED FOR APPROVAL.

EXTERIOR STUCCO SYSTEM:
 OFFWHITE, BEIGE, OR EARTHTONES

STONE VENEER:
 NATURAL STONE (SPLIT FACE)

TERRACOTTA ROOF (FLAT TILE):
 NATURAL RED

GUARDRAIL SYSTEM:
 BRONZE

METAL CANOPY:
 CORTEN LOOK

METAL BRACKETS:
 BRONZE/BLACK

NO.	DATE	REVISION
	10/07/20	DS PROCESS SET
	10/31/20	DS SET

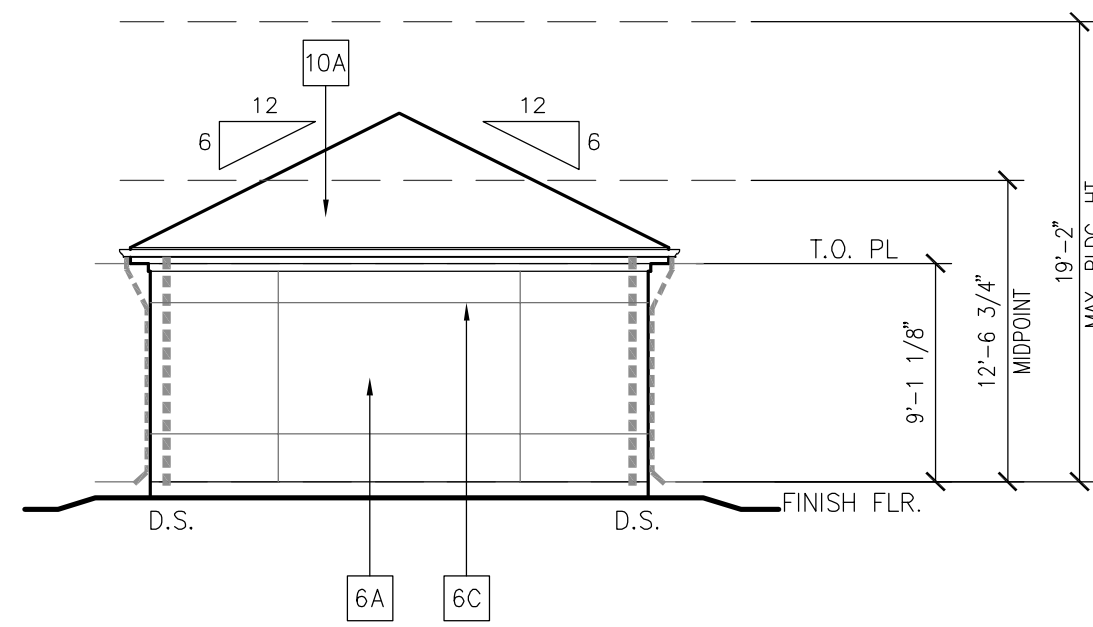
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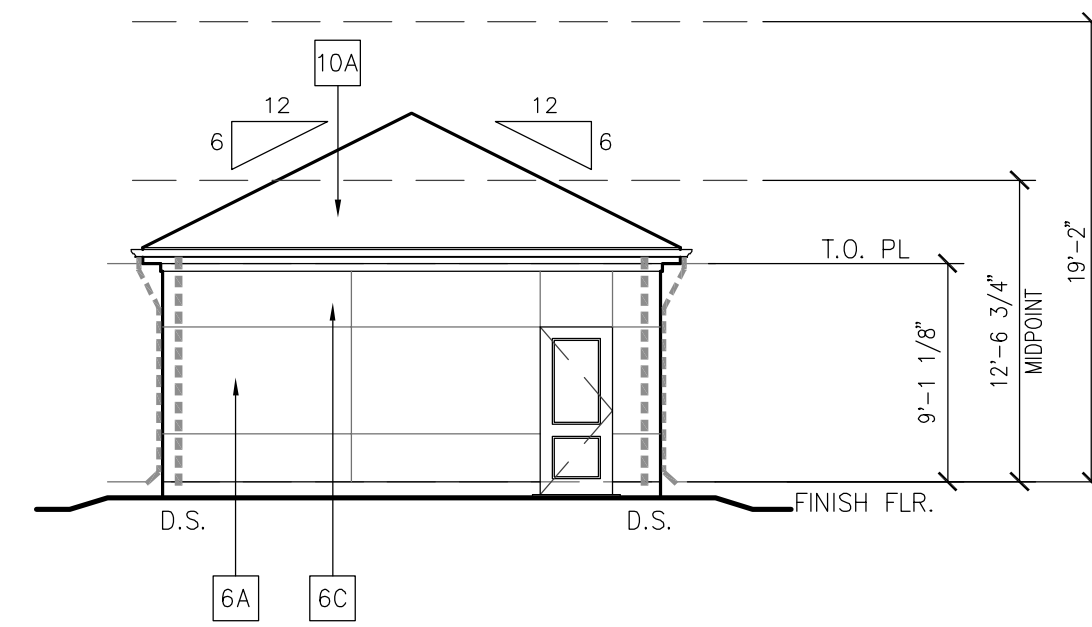
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SHEET TITLE
DETACHED 10 CAR GARAGE

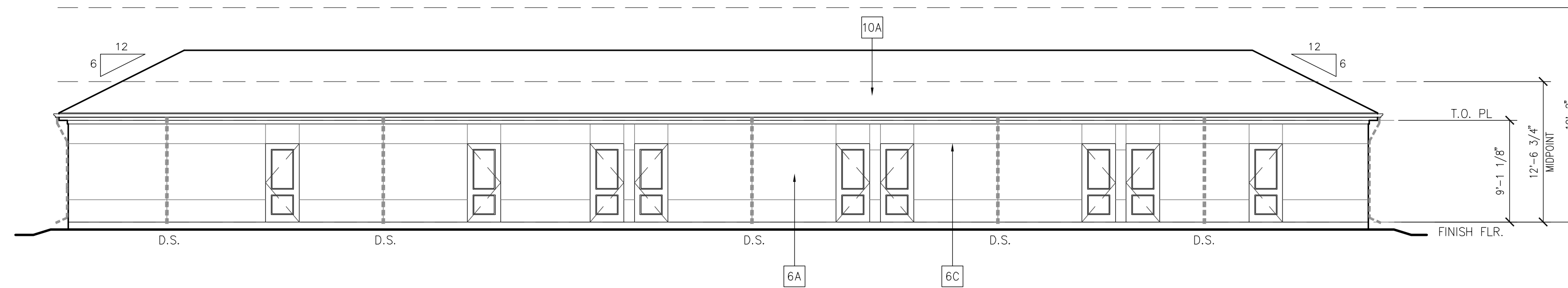
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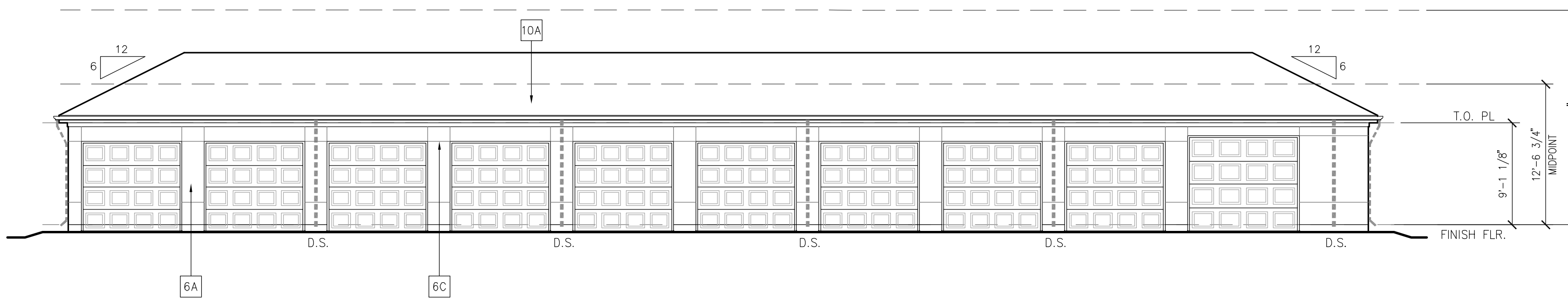
4 DETACHED GARAGE - TYPE III - SIDE ELEVATION
1/8"=1'-0"



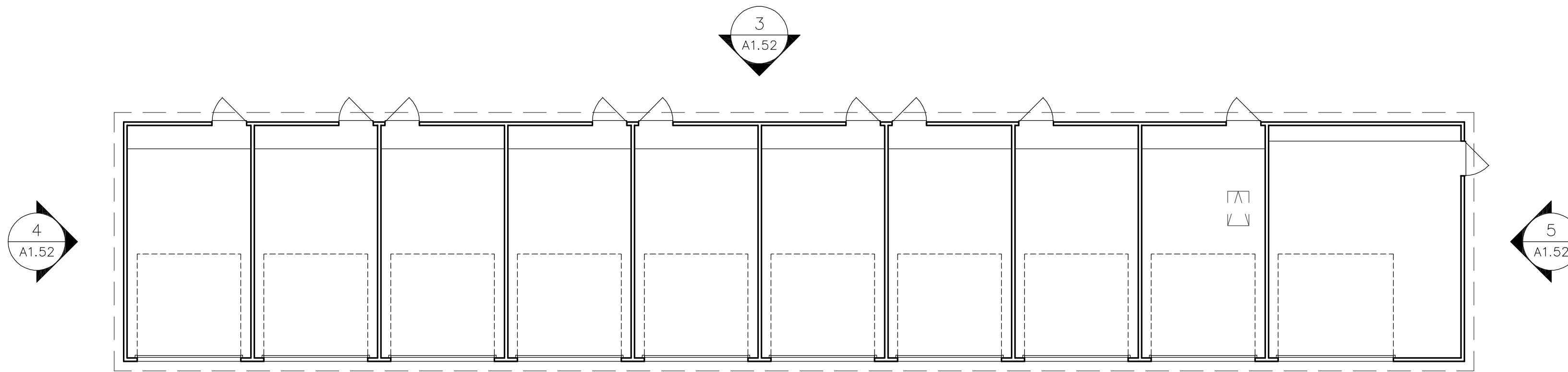
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1/8"=1'-0"



3 DETACHED GARAGE TYPE III - REAR ELEVATION
1/8"=1'-0"



2 DETACHED GARAGE TYPE III - FRONT ELEVATION
1/8"=1'-0"



1 DETACHED GARAGE TYPE III - PLAN
1/8"=1'-0"

ELEVATION KEYNOTE LEGEND:

NO.	DATE	REVISION
3A		THIN STONE VENEER (SPLIT-FACE)
3B		MASONRY CONTROL JOINT (RE: X/A6.XX)
6A		EXTERIOR STUCCO SYSTEM
6B		STUCCO COVERED FOAM TRIM
6C		STUCCO CONTROL JOINT (RE: X/A6.XX)
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24		DECORATIVE STEEL CABLE ACCENT
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NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE

PROPOSED FACADE COLOR PALETTE

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NATURAL STONE (SPLIT FACE)

TERRACOTTA ROOF (FLAT TILE):
NATURAL RED

GUARDRAIL SYSTEM:
BRONZE

METAL CANOPY:
CORTEN LOOK

METAL BRACKETS:
BRONZE/BLACK



NO.	DATE	REVISION
	10/07/20	DS PROCESS SET
	10/31/20	DS SET

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<input type="checkbox"/>	ISSUED FOR CONSTRUCTION

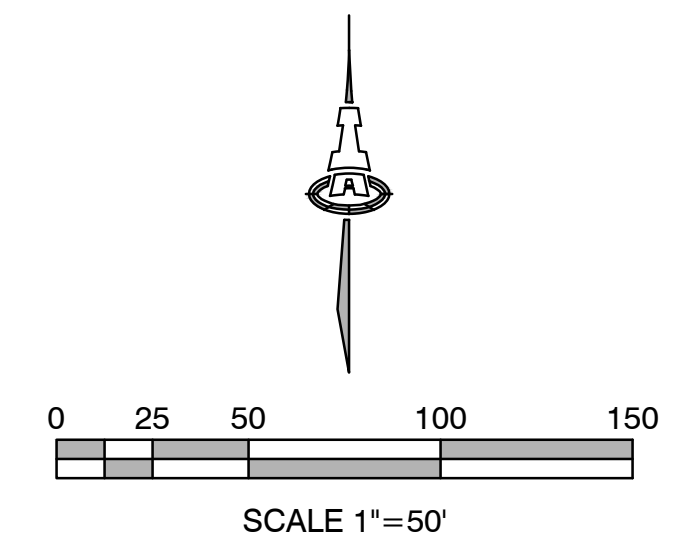
SHEET TITLE
DETACHED 10 CAR GARAGE

DRAWING NO.
A1.52

LEGEND

- FF= 49XX.XX FINISH FLOOR
TB= 49XX.XX TOP OF BUILDING
- GARAGES: 1 STORY (HEIGHT VARIES, 17'-8" TALL MIN. 19'-2" MAX.)
 - COTTAGES: 1 STORY (22'-0" TALL)
 - CLUBHOUSE: 1 STORY (22'-8" TALL)
 - MAIN BUILDING: 2 STORY (27'-0" TALL)
 - MAIN BUILDING: 3 STORY (37'-0" TALL)
 - MAIN BUILDING: 3 STORY (37'-6" TALL)
 - HIGHEST POINT: 3 STORY (39'-0" TALL)

Consistent with IDO Section 14-163-6(D)(5)(c)
This project provides for a variety in building size and massing. The lower, smaller buildings are located closer to Coors Boulevard, with the larger, taller building located farther back on the property



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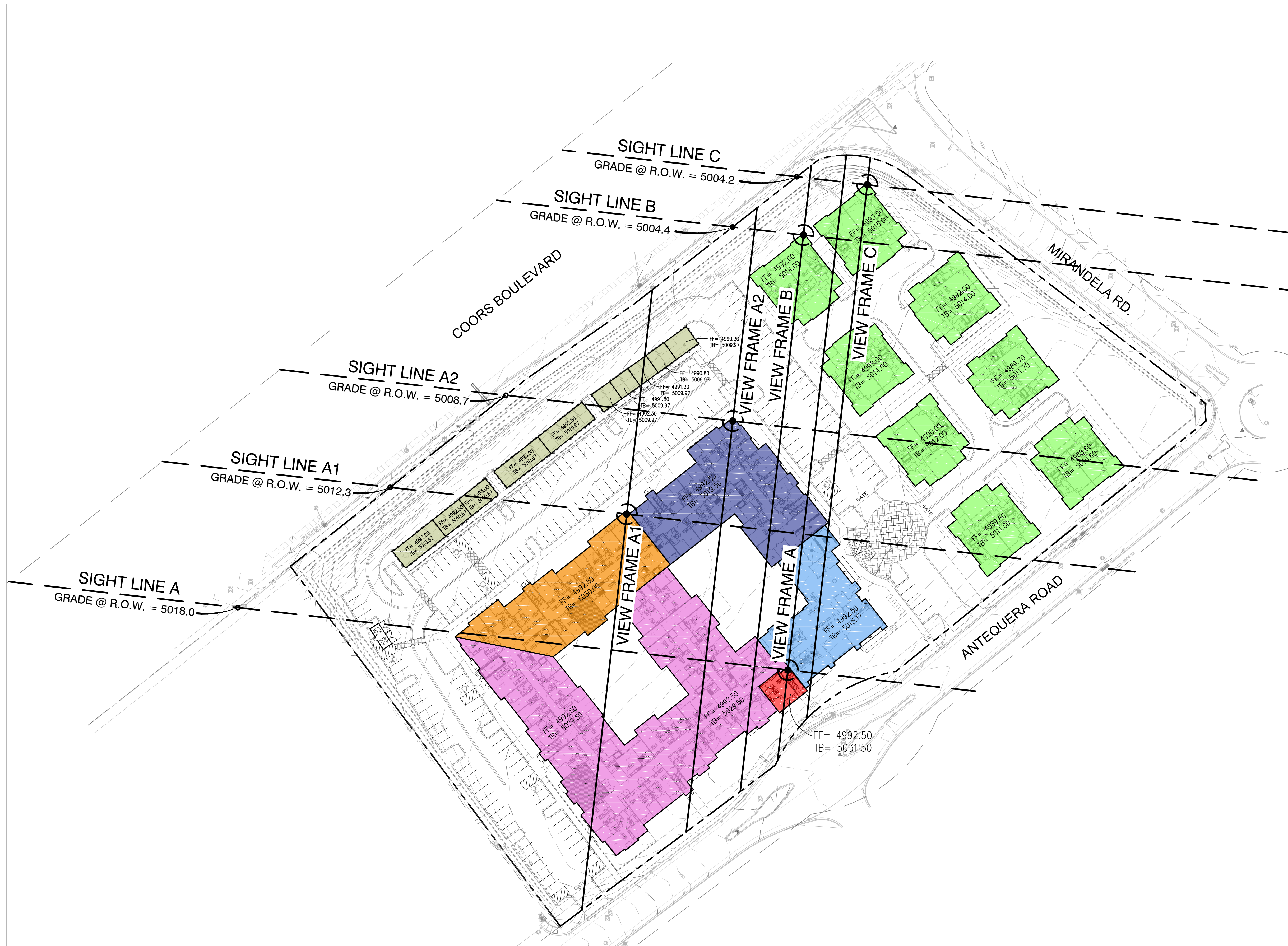
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**ANDALUCIA
SENIOR LIVING**

**VIEW ANALYSIS
SITE EXHIBIT**

Date:	08/2020	No. Revision:		Date:		Job No.	2360
Drawn By:	thor						1
Chk By:	FCA						SH OF



\\projects\3200-2890\3200\3200\3200\C-201_VBA_ANALYSIS.dwg, Date: 8/19/2020, 3:07 PM

LEGEND

FF= 49XX.XX FINISH FLOOR
TB= 49XX.XX TOP OF BUILDING

- GARAGES: 1 STORY (HEIGHT VARIES, 17'-8" TALL MIN. 19'-2" MAX.)
- COTTAGES: 1 STORY (22'-0" TALL)
- CLUBHOUSE: 1 STORY (22'-8" TALL)
- MAIN BUILDING: 2 STORY (27'-0" TALL)
- MAIN BUILDING: 3 STORY (37'-0" TALL)
- MAIN BUILDING: 3 STORY (37'-6" TALL)
- HIGHEST POINT: 3 STORY (39'-0" TALL)



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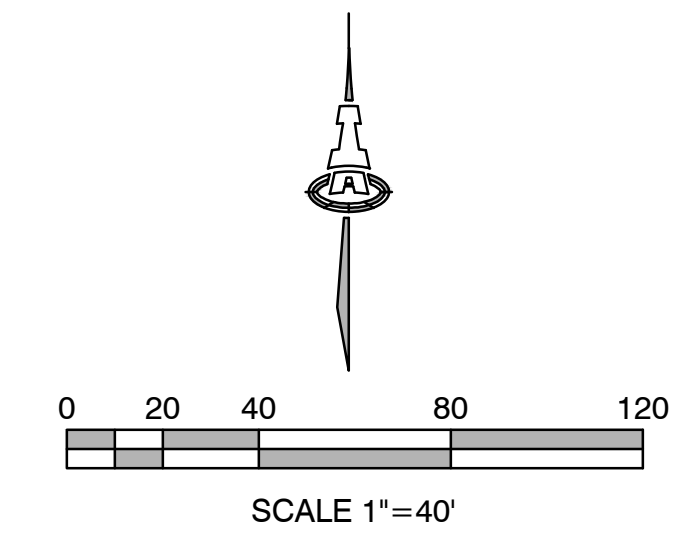
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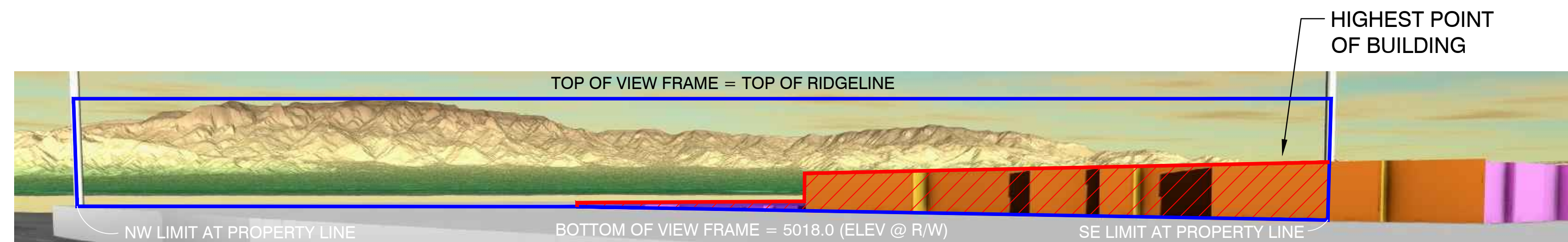
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**ANDALUCIA
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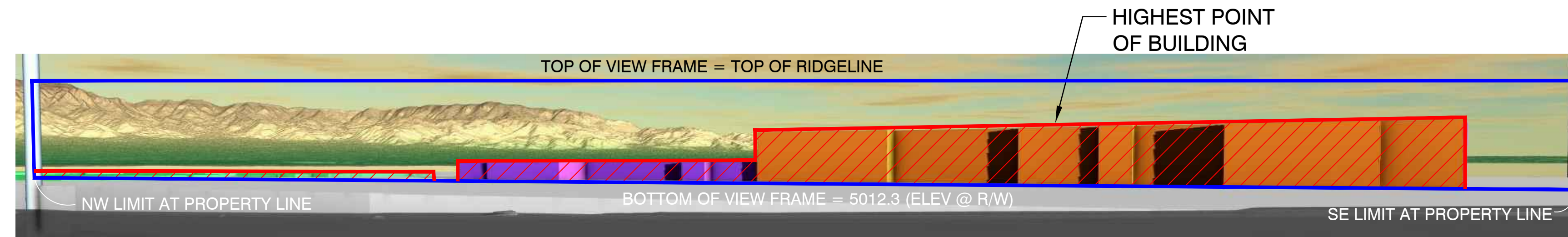
VIEW PLANES AT SIGHT LINES

Date:	No.:	Revision:	Date:	Job No.:
03/2020				2360
Drawn By:				1
thor				
Clk By:				SH OF
FCA				

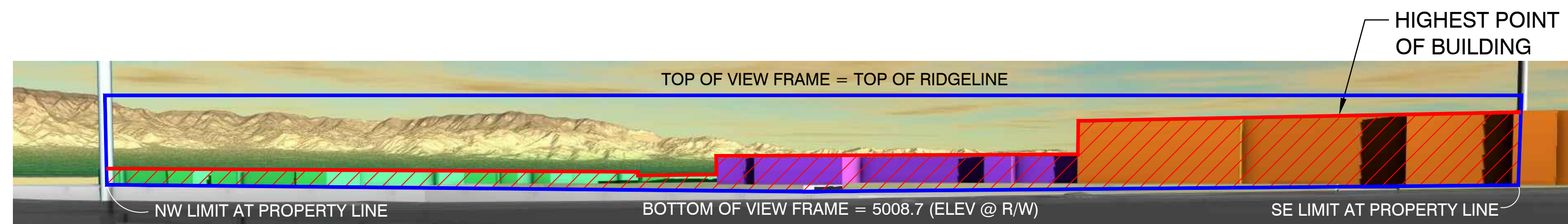




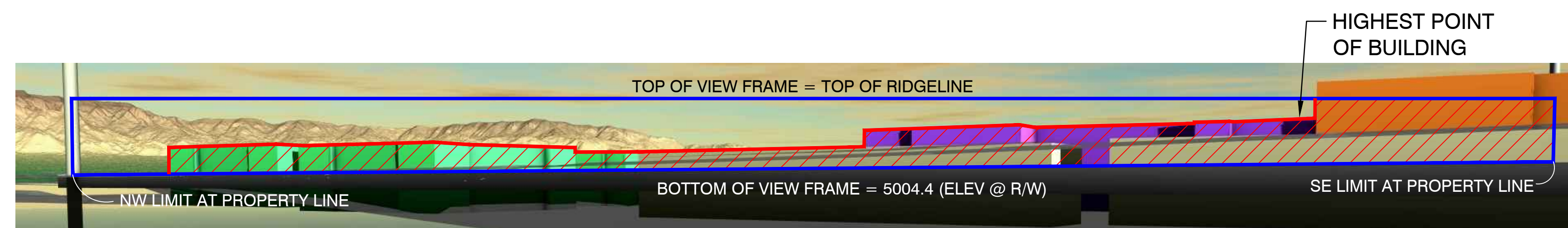
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 BLOCKED AREA: 3.4537 (18.89%)
VIEW FRAME AT SIGHT LINE A



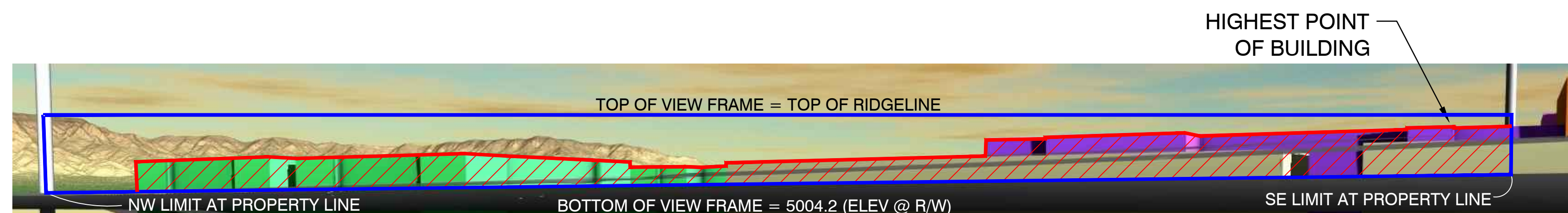
VIEW FRAME AREA: 20.8162
 BLOCKED AREA: 7.0716 (33.97%)
VIEW FRAME AT SIGHT LINE A1



VIEW FRAME AREA: 16.7985
 BLOCKED AREA: 6.9390 (41.31%)
VIEW FRAME AT SIGHT LINE A2



VIEW FRAME AREA: 13.7230
 BLOCKED AREA: 6.7034 (48.85%)
VIEW FRAME AT SIGHT LINE B



VIEW FRAME AREA: 13.0743
 BLOCKED AREA: 6.0440 (46.23%)
VIEW FRAME AT SIGHT LINE C

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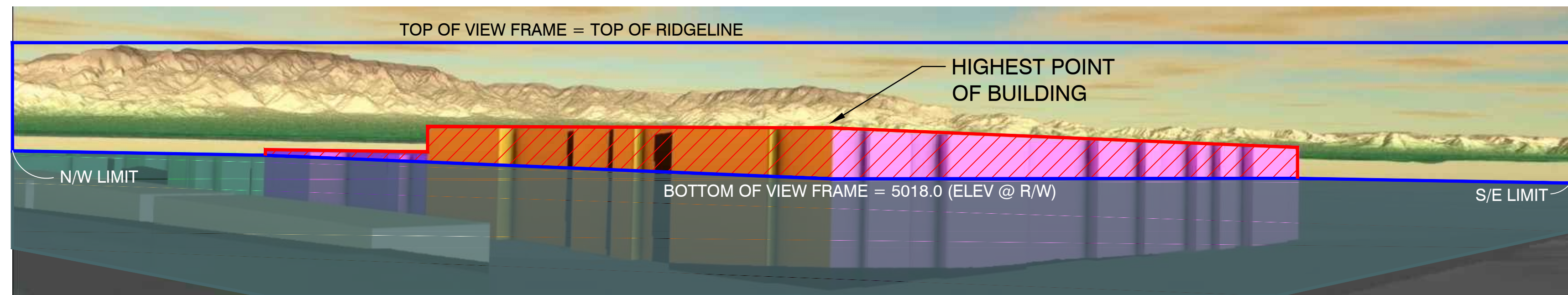
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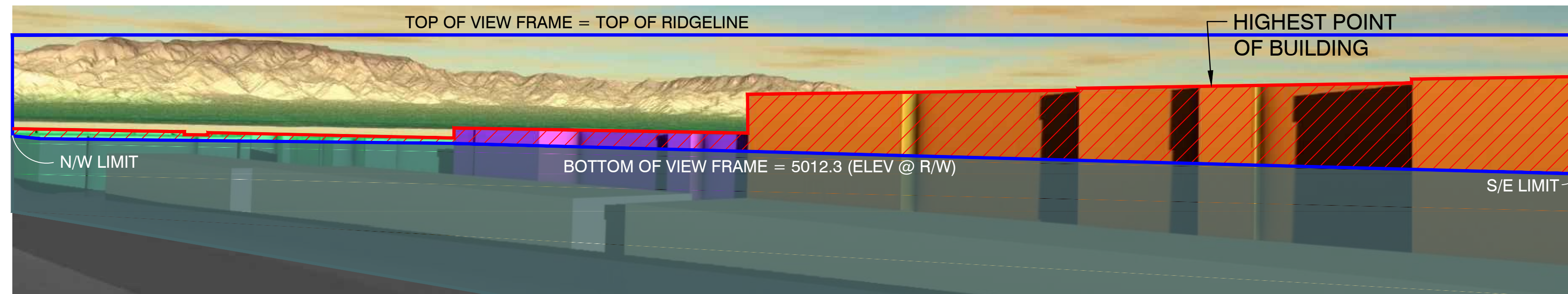
**ANDALUCIA
 SENIOR LIVING**

**VIEW ANALYSIS
 VIEW FRAMES**

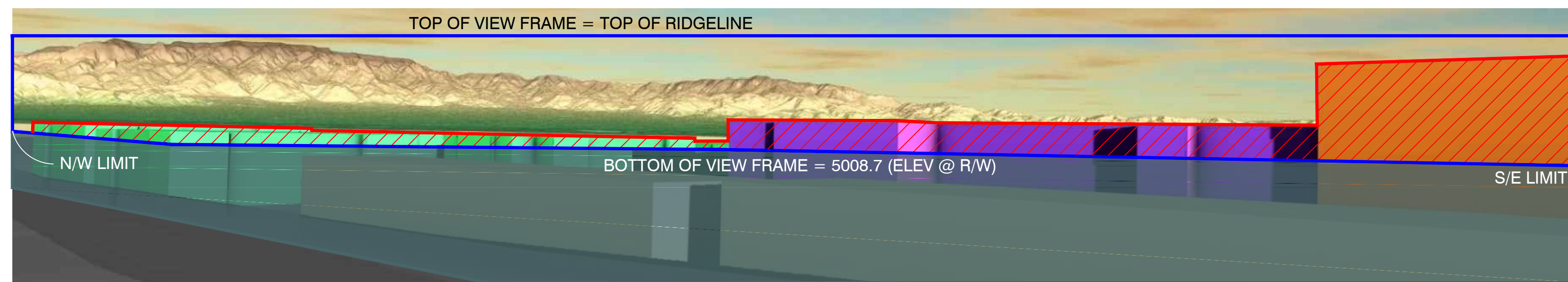
Date:	No.:	Revision:	Date:	Job No.:
03/2020				2360
Drawn By:				1
thor				
Clk'd By:				SH OF
FCA				



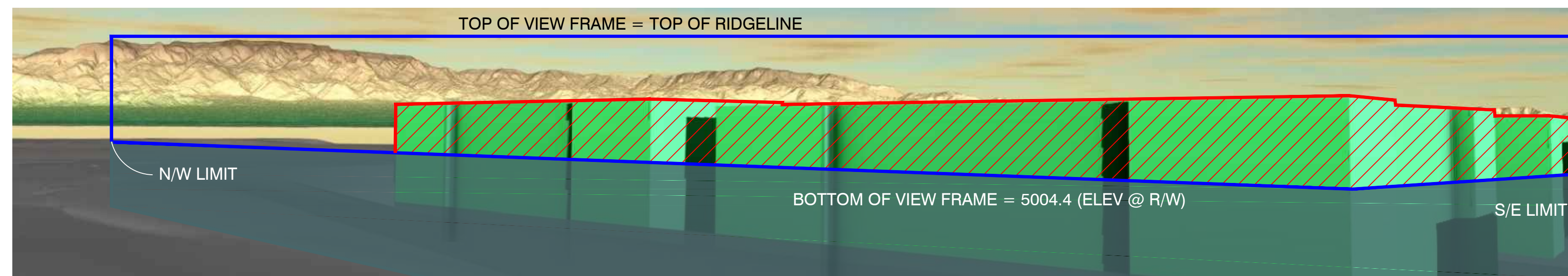
VIEW FRAME AT SIGHT LINE A



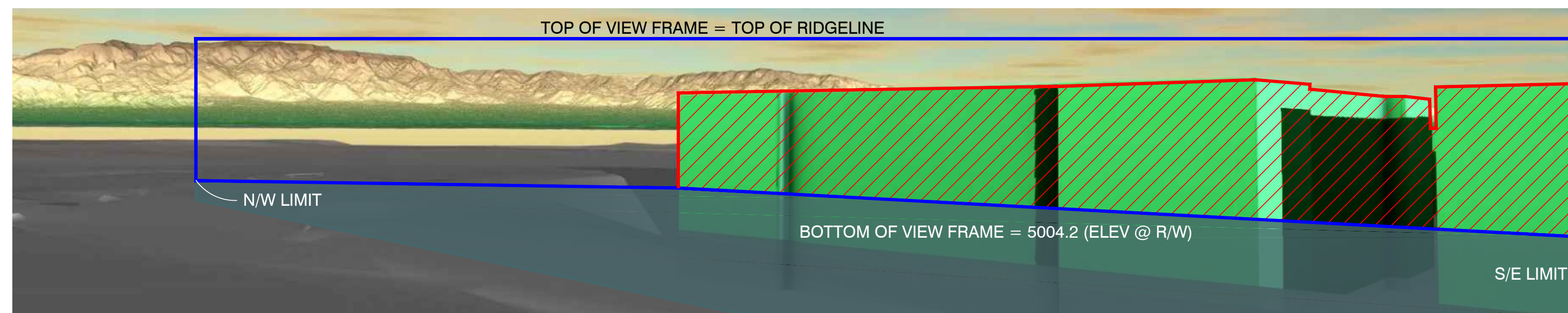
VIEW FRAME AT SIGHT LINE A1



VIEW FRAME AT SIGHT LINE A2



VIEW FRAME AT SIGHT LINE B



VIEW FRAME AT SIGHT LINE C

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**ANDALUCIA
SENIOR LIVING**

**VIEW ANALYSIS
VIEW FRAMES (STILLS FROM VIDEO)**

Date:	No.:	Revision:	Date:	Job No.:
08/2020				2360
Drawn By:				1
thor				
Clk By:				SH OF
FCA				











PR-2020-003658_SI-2020-01052_Site_Plan_Approved_10-28-20_Sheet_1


Final Audit Report


2021-03-23


Created:	2020-12-03
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAA8qKTvUUnIn_kfT2MR_NgrXj4BrQqr8Bb


"PR-2020-003658_SI-2020-01052_Site_Plan_Approved_10-28-20_Sheet_1" History


-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
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-  Document emailed to Carl Garcia (cagarcia@cabq.gov) for signature
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-  Document emailed to Kristopher Cadena (kcadena@abcwua.org) for signature
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Signature Date: 2021-03-23 - 4:50:13 PM GMT - Time Source: server- IP address: 97.123.169.15

 Agreement completed.
2021-03-23 - 4:50:13 PM GMT

GENERAL NOTES:

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- ROOF EQUIPMENT SHALL BE SCREENED FROM VIEW IF VISIBLE FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED PER THE REQUIREMENTS OF THE INTEGRATED DEVELOPMENT ORDINANCE.
- SIGNAGE SHALL BE IN COMPLIANCE WITH THE PREVIOUSLY APPROVED SITE PLAN FOR SUBDIVISION DESIGN GUIDELINES AND SHALL BE SEPARATELY PERMITTED.
- LIGHTING SHALL BE IN COMPLIANCE WITH THE PREVIOUSLY APPROVED SITE PLAN FOR SUBDIVISION DESIGN GUIDELINES REGARDING HEIGHT AND NIGHT SKY COMPLIANCE.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER.
- A MINOR REPLAT WILL BE REQUIRED TO ENSURE THE RIGHT-OF-WAY FOR ANTEQUERA ROAD IS CONSISTENT WITH THE AS-BUILT CONDITIONS AT THE EGG-A-BOUT.
- THE COORS BOULEVARD CP0-2 AND VPO-1 REGULATIONS APPLY TO THIS SITE. WHERE THIS SITE PLAN IS SILENT, PROVISIONS OF THE IDO APPLY.

SITE DATA:
LEGAL DESCRIPTION: TRACT 4 OF NORTH ANDALUCIA AT LA LUZ
ZONING: PD - PLANNED DEVELOPMENT (SU-1 FOR C2, O-1, OR PRD (24 DU/AC))
SITE AREA: 7.71 ACRES
LAND USE: SENIOR INDEPENDENT LIVING, MULTI-FAMILY APARTMENTS (AGE-RESTRICTED 55+)
PEDESTRIAN, BICYCLE AND VEHICULAR INGRESS AND EGRESS:
 TWO DRIVEWAY ENTRANCES WILL PROVIDE VEHICULAR ACCESS FROM

ANTEQUERA ROAD, ONE OF WHICH (SOUTH EASTERN MOST) IS FOR EMERGENCY VEHICLES ONLY. PEDESTRIAN ACCESS IS PROVIDED TO ANTEQUERA ROAD AT SEVERAL LOCATIONS.

INTERNAL CIRCULATION REQUIREMENTS: NORTHEAST PARKING AREA ADJACENT TO THE CLUBHOUSE IS ACCESSIBLE TO VISITORS AND RESIDENTS. THE REMAINING PARKING AREAS ARE GATE CONTROLLED. KNOX BOXES WILL PROVIDE ACCESS FOR EMERGENCY VEHICLES AT ALL GATES.

MAXIMUM BUILDING HEIGHT ALLOWED: HEIGHTS SHALL COMPLY WITH COORS CORRIDOR PLAN DESIGN STANDARDS' VIEW AND HEIGHT RESTRICTIONS, SEE VIEW ANALYSIS SHEETS.

MINIMUM BUILDING SETBACKS: SETBACKS SHALL COMPLY WITH COORS CORRIDOR PLAN AND THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION.
 - COORS 35' MIN. WITH 50 PERCENT LANDSCAPE COVERAGE.
 - FRONT 15' MIN.; SIDE 5' MIN. AND 10' MIN. FROM STREET; REAR 15' MIN.
 - NOT LESS THAN 10' BETWEEN APARTMENT AND OFF-STREET PARKING AND VEHICULAR CIRCULATION AREAS.

MAXIMUM TOTAL DWELLING UNITS:
 185 DU (24/AC) ALLOWED (PER AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION)
 171 DU PROPOSED

PHASING: NONE PROPOSED - ONE PHASE

STRUCTURE LOCATIONS: NO EXISTING STRUCTURES, THE SITE IS VACANT. PROPOSED STRUCTURES PER SITE PLAN

PARKING FACILITIES: PARKING REQUIRED: 214 SPACES (PER AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION)
 MAXIMUM ALLOWED : 235 (10% ABOVE MINIMUM PER SITE PLAN FOR SUBDIVISION)
 TOTAL PARKING PROVIDED: 234 SPACES
 COMPACT PARKING SPACES (20% ALLOWED): 6 (2.6%)
 ELECTRIC VEHICLE PARKING SPACES (2% REQ.): 6 (2.6%)

ADA PARKING REQUIRED: 8 SPACES (2 VAN ACCESSIBLE)
ADA PARKING PROVIDED: 11 SPACES (6 VAN ACCESSIBLE, 1 VAN STALL LOCATED IN DETACHED SINGLE-STORY GARAGE)

BICYCLE PARKING REQUIRED: 23 SPACES
BICYCLE PARKING PROVIDED: 24 SPACES

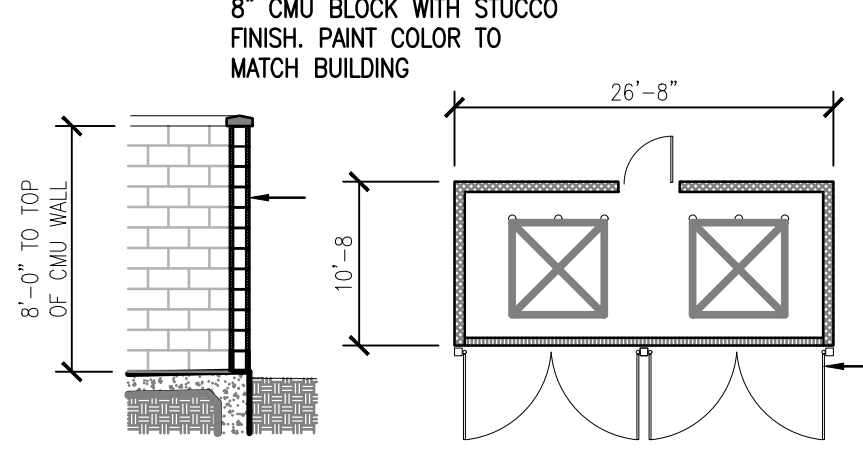
LOADING FACILITIES: RESIDENT MOVE-IN LOADING AREA PROVIDED AT SOUTHWEST CORNER OF MAIN STRUCTURE. LOADING SPACE LOCATED AT SOUTH END OF GARAGES.

NON-AUTO TRANSPORTATION:
 TRANSIT - ROUTES 155, 96, AND 790 ON COORS BOULEVARD; ROUTES 157 AND 162 ON MONTANO BOULEVARD
 BICYCLE - BIKE LANES ON COORS BOULEVARD, ANTEQUERA ROAD, AND MIRANDELA STREET
 TRAILS - MIRANDELA STREET PROVIDES ACCESS TO THE TRAIL HEAD LOCATED AT MONTANO BOULEVARD. THIS TRAIL HEAD PROVIDES ACCESS TO NUMEROUS TRAILS INCLUDING THE PASEO DEL BOSQUE MULTI-USE TRAIL ON THE EAST SIDE OF THE RIO GRANDE.

SENSITIVE LANDS:
 NO SENSITIVE LANDS ARE PRESENT EXCEPT FOR STEEP SLOPES ADJACENT TO COORS BOULEVARD. THE DEVELOPMENT AVOIDS THESE SLOPES BY LOCATING BUILDINGS ALONG ANTEQUERA AND MIRANDELA. SEE GRADING AND DRAINAGE PLAN FOR HOW STORMWATER RUNOFF IS HANDLED AND THE SLOPES ARE STABILIZED.

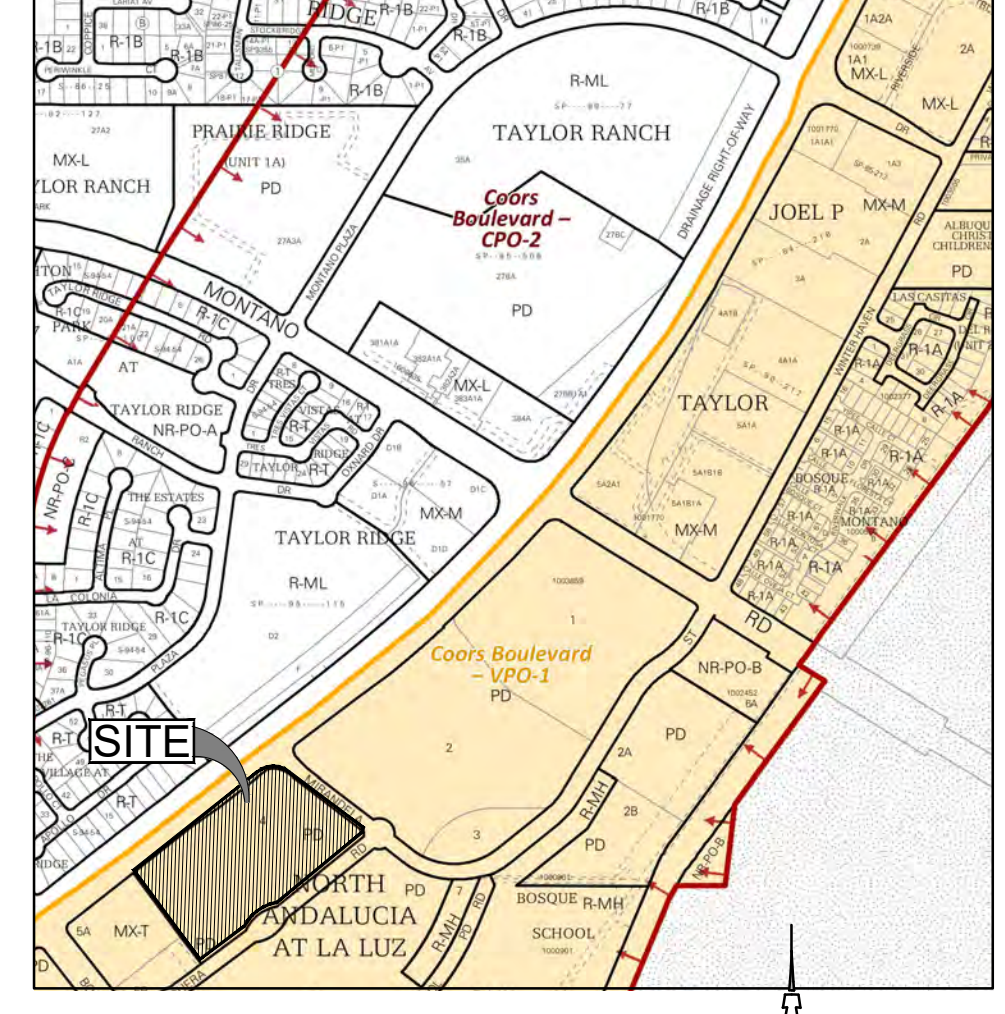
Unit Mix and Usable Open Space (UOS) Requirements

UNIT TYPE	BEDS	NET	GROSS	LVL 1	LVL 2	LVL 3	TOTAL	REQUIRED UOS PER UNIT	TOTAL REQUIRED UOS PER UNIT TYPE		
S1	1 BED	526	566	2	2	2	6	200 sq. ft.	1,200 sq. ft.		
A1	1 BED	598	598	7	9	8	24	200 sq. ft.	4,800 sq. ft.		
A1A	1 BED	598	598	1	0	0	1	200 sq. ft.	200 sq. ft.		
A1B	1 BED	598	598	1	0	0	1	200 sq. ft.	200 sq. ft.		
A2	1 BED	675	675	16	18	11	45	200 sq. ft.	9,000 sq. ft.		
A3	1 BED	752	825	5	5	5	15	200 sq. ft.	3,000 sq. ft.		
A3A	1 BED	752	825	6	5	4	15	200 sq. ft.	3,000 sq. ft.		
A3B	1 BED	752	825	0	2	1	3	200 sq. ft.	600 sq. ft.		
A3-HC	1 BED	752	825	1	1	1	3	200 sq. ft.	600 sq. ft.		
A4	1 BED	1046	1223	1	0	0	1	200 sq. ft.	200 sq. ft.		
A5	1 BED	676	676	2	0	0	2	200 sq. ft.	400 sq. ft.		
B1	2 BED	999	999	1	4	4	9	250 sq. ft.	2,250 sq. ft.		
B1A	2 BED	999	999	1	0	0	1	250 sq. ft.	250 sq. ft.		
B2	2 BED	1236	1296	0	2	1	3	250 sq. ft.	750 sq. ft.		
B2A	2 BED	1236	1296	2	0	0	2	250 sq. ft.	500 sq. ft.		
B2B	2 BED	1276	1336	1	0	0	1	250 sq. ft.	250 sq. ft.		
B2C	2 BED	1276	1336	0	1	1	2	250 sq. ft.	500 sq. ft.		
B3	2 BED	1143	1218	0	1	0	1	250 sq. ft.	250 sq. ft.		
B3-HC	2 BED	1143	1218	1	0	0	1	250 sq. ft.	250 sq. ft.		
B4	2 BED	1248	1479	3	4	2	9	250 sq. ft.	2,250 sq. ft.		
B4A	2 BED	1248	1486	3	3	3	9	250 sq. ft.	2,250 sq. ft.		
B4B	2 BED	1248	1486	0	0	1	1	250 sq. ft.	250 sq. ft.		
MAIN BUILDING TOTAL UNITS								54	57	44	155
COTTAGE								2	2	16	16
TOTAL UNITS								171	TOTAL REQUIRED UOS		36,950 sq. ft.
								BALCONY/PATIO UNOS		8,455 sq. ft.	
								LANDSCAPE AREA UNOS		101,433 sq. ft.	
								TOTAL PROVIDED UNOS		109,888 sq. ft.	

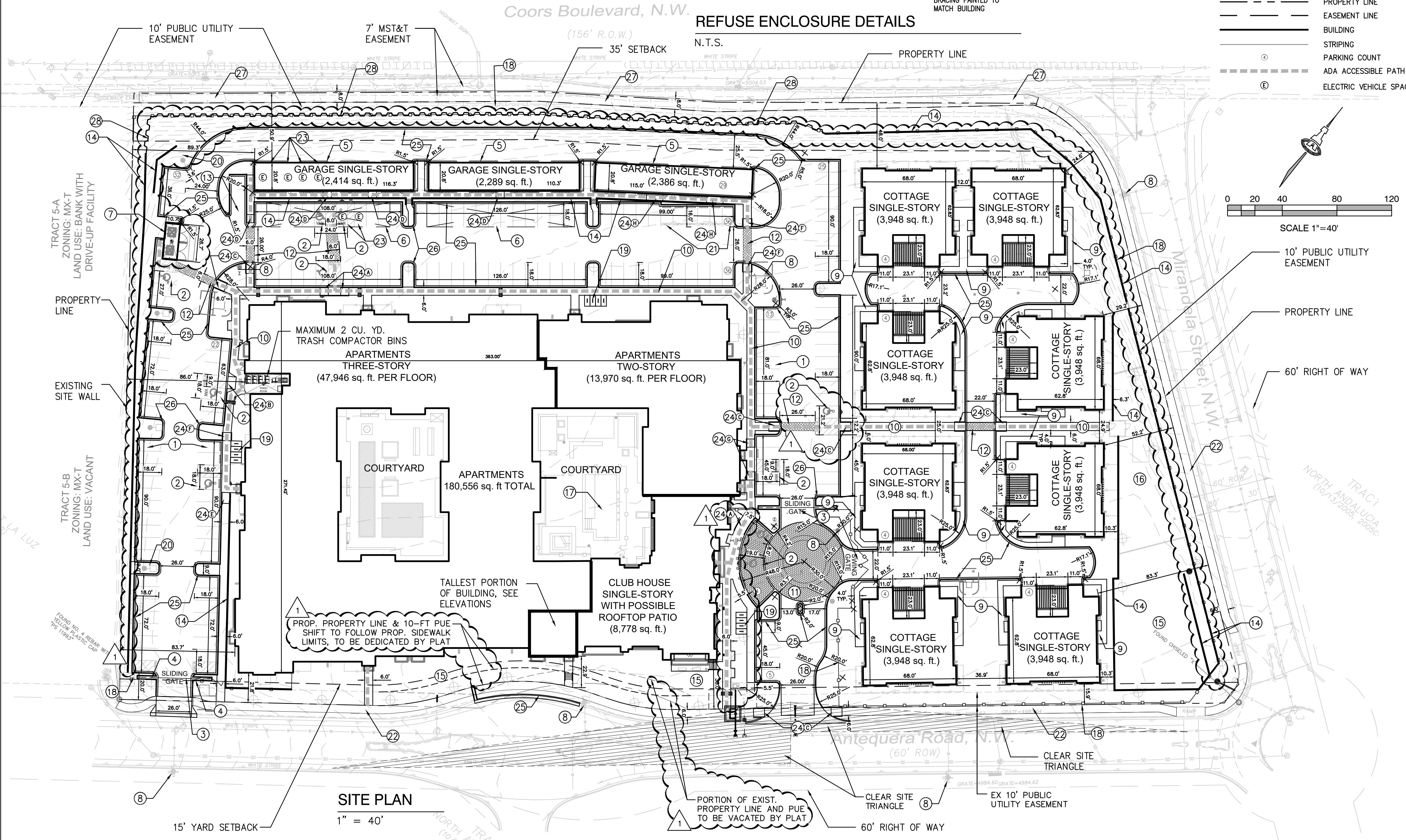


LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- BUILDING
- STRIPING
- ⊙ PARKING COUNT
- - - ADA ACCESSIBLE PATH
- ⊞ ELECTRIC VEHICLE SPACE



VICINITY MAP
 1" = 750'



- KEYED NOTES**
- 9'-0" x 18'-0" PARKING SPACE (SEE CG-501)
 - 9'-0" x 18'-0" ADA PARKING SPACE WITH 5'-0" (MIN.) ACCESS AISLE, TYP. (SEE CG-501)
 - VEHICULAR GATE WITH KNOX BOX (SEE CP-503)
 - SIGNAGE "EMERGENCY VEHICULAR ACCESS ONLY" (SEE CP-503)
 - DETACHED PRIVATE GARAGES
 - PRE-ENGINEERED CARPORT (BY SEPARATE PERMIT)
 - REFUSE ENCLOSURE (SEE DETAIL THIS PAGE)
 - FIRE HYDRANT
 - 4'-0" SIDEWALK AT SITE INTERIOR
 - 6'-0" SIDEWALK AT PARKING AND DOG PARK ACCESS
 - STAMPED CONCRETE PAVERS
 - CROSSWALK; STRIPING OR DECORATIVE PAVERS
 - RESIDENT MOVE-IN PARKING AREA
 - RETAINING WALL (SEE GRADING & DRAINAGE PLANS)
 - PONDING AREA (SEE GRADING & DRAINAGE PLANS)
 - DOG PARK
 - POOL / COURTYARD (POOL BY SEPARATE PERMIT)
 - 6' HEIGHT STEEL PICKET FENCE
 - BIKE RACK (SEE CG-501)
 - LED POLE AREA FIXTURE (SEE ELECTRICAL SITE PLAN)
 - 9'-0" x 16'-0" COMPACT PARKING SPACE (SEE CG-501)
 - 6'-0" PUBLIC SIDEWALK
 - ELECTRICAL VEHICLE PARKING SPACE - ⊞
 - ADA COMPLIANT RAMP AND RAMP CONDITION TYPE (SEE CP-502)
 - 6" HIGH CONCRETE MEDIAN CURB AND GUTTER. TYPICAL.
 - TYPICAL CURB RADII AT ALL PARKING = 3' UNLESS NOTED.
 - 8'-0" PUBLIC SIDEWALK (NMDOT)
 - CORTEN STEEL SHEET PILE RETAINING WALL

PROJECT NUMBER: PR-2020-003658
 Application Number: SI-2020-00356

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

2360 AS-101-04-22 April 2021

Isaacson & Arfman, Inc.
 Civil Engineering Consultants
 128 Monroe Street NE
 Albuquerque, NM 87108
 505-268-8628 | www.iaacvil.com

NOT FOR CONSTRUCTION FOR REVIEW ONLY

FRED C. ARFMAN
 NEW MEXICO
 LICENSED PROFESSIONAL ENGINEER
 7322

Date **04-22-21**

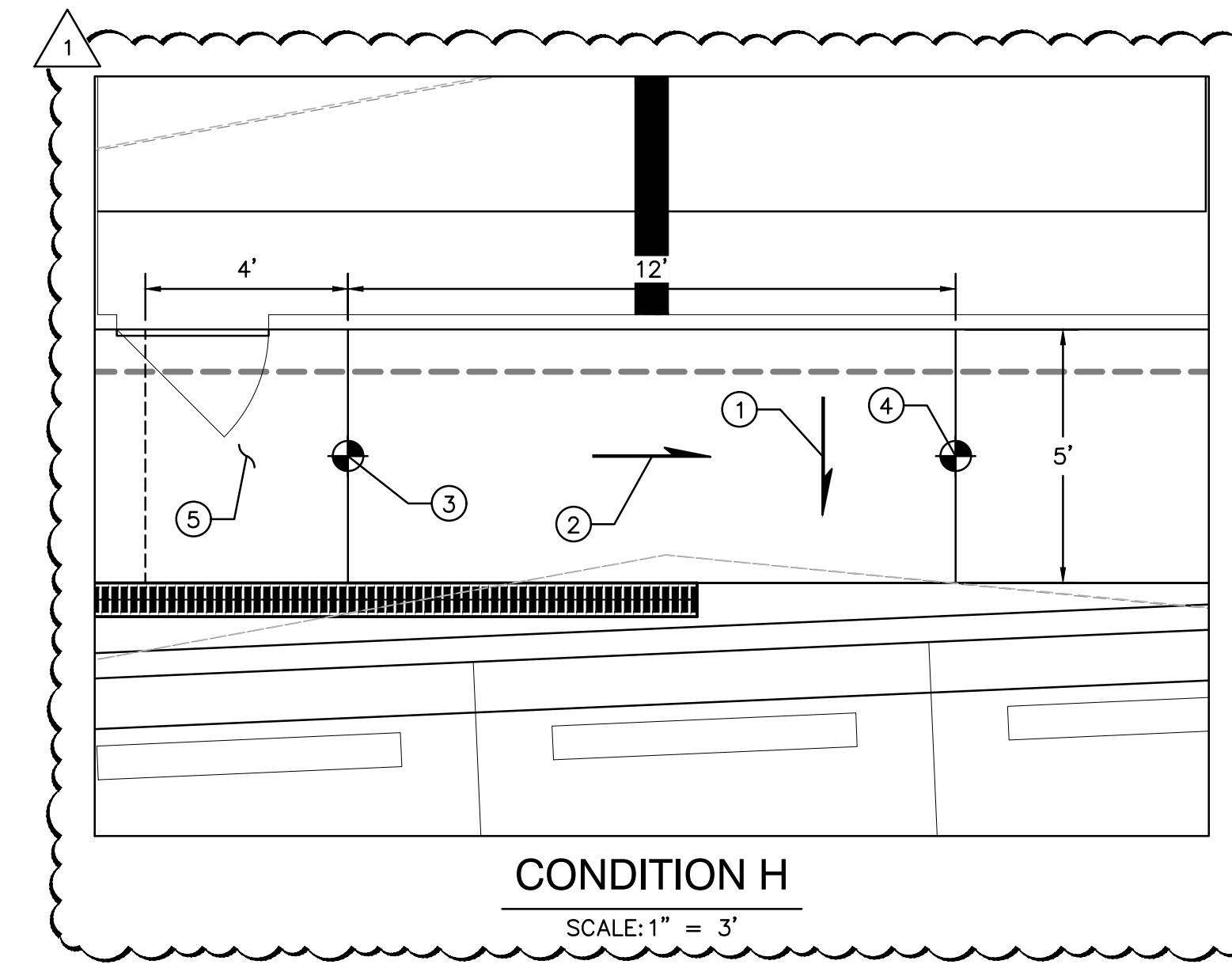
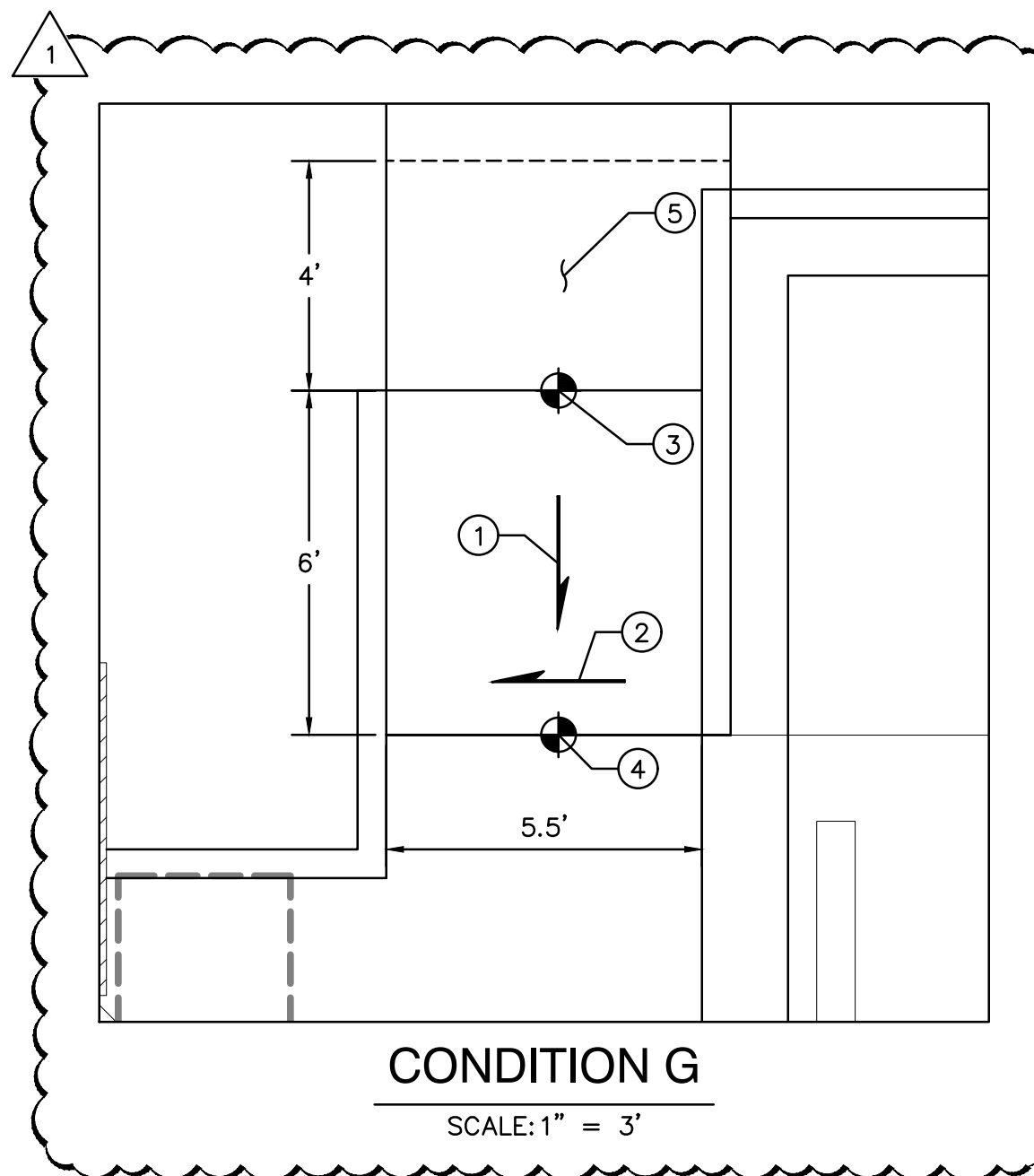
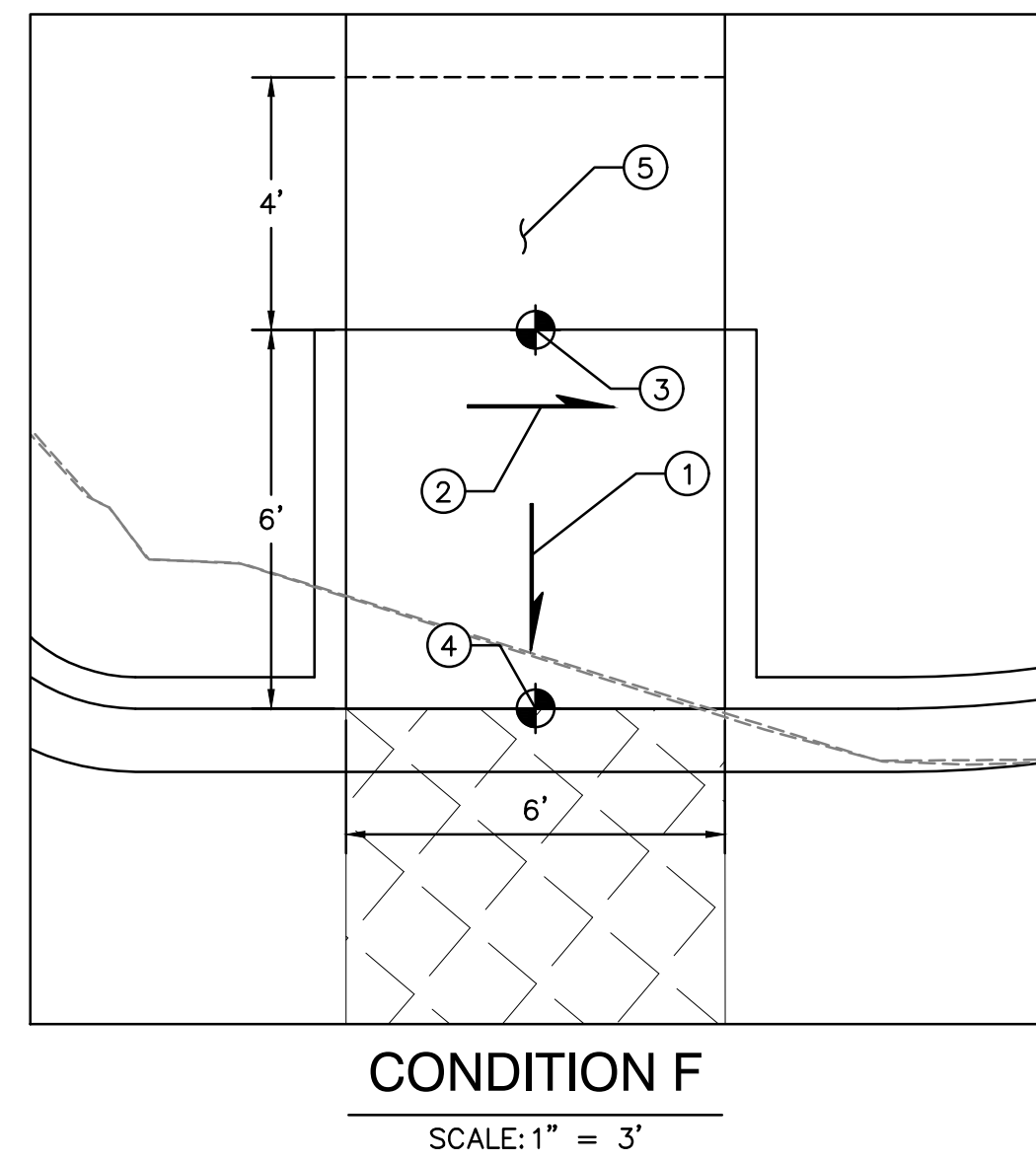
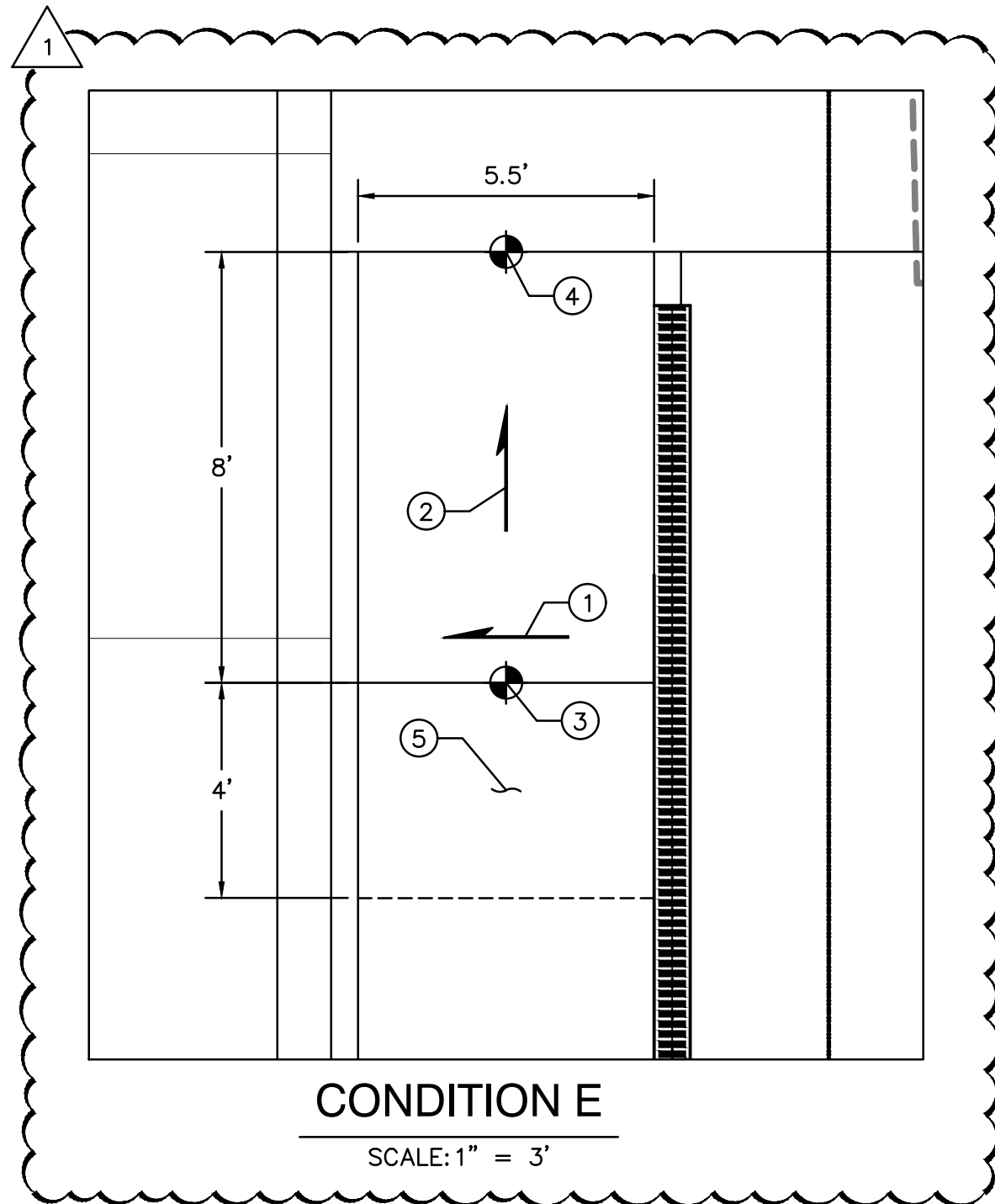
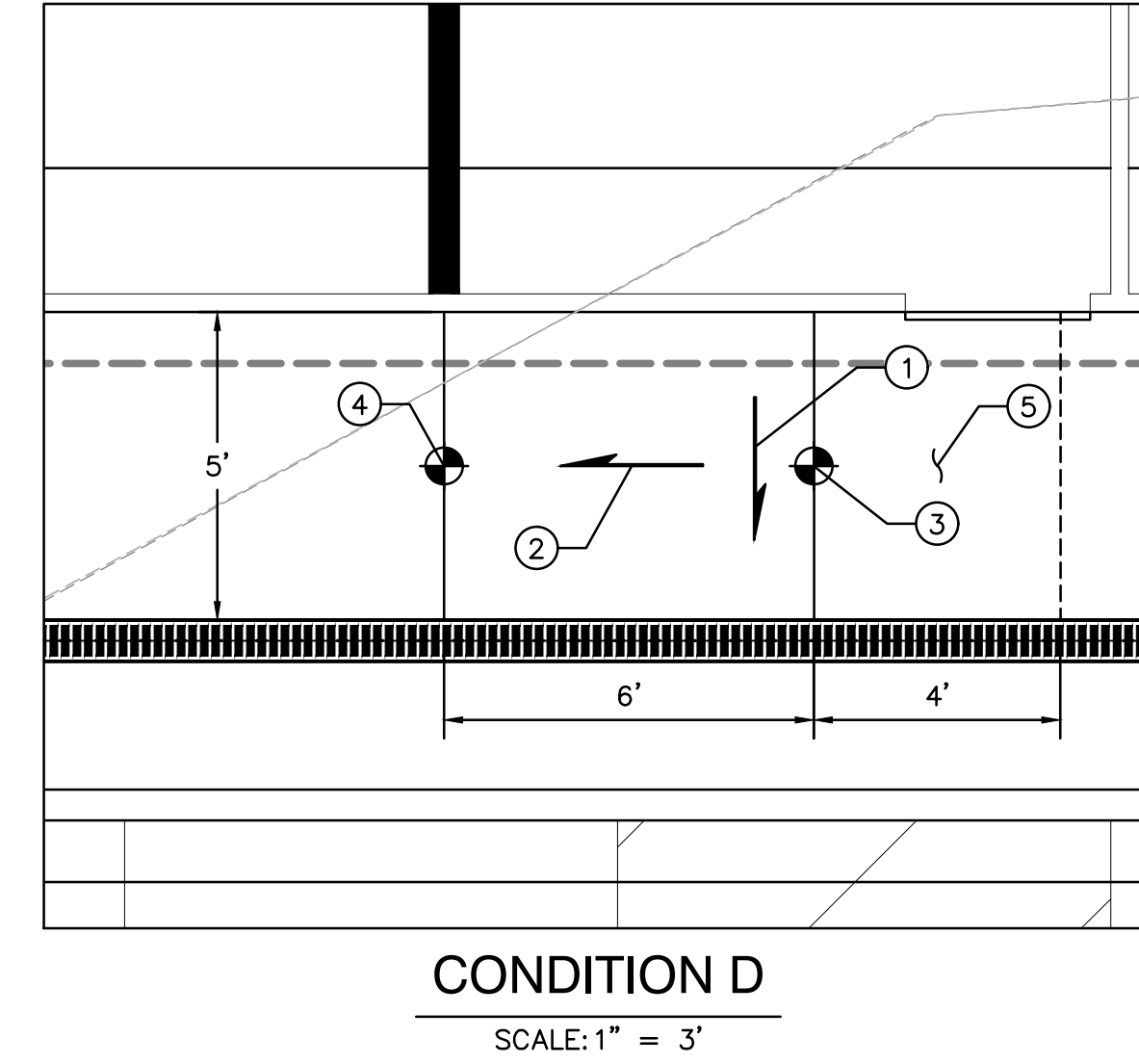
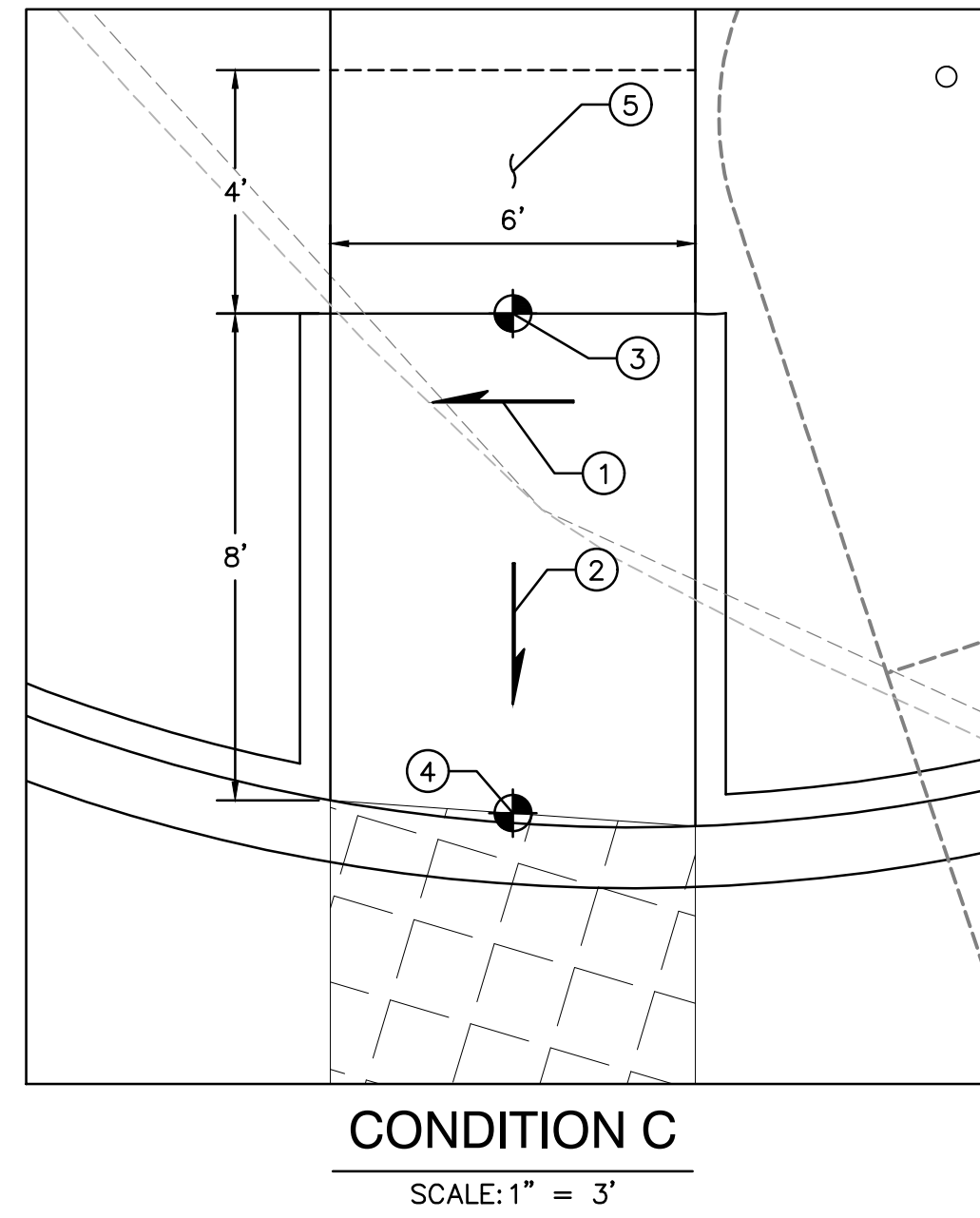
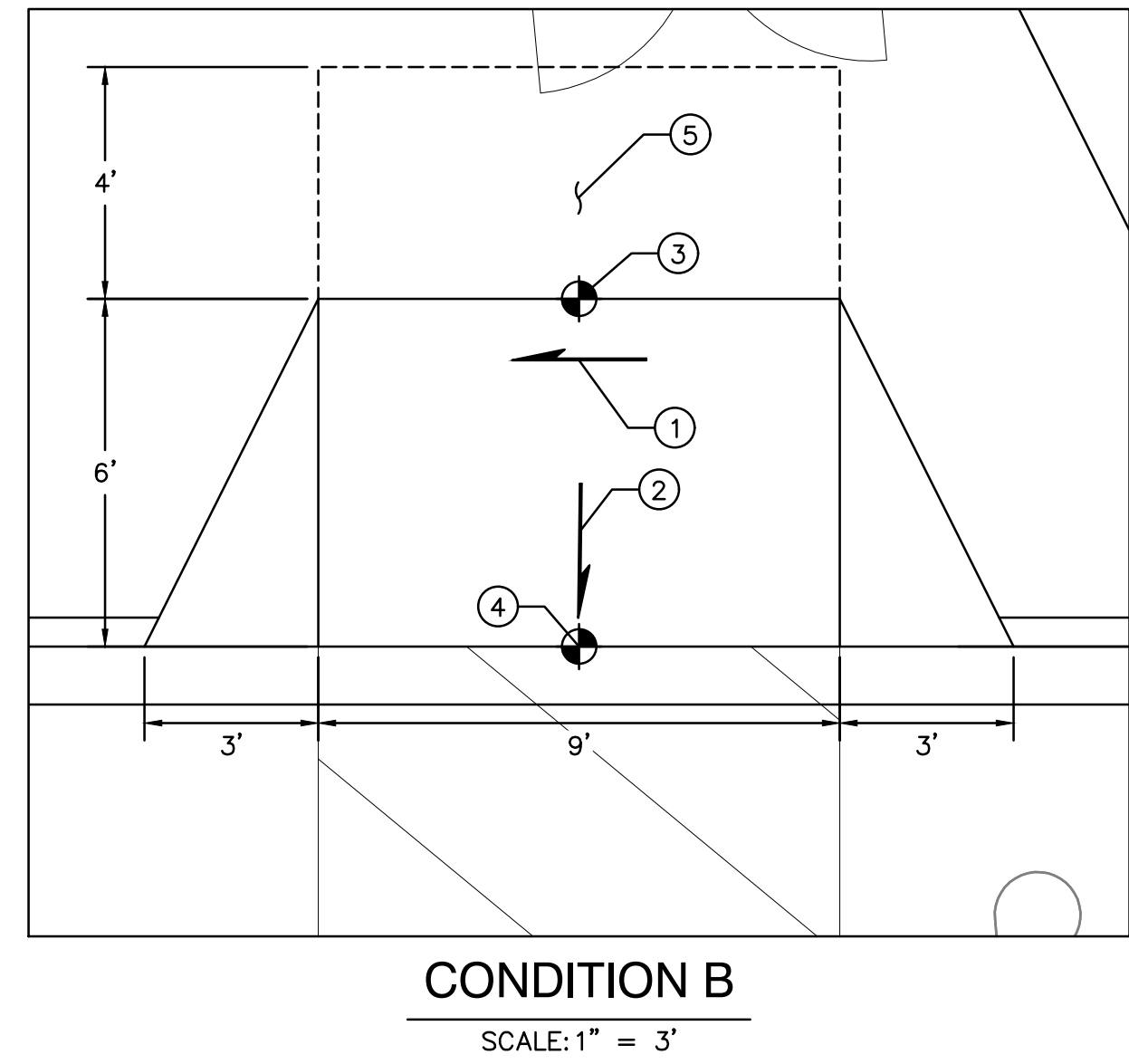
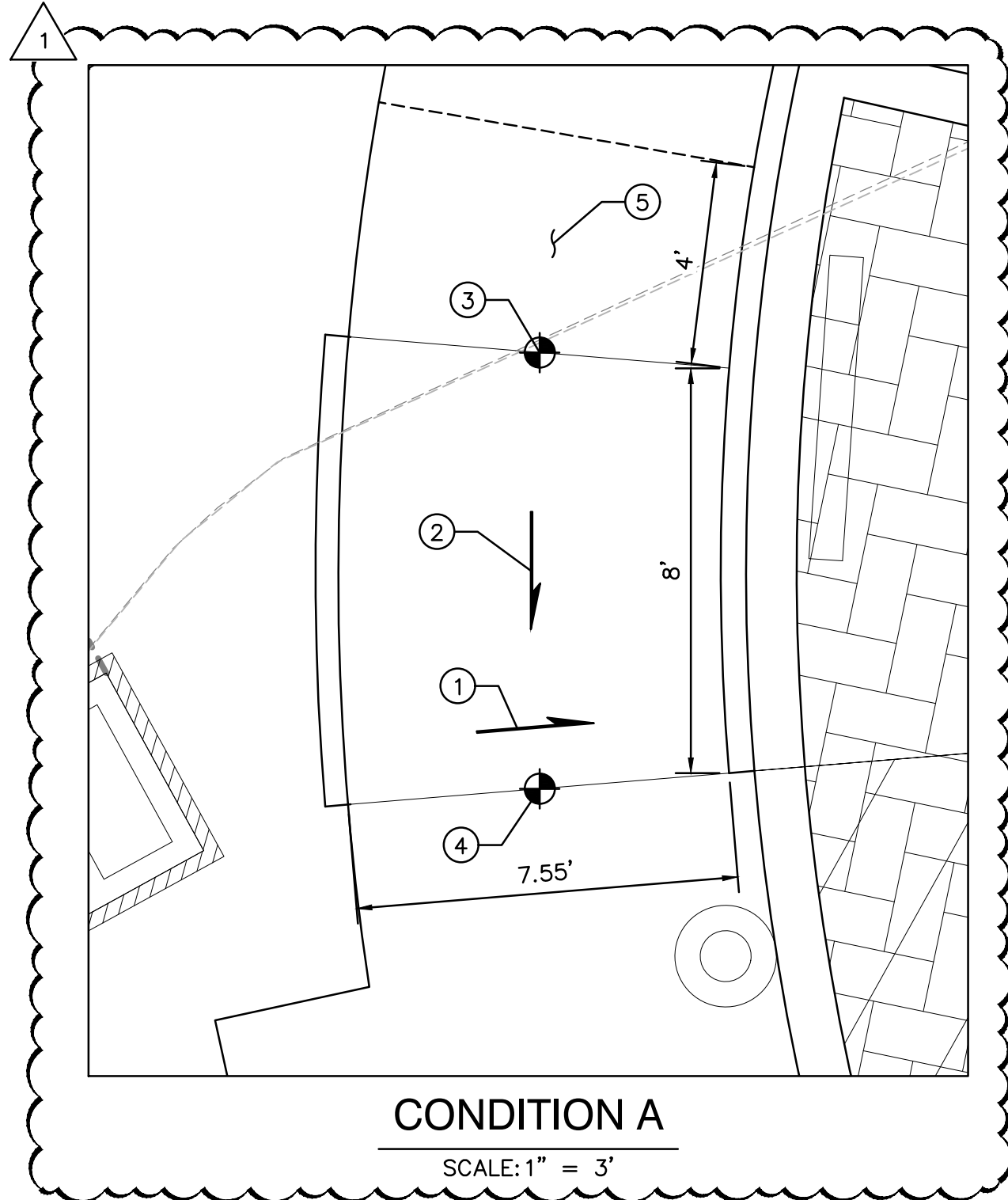
OVERTURE ANDALUCIA
 Albuquerque, New Mexico
 a development of
 Greystar Development Group, LP

ISSUE: DESIGN DEVELOPMENT	PROJECT NUMBER: IA 2360
FILE: BUB	DRAWN BY: FCA
CHECKED BY: 04-22-2021	DATE:

No.	Date	Description	Admin.	Amend.	SP
1	04/22/21				

SHEET TITLE
Site Plan

SHEET NUMBER
AS-101



ADA RAMPS DETAILS

KEYED NOTES

1. RAMP TARGET CROSS SLOPE = 1% TO 1.5%, CROSS SLOPE SHALL NOT EXCEED 2%
2. ACCESSIBLE RAMP TARGET LONGITUDINAL SLOPE = 7%, LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
3. REFER TO FINAL GRADING PLAN FOR TOP OF RAMP FINAL GRADE, MAXIMUM ELEVATION CHANGE ACROSS RAMP = 6"
4. REFER TO FINAL GRADING PLAN FOR BOTTOM OF RAMP FINAL GRADE
5. MINIMUM 4' LANDING, MAXIMUM SLOPE = 2% IN ALL DIRECTIONS

NOT FOR CONSTRUCTION
 FOR REVIEW ONLY



Date **04-07-21**

OVERTURE ANDALUCIA
 Albuquerque, New Mexico
 a development of
 Greystar Development Group, LP

ISSUE: DESIGN DEVELOPMENT
PROJECT NUMBER: IA 2360
FILE: BJB
DRAWN BY: BJB
CHECKED BY: FCA
DATE: 04-07-2021

No	Date	Description
1	04/07/21	Admin. Amend. SP

SHEET TITLE

Site Ramp Details

SHEET NUMBER

CP-502

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

LANDSCAPE AREA COVERAGE
TOTAL SITE AREA (7.71 AC.): 335,848 SF
BUILDING AREA: -114,005 SF
NET AREA: 221,843 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 33,276 SF
PROVIDED LANDSCAPE AREA: 81,117 SF (37%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE (75%): 60,911 SF
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE (357%): 217,541 SF
REQUIRED GROUND-LEVEL PLANT COVERAGE (25%): 15,228 SF
PROVIDED GROUND-LEVEL PLANT COVERAGE (29%): 17,423 SF

TURF GRASS AREAS
NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION.
ALLOWABLE TURF GRASS AREA (10%): 3,333 SF
PROVIDED TURF GRASS AREA (7.6%): 2,544 SF

PARKING LOT AREA
AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

PROVIDING 234 PARKING SPACES.
TOTAL PARKING LOT AREA: 56,957 SF
PROVIDED LANDSCAPE AREA: 22,211 SF (39%)

PARKING LOT TREES
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

234 PARKING SPACES / 10 SPACES = 24 TREES REQUIRED
- PROVIDED: 35 TREES

STREET TREES
STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN STREET TREES, WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE INSTALLED AT A FREQUENCY OF 25 FEET PER LINEAR FOOT OF STREET FRONTAGE. NEW STREET TREES SHALL BE PLANTED ALONG COORS BLVD NW, MIRANDELA ST NW, AND ANTEQUERA RD NW.

COORS BLVD: 659 LF / 25 FEET PER TREE = 26 REQUIRED TREES
- PROVIDED: 27 TREES
MIRANDELA ST NW: 442 LF / 25 FEET PER TREE = 18 REQUIRED TREES
- PROVIDED: 19 TREES
ANTEQUERA RD NW: 824 LF / 25 FEET PER TREE = 33 REQUIRED TREES
- PROVIDED: 34 TREES

COORS BOULEVARD - CPO-2 OVERLAY ZONE
SETBACK FROM THE ROW OF COORS BOULEVARD A MINIMUM OF 35 FEET WITH A MINIMUM VEGETATIVE COVERAGE OF 50 PERCENT FOR THE REQUIRED SETBACK. A COMBINATION OF WALLS OR DECORATIVE FENCES AND A VEGETATIVE SCREEN THAT VISUALLY SCREENS VEHICULAR CIRCULATION AREAS, PARKING LOTS, AND PARKED CARS FROM COORS BOULEVARD.
COORS BLVD SETBACK AREA: 23,987 SF AT 50% COVERAGE = 11,993 SF
- PROVIDED: 17,816 SF (74%)

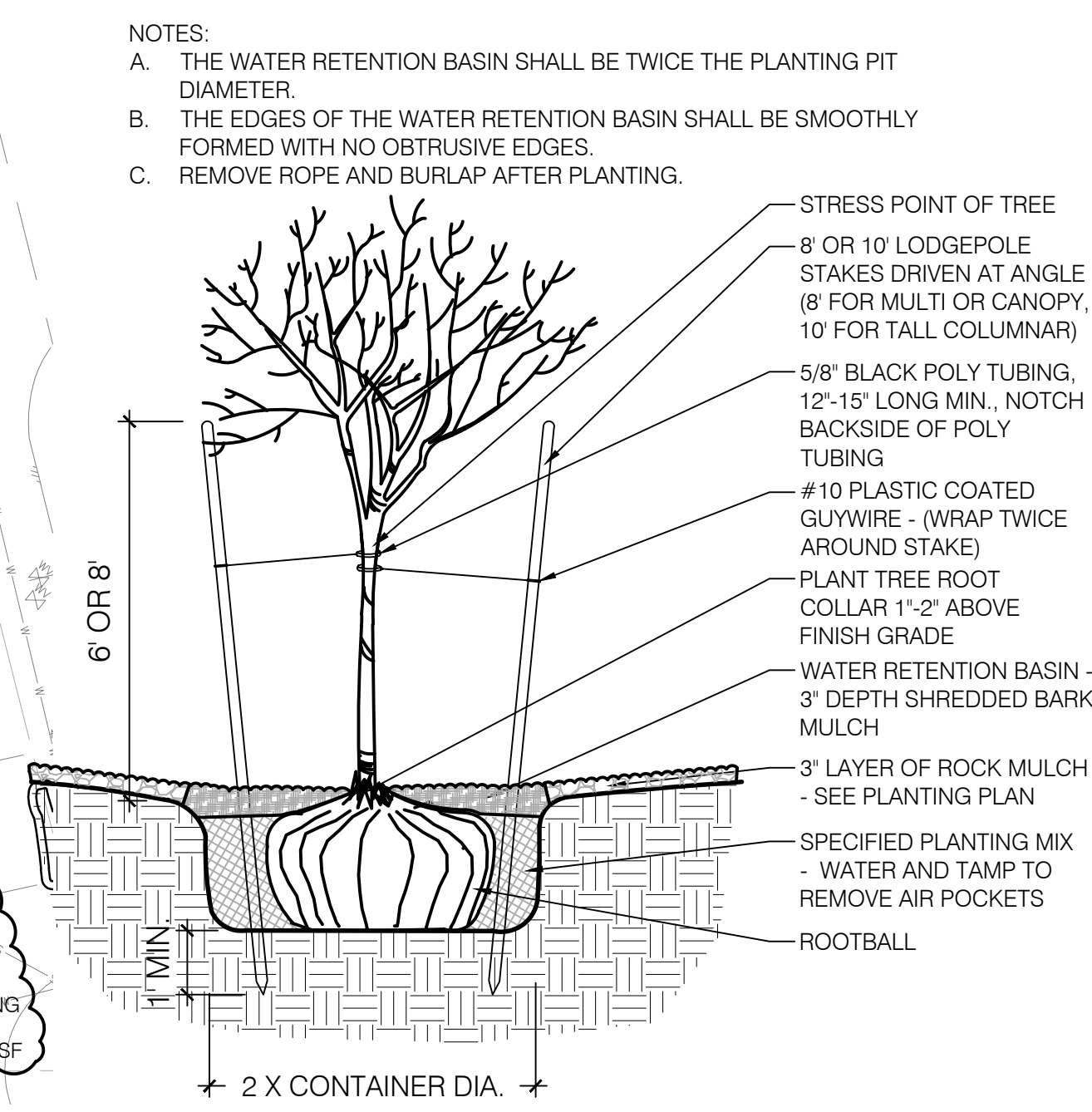
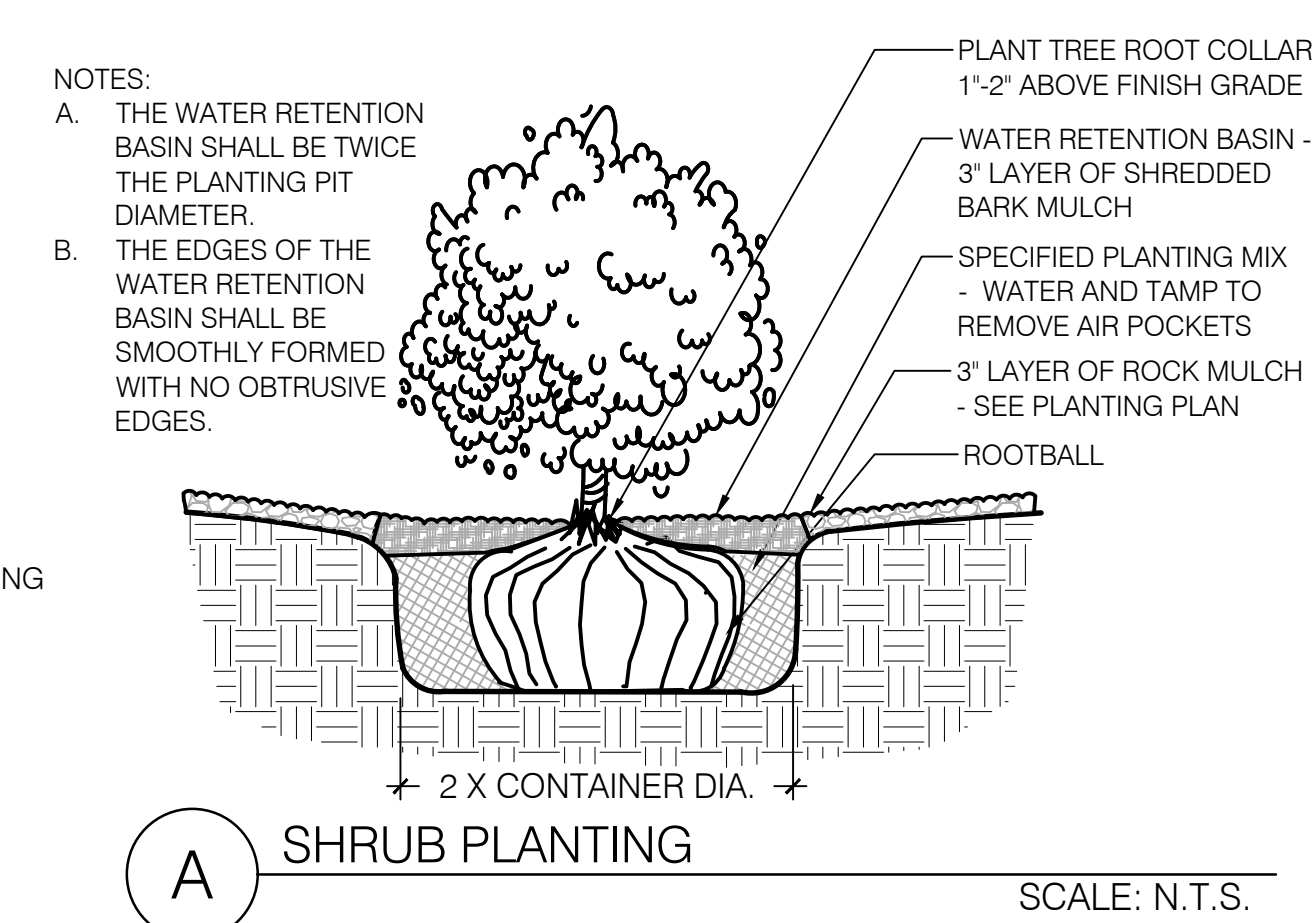
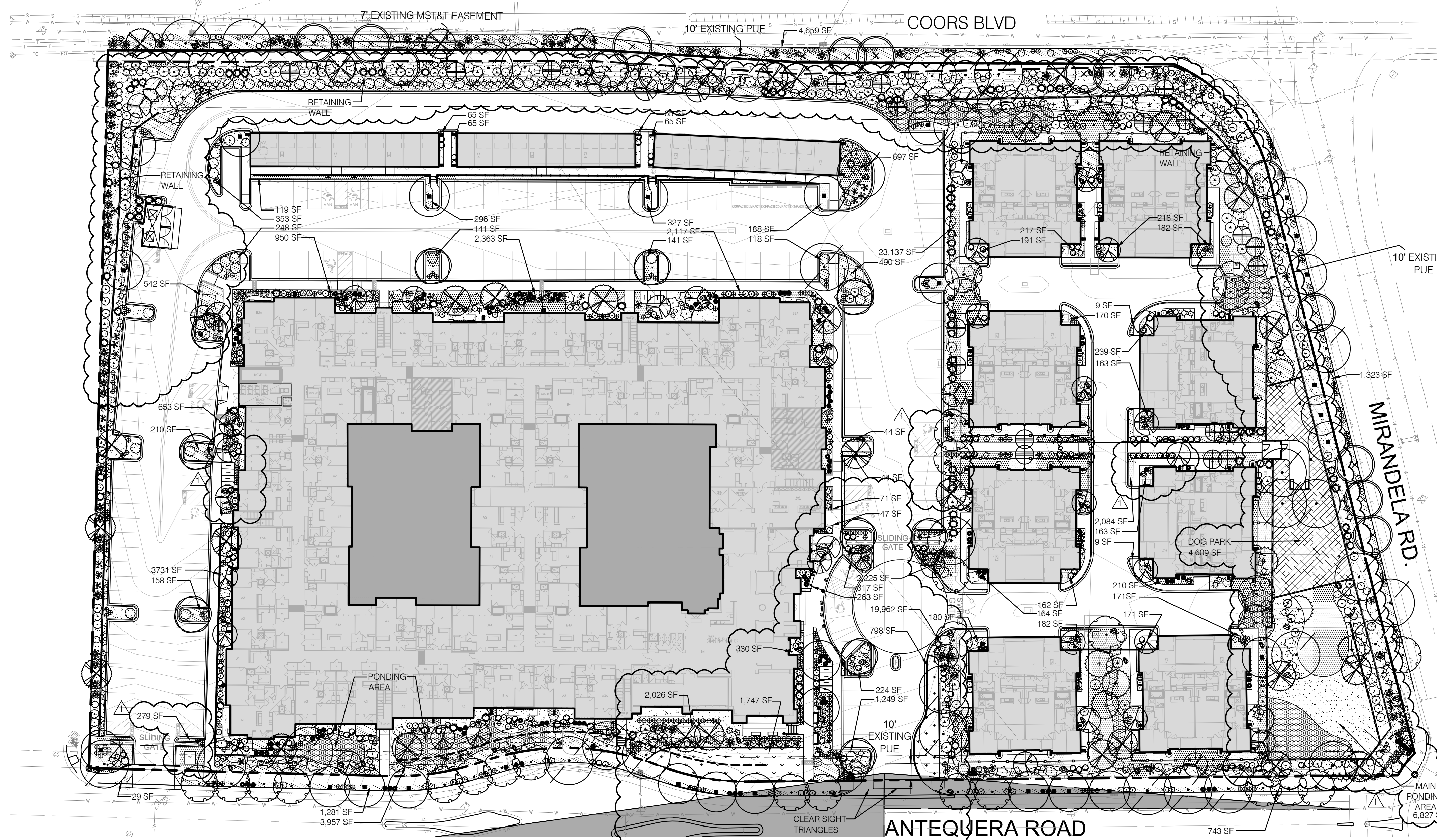
NMDDOT ROW
A LANDSCAPING PERMIT SHALL BE PROVIDED TO THE NMDDOT FOR ANY LANDSCAPING WITHIN NMDDOT HIGHWAY RIGHT OF WAY.

USABLE LANDSCAPE OPEN SPACE
- PROVIDED: 104,969 SF
(INCLUDES LANDSCAPE AREA PROVIDED WITHOUT R.O.W., TURF GRASS AREAS, DOG PARK, AND COURTYARDS)

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	INSTALLED SIZE	MATURE HEIGHT	MATURE SPREAD	WATER USE
TREES							
○	Platanus aceriflora 'Bloodgood'	BLOODGOOD SYCAMORE	33	2" CALIPER, 10'-12" HT.	50'	40'	MEDIUM
○	Fraxinus oxycarpa 'Raywood'	RAYWOOD ASH	10	2" CALIPER, 10'-12" HT.	35'	25'	MEDIUM
○	Pistacia chinensis	CHINESE PISTACHE	27	2" CALIPER, 10'-12" HT.	60'	60'	MEDIUM
○	Robinia ambigua 'Purple Robe'	PURPLE ROBE LOCUST	15	2" CALIPER, 8' MIN. HT.	30'	30'	MEDIUM
⊕	Forestiera neomexicana	NEW MEXICO OLIVE	21	1-1/2" CALIPER, 6' MIN. HT.	15'	15'	MEDIUM
⊗	Chilopsis linearis 'Bubba'	DESERT WILLOW	32	2" CALIPER, 8' MIN. HT.	20'	25'	LOW
○	Pyrus calleryana 'Cleveland'	ORNAMENTAL PEAR	33	2" CALIPER, 8' MIN. HT.	45'	30'	MEDIUM
○	Prunus cerasifera	PURPLE LEAF PLUM	21	2" CALIPER, 8' MIN. HT.	20'	20'	MEDIUM
○	Pinus nigra	AUSTRIAN PINE	17	B&B, 8' MIN. HEIGHT	40'	25'	MEDIUM
○	Vitex agnus-castus	CHASTE TREE	29	1-1/2" CALIPER, 6' MIN. HT.	20'	20'	MEDIUM
SHRUBS							
○	Chrysothamnus nauseosus	CHAMISA	75	5 GALLON	48"	48"	LOW
○	Rosmarinus officinalis 'Arp'	ARP ROSEMARY	105	5 GALLON	36"	36"	LOW
○	Nolina microcarpa	BEAR GRASS	63	5 GALLON	48"	48"	LOW
○	Perovskia altipicifolia	RUSSIAN SAGE	111	5 GALLON	48"	60"	MEDIUM
○	Buddleja davidii 'Black Knight'	BLACK KNIGHT BUTTERFLY BUSH	76	5 GALLON	72"	72"	MEDIUM
○	Hesperaloe parviflora	RED YUCCA	97	5 GALLON	48"	48"	LOW
○	Juniperus scopulorum 'Medora'	MEDORA JUNIPER	98	5 GALLON	120"	36"	MEDIUM
○	Prunus besseyi	WESTERN SAND CHERRY	93	1 GALLON	18"	72"	LOW
○	Artemisia 'Powis Castle'	ARTEMISIA	130	1 GALLON	24"	24"	MEDIUM
○	Salvia greggii	CHERRY SAGE	186	1 GALLON	36"	36"	LOW
○	Cotoneaster horizontalis 'Perpusillus'	PROSTRATE ROCK COTONEASTER	72	1 GALLON	8"	60"	MEDIUM
○	Ericameria laricifolia 'Aquire'	TURPENTINE BUSH	134	1 GALLON	24"	24"	LOW
○	Cytisus x praecox 'Algold'	ALLGOLD BROOM	104	1 GALLON	48"	24"	MEDIUM
○	Mulhenburgia capillaris 'Regal Mist'	REGAL MIST MUHLY GRASS	132	1 GALLON	36"	36"	MEDIUM
○	Nassella tenuissima	MEXICAN FEATHER GRASS	406	1 GALLON	24"	24"	LOW

LANDSCAPE MATERIALS		
QTY	SYMBOL	DESCRIPTION
LANDSCAPE AREAS:		
87,944 SF	[Symbol]	3/4" SANTA FE BROWN GRAVEL, 3" DEPTH OVER FILTER FABRIC
	[Symbol]	2" TEQUILA SUNRISE, 4" DEPTH OVER FILTER FABRIC
	[Symbol]	2" - 4" COYOTE MIST COBBLE, 6" DEPTH OVER FILTER FABRIC
2,544 SF	[Symbol]	TURF GRASS AREA - PARK BLEND SOD
4,055 SF	[Symbol]	ENGINEERED WOOD FIBER PLAYGROUND MULCH
64 EA	[Symbol]	MOSS ROCK LANDSCAPE BOULDERS (3" MIN. DIMENSION)
HARDSCAPE AND MATERIALS LEGEND		
QTY	SYMBOL	DESCRIPTION
301 LF	[Symbol]	DOG PARK FENCING WITH 2 GATES.
1,225 LF	[Symbol]	YARD FENCING.
SITE FURNISHINGS LEGEND		
QTY	SYMBOL	DESCRIPTION
10	[Symbol]	6' LONG BENCH WITH BACK
3	[Symbol]	SPLASH BLOCK
4	[Symbol]	TRASH RECEPTACLE



REVISIONS

#	Date	Description
1	04/22/21	Admin. Amend. SP

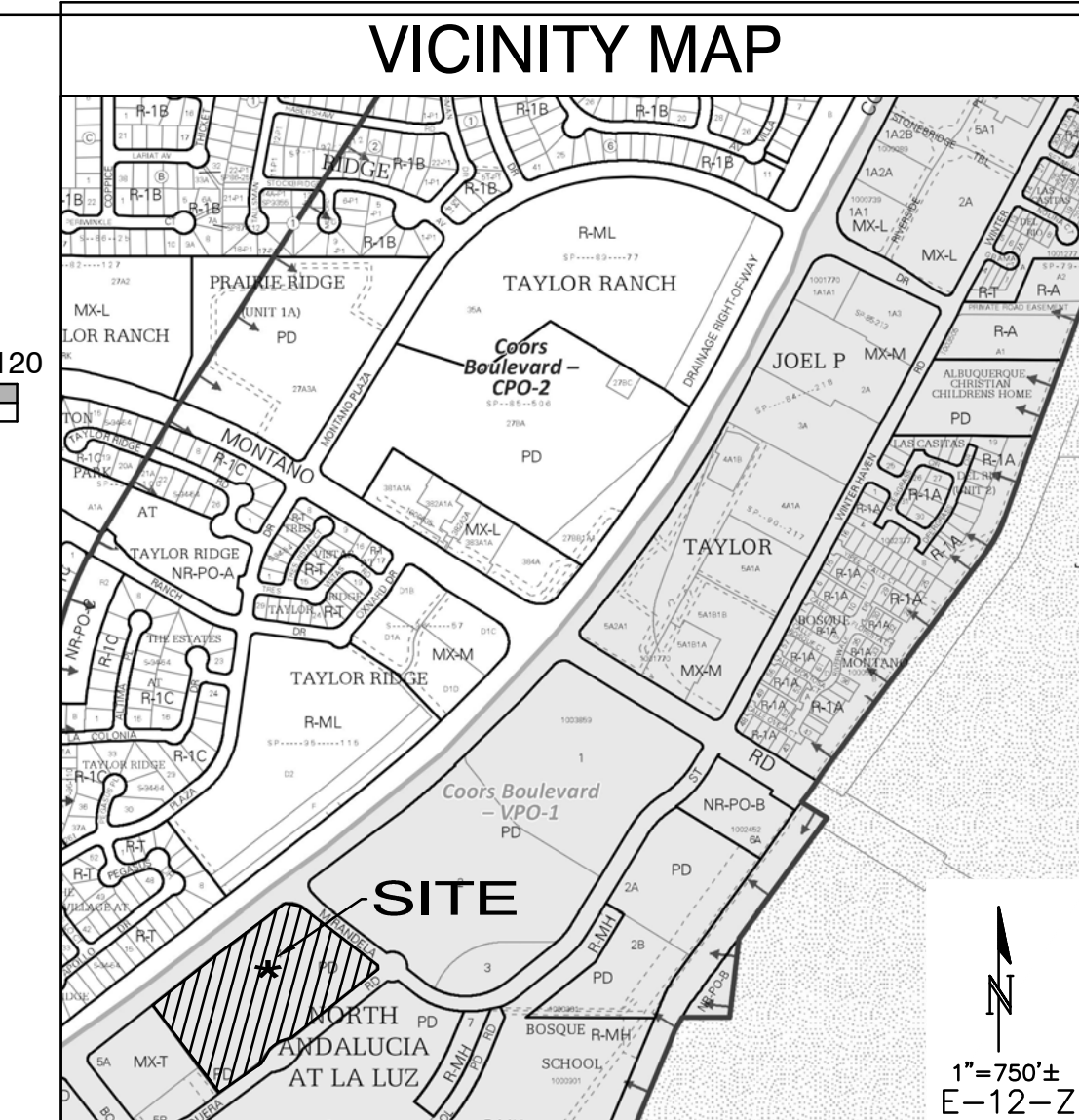
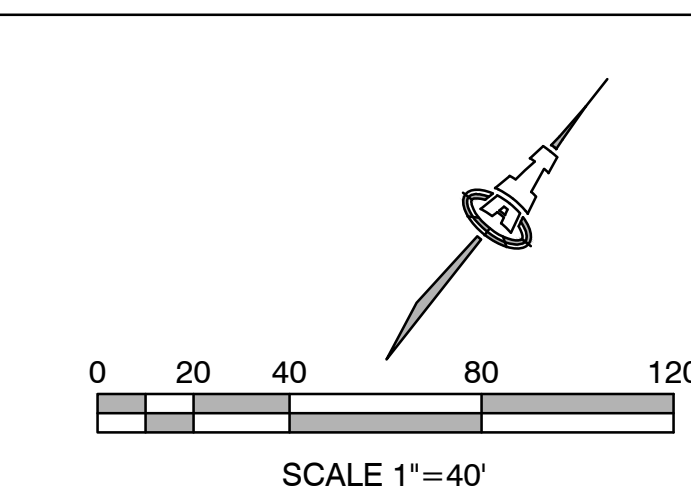
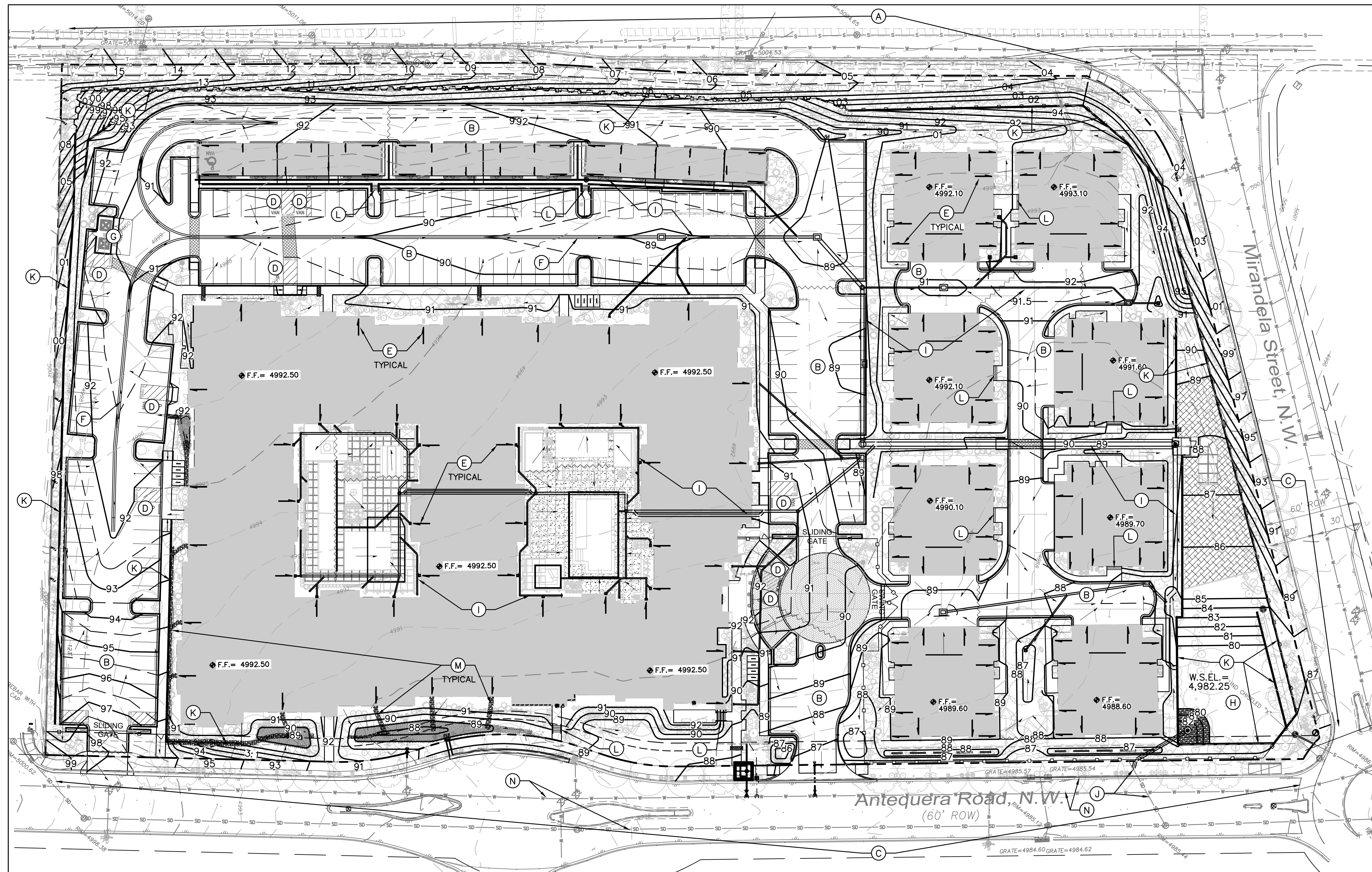
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Prepared for: Greystar
1717 W. 6th Street, Suite 262, Austin, TX 78703

CONSISTENT ARCHITECTURE
CHRISTOPHER J. GREEN
REGISTERED ARCHITECT
#234
10/28/20

PLANNING
Designed By: KP, CM
Drawn By: KP, AM
Checked By: CG
Date: 10/28/20
Project No: SI-2020-00356
Sheet Title: LANDSCAPE PLAN

CONSISTENT ARCHITECTURE
Landscape Architecture
Urban Design
Planning Services
302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

L101

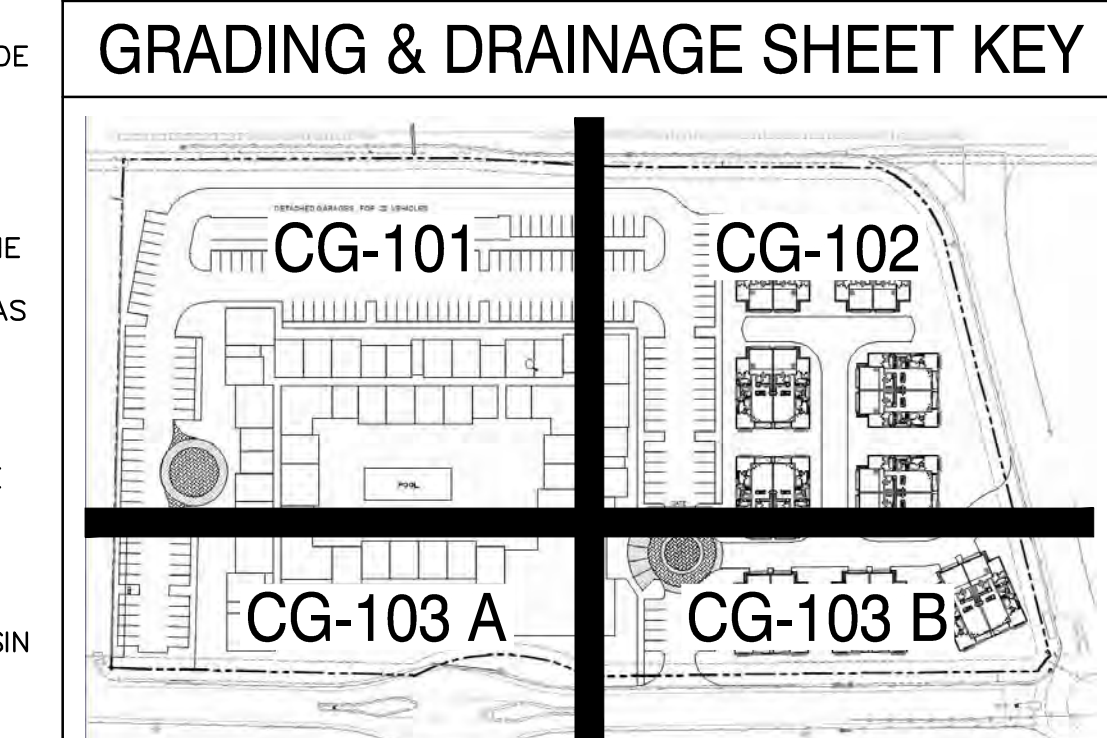


- ### KEYED NOTES
- THE OVERALL GRADING & DRAINAGE PLAN IS PROVIDED FOR INFORMATION ONLY. SEE CG-101, CG-102 AND CG-103 FOR DETAILED GRADING AND NOTES.
- ALL WORK WITHIN NMDOT ROW SHALL MEET NMDOT STANDARD SPECIFICATIONS, CURRENT EDITION. THE CONTRACTOR SHALL RE-SEED ALL AREAS OF DISTURBANCE WITHIN NMDOT ROW PER NMDOT SPECIFICATION 632.3.6, 2019 EDITION.
 - NEW PAVING. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS.
 - SEE PUBLIC WORK ORDER PLANS (PWO) FOR CONSTRUCTION WITHIN ALI'S RIGHTS INCLUDING ACCESS DRIVES, CURB AND GUTTER, ADA COMPLIANT RAMP, PUBLIC SIDEWALKS, CONNECTION TO PUBLIC STORM DRAIN, COVERED SIDEWALK CULVERTS, ETC. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
 - SLOPE WITHIN ADA COMPLIANT PARKING AREAS TO BE MAXIMUM 2% IN ANY DIRECTION. SEE ADA COMPLIANCE NOTE THIS SHEET.
 - ROOF DISCHARGE LOCATION. SEE PLANS FOR ROOF DRAINS DISCHARGING TO SURFACE AND ROOF DRAINS PIPED TO STORM DRAIN SYSTEM.
 - 2' WIDE CONCRETE ALLEY GUTTER.
 - CONCRETE DUMPSTER PAD.
 - STORMWATER RETENTION POND REQUIRED BY DRAINAGE MASTER PLAN.
 - PRIVATE STORM DRAIN SYSTEM.
 - EXISTING STORM DRAIN STUB TO PROPERTY.
 - SITE RETAINING WALL(S) TO ACHIEVE REQUIRED GRADE DIFFERENCE. STRUCTURAL DESIGNS BY WALL CONTRACTOR (FOOTINGS, GUARDRAILS, REINFORCING, WATERPROOFING, WEPPHOLES, ETC.).
 - CONCRETE STEPS TO ACHIEVE REQUIRED GRADE DIFFERENCE.
 - ANGULAR ROCK EROSION PROTECTION.
 - CLEAR SITE TRIANGLE

- ### LEGEND
- 88 — PROPOSED 1.0' CONTOUR
 - - - 88.5 - - - PROPOSED 0.5' CONTOUR
 - ◆ 88.3 PROPOSED SPOT ELEVATION
 - SURFACE FLOW DIRECTION
 - FF = 4992.50 FINISH FLOOR ELEVATION
 - ⊙ PROPOSED STORM DRAIN / INLET
 - ▨ PROPOSED EROSION PROTECTION
 - ROOF DISCHARGE LOCATION

ADA COMPLIANCE

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%.
 CROSS SLOPE SHALL NOT EXCEED 2%
 ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7%
 LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).
 ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION



RETENTION POND STAGE STORAGE TABLE

ELEV	AREA (sq. ft.)	DEPTH (ft)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
4,980.00	3,968.70	N/A	N/A	0.00
4,981.00	4,300.95	1.00	4133.71	4133.71
4,982.00	4,624.49	1.00	4461.74	8595.45
4,982.25	4,704.01	0.25	1166.05	9761.50

DRAINAGE MASTER PLAN RETENTION

THE REVISED DRAINAGE MASTER PLAN (DMP) INCORPORATED THE REQUIREMENT TO RETAIN THE FIRST 0.44" OF PRECIPITATION ON-SITE FOR THIS PROPERTY (BASIN A-5). THE DMP CALCULATED THIS RETENTION VOLUME AS 0.28 AC.FT (12,196.9 CF).

SUBTRACTING THE INITIAL ABSTRACTION (THE PRECIPITATION DEPTH THAT MUST BE EXCEEDED BEFORE DIRECT RUNOFF BEGINS), THE REQUIRED RETENTION VOLUME WITHIN THE PROVIDED RETENTION POND IS BASED ON THE FOLLOWING LAND TREATMENTS:

LAND TREATMENT A; IA=0.65" (NO ADD'L RETENTION REQUIRED)
 LAND TREATMENT B; IA=0.50" (NO ADD'L RETENTION REQUIRED)
 LAND TREATMENT C; IA=0.35" (0.09" ADD'L RETENTION REQUIRED)
 LAND TREATMENT D; IA=0.10" (0.34" ADD'L RETENTION REQUIRED)

THE FULLY DEVELOPED SITE IS CALCULATED AS:

LAND TREATMENT B; 26% = 87,276 SF (NO ADD'L PONDING AFTER INITIAL ABSTRACTION)
 LAND TREATMENT D; 74% = 248,402 SF @ 0.34" = 7,038 CF.

STORMWATER QUALITY

FOR NEW CONSTRUCTION, THE CABQ STORMWATER QUALITY (S.Q.) VOLUME IS BASED ON THE 90TH PERCENTILE STORM EVENT 0.42" FOR ALL IMPERVIOUS AREA. THEREFORE, THE RETENTION VOLUME REQUIRED IS CALCULATED AS:

LAND TREATMENT D; 74% = 248,402 SF @ 0.42" = 8,694 CF.

THE PROPOSED MAIN POND WILL PROVIDE 9,761 CF OF STORAGE AT A DEPTH OF 2.25' > 8,694 CF.

PROJECT INFORMATION

PROPERTY: THE SITE IS A PREVIOUSLY GRADED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP E-12. THE SITE IS BOUND TO THE NORTHEAST BY MIRANDELA ST., TO THE NORTHWEST BY COORS BLVD., TO THE SOUTHEAST BY ANTEQUERA RD. AND TO THE SOUTHWEST BY DEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-STORY MULTI-FAMILY APARTMENT BUILDING AND EIGHT DUPLEX HOUSING UNITS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, SITE AMENITIES, AND LANDSCAPING.

LEGAL: TRACT 4 PLAT OF NORTH ANDALUCIA AT LA LUZ, ALBUQUERQUE, NEW MEXICO.

AREA: 7.7061 AC

ADDRESS: 5301 ANTEQUERA RD NW, ALBUQUERQUE NM 87120

BENCHMARK: NAVD 1988 FROM AGRS MONUMENT "NM_448_N8", PUBLISHED ELEVATION (FEET) = 5021.651

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER FEMA FLOOD HAZARD MAP 35001C0114H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT:

THE NORTH ANDALUCIA DRAINAGE MASTER PLAN PREPARED BY BOHANNAN HUSTON WITH STAMP DATE 2/19/13, ESTABLISHED THE CRITERIA FOR NORTH ANDALUCIA, TRACTS 1-8 AND BOSQUE SCHOOL, TRACTS 1-2. THIS 7.71 ACRE PROPERTY IS IDENTIFIED AS BASIN A-5.

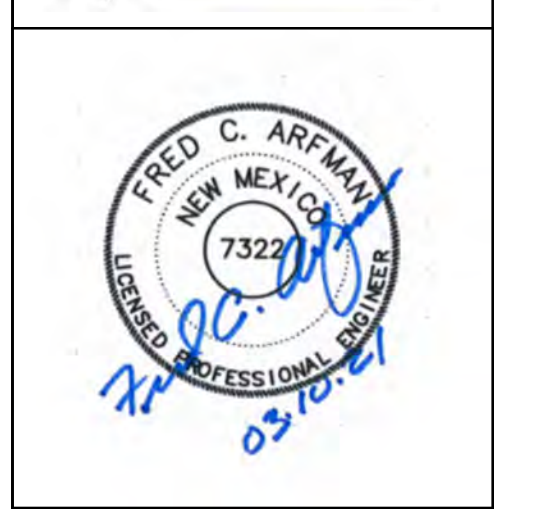
THE SITE IS PERMITTED FREE DISCHARGE (LESS MDP / STORMWATER QUALITY VOLUME REQUIREMENTS) TO THE NORTH ANDALUCIA DRAINAGE POND 'A' BASED ON AN ANTICIPATED RATE OF 3.66 CFS/ACRE (28.19 CFS).

AN EXISTING 24" Ø STORM DRAIN STUB TO THE PROPERTY WITH FULL CAPACITY FLOWRATE OF 29.92 CFS WAS PROVIDED FOR ON THE MASTERPLAN WHICH WILL ACCEPT THE DISCHARGE FROM BASIN A-5.



Isaacson & Arfman, Inc.
 Civil Engineering Consultants

128 Monroe Street NE
 Albuquerque, NM 87108
 505-268-8828 | www.isacvill.com



OVERTURE ANDALUCIA

Albuquerque, New Mexico
 a development of
 Greystar Development Group, LP

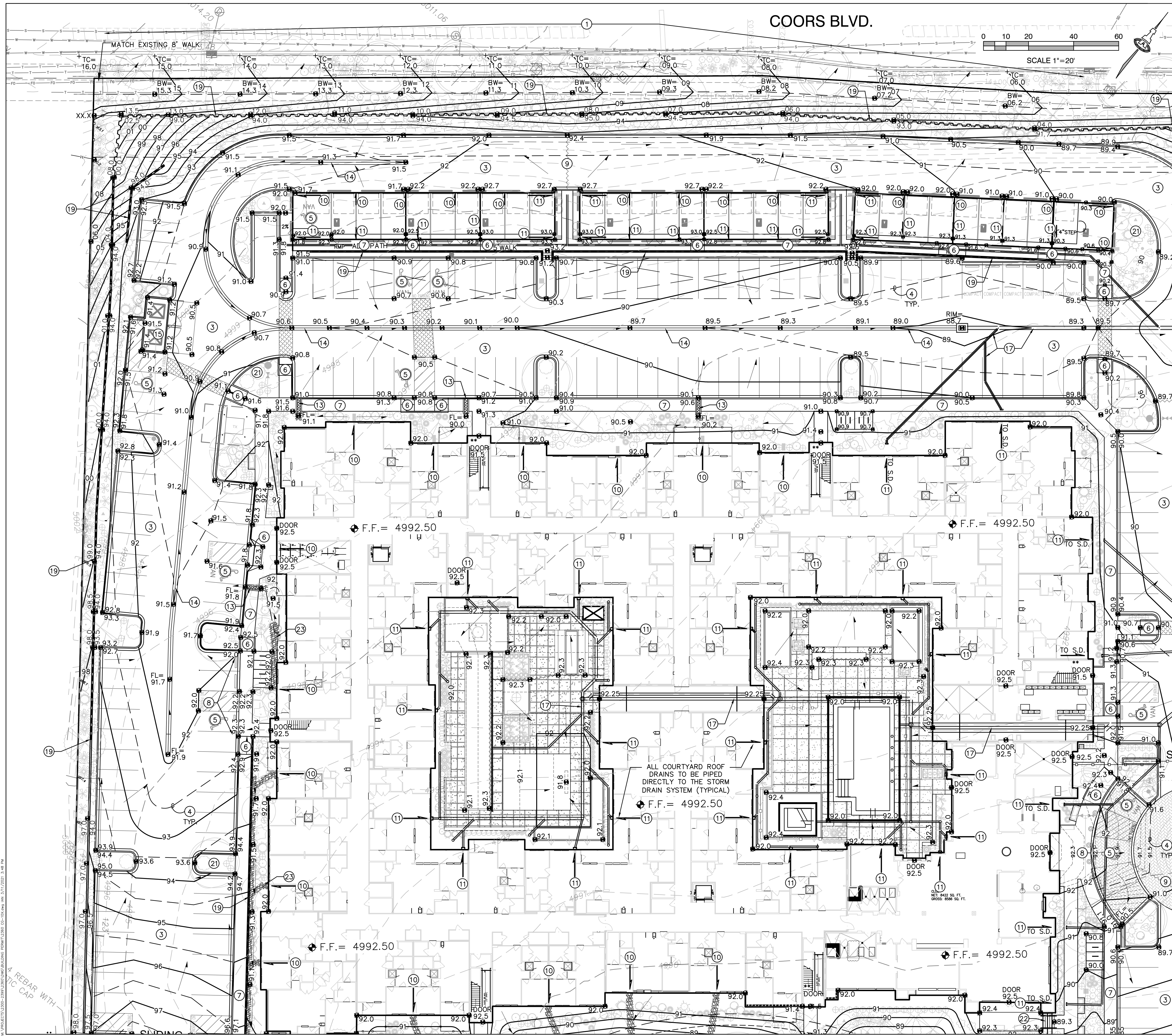
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FILE:	BUB FCA
CHECKED BY:	03-10-2021
DATE:	

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2	01/29/21	Issue for Permit
3	03/10/21	G&D Submittal

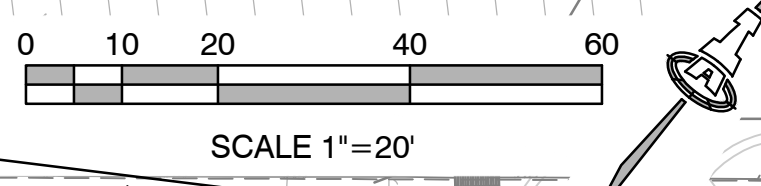
SHEET TITLE
Overall Grading & Drainage Plan

SHEET NUMBER
CG-100

\PROJECTS\13000-2360\3500\WORK\BILLING\FORM\13000 CG-100.dwg, 3/17/2021, 8:47 PM



COORS BLVD.



KEYED NOTES

- THESE NOTES ARE REFERENCED ON SHEETS CG-101, CG-102, AND CG-103. NOT ALL NOTES ARE USED ON EACH SHEET.
- REFER TO:
 STORM SEWER PLANS (CG-501, CG-502, CG-503, CG-504)
 DRAINAGE DETAILS (CG-505)
 RETAINING WALL PLAN & DETAILS (CG-105, CG-506)
 PAVING PLAN & DETAILS (CP-101, CP-501, CP-502)
 FOR ADDITIONAL INFORMATION.
1. ALL WORK WITHIN NMDOT R.O.W. SHALL MEET NMDOT STANDARD SPECIFICATIONS, CURRENT EDITION.
 2. SEE PUBLIC WORK ORDER PLAN(S) FOR CONSTRUCTION WITHIN R.O.W. INCLUDING ACCESS DRIVES, ADA COMPLIANT RAMPS, PUBLIC SIDEWALKS, CONNECTION TO PUBLIC STORM DRAIN STUB, COVERED SIDEWALK CULVERTS, ETC. NOTE: PROPOSED GRADES WITHIN R.O.W. ARE SHOWN FOR INFORMATION ONLY. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
 3. ASPHALT PAVING TO ENSURE READABILITY, NOT ALL PAVEMENT SPOT ELEVATIONS SHOW ADJACENT TOP OF CURB OR TOP OF WALK ELEVATIONS. TEXT SHOWN WITHIN FLOWLINE REFERS TO FLOWLINE ELEVATION. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS. TYPICAL.
 4. 0.5' AND 0.1' DESIGN CONTOURS ARE PROVIDED TO CLARIFY GRADING CONCEPT.
 5. ADA PARKING AREAS. SEE ADA COMPLIANCE NOTE THIS SHEET (TYP.)
 6. ADA ACCESS RAMP. SEE ADA COMPLIANCE NOTE THIS SHEET (TYP.)
 7. ADA PEDESTRIAN WALK. SEE ADA COMPLIANCE NOTE THIS SHEET (TYP.)
 8. TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE THIS AREA.
 9. HIGH POINT / GRADE BREAK LOCATION.
 10. DOWNSPOUT LOCATION TO RELEASE ROOF DISCHARGE TO SURFACE. INSTALL PRECAST SPLASHPAD.
 11. DOWNSPOUT LOCATION TO TRANSITION TO UNDERGROUND DRAINPIPE.
 12. 18" WIDE OPENING IN CURB. SEE CG-501.
 13. 18" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT WITH 3'X3'X8" DEEP ROCK EROSION CONTROL FLUSH WITH FLOWLINE. SEE CG-501.
 14. 2' WIDE CONCRETE ALLEY GUTTER. SEE CG-501.
 15. CONCRETE DUMPSTER PAD.
 16. RETENTION POND. SEE CG-501. PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE. SEE CG-501 FOR POND DETAILS.
 17. PRIVATE STORM DRAIN SYSTEM. SEE STORM SEWER PLANS (CG-501, CG-502, CG-503, CG-504) FOR PIPE SIZES / SLOPES / INLET INFORMATION / MATERIALS, ETC.
 18. CONNECT TO EXISTING 24" STORM DRAIN STUB PROVIDED AS PART OF MASTER DRAINAGE INSTALLATION. MAX.
 19. SITE RETAINING WALL(S) TO ACHIEVE REQUIRED GRADE DIFFERENCE. STRUCTURAL DESIGN BY WALL CONTRACTOR (FOOTING, GUARDRAIL, REINFORCING, WATERPROOFING, WEEPHOLES, ETC.). SEE CG-105 - OVERALL RETAINING WALL PLAN.
 20. GARDEN RETAINING WALL(S) (RETAINING < 30'). STRUCTURAL DESIGN BY WALL CONTRACTOR.
 21. DEPRESS LANDSCAPING FOR WATER HARVESTING (TYPICAL). NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.
 22. CONCRETE STEPS TO ACHIEVE REQUIRED GRADE DIFFERENCE.
 23. ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED. TYPICAL.
 24. BUILDING RETAINING / EXTENDED STEMWALL THIS AREA. SEE ARCHITECTURAL / STRUCTURAL PLANS.



LEGEND

- 5088 --- EXISTING CONTOUR
- 5001.62 --- EXISTING SPOT ELEVATION
- 88 --- PROPOSED 1.0' CONTOUR
- 88.5 --- PROPOSED 0.5' CONTOUR
- ◆ 88.3 --- PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 4992.50 FINISH FLOOR ELEVATION
- BW --- PROPOSED STORM DRAIN / INLET
- SD --- BACK OF WALK
- SD --- STORM DRAIN
- SD --- ROOF DRAIN
- ██████████ ROCK EROSION PROTECTION

ADA COMPLIANCE

ACCESSIBLE SIDEWALK(S): TARGET LONGITUDINAL SLOPE = 4%. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%. TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%.

ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7%. LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%). ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.

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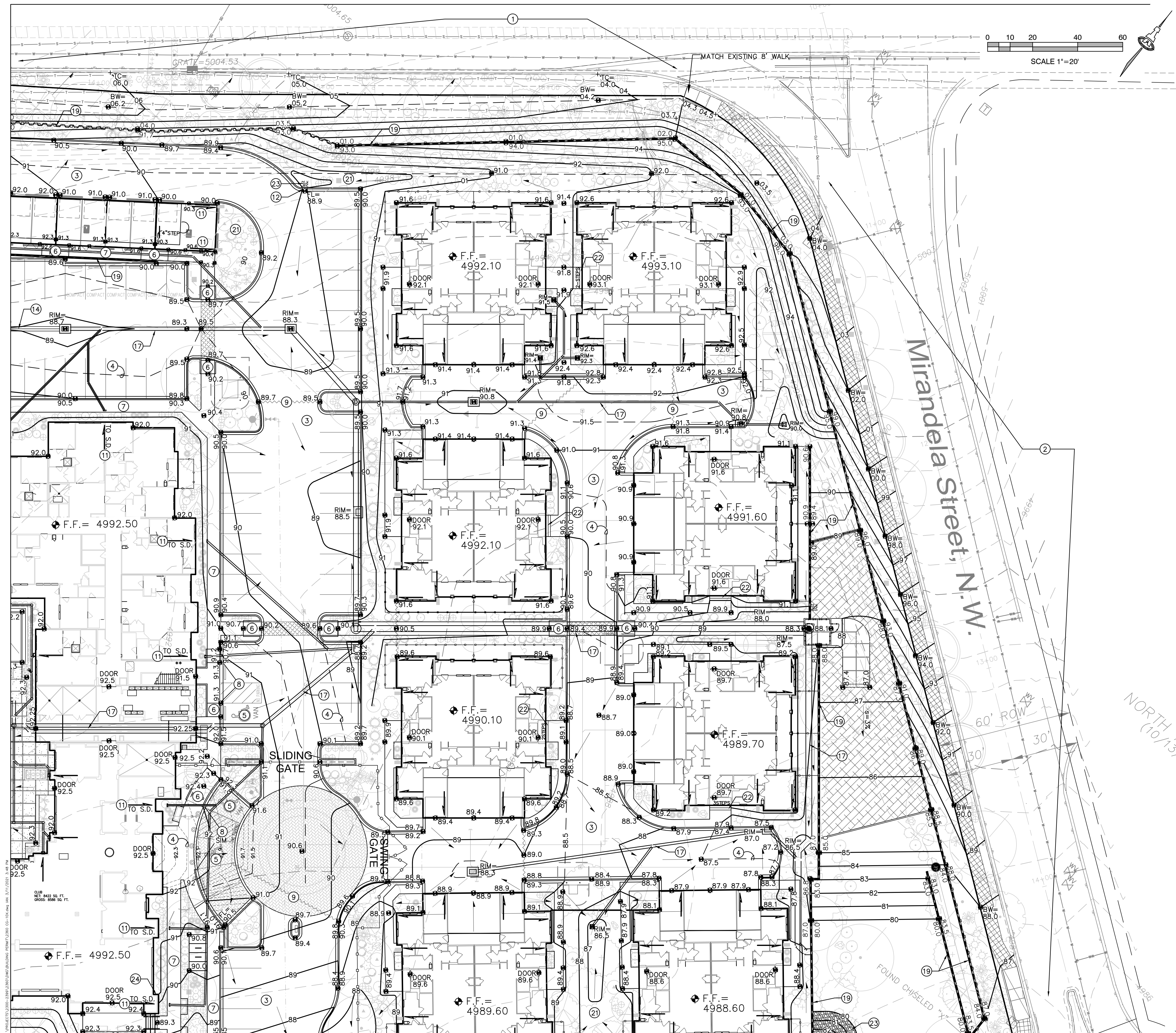
ISSUE: DESIGN DEVELOPMENT	PROJECT NUMBER: IA 2360
FILE: BUB	CHECKED BY: FCA
DATE: 03-10-2021	

No.	Description	Date
1	12/04/20 Progress Pricing Set	
2	01/29/21 Issue for Permit	
3	03/10/21 G&D Submittal	

Grading & Drainage Plan 1 Of 3

SHEET NUMBER
CG-101

4. REBAR WITH TYP. CAP
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 3/27/2021 4:48 PM



KEYED NOTES

- THESE NOTES ARE REFERENCED ON SHEETS CG-101, CG-102, AND CG-103. NOT ALL NOTES ARE USED ON EACH SHEET.
- REFER TO:
 STORM SEWER PLANS (CG-501, CG-502, CG-503, CG-504)
 DRAINAGE DETAILS (CG-505)
 RETAINING WALL PLAN & DETAILS (CG-105, CG-506)
 PAVING PLAN & DETAILS (CP-101, CP-501, CP-502)
 FOR ADDITIONAL INFORMATION.
- ALL WORK WITHIN NMDOT R.O.W. SHALL MEET NMDOT STANDARD SPECIFICATIONS, CURRENT EDITION.
 - SEE PUBLIC WORK ORDER PLAN(S) FOR CONSTRUCTION WITHIN R.O.W. INCLUDING ACCESS DRIVES, ADA COMPLIANT RAMPS, PUBLIC SIDEWALKS, CONNECTION TO PUBLIC STORM DRAIN STUB, COVERED SIDEWALK CULVERTS, ETC. NOTE: PROPOSED GRADES WITHIN R.O.W. ARE SHOWN FOR INFORMATION ONLY. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
 - ASPHALT PAVING. TO ENSURE READABILITY, NOT ALL PAVEMENT SPOT ELEVATIONS SHOW ADJACENT TOP OF CURB OR TOP OF WALK ELEVATIONS. TEXT SHOWN WITHIN FLOWLINE REFERS TO FLOWLINE ELEVATION. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS. TYPICAL.
 - 0.5' AND 0.1' DESIGN CONTOURS ARE PROVIDED TO CLARIFY GRADING CONCEPT.
 - ADA PARKING AREAS. SEE ADA COMPLIANCE NOTE THIS SHEET (TYP.)
 - ADA ACCESS RAMP. SEE ADA COMPLIANCE NOTE THIS SHEET (TYP.)
 - ADA PEDESTRIAN WALK. SEE ADA COMPLIANCE NOTE THIS SHEET (TYP.)
 - TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE THIS AREA.
 - HIGH POINT / GRADE BREAK LOCATION.
 - DOWNSPOUT LOCATION TO RELEASE ROOF DISCHARGE TO SURFACE. INSTALL PRECAST SPLASHPAD.
 - DOWNSPOUT LOCATION TO TRANSITION TO UNDERGROUND DRAINPIPE.
 - 18" WIDE OPENING IN CURB. SEE CG-501.
 - 18" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT WITH 3'X3"X8" DEEP ROCK EROSION CONTROL FLUSH WITH FLOWLINE. SEE CG-501.
 - 2' WIDE CONCRETE ALLEY GUTTER. SEE CG-501.
 - CONCRETE DUMPSTER PAD.
 - RETENTION POND. SEE CG-501. PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDING WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE. SEE CG-501 FOR POND DETAILS.
 - PRIVATE STORM DRAIN SYSTEM. SEE STORM SEWER PLANS (CG-501, CG-502, CG-503, CG-504) FOR PIPE SIZES / SLOPES / INLET INFORMATION / MATERIALS, ETC.
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 - GARDEN RETAINING WALL(S) (RETAINING < 30'). STRUCTURAL DESIGN BY WALL CONTRACTOR.
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 - ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED. TYPICAL.
 - BUILDING RETAINING / EXTENDED STEMWALL THIS AREA. SEE ARCHITECTURAL / STRUCTURAL PLANS.



LEGEND

- 5088 --- EXISTING CONTOUR
- 5001.62 EXISTING SPOT ELEVATION
- 88 --- PROPOSED 1.0' CONTOUR
- 88.5 --- PROPOSED 0.5' CONTOUR
- ◆ 88.3 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 4992.50 FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN / INLET
- BW BACK OF WALK
- SD STORM DRAIN
- ROOF DRAIN
- ROCK EROSION PROTECTION

ADA COMPLIANCE

ACCESSIBLE SIDEWALK(S): TARGET LONGITUDINAL SLOPE = 4%. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%. TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
 ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7%. LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%). ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION

3560 CG-10X.dwg 11 March 2021

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FRED C. ARFLMAN
 NEW MEXICO
 7322
 PROFESSIONAL ENGINEER
 03/10/21

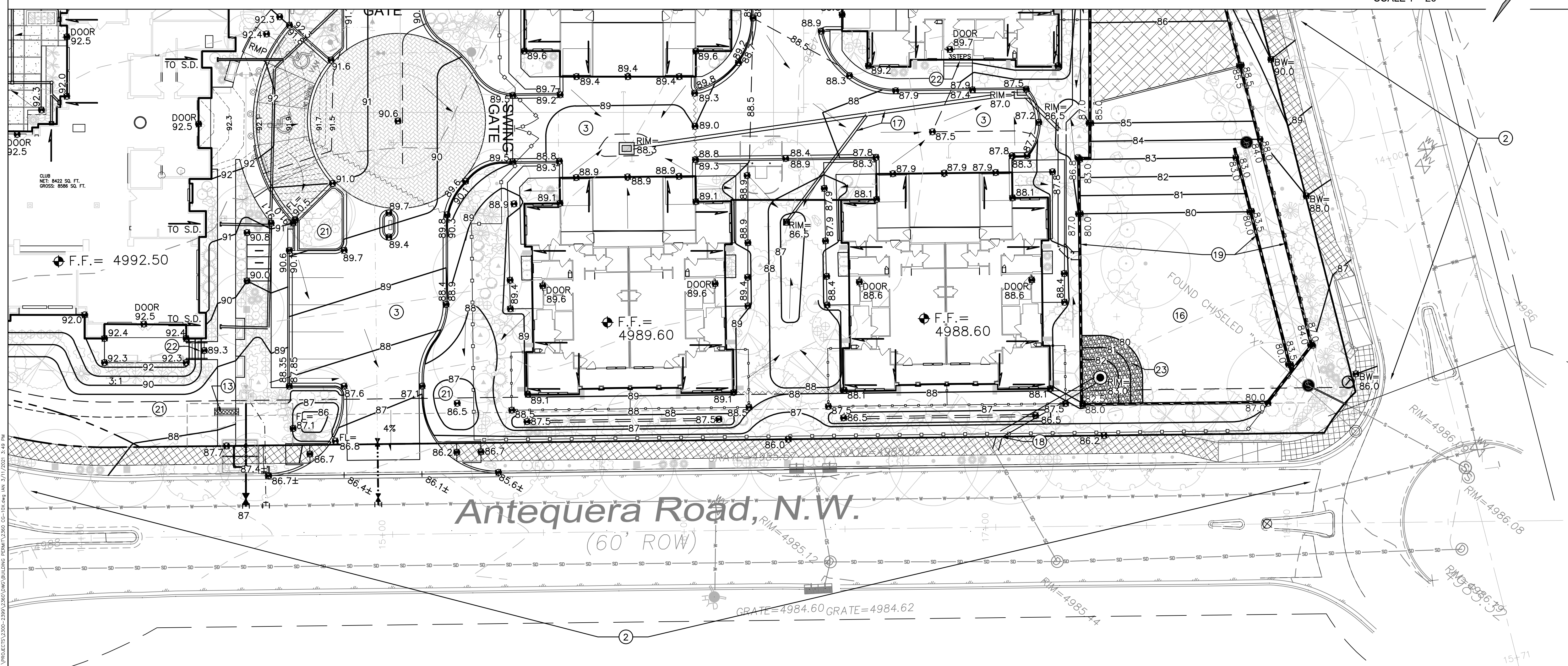
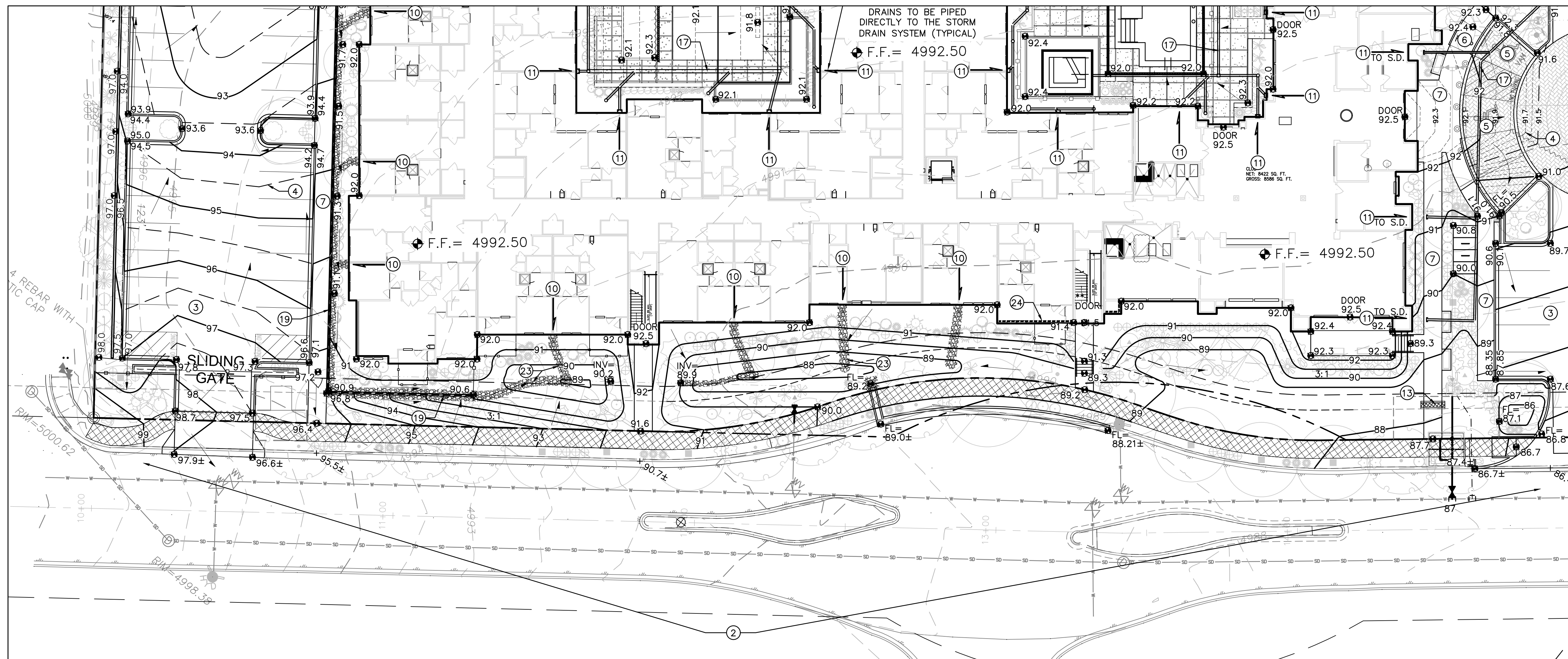
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ISSUE: DESIGN DEVELOPMENT	PROJECT NUMBER: IA 2360
FILE:	BUB
CHECKED BY:	FCA
DATE:	03-10-2021

No	Date	Description
1	12/04/20	Progress Pricing Set
2	01/29/21	Issue for Permit
3	03/10/21	G&D Submittal

SHEET TITLE
Grading & Drainage Plan 2 Of 3

SHEET NUMBER
CG-102



KEYED NOTES

- THESE NOTES ARE REFERENCED ON SHEETS CG-101, CG-102, AND CG-103. NOT ALL NOTES ARE USED ON EACH SHEET.
- REFER TO:
 STORM SEWER PLANS (CG-501, CG-502, CG-503, CG-504)
 DRAINAGE DETAILS (CG-505)
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 - 2' WIDE CONCRETE ALLEY GUTTER. SEE CG-501.
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 - GARDEN RETAINING WALL(S) (RETAINING < 30'). STRUCTURAL DESIGN BY WALL CONTRACTOR.
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LEGEND

- 5088 --- EXISTING CONTOUR
- 5001.62 EXISTING SPOT ELEVATION
- 88 --- PROPOSED 1.0' CONTOUR
- 88.5 --- PROPOSED 0.5' CONTOUR
- ◆ 88.3 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- ◆ FF = 4992.50 FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN / INLET
- BW BACK OF WALK
- SD STORM DRAIN
- ROOF DRAIN
- ██████████ ROCK EROSION PROTECTION

ADA COMPLIANCE

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3560 CG-103.dwg 11 March 2021

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OVERTURE ANDALUCIA

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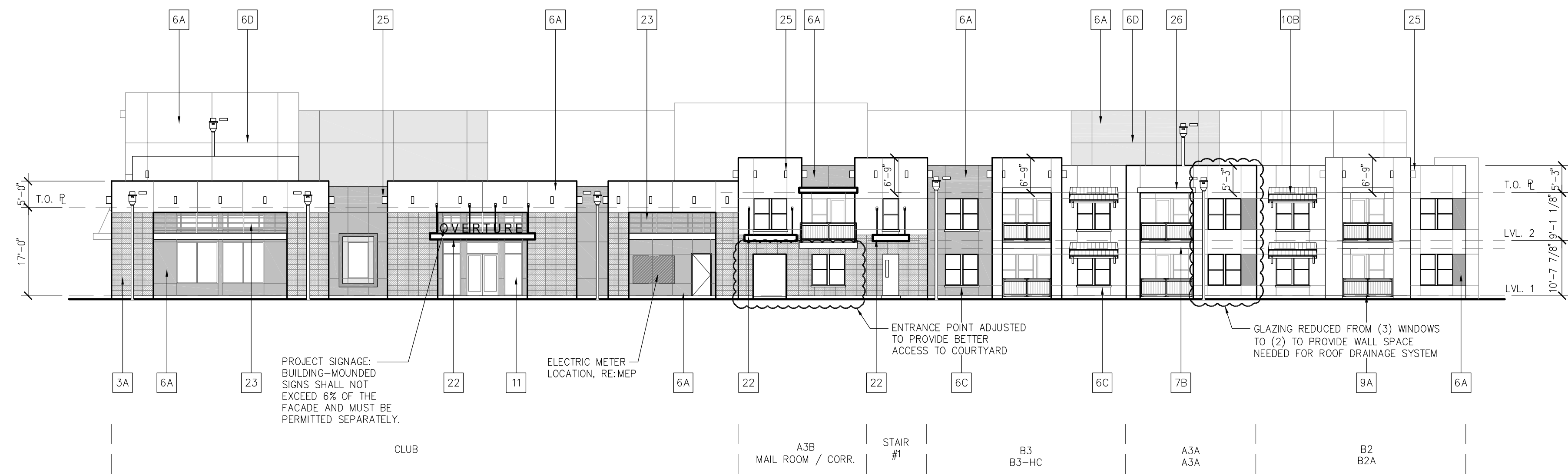
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FILE: 01/29/21	DRAWN BY: BJB
03/10/21	CHECKED BY: FCA
	DATE: 03-10-2021

No.	Description	Date
1	Progress Pricing Set	12/04/20
2	Issue for Permit	01/29/21
3	G&D Submittal	03/10/21

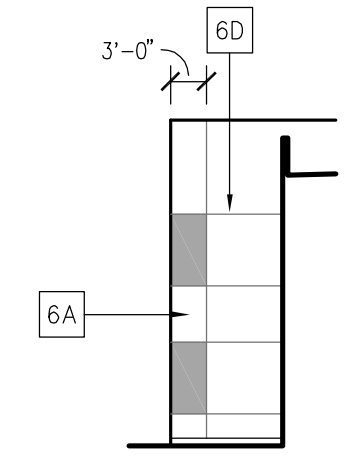
Grading & Drainage Plan 3 Of 3

SHEET NUMBER
CG-103

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2 NORTH ELEVATION
 1/16" = 1'-0"



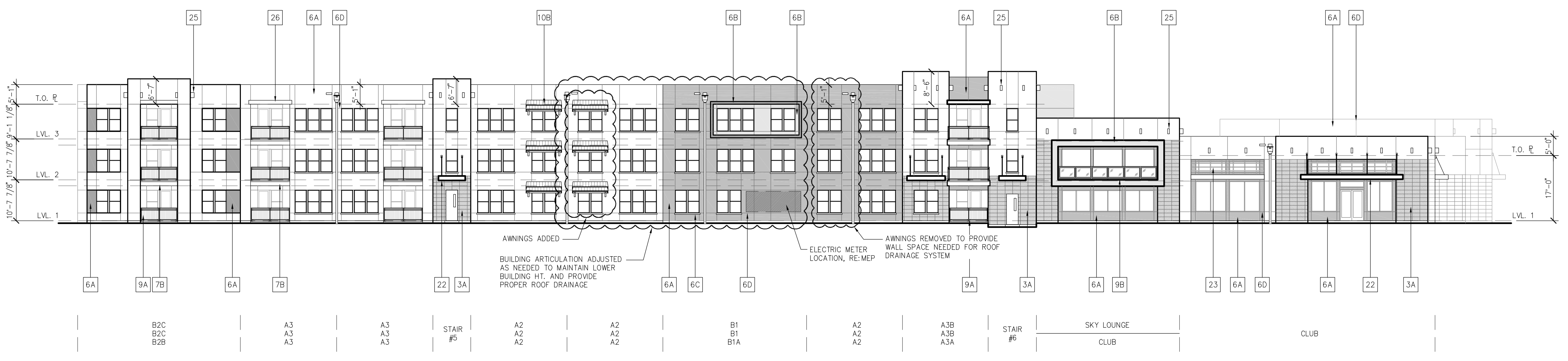
2A PARTIAL ELEV.
 1/16" = 1'-0"

ELEVATION KEYNOTE LEGEND:

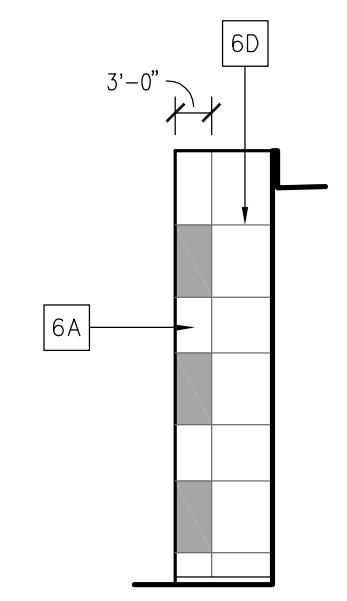
3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: 5&8/A7.11)
6A	EXTERIOR STUCCO SYSTEM (COARSE TEXTURE)
6B	EXTERIOR STUCCO SYSTEM (SMOOTH TEXTURE)
6C	STUCCO COVERED FOAM TRIM
6D	STUCCO CONTROL JOINT (RE: 5&8/A7.11)
7B	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
7C	FIBER CEMENT TRIM (SMOOTH FINISH)
8	EXTERIOR GYP. BD. W/ TEXTURED FINISH
9A	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
9B	GUARDRAIL SYSTEM 02 - PRE-FIN ALUM. W/ GLASS
10A	COMPOSITE SHINGLE ROOF
10B	TERRACOTTA ROOF, FLAT TILE
11	STOREFRONT GLAZING SYSTEM
22	DECORATIVE METAL CANOPY - PAINTED (RE: A7.24)
23	DECORATIVE METAL GRID (RE: A4.09)
25	DECORATIVE WOOD VIGAS
26	EXPOSED WOOD BEAM

NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE

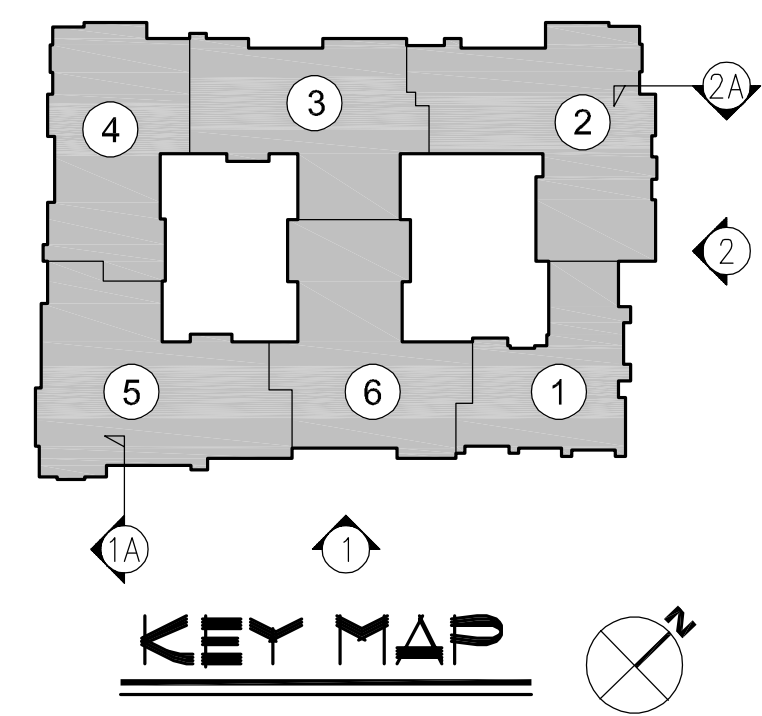
NO.	DATE	REVISION
	07/07/20	ISSUE FOR PERMIT
	07/29/20	ISSUE FOR PERMIT
	10/16/20	REVISED DD SET
	12/04/20	PROGRESS PRICING SET
	07/29/21	ISSUED FOR PERMIT



1 EAST ELEVATION
 1/16" = 1'-0"



1A PARTIAL ELEV.
 1/16" = 1'-0"



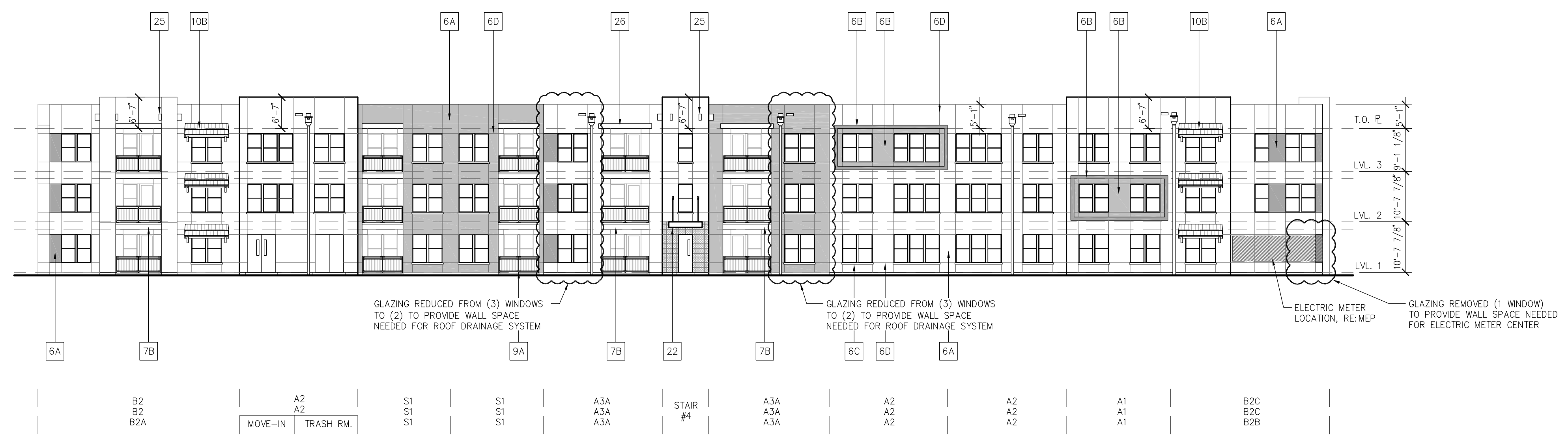
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ISSUED FOR CONSTRUCTION	

SHEET TITLE
ELEVATIONS

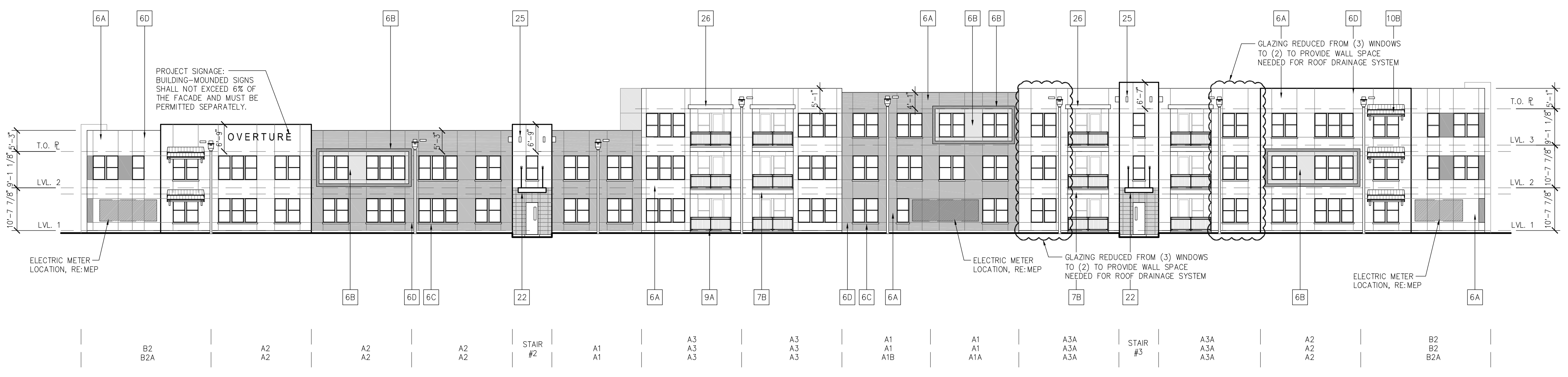
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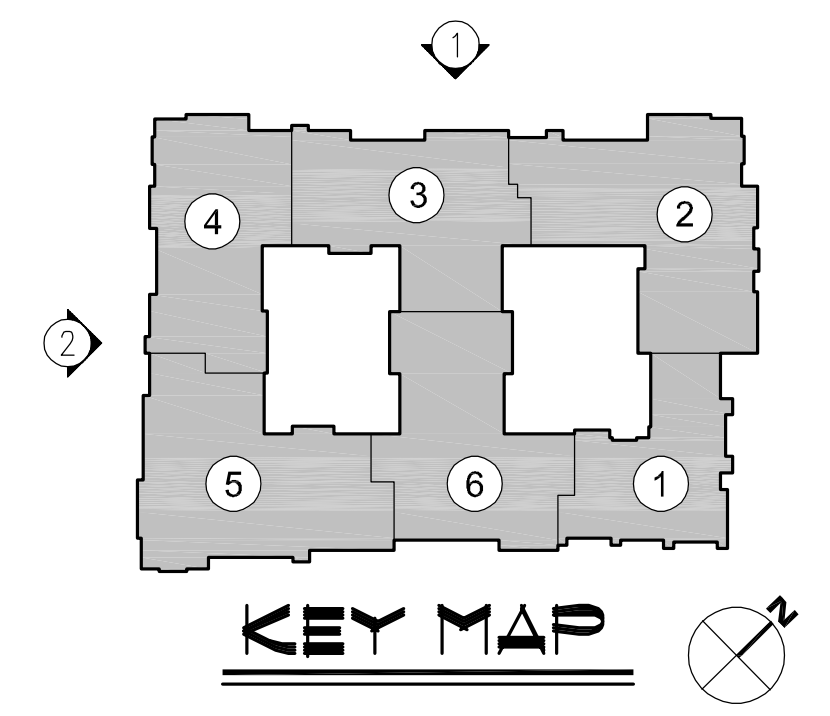
2 SOUTH ELEVATION
1/16" = 1'-0"

ELEVATION KEYNOTE LEGEND:	
3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: 5&8/A7.11)
6A	EXTERIOR STUCCO SYSTEM (COARSE TEXTURE)
6B	EXTERIOR STUCCO SYSTEM (SMOOTH TEXTURE)
6C	STUCCO COVERED FOAM TRIM
6D	STUCCO CONTROL JOINT (RE: 5&8/A7.11)
7B	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
7C	FIBER CEMENT TRIM (SMOOTH FINISH)
8	EXTERIOR GYP. BD. W/ TEXTURED FINISH
9A	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
9B	GUARDRAIL SYSTEM 02 - PRE-FIN ALUM. W/ GLASS
10A	COMPOSITE SHINGLE ROOF
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22	DECORATIVE METAL CANOPY - PAINTED (RE: A7.24)
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25	DECORATIVE WOOD VIGAS
26	EXPOSED WOOD BEAM

NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE



1 WEST ELEVATION
1/16" = 1'-0"



NO.	DATE	REVISION
	07/07/20	DD PROCESS SET
	07/21/20	DD SET
	10/16/20	REVISED DD SET
	12/04/20	PROGRESS PRICING SET
	07/29/21	ISSUED FOR PERMIT

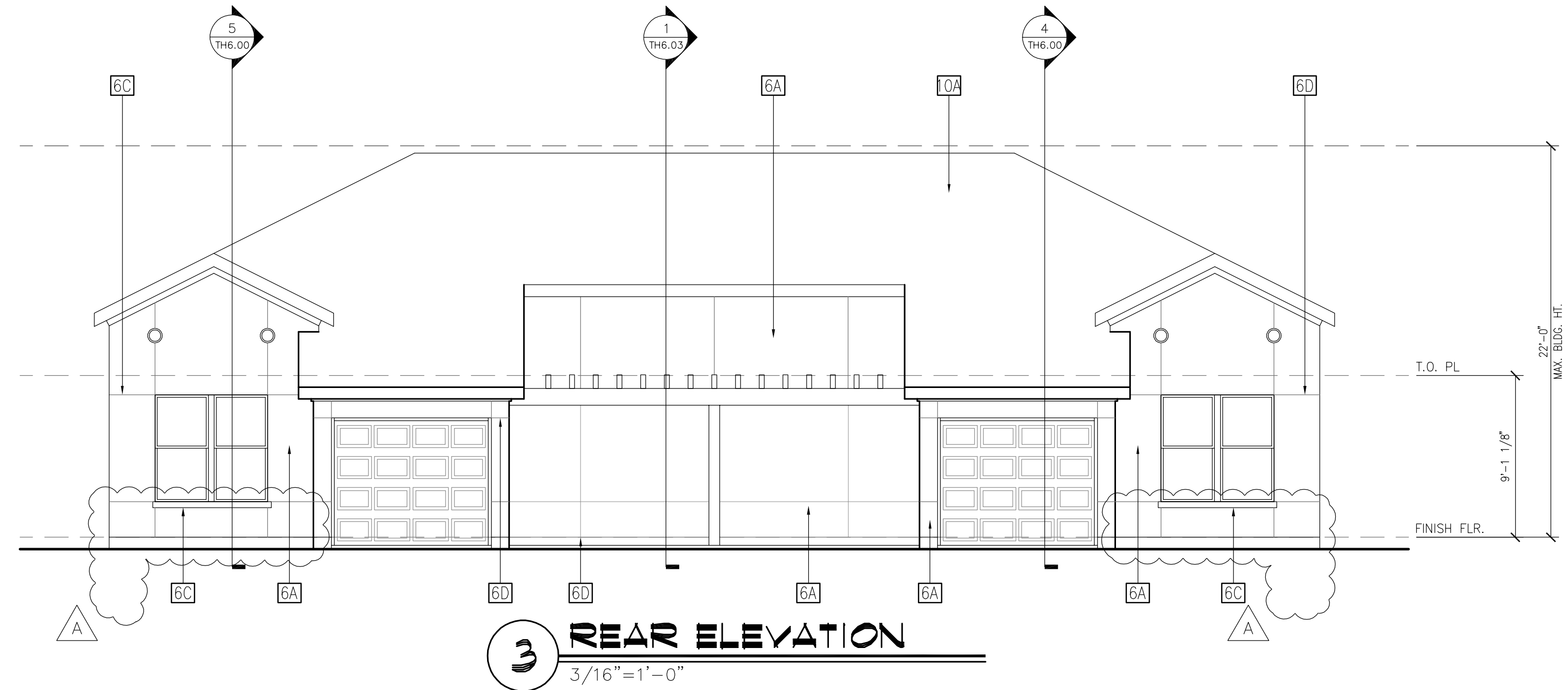
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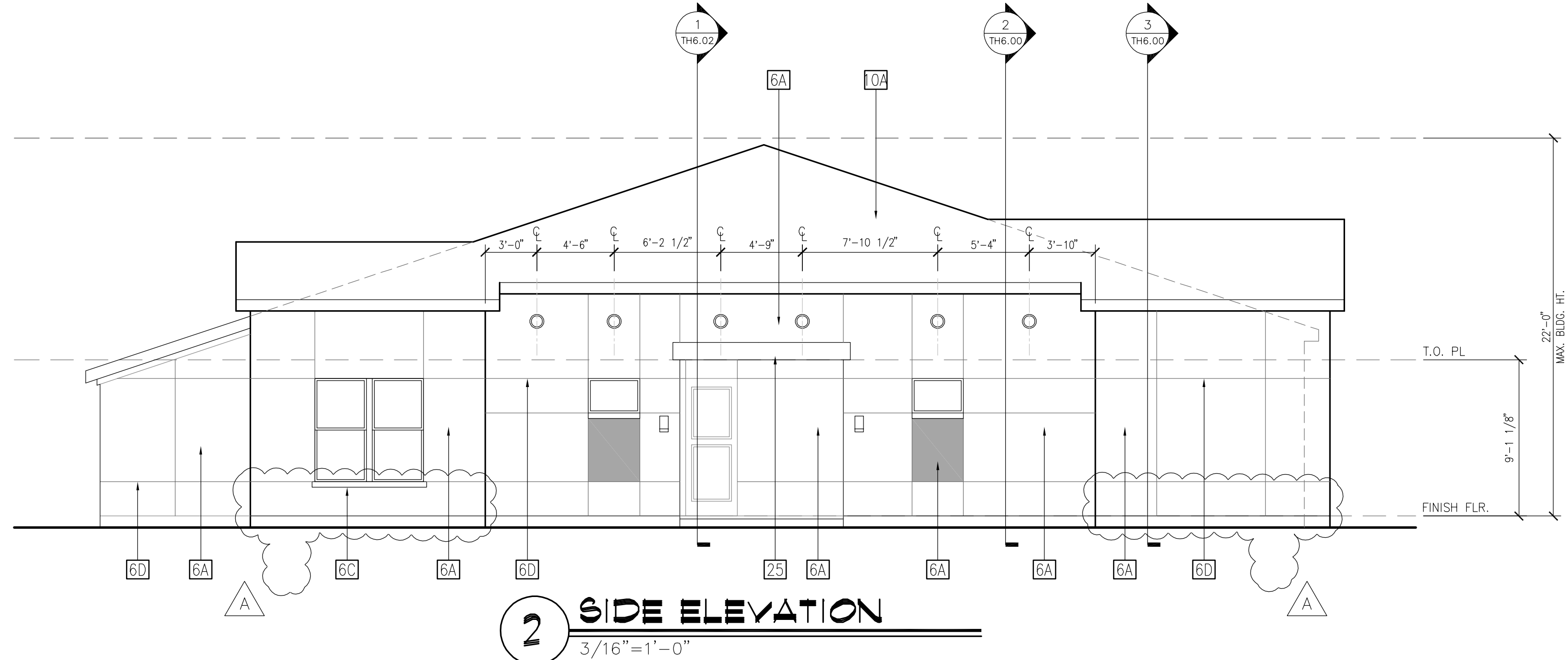
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SHEET TITLE
ELEVATIONS

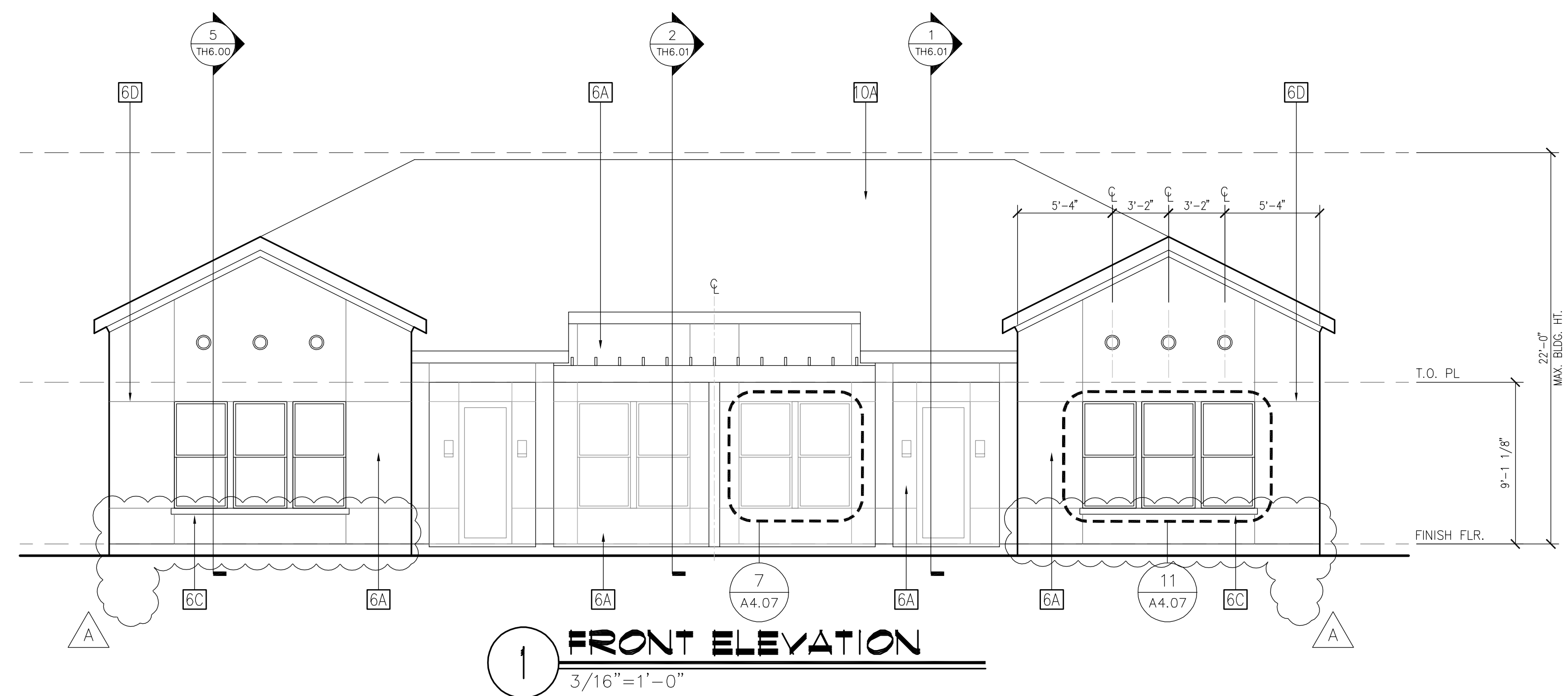
DRAWING NO.
A4.01



3 REAR ELEVATION
3/16"=1'-0"



2 SIDE ELEVATION
3/16"=1'-0"

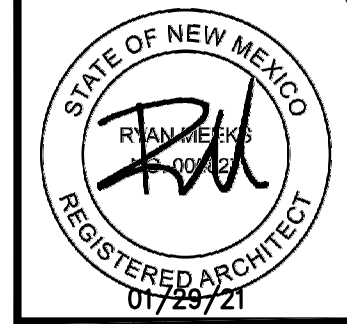
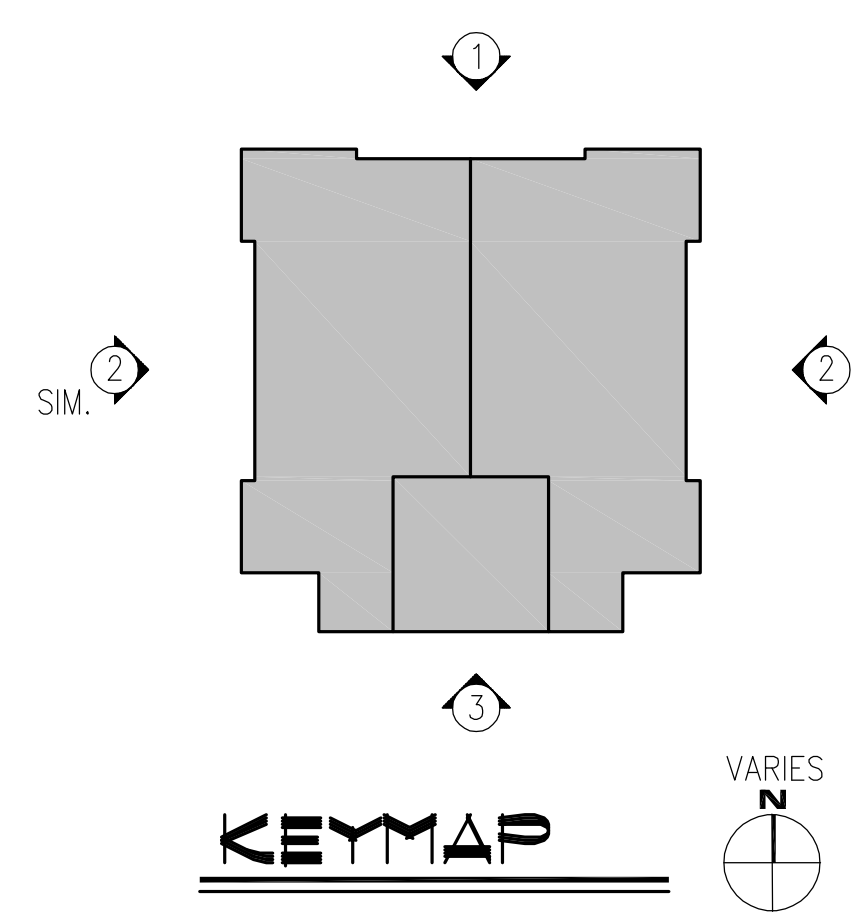


1 FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

3A	THIN STONE VENEER (SPLIT-FACE)
3B	MASONRY CONTROL JOINT (RE: 5&8/A7.11)
6A	EXTERIOR STUCCO SYSTEM (COARSE TEXTURE)
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11	STOREFRONT GLAZING SYSTEM
22	DECORATIVE METAL CANOPY - PAINTED (RE: A7.24)
23	DECORATIVE METAL GRID (RE: A4.09)
24	NOT USED
25	DECORATIVE WOOD BEAM

NOTE: ALL WALL MOUNTED UTILITY PANELS SHOULD BE PAINTED TO MATCH ADJACENT WALL SURFACE



NO.	DATE	REVISION

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JOB NO.:	19100
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ISSUED FOR PRICING	
<input checked="" type="checkbox"/> ISSUED FOR PERMIT	
ISSUED FOR CONSTRUCTION	

SHEET TITLE
TOWNHOUSE ELEVATIONS

DRAWING NO.
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