

**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**APPROVED BY**

**DATE**



**DESIGN 2 → FUNCTION, LLC**

**P. O. Box 93368, Albuquerque, N.M. 87199-3368  
Info@design2functionllc.com \* (505) 823-6481**

Phasing addendum to  
Administrative Amendment  
File# SI-2020-00185, Project# PR-2020-003674

10/14/20

James Aranda  
Deputy Director  
City of Albuquerque Planning Department

Mr. Aranda,

The Owner of the property, Reposado LLC, requests to separate the work shown on the previously approved Administrative Amendment into 2 phases. The AA indicates 2 Areas of Work as outlined below. The eastern area of work has been completed under the Ichiban Restaurant Permit. Since the AA shows both areas of work, we are unable to obtain a final Certificate of Occupancy unless we complete all work shown on the AA or we separate the work into phases. The Owner intends to complete the western area of work, phase 2, no later than December 31<sup>st</sup>, 2021.

The eastern area of work that has been completed, included the following items:

1. Remove existing tower element in corner of shopping center and replace with smaller, more open, tapered free-spanning parapet. Provide a new tubular steel framework for support of fabric mesh awnings.
2. Create new outdoor seating area for Ichiban restaurant with painted steel railing and gates at 42" high to delineate the space.
3. Remove and replace damaged sidewalk and curbing in the corner of the shopping center and replace with new. Restripe parking spaces based on new curbing layout. There is no reduction in overall parking in this area, but we are removing one ADA parking space.

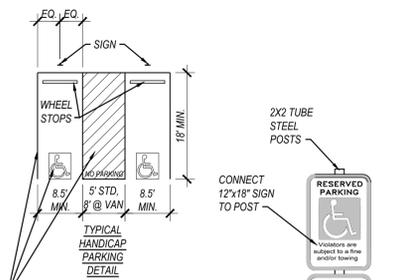
The western area of work that will be completed no later than 12/31/2021 includes the following:

1. Remove, relocate and rebuild existing trash enclosures on west side of property to simplify the pickup of trash bins. Restripe parking areas around the new trash enclosures.
2. Add evergreen trees in a new landscape island as a windbreak to the north-west end of the shopping center.

The reason for this request stems from the slowdown in revenue from the shopping center tenants due to the Covid-19 pandemic.

Design 2 Function, LLC

Nicholas A. Pirkl  
Project Manager



ALL STRIPING SHALL BE BLUE. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE WHITE ON A BLUE BACKGROUND. PROVIDE "NO PARKING" IN 12" HIGH, 2" WIDE LETTERS AS SHOWN.

NOTE: ALL ACCESSIBLE PARKING STALL DETAILS SHALL MEET THE REQUIREMENTS OF THE 2009 NM ACCESSIBLE PARKING CHECKLIST.

**1 ACCESSIBLE PARKING DETAILS**

SCALE: NOT TO SCALE

**GENERAL SITE NOTES**

- ALL SITE LIGHTING IS EXISTING TO REMAIN.
- ALL SIDEWALKS TO BE 4" THICK MINIMUM 4000 PSI CONCRETE. BROOM FINISH WITH 1/8" PER 1'-0" MAXIMUM CROSS SLOPE. OVER COMPACTED GRADE UNLESS NOTED OTHERWISE ON GRADING PLAN. PROVIDE EXPANSION JOINTS EVERY 4'-0" LINEAR FEET AND CONTROL JOINTS EVERY 20'-0" LINEAR FEET. TOOL EDGES WITH 1/4" FINISHING TOOL. PROVIDE 6" WIDE X 12" DEEP TURN DOWN EDGE AT CURBS AND ADJACENT TO PAVING. REINFORCE TURNDOWNS WITH #4 BAR CONTINUOUS.
- ALL STRIPING TO BE PER MUTCD STANDARDS FOR TRAFFIC PAINT AND SHALL BE WHITE IN COLOR UNLESS NOTED OTHERWISE. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED WHITE ON BLUE IN EACH ACCESSIBLE PARKING STALL. ALL STRIPING IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL HEADER CURBS, MEDIAN AND STANDARD CURB & GUTTERS TO BE CONSTRUCTED PER C.O.A. STANDARD DRAWINGS #2415A AND #2415B.
- CONCRETE PARKING BUMPERS TO BE 7'-0" WIDE MINIMUM. SLOT BOTTOM AND REINFORCED WITH AT LEAST (2) #3 BARS TYPICAL. ANCHOR TO PAVING WITH WITH (2) 18" LONG #6 DOWELS TYPICAL.

**CITY OF ALBUQUERQUE NOTES**

- "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION. FOR TEMPORARY C.O. WILL BE SCHEDULED.
- ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

**SITE PLAN KEYED NOTES:**

- REMOVE EXISTING TOWER ELEMENT AND REPAIR PARAPET TO MATCH EXISTING.
- REMOVE EXISTING DAMAGED CONCRETE SIDEWALK AND CURBING AND REPLACE WITH NEW. ADD RADIUS CURBS AS SHOWN. ALL NEW CURBING SHALL BE PAINTED RED WITH "FIRE LANE" MARKINGS IN WHITE TO MATCH EXISTING.
- RE-STRIPED PARKING ISLAND AS SHOWN. ALL OTHER AREAS ARE EXISTING TO REMAIN. REMOVE EXISTING 2-BIN REFUSE ENCLOSURE.
- REMOVE EXISTING DOUBLE SIDED, 2-BIN REFUSE ENCLOSURES.
- NEW PAINTED TUBULAR STEEL SHADE STRUCTURE. PROVIDE FABRIC MESH SHADE CANOPIES AS SHOWN.
- NEW 400 S.F. OUTDOOR SEATING AREA WITH DECORATIVE 42" HIGH PAINTED STEEL FENCE AND SELF-CLOSING GATES. 32 SEATS.
- NEW 6" HIGH RAISED CURB LANDSCAPE ISLAND, 295 S.F. WITH (3) AFGHAN PINE (PINUS ELADARICA) OR SIMILAR EVERGREEN, MEDIUM WATER USE TREES, GRAVEL MULCH AND DRIP IRRIGATION.
- NEW 24" WIDE BY 12" DEEP REFUSE ENCLOSURE. PROVIDE STUCCO COVERED CMU WALLS (6'-0" TALL) COLOR TO MATCH BUILDING. PAINT INTERIOR OF ENCLOSURE TO MATCH BUILDING. PROVIDE PAINTED SOLID CORRUGATED METAL GATES AND BOLLARDS. ALL DETAILS SHALL BE APPROVED BY SOLID WASTE PRIOR TO INSTALLATION.
- NEW STUCCO FINISHED TAPERED DECORATIVE PARAPET. FURROUT EXISTING COLUMNS AS SHOWN. ALL COLORS TO MATCH EXISTING USED THROUGHOUT THE CENTER. PROVIDE EMPTY CONDUITS AND ACCESS PANELS FOR FUTURE TENANT SIGNAGE (UNDER SEPARATE PERMIT).
- REMOVE EXISTING PARKING LOT STRIPING AS SHOWN.
- EXISTING MOTORCYCLE PARKING SPACES, 4' x 8' WITH SIGNAGE.

**PARKING CALCULATIONS:**

PARKING CALCULATIONS BELOW ARE BASED ON THE PARKING REQUIREMENTS IN EFFECT AT THE TIME OF DEVELOPMENT. IDO REQUIREMENTS WOULD BE 4:1000 FOR RETAIL AND 8:1000 FOR RESTAURANT SPACE. THIS WOULD EQUATE TO 414 S.F. FOR 103,642 S.F. RETAIL AND 150.4 FOR 18,834 S.F. RESTAURANT FOR A TOTAL OF 565 LESS 10% PER 5-C(5)(a) = 509.

GROSS BUILDING AREA	122,476 S.F.
BUILDING 1 AREA	41,109 S.F.
BUILDING 2 AREA	9,980 S.F.
BUILDING 3 AREA	14,156 S.F.
BUILDING 4 AREA	3,588 S.F.
BUILDING 5 AREA	30,802 S.F.
BUILDING 6 AREA	11,980 S.F.
BUILDING 7 AREA	4,800 S.F.
BUILDING 8 AREA	6,061 S.F.

RESTAURANT SEATING:	14 INSIDE, 12 OUTSIDE (1,858 S.F.)
R1 WHISPERING BEAN	104 INSIDE, 32 OUTSIDE (3,588 S.F.)
R2 ICHIBAN	80 INSIDE (2,562 S.F.)
R3 ANATOLIA	80 INSIDE, 20 OUTSIDE (2,651 S.F.)
R4 THAI KITCHEN	100 INSIDE, 80 OUTSIDE (4,800 S.F.)
R5 IL VICINO	100 INSIDE (3,375 S.F.)
R6 FREDDY'S	100 INSIDE (3,375 S.F.)
TOTAL	622 SEATS (18,834 S.F.)

RETAIL PARKING REQUIRED:	103,642 S.F. TOTAL RETAIL
	15,000 / 200 = 75
	45,000 / 250 = 180
	43,642 / 300 = 145
	RETAIL TOTAL = 400

RESTAURANT PARKING REQUIRED:	622 SEATS
	622 / 4 = 156

TOTAL PARKING REQUIRED:	556 LESS 10% FOR BUS ROUTE = 500
TOTAL PARKING PROVIDED:	513 TOTAL SPACES PROVIDED
	489 STANDARD SPACES
	24 ACCESSIBLE SPACES (6 VAN SPACES)
	8 MOTORCYCLE SPACES PROVIDED (7 REQUIRED 7:501-750)

**PROJECT INFORMATION:**

Site Address: 10701 CORRALES RD NW ALBUQUERQUE NM 87114  
 UPC: 10140662710584102  
 Owner: REPOSADO LLC O LEE S BLAUGRUND  
 Owner Address: PO BOX 7817 ALBUQUERQUE NM 87194-7817  
 Legal Description: TRACT A-1-1-A REVISED SUMMARY PLAT THE BLACK RANCH (AKA-TR E SUMMARY PLAT OF SEVEN-BAR RANCH) CONT 11.5227 AC  
 Acres: 11.52  
 Zone Atlas Page: A-14  
 Tax Year: 2019  
 IDO Zone District: NR-C (Old SU-1 for C2 uses)  
 Case History: Project #1000857, AA-97-131, DRB-96-208, Z-96-14, Z-79-146  
 Existing construction: type III-B and III-B sprinklered  
 Existing Occupancies: A2, B, M  
 Existing Gross Building Area: 122,476 S.F. (No increase in area proposed)  
 Existing net lot area: 383,552 S.F.

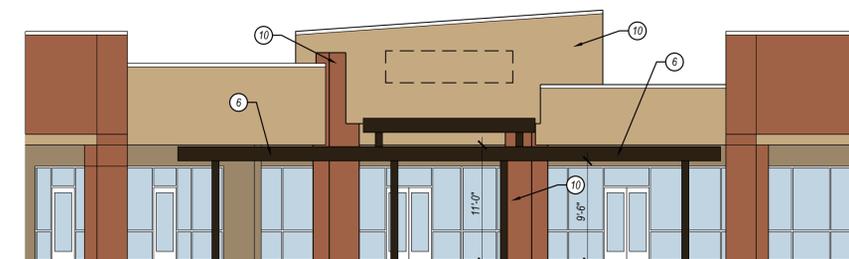


**VICINITY MAP**  
SCALE: 1"=200'-0"



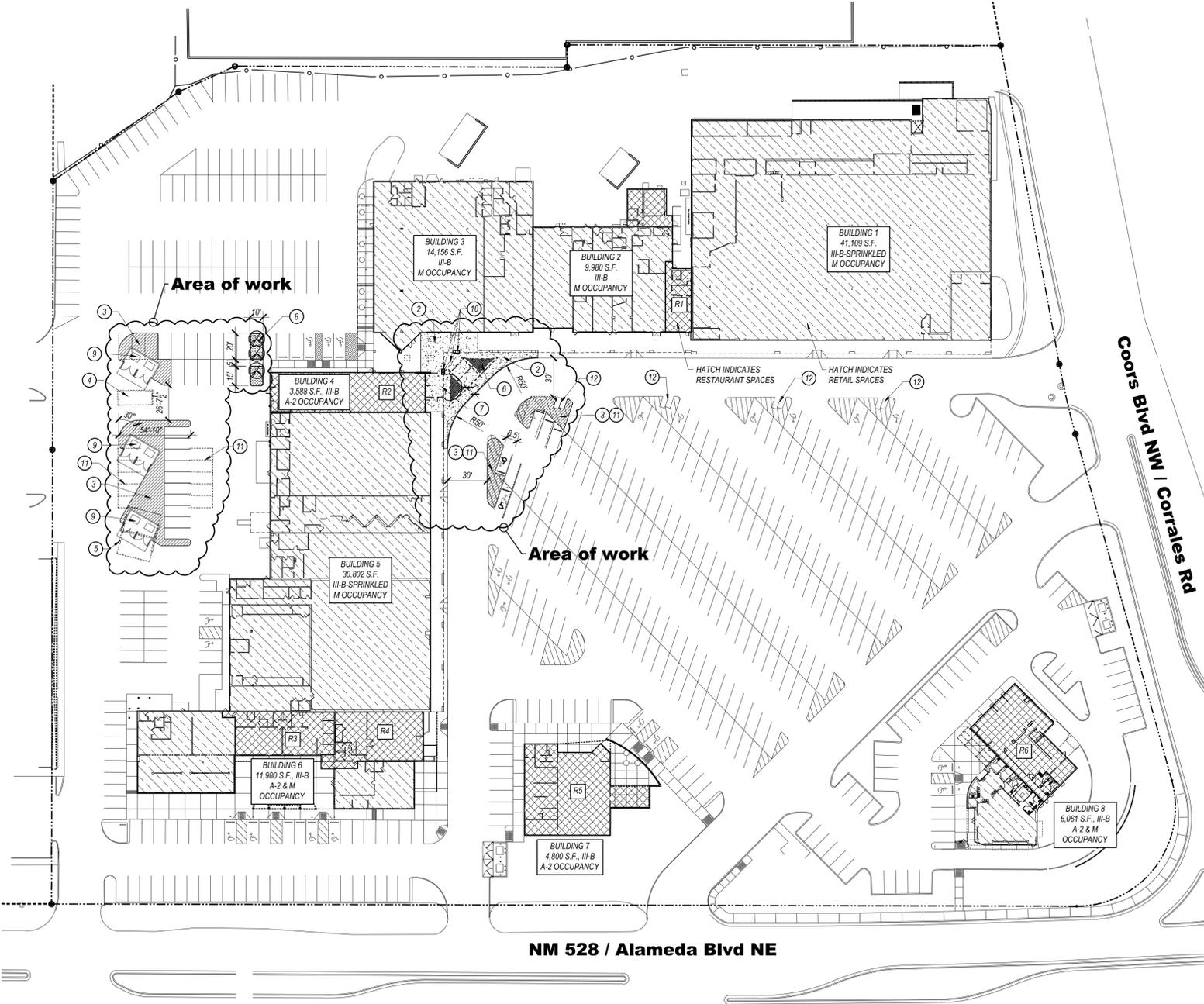
**EXISTING S.E. ELEVATION**

SCALE: NONE



**S.E. ELEVATION**

SCALE: 1/8"=1'-0"



**SITE PLAN**

SCALE: 1"=50'-0"



**D2F**  
**DESIGN 2 FUNCTION, LLC**  
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**GORDON ALLAN HALL**  
 No. 1005  
 4/22/20  
 ALBUQUERQUE  
 REGISTERED ARCHITECT

**ICHIBAN REMODEL**  
**10701 CORRALES ROAD NW, SUITE #18**  
**ALBUQUERQUE, NM 87114**

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**DRAWING ISSUE DATES:**  
 4/2/20  
 4/22/20 Permit Revision / AA

**PROJECT MANAGER:**  
 NICK PIRKL  
**DRAWN BY:**  
 NAP

**SHEET TITLE:**  
 Site Development Plan  
 Administrative  
 Amendment

**AA.1**  
 SHEET: 1 OF 10