

ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

NAME: L:\Active Projects\03569 Legacy 110 Gold\3. DWG\Sheets\03569 Site Plan.dwg PLOT DATE: Jul 15, 2020 5:13pm

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SITE INFORMATION

PROJECT NAME: PARKING LOT AT
110 LEGACY GOLD
MUNICIPALITY: CITY OF ALBUQUERQUE
PROJECT ADDRESS: 110 GOLD AVENUE SE
ALBUQUERQUE, NM 87102
ACRE / AREA: 0.438 ACRES
ZONE: NR-LM LIGHT
MANUFACTURING
ADJACENT ZONING: NR-LM
USES: OVERFLOW PARKING LOT
SETBACKS:

FRONT YARD: 5 FT.
SIDE YARD: 0 FT.
REAR YARD: 0 FT.

HEIGHT LIMIT: 65 FT.

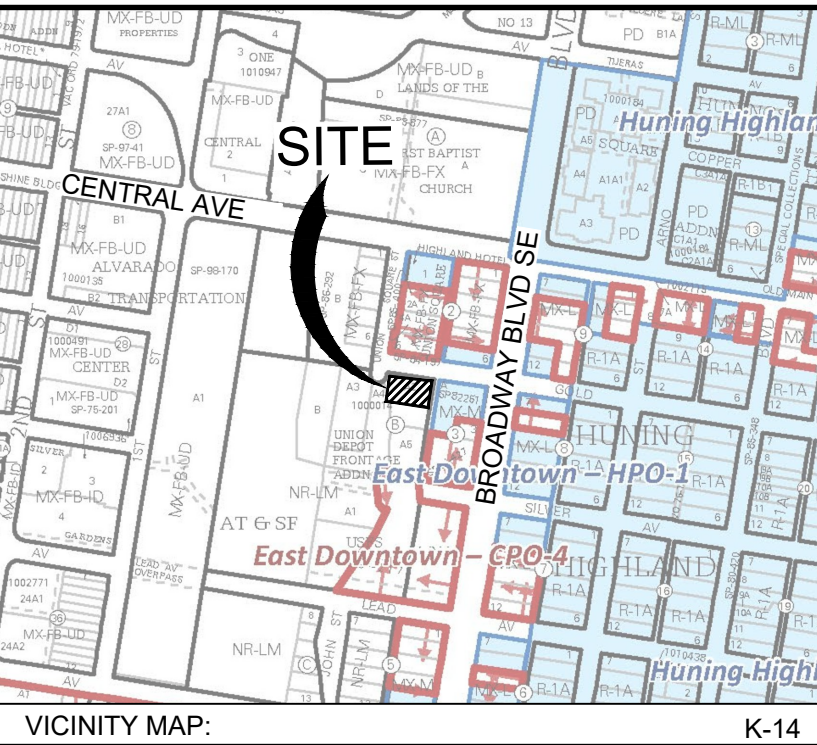
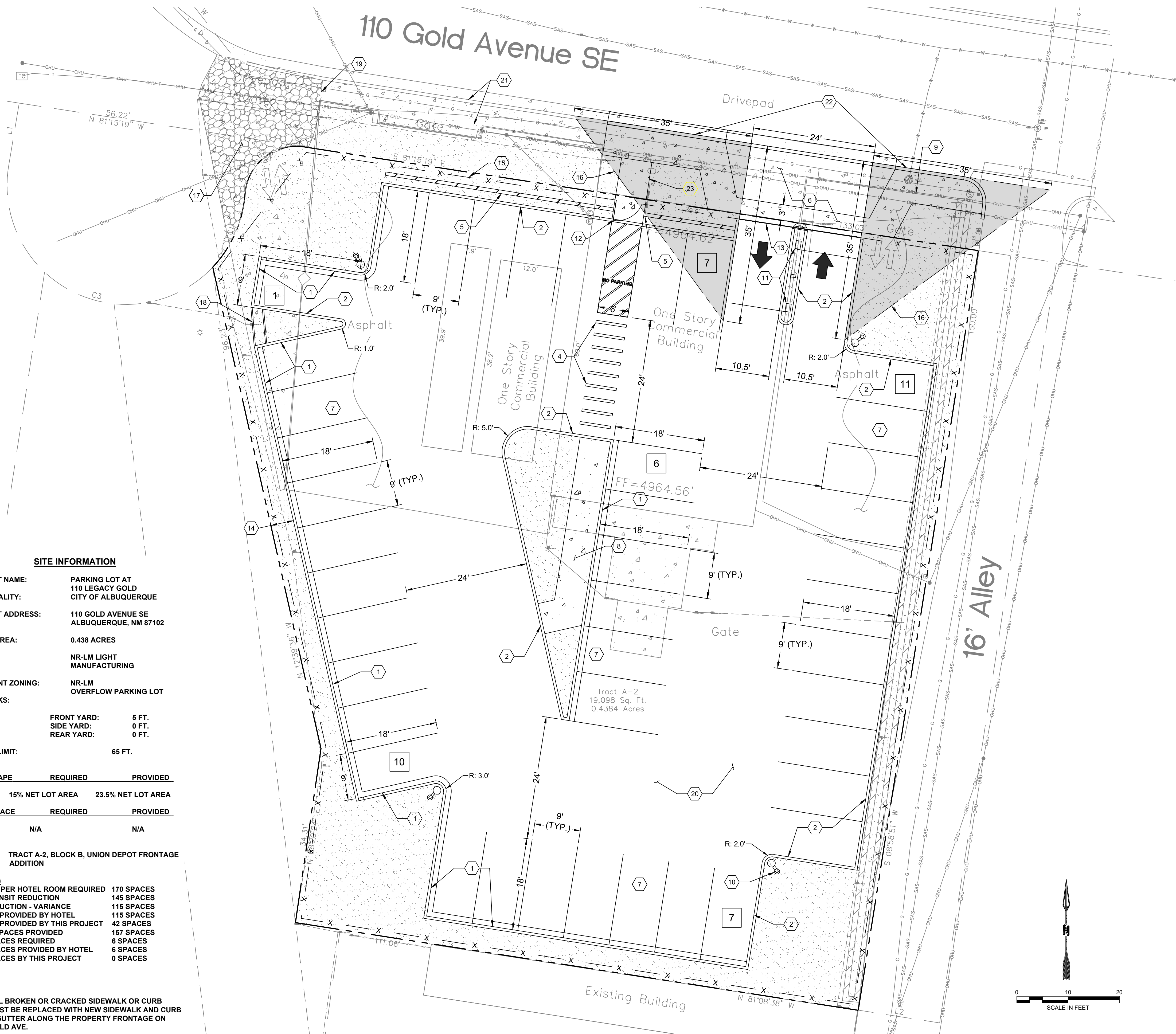
LANDSCAPE	REQUIRED	PROVIDED
15% NET LOT AREA	23.5% NET LOT AREA	
OPEN SPACE	REQUIRED	PROVIDED
N/A	N/A	

LEGAL: TRACT A-2, BLOCK B, UNION DEPOT FRONTAGE
ADDITION

PARKING	
1 SPACE PER HOTEL ROOM REQUIRED	170 SPACES
15% TRANSIT REDUCTION	145 SPACES
32% REDUCTION - VARIANCE	115 SPACES
SPACES PROVIDED BY HOTEL	115 SPACES
SPACES PROVIDED BY THIS PROJECT	42 SPACES
TOTAL SPACES PROVIDED	157 SPACES
ADA SPACES REQUIRED	6 SPACES
ADA SPACES PROVIDED BY HOTEL	6 SPACES
ADA SPACES BY THIS PROJECT	0 SPACES

NOTE:

- ALL BROKEN OR CRACKED SIDEWALK OR CURB
MUST BE REPLACED WITH NEW SIDEWALK AND CURB
& GUTTER ALONG THE PROPERTY FRONTAGE ON
GOLD AVE.

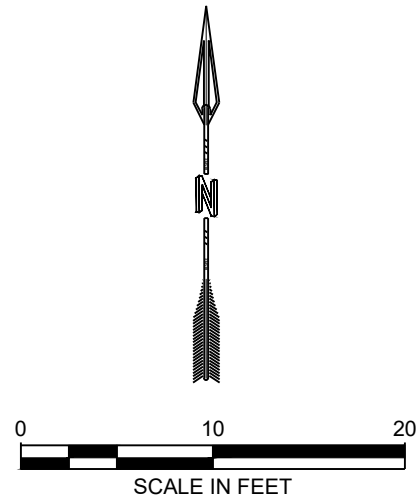


KEYED NOTES

I.D.#	DESCRIPTION
1	INSTALL CONCRETE CURB AND GUTTER. SEE DETAIL 1, SHEET C-500.
2	INSTALL CONCRETE HEADER CURB. SEE DETAIL 2, SHEET C-500.
3	INSTALL ASPHALT PAVEMENT.
4	INSTALL CROSSWALK STRIPING. SEE DETAIL 3, SHEET C-500
5	INSTALL LANDSCAPE SCREEN WALL. SEE DETAIL 4, SHEET C-500.
6	INSTALL DRIVEPAD ENTRANCE. PER COA STD DETAIL 2425.
7	INSTALL 9'x18" PARKING (TYP.)
8	INSTALL CONCRETE SIDEWALK. SEE DETAIL 5, SHEET C-500.
9	EXISTING DRIVEPAD TO BE REMOVED AND REPLACED WITH SIDEWALK / CURB.
10	INSTALL OVERHEAD LIGHTING (TYP.) BY OTHERS.
11	LIFT BARRIER GATE OPERATOR. BY OTHERS.
12	48"x72" MAN GATE W/ ACCESS CONTROL. BY OTHERS.
13	MANUAL SLIDING GATE W/ STEEL TRACK & GUIDES. BY OTHERS.
14	5' PROPERTY BOUNDARY OFFSET (TYP.)
15	INSTALL 72" CHAINLINK FENCE, STEEL POSTS, SCT IN CONCRETE AT 10' O.C. SPACING (TYP.)
16	35' CLEAR SITE TRIANGLE.
17	REMOVE EXISTING DRIVEPAD AND CONCRETE AND REPLACE WITH BASE COURSE.
18	INSTALL CONCRETE CHANNEL. SEE DETAIL 7, SHEET C-500.
19	TRANSITION FROM FULL HEIGHT CURB TO ALLEY GUTTER.
20	INSTALL ASPHALT PAVEMENT AT DIRECTION OF OWNER.
21	EXISTING CURB AND SIDEWALK TO REMAIN.
22	PROPOSED CURB AND GUTTER PER COA STD DETAIL 2415A.
23	PROPOSED PEDESTRIAN SIDEWALK.

LEGEND

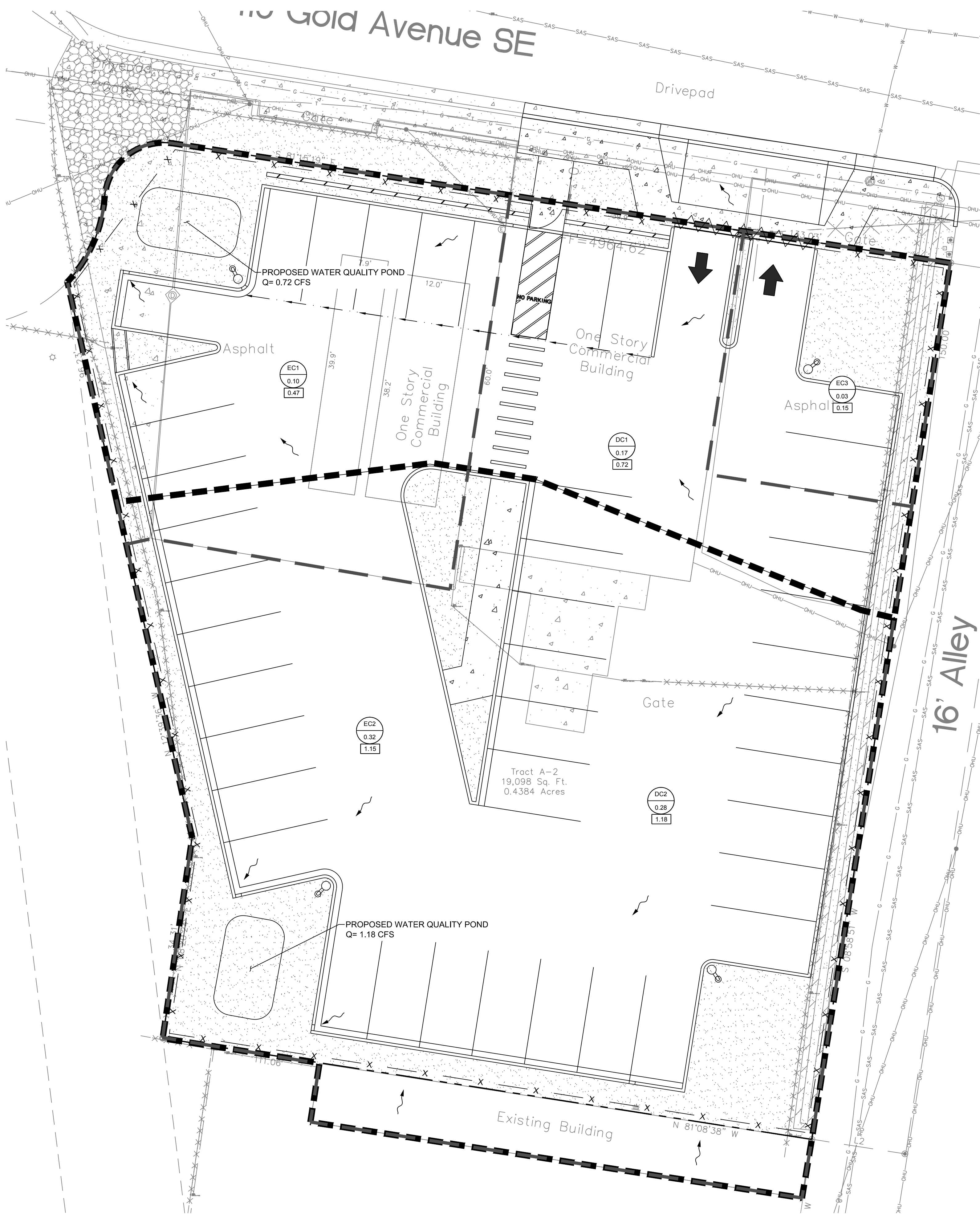
PROPERTY LINE	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED LANDSCAPE	
PROPOSED CONCRETE SIDEWALK	
PROPOSED BASE COURSE	
NUMBER OF PARKING SPACES	X



DESIGNED JS	DRAWN AC	CHECKED MF	DATE 3/12/2020
RESPEC 5971 Jefferson Street Suite 101 Albuquerque, NM 87109 Vladimir V. Respec respec.com 505.253.9718			
STAMP 			
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PROJECT NAME:	PARKING LOT AT 110 GOLD AVE SE, ALBUQUERQUE, NM 87102		
SHEET TITLE:	SITE PLAN		
SUBMITTED FOR:	CONSTRUCTION		
SHEET NUMBER:	C-100		

NAME: L:\Active Projects\03569 Kassam Legacy 110 Gold\3. DWG\Sheets\03569 Drainage Plan.dwg PLOT DATE: Mar 12, 2020 2:10pm

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- LEGEND**
- Basin Designation (A1A, XX)
 - Basin Area, Acres (XX)
 - 100 Year Storm, CFS (XX)
 - Existing Sub-Basin Boundary (solid line)
 - Proposed Sub-Basin Boundary (dashed line)
 - Direction of Drainage Flow (arrow)
 - Property Line (dotted line)

BACKGROUND

110 GOLD AVE SOUTHEAST IS APPROXIMATELY 0.44 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THIS LOCATION IS NEAR THE INTERSECTION OF BROADWAY BLVD AND GOLD AVE. THE INTENT FOR THIS PROPERTY IS TO BE USED AS AN OVERFLOW PARKING LOT TO SERVE THE HOTEL SITE LOCATED AT THE CORNER OF CENTRAL AND BROADWAY. THERE IS NO DESIGNATED 100-YR FLOOD ZONE SHOWN ON THE SITE.

METHODOLOGY

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.26". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

EXISTING CONDITIONS

THE SITE, IN GENERAL, SLOPES FROM EAST TO NORTHWEST AT VARYING SLOPES FROM 1% - 5%. STORM WATER RUNOFF GENERATED BY THE EXISTING BUILDING AND PARKING AREA OF FLOW GENERALLY TO THE SOUTHWEST AND NORTHWEST. THE EXISTING CONDITION HAVE BEEN SPLIT INTO THREE SUB-BASINS TO INDICATE FLOWS GOING TO THE SOUTHWEST AND NORTHWEST.

SUB-BASIN EC1 IS 0.10 ACRES CONSISTING OF ALL DEVELOPED FLOWS. THE EXISTING FLOW IS 0.47 CFS THAT FLOWS FROM THE EAST TO THE NORTH WEST.

SUB-BASIN EC2 IS 0.305 ACRES. THIS SUB-BASIN CONSISTS OF THE EXISTING BUILDING AND CONCRETE PAD, IT ALSO HAS THE VACANT AREA BEHIND THE EXISTING BUILDING. THE FLOWS GO FROM THE EAST TO THE SOUTH WEST AND GENERATE 1.06 CFS. THE SITE RECEIVES OFFSITE RUNOFF FROM THE BUILDING LOCATED SOUTH OF THE SITE.

SUB-BASIN EC3 IS 0.03 ACRES. THE SUB-BASIN IS FULLY DEVELOPED LOCATED IN THE NORTH EAST CORNER OF THE SITE. THE FLOWS GENERATED ARE 0.15 CFS. FLOWS FROM THIS SUB-BASIN FLOW TO THE NORTH EAST.

DEVELOPED CONDITIONS

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN. THE SITE HAS BEEN SPLIT INTO TWO DEVELOPED CONDITIONS SUB-BASINS. DEVELOPED FLOWS INCREASE SLIGHTLY BUT ARE CONSIDERED NEGLIGIBLE.

SUB-BASIN DC1 IS 0.175 ACRES CONSISTING OF THE NORTHERN PORTION OF THE PARKING AREA. THERE IS SOME LANDSCAPE ALONG THE SIDES OF THE SITE. STORM WATER RUN-OFF GENERATED BY THE PARKING AREA IS DIRECTED TO THE NORTHWEST AND INTO THE PROPOSED LANDSCAPE AREA. THE SUB-BASIN GENERATES 0.717 CFS AND IS INTENDED TO MATCH EXISTING CONDITIONS.

SUB-BASIN DC2 IS 0.263 ACRES CONSISTING OF THE SOUTHERN PORTION OF THE PARKING AREA. THERE IS SOME LANDSCAPE ALONG THE SIDES OF THE SITE. STORM WATER RUN-OFF GENERATED BY THE PARKING AREA IS DIRECTED TO THE SOUTHWEST AND INTO THE PROPOSED LANDSCAPE AREA. THE SUB-BASIN GENERATES 1.09 CFS AND IS INTENDED TO MATCH EXISTING CONDITIONS. THE SITE RECEIVES OFFSITE RUNOFF FROM THE BUILDING LOCATED SOUTH OF THE SITE.

THE WATER QUALITY TABLE LOCATED ON THIS SHEET THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS. THERE ARE TWO WATER QUALITY PONDS ONSITE TO ACCOMMODATE DEVELOPED FLOWS. ONE IS LOCATED IN THE NORTHWEST CORNER. THIS POND IS SIZED AT 165.16 CU-FT. FLOWS FROM DC1 FLOW INTO THIS WATER QUALITY POND. THE SECOND WATER QUALITY POND IS LOCATED IN THE SOUTHWEST CORNER AND IS SIZED AT 248.21 CU-FT. FLOWS FROM DC2 FLOW INTO THIS WATER QUALITY POND.

Hydrology Calculations

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

Runoff Rate:

Treatment Type Ares

Subbasin	Area _u (ac)	Area _s (ac)	Area _c (ac)	Area _o (ac)	Total (ac)
EC1	0.00	0.00	0.00	0.10	0.10
EC2	0.00	0.00	0.239	0.085	0.324
EC3	0.00	0.00	0.00	0.032	0.032
DC1	0.00	0.043	0.00	0.131	0.174
DC2	0.00	0.059	0.00	0.223	0.282

Peak Discharge values based on Zone 2 from Table A-9

Q_{u1} = 1.56 cfs/ac Q_{u2} = 2.28 cfs/ac Q_{u3} = 3.14 cfs/ac Q_{u4} = 4.70 cfs/ac

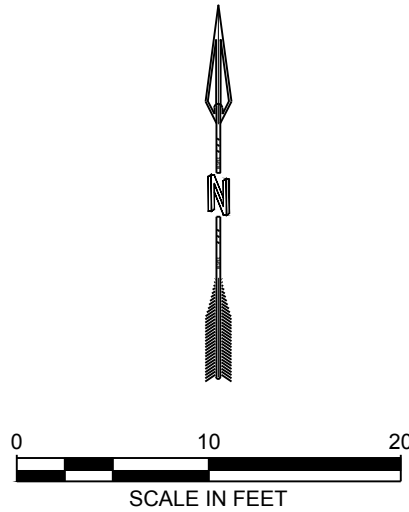
Peak Discharge calculation for a 100yr - 24hr storm event from equation A-10

Subbasin	Discharge (cfs)
EC1	0.47
EC2	1.15
EC3	0.15
Total EC	1.77
DC1	0.72
DC2	1.18
Total DC	1.90

Water Quality

Required Water Quality volume for first flush of 0.26"

Subbasin	Volume (cu. Ft.)
DC1	144.18
DC2	239.31
Total	383.49



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PROJECT NAME:
**PARKING LOT AT
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ALBUQUERQUE, NM 87102**

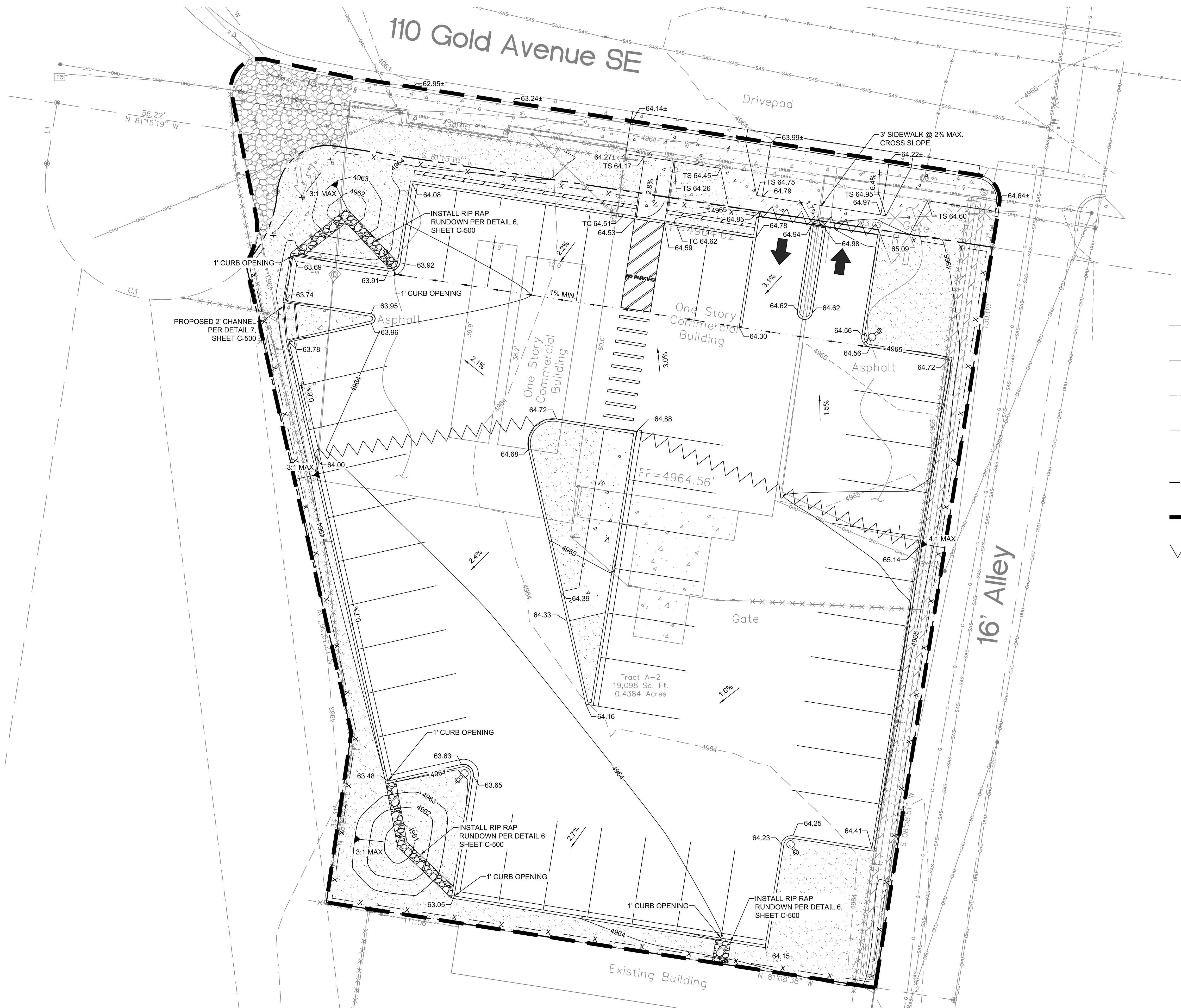
SHEET TITLE:
DRAINAGE PLAN

SUBMITTED FOR:
CONSTRUCTION

SHEET NUMBER:
C-101

NAME: L:\Active Projects\03569 Kassam Legacy 110 Gold\3. DWG\Sheets\03569 Grading Plan.dwg PLOT DATE: Mar 12, 2020 2:11pm

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BENCH MARKS

1. ACS MONUMENT "18-K14" HAVING AN ELEVATION OF 4963.415

GRADING NOTES

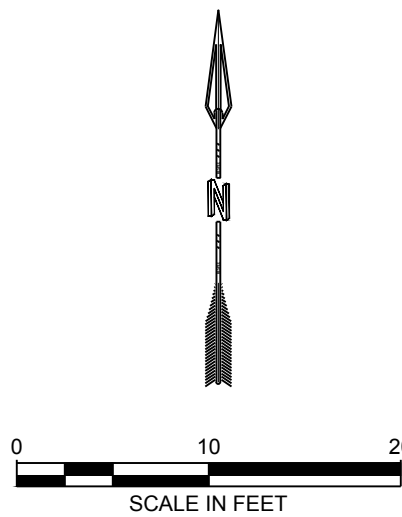
1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
2. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
3. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
4. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
5. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
6. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
7. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
8. ALL DISTURBED AREAS TO BE RE-SEED OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.

SYMBOL LEGEND

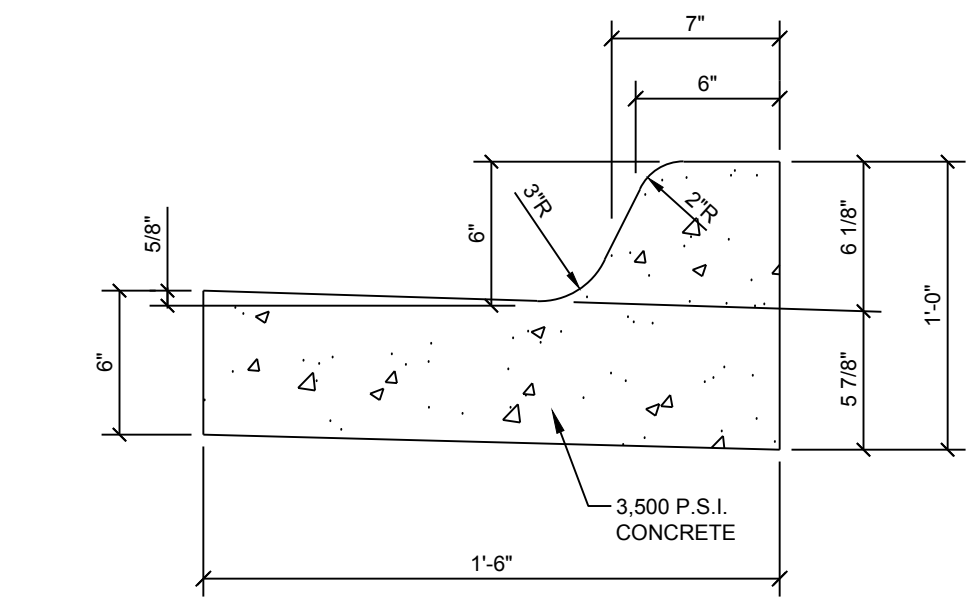
	7290	PROPOSED MAJOR CONTOUR
	7291	PROPOSED MINOR CONTOUR
	7290	EXISTING MAJOR CONTOUR
	7291	EXISTING MINOR CONTOUR
	1.0%	PROPOSED SLOPE ARROW
		PROPERTY LINE
		LIMITS OF GRADING
		GRADE BREAK (HIGH POINT)

SPOT ELEVATION SYMBOLS

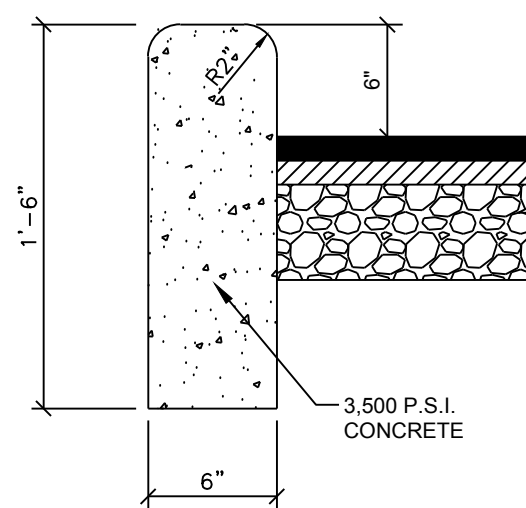
1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- | | | |
|--|----------|--|
| | 90.25 | FLOWLINE ELEVATION |
| | 90.25± | MATCH EXISTING GRADE ELEVATION (APPROXIMATE) |
| | TS 90.25 | TOP OF SIDEWALK ELEVATION |
| | TC 90.25 | TOP OF CURB ELEVATION |



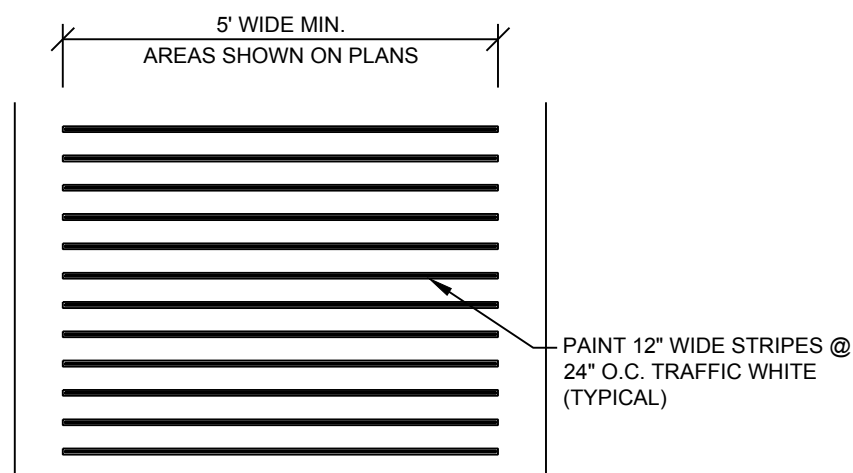
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RESPEC SHELDON E. GREER NEW MEXICO 17154 3/12/2020 REGISTERED PROFESSIONAL ENGINEER			
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SHEET TITLE:	GRADING PLAN		
SUBMITTED FOR:	CONSTRUCTION		
SHEET NUMBER:	C-102		



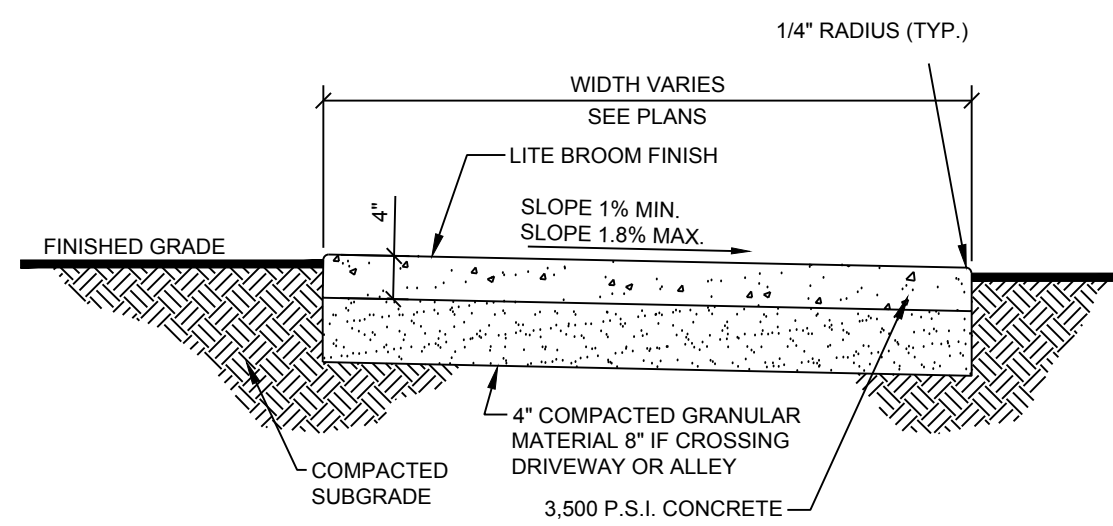
1 CONCRETE CURB & GUTTER
NO SCALE



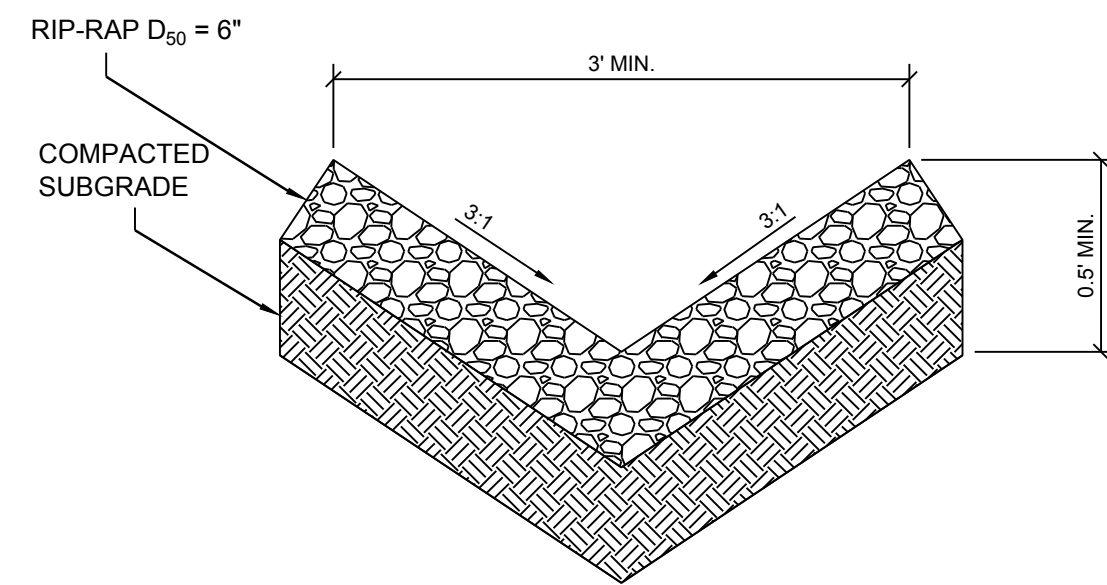
2 STANDARD HEADER CURB
NO SCALE



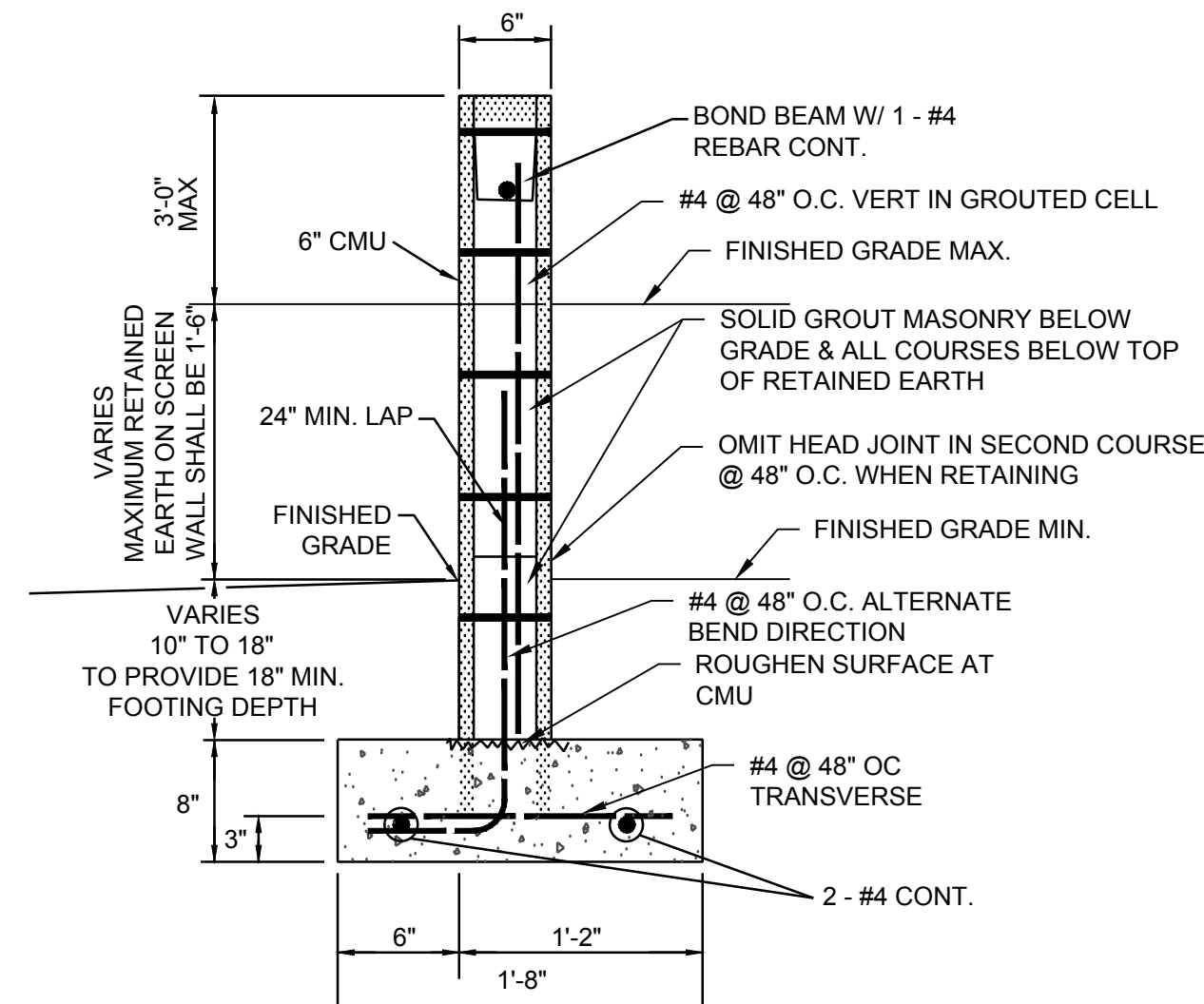
3 CROSSWALK DETAIL
NO SCALE



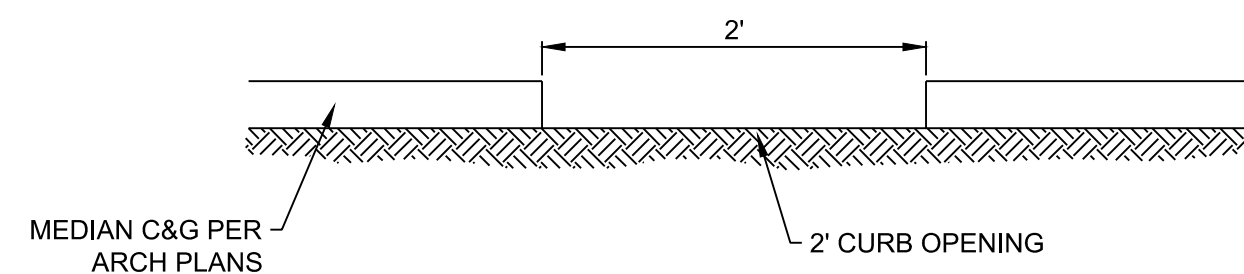
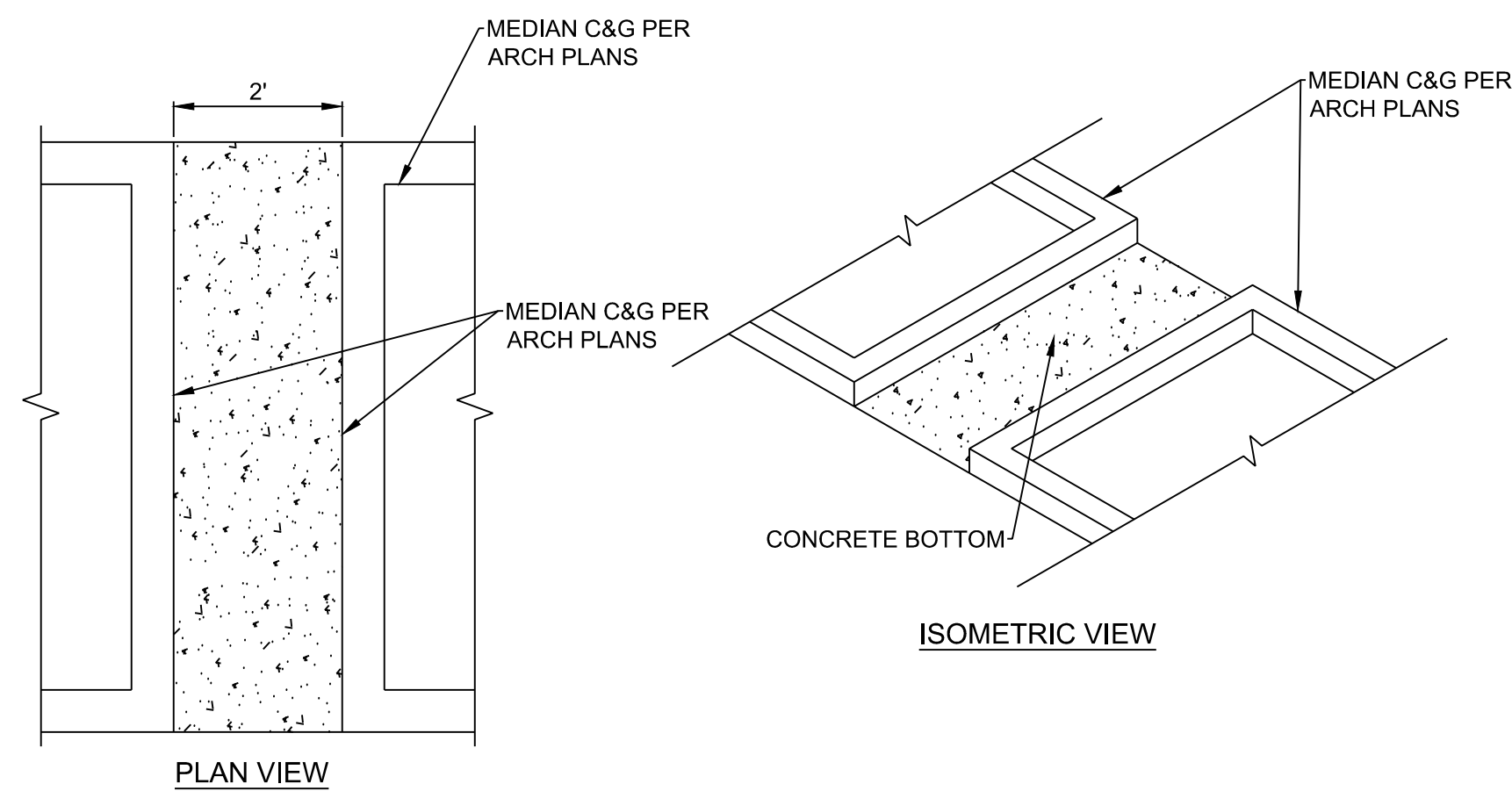
5 SIDEWALK DETAIL
NO SCALE



6 RIP-RAP RUNDOWN DETAIL
NO SCALE



4 LANDSCAPE SCREEN WALL
NO SCALE



7 CONCRETE CHANNEL DETAIL
NO SCALE

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DRAWN: AC	CHECKED: MF	DATE: 3/12/2020	REVISION:
RESPEC 5971 Jefferson Street Suite 101 Albuquerque, NM 87109 Vicki@respec.com 505.253.9718 respec.com 505.253.9718			
STAMP SHELDON E. GREER NEW MEXICO 17154 3/12/20 PROFESSIONAL ENGINEER			
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SHEET TITLE: DETAILS			
SUBMITTED FOR: CONSTRUCTION			
SHEET NUMBER: C-500			

LANDSCAPE LEGEND

SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE HxW	WATER USE	COVER (EA.)	TOTAL
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Trees

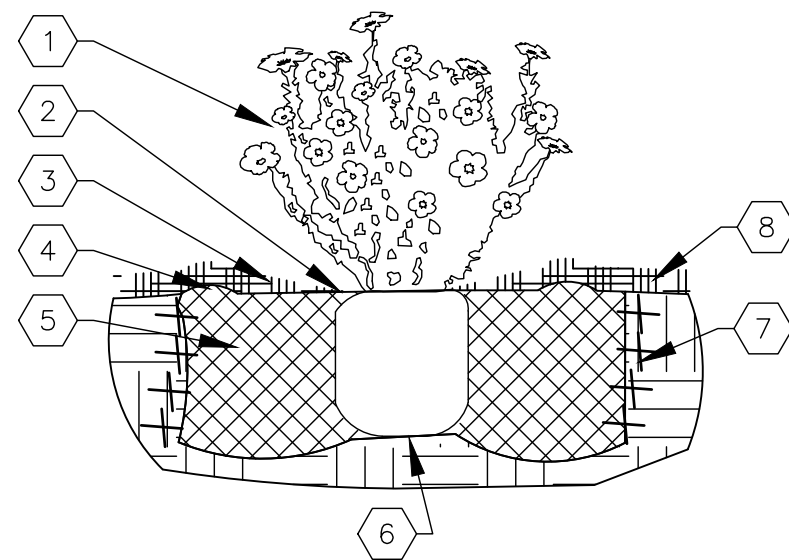
2	2+ Trunks w/ 2"+ Combined Cal.	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	625	1250
1	2"+ Cal	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	1600
2	2"+ Cal	Chinese Pistache <i>Pistachia chinensis</i>	40' x 30'	M	900	1800
1	2+ Trunks w/ 2"+ Combined Cal.	Chaste Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	400
6	Total Trees				Total Tree Coverage:	5050

Shrubs & Groundcovers

4	5 Gal	Curl-Leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15' x 15'	Low+	225	900
4	5 Gal	Scotol <i>Dasyliroa wheeleri</i>	5' x 5'	RW	25	100
9	5 Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RW	36	324
					Total Shrub Coverage:	1324

Other Materials

SYMB.	QTY	TYPE
	5040 SF	Landscape Gravel A with Filter Fabric 3/4" Gray Gravel
	685 SF	Oversize Landscape Gravel / No Filter Fabric 2-4" Angular Cobble/RipRap
		Concrete See site plan
		Asphalt Parking Areas and Driveways See site plan
		Stormwater Management Depression



SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- USE WOOD CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNKS AND STEMS.
- 2" HIGH X 8" WIDE BERM.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL.
- SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
- MULCH - SEE PLANTING PLAN 3" DEPTH UNLESS OTHERWISE NOTED.

01 SHRUB PLANTING

NTS

SHRUB PLANTING DETAIL

TREE PLANTING KEYED NOTES

- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
- SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND BELOW DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- 4" HIGH X 16" WIDE COBBLE BERM AT DRIP LINE.
- MULCH - SEE PLANTING PLAN.

02 TREE PLANTING

NTS

TREE PLANTING DETAIL

LANDSCAPE CALCULATIONS

ZONING NR-LM: LIGHT MANUFACTURING
APPLICABLE REGULATION(S) IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994

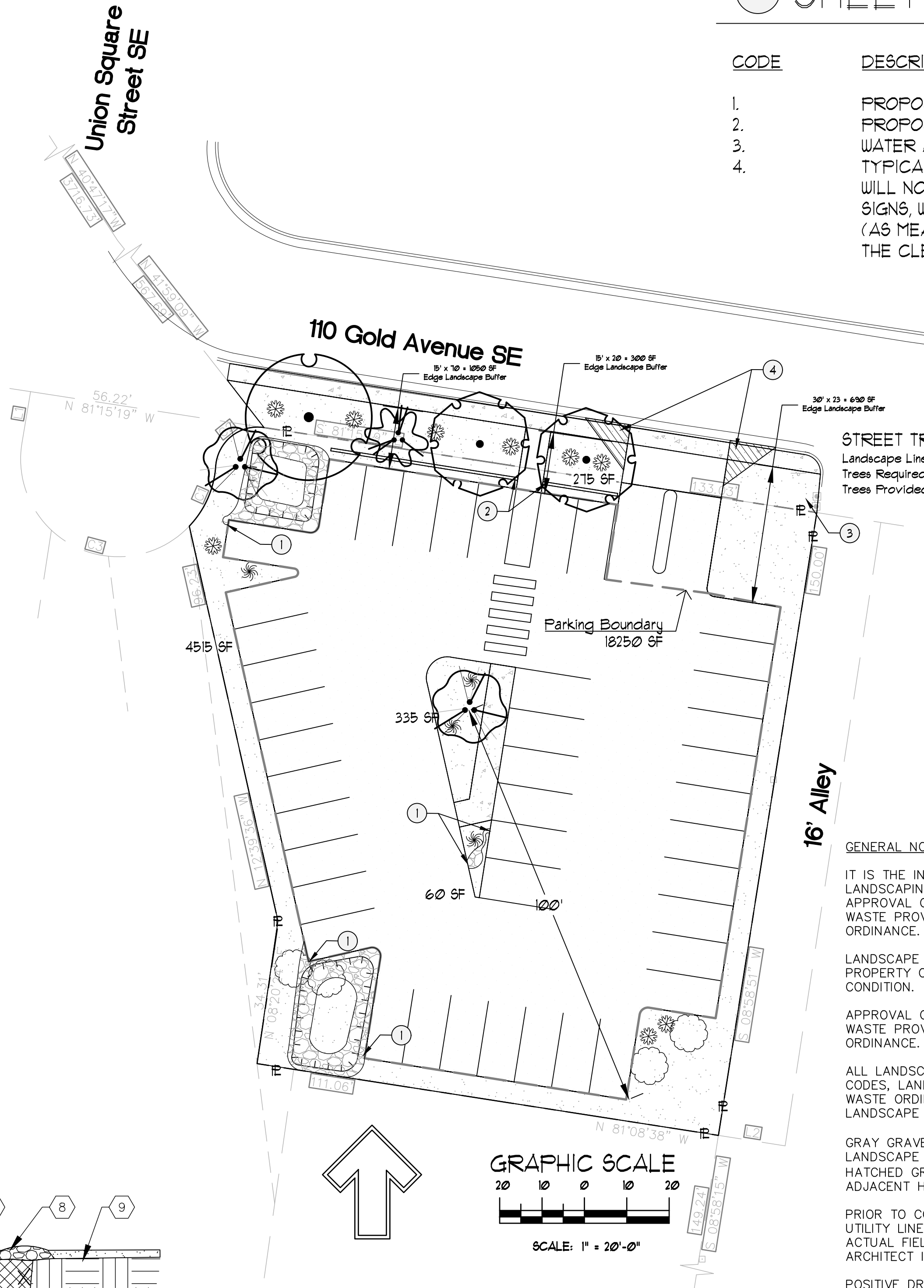
TOTAL LOT AREA (ACRES)	0.44	GROUNDCOVER (% - REQ)	18.15
TOTAL LOT AREA (SF)	19166	GROUNDCOVER (SF - REQ)	1073
BUILDING AREA (SF)	0	GROUNDCOVER (SF - PROV.)	1324
NET LOT AREA (SF)	19166		
		PARKING LOT AREA (SF)	14235
REQUIRED LANDSCAPE (%)	15	REQ. PARKING LANDSCAPE 10% (SF)	1424
REQUIRED LANDSCAPE (SF)	2875	PROV. PARKING LANDSCAPE (SF)	5125
LANDSCAPE PROVIDED (SF)	5125	REQ. PARKING TREES (1/10 SPOTS)	5
		PROV. PARKING TREES	5
VEGETATIVE COVER (% - REQ)	15.0		
VEGETATIVE COVER (SF - REQ)	4294	COOL SEASON GRASS (SF)	0
VEGETATIVE COVER (SF - PROV.)	6314	COOL SEASON GRASS (% OF LANDSCAPE)	0.0

SHEET KEYED NOTES

CODE

DESCRIPTION

- PROPOSED CURB OPENING. SEE CIVIL/SITE PLAN.
- PROPOSED CMU WALL. SEE CIVIL/SITE PLAN.
- WATER AND ELECTRICAL FOR IRRIGATION. SEE CIVIL/UTILITY PLAN.
- TYPICAL 11'x11' CLEAR SIGHT TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



STREET TREES

Landscape Linear Frontage : 105'
Trees Required : 5
Trees Provided : 5

GENERAL NOTES

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF RIO RANCHO ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED .5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

Sundowner - Parking Lot
110 Gold Ave SE
Albuquerque, NM

Landscape Plan

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY
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REVISION
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DATE
07/20/2020

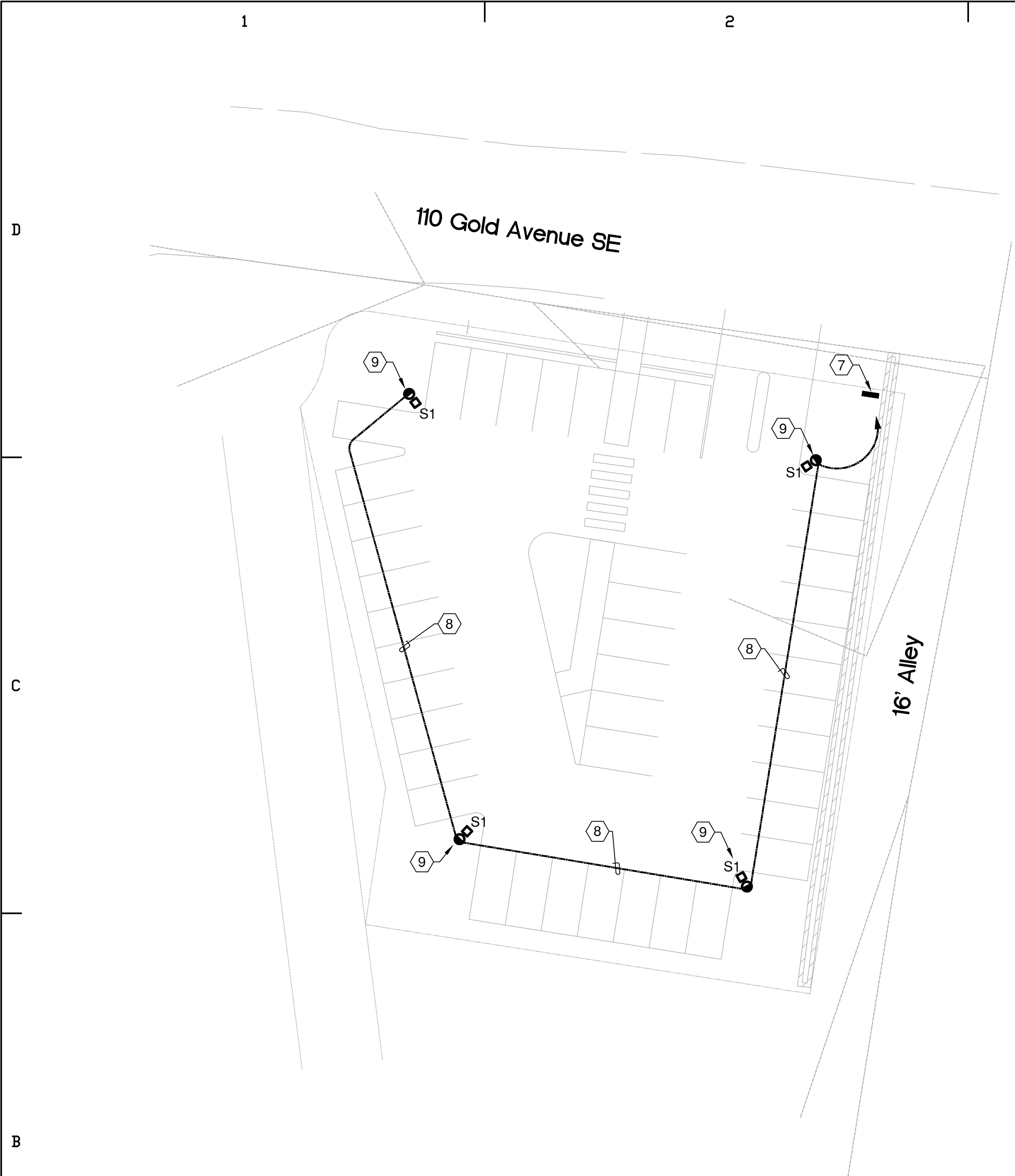
SHEET #

LS-101

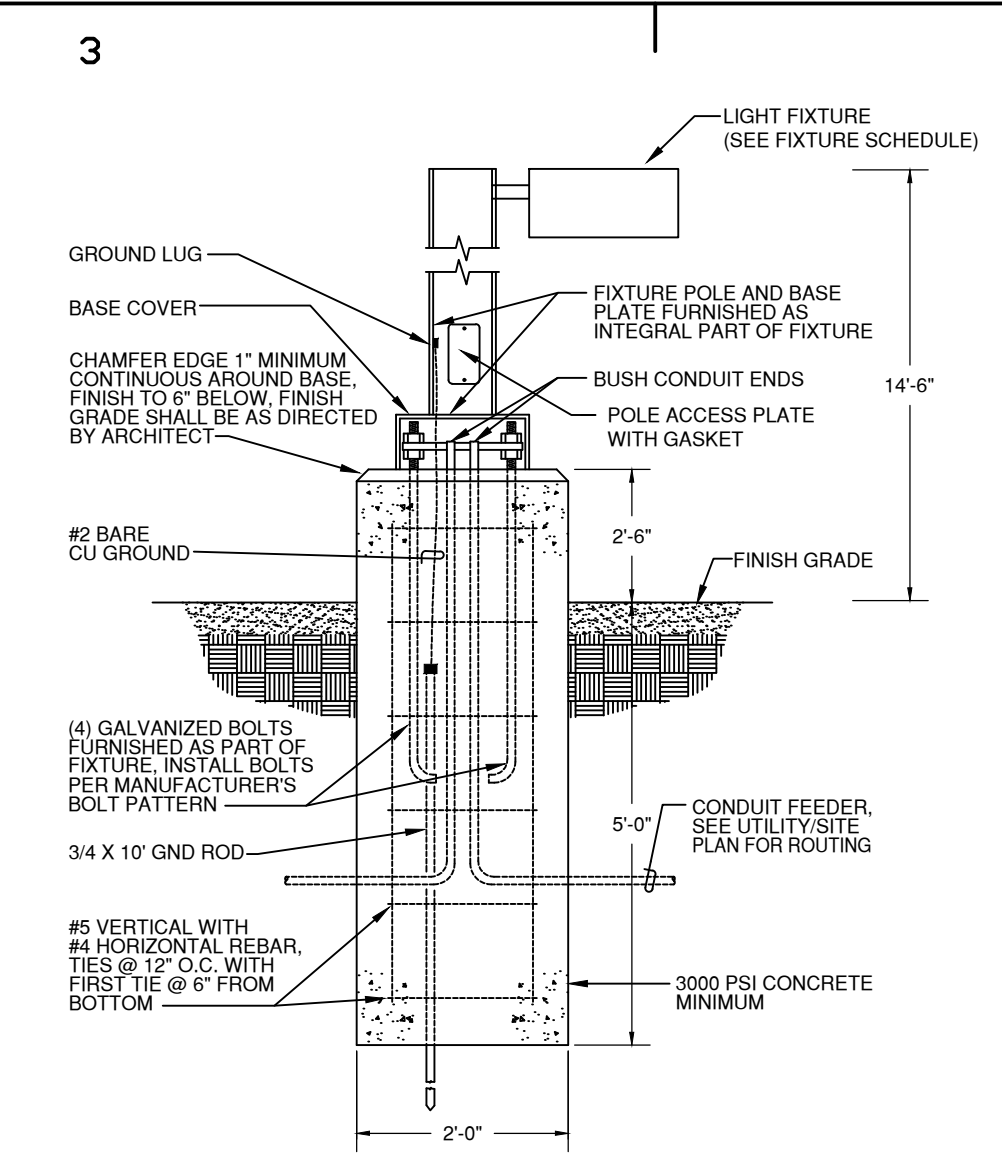
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CRAIG SOLETHIER
67
REGISTERED
LANDSCAPE ARCHITECT
July 20, 2020
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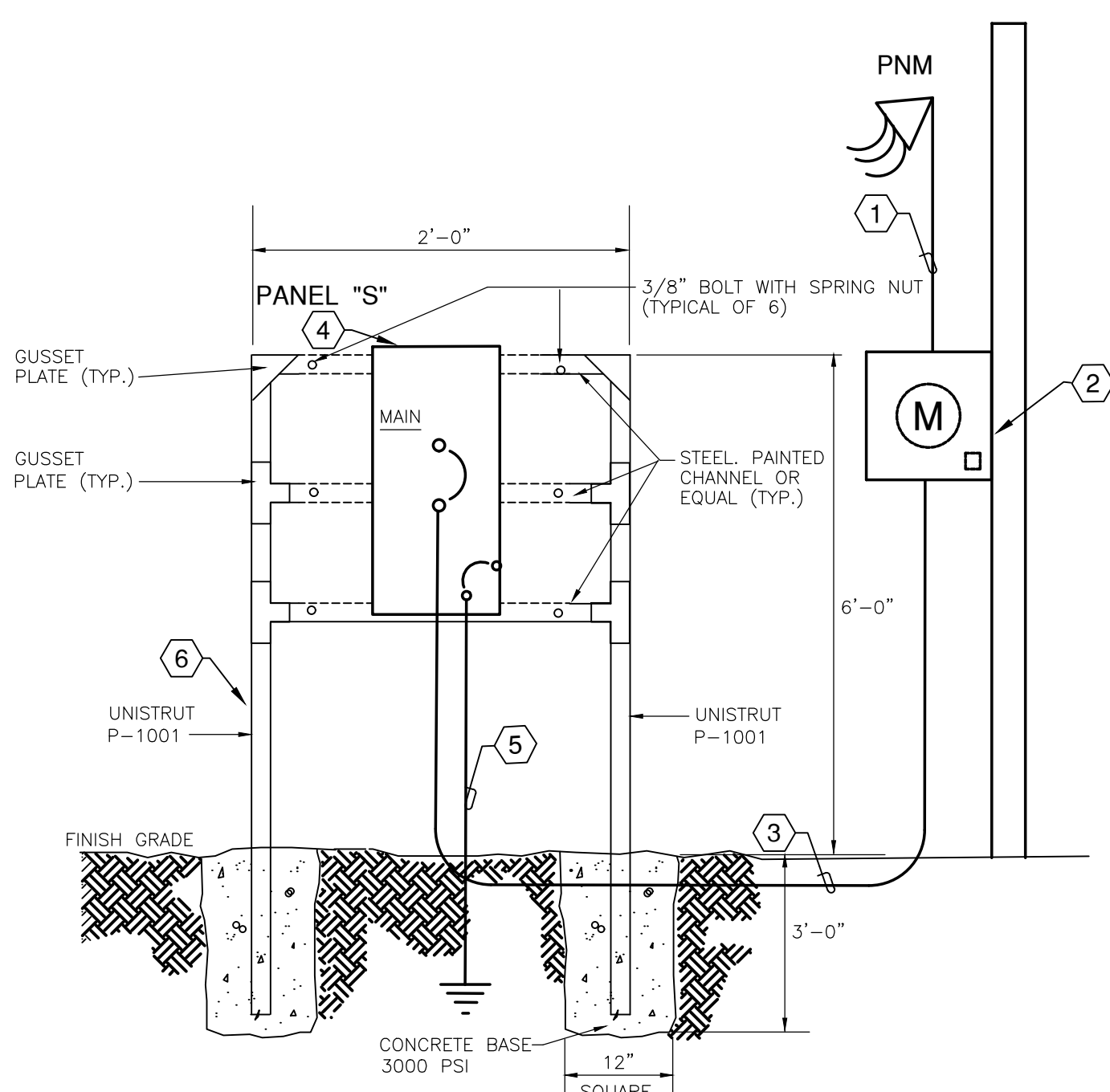
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A1 SITE LIGHTING PLAN
SCALE: 1" = 20'-0"



POLE BASE DETAIL FOR PARKING LUMINAIRES
NO SCALE



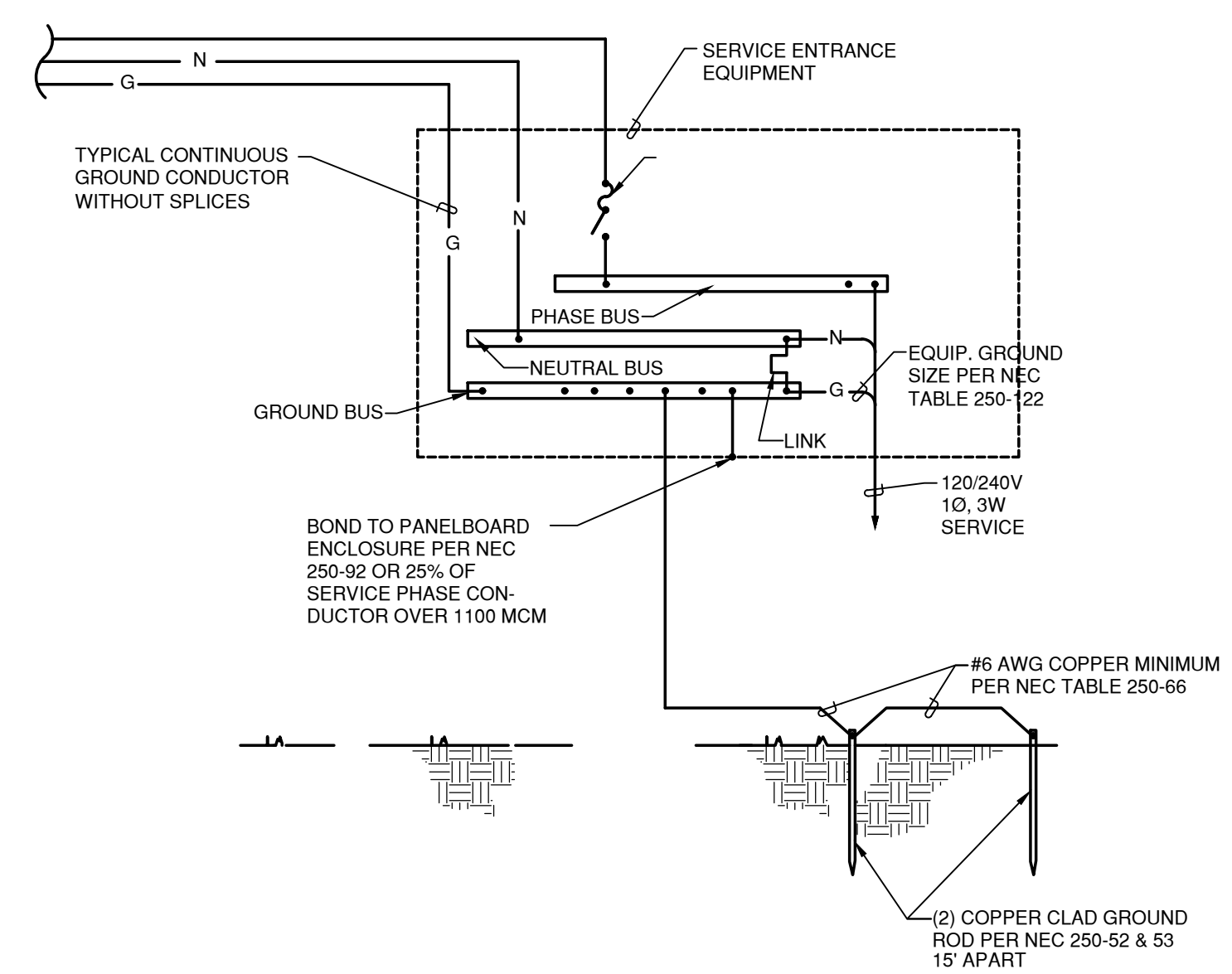
POWER RISER DIAGRAM
SCALE: NONE

GENERAL SHEET NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL CUT, TRENCHING, BACKFILL AND COMPACTION OF ELECTRICAL SYSTEM. PRIOR TO INSTALLING LIGHTING SYSTEM CABLE, THE CONTRACTOR SHALL STAKE ALL OTHER SITE UTILITIES INCLUDING SEWER, WATER, GAS, ETC.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH THE STATE OF NEW MEXICO "DARK SKIES ENFORCEMENT ACT" AND SHALL ALSO COMPLY WITH THE "CITY OF ALBUQUERQUE LIGHTING ORDINANCES."

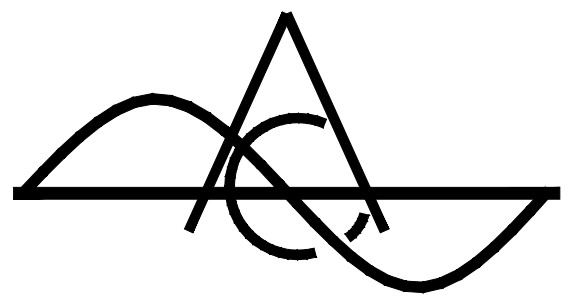
SHEET KEYNOTES

- PNM OVERHEAD PERMANENT SINGLE PHASE SERVICE POLE PER PNM DWG # DS-4-8.0.
- 120/240V 125/100A PERMANENT SINGLE-PHASE METER SOCKET PER PNM DWG # MS-2-2.0.
- UNDERGROUND SECONDARY SERVICE ENTRANCE CONDUCTORS, 3#2 THHN/THWN (CU) IN 1.5" C.
- PANEL "S", RATED 120/240V, 1PH, 3W, 100A ML, 100A/2P MCB. REFER TO THE PANEL SCHEDULE THIS SHEET.
- 1#2 BSD (CU) IN 1" C TO GROUND RODS. REFER TO THE GROUNDING DETAIL THIS SHEET.
- RACK. REFER TO THE POWER RISER DIAGRAM THIS SHEET FOR DETAILS.
- NEW 100 AMP, 120/240V, 1 PHASE SERVICE LOCATION. REFER TO THE POWER RISER DIAGRAM THIS SHEET.
- LIGHTING BRANCHH CIRCUIT, 2#10 THHN/THWN (CU) + 1#10 THHN/THWN (CU) GR IN .75" C AND ONE (1) SPARE 1" C FOR FUTURE POLE MOUNTED CCTV CAMERA LOCATIONS.
- POLE LIGHT, LUMARK #PRV-C15-D-UNV-T4-BZ-HSS, ON 20' POLE, WITH TYPE 4 DISTRIBUTION, 120V, 52 WATTS. INSTALL ON CONCRETE BASE. REFER TO THE DETAIL THIS SHEET.



TYPICAL BUS GROUNDING DETAIL
SCALE: N.T.S.

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CONSULTANT

GOLD PARKING LOT LIGHTING

ALBUQUERQUE, NEW MEXICO

MARK DATE DESCRIPTION
ISSUE: CONSTRUCTION DOCUMENTS

DATE: 02-25-2020
PROJECT NO: 20-019
CAD DWG FILE:
DRAWN BY: ACE
CHECKED BY: FJT

SHEET TITLE:

SITE LIGHTING PLAN

ES-101