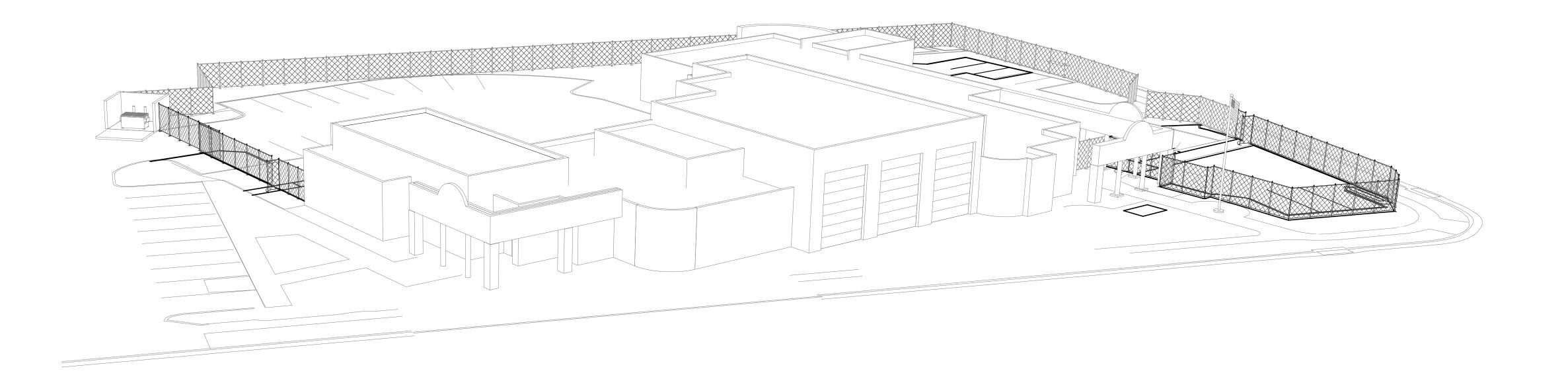
ADMINISTRATI	VE AMENDMENT
FILE #P	ROJECT #
APPROVED BY	DATE

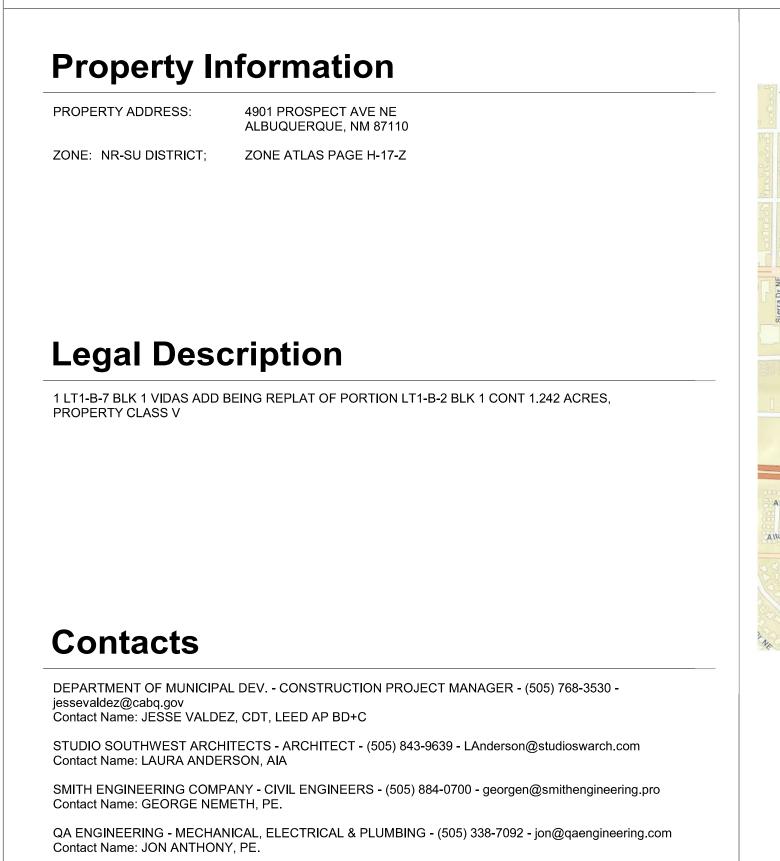






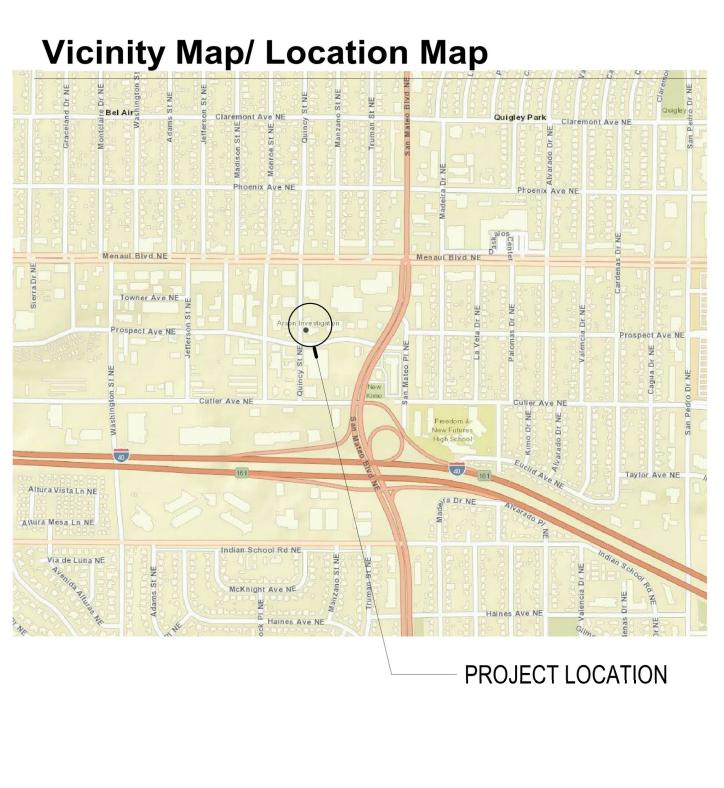
# CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT- Managing Department

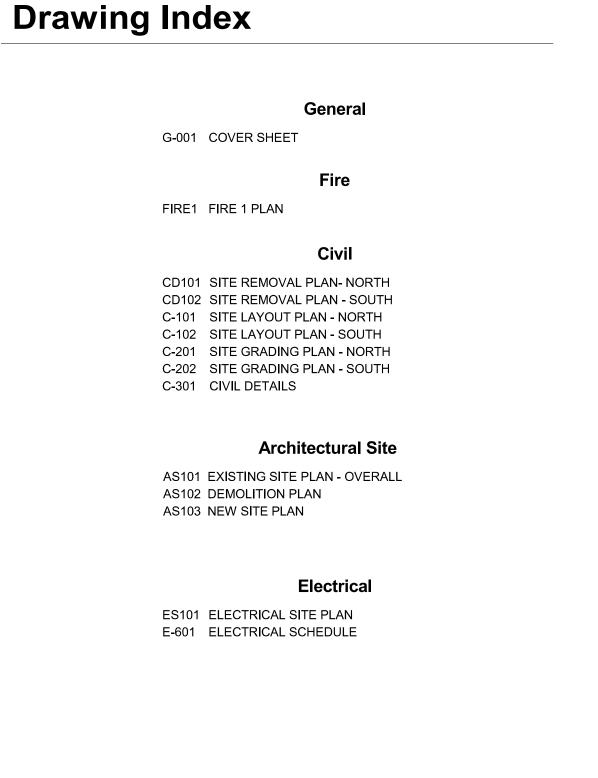
## MAY 21, 2020 ALBUQUERQUE FIRE DEPARTMENT- Owner

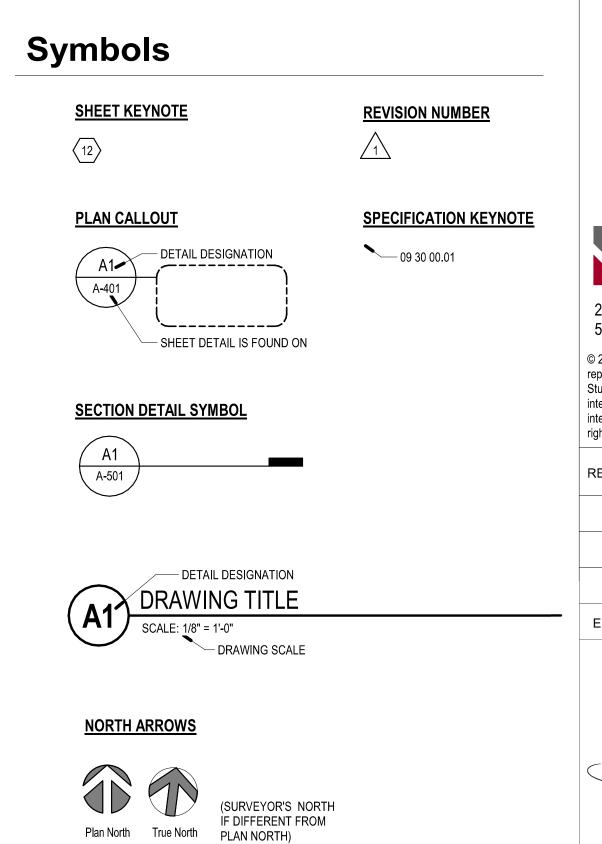


BALIS & COMPANY - COST ANALYST - (505) 883-7990 - jon@balisnm.com

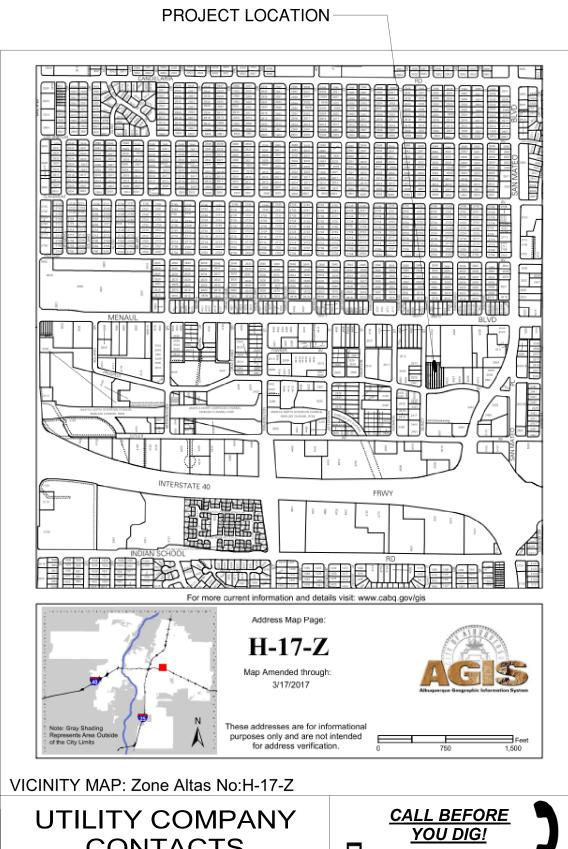
Contact Name: JON BALIS, PMP.











Zone Map No. DWG.

H-17-Z **G-001** 1 of 14

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RECORD DRAWINGS DATE:

PROPERTY LINE EXISTING 30'-0" ACCESS EASEMENT **ENTRANCE** REMOTE ACCESS SECURITY GATE 10'-0" UTILITY EASEMENT (EXISTING) /EXISTING/ ARSON UNIT BUILDING QUINCY /EXISTING/ ÉFIRE STATION 13 EXISTING FIRE HYDRANT -WATER MAIN 80GPM PROSPECT AVE NE EXISTING FIRE HYDRANT —

SITE PARKING COUNT

Total Parking Spaces Provided = 40

Accessible Parking Spaces Required = 2 (FROM TABLE BELOW) Accessible Van Parking Spaces Required = 1

Accessible Parking Spaces Provided = 2

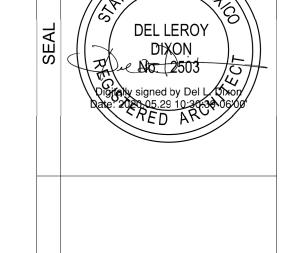
(All Accessible Parking Spaces meet Accessible Van Parking requirement. (1) stall provided with Van Accessible Parking Signs.)

Table 1106.1 Accessible Parking Spaces						
Total Number of Parking Spaces Provided in Parking Facility	Minimum Number of Required Accessible Parking Spaces					
1 to 25	1					
26 to 50	2					
51 to 75	3					
76 to 100	4					
101 to 150	5					
151 to 200	6					
201 to 300	7					
301 to 400	8					
401 to 500	9					
501 to 1,000	2% to total					
1,001 and over	20, plus one for each 100, or fraction thereof, over 1,000					

(2015 INTERNATIONAL BUILDING CODE)

1106.5 Van Spaces. For every six or fraction of six accessible parking spaces, at least one shall be a van-accessible parking space.

GENERAL NOTES FIRE STATION 13 4901 PROSPECT AVE NE ALBUQUERQUE, NM 87110 ARSON UNIT BUILDING 3,859 SQ. FT. OCCUPANCY GROUP: B - office TYPE VN CONSTRUCITON NOT SPRINKLED 15'-6' BUILDING HEIGHT FIRE STATION BUILDING 9,504 SQ. FT. OCCUPANCY GROUP - B fire station TYPE 1b CONSTRUCITON NOT SPRINKLED 21'-4' BUILDING HEIGHT 2 EXISTING FIRE HYDRANTS NEAR SITE ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LES<u>S THAN 10% AND</u> A LOAD CAPACITY OF 75,000 POUNDS. LEGEND **BUILDING FOOTPRINT** PROPERTY LINE × × × × × × × × × × × EXISTING FENCE/GATE TO REMAIN × × × × × × × × × × NEW FENCE/GATE \_\_\_ \_ EASEMENT LINE ₩ATER VALVE EXISTING FIRE HYDRANT



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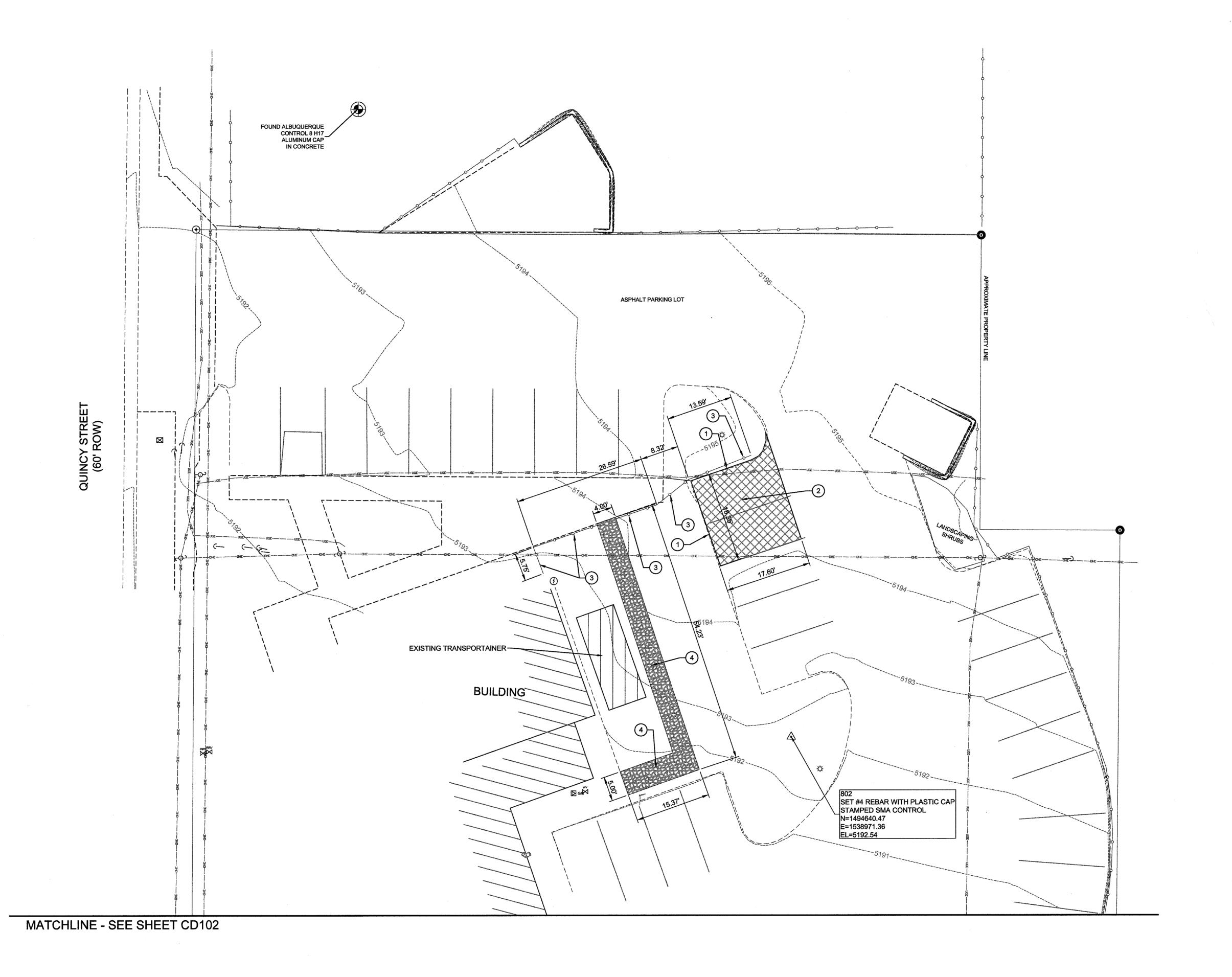
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CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ABQ FIRE STATION 13

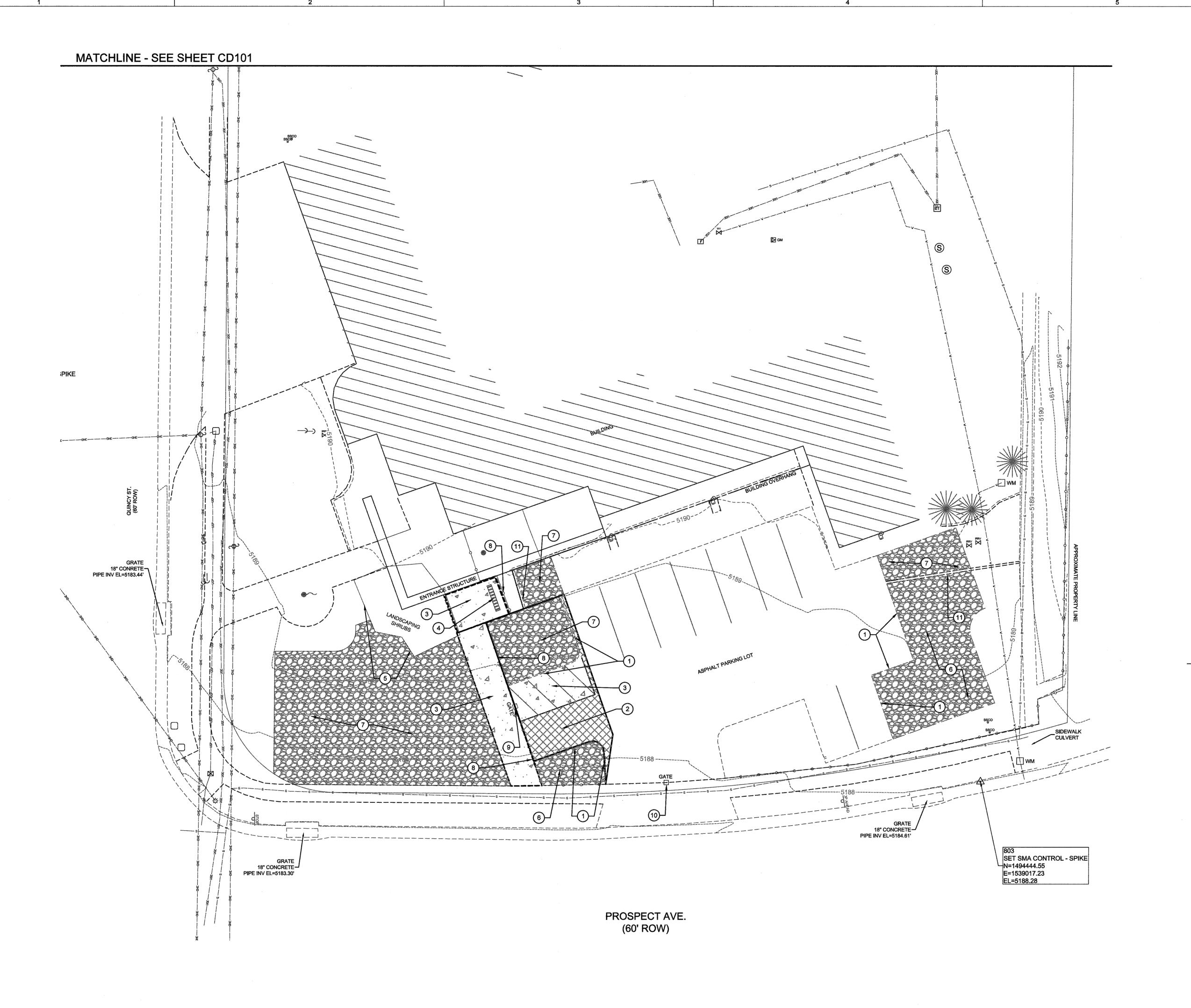
DRAWING TITLE: FIRE 1 PLAN Mo./Day/Yr. City Engineer Approval Mo./Day/Yr. Design Review Committee City Project No. P7215.01 NTP#13 Zone Map No. DWG. FIRE1 2 of 14 Permit Set

NEW SITE PLAN

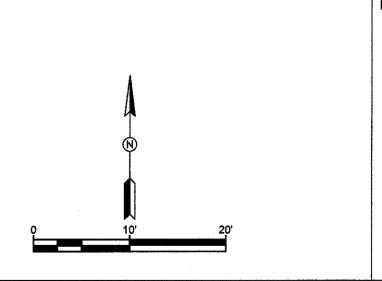
1" = 20'-0"



**GENERAL NOTES** A. PROPERLY DISPOSE OF ALL REMOVED MATERIALS AT AN OFF-SITE LOCATION. B. REMOVE CONCRETE SIDEWALK TO EXISTING JOINT. # REMOVAL NOTES 1. REMOVE AND DISPOSE OF EXISTING CURB. 2. REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT. 3. REMOVE AND DISPOSE OF EXISTING CHAINLINK FENCE. 4. REMOVE AND SALVAGE EXISTING GRAVEL. LEGEND ---- PAVEMENT EDGE ========= CONCRETE WALL \_\_\_\_ CURB EDGE OF CONCRETE BUILDING OVERHANG PAVEMENT STRIPING EXITING FENCE PATTERN LEGEND ASPHALT REMOVAL GRAVEL/ROCK REMOVAL 2201 San Pedro Dr NE Building 4, Suite 200 Albuquerque, NM 87110 CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT PROJECT TITLE: **ABQ FIRE STATION 13** DRAWING TITLE: SITE REMOVAL PLAN- NORTH Mo./Day/Yr. Mo./Day/Yr. Design Review Committee City Engineer Approval City Project No. P7215.01 NTP#13 Zone Map No. H-17-Z CD101 Sheet 3 of 14



## **GENERAL NOTES** A. PROPERLY DISPOSE OF ALL REMOVED MATERIALS AT AN OFF-SITE B. REMOVE CONCRETE SIDEWALK TO EXISTING JOINT. # REMOVAL NOTES 1. REMOVE AND DISPOSE EXISTING CONCRETE HEADER CURB. 2. REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT. 3. REMOVE AND DISPOSE EXISTING 4" THICK CONCRETE SIDEWALK. 4. REMOVE AND RELOCATE EXISTING BIKE RACK. SEE SHEET C-102 FOR NEW LOCATION. 5. REMOVE AND DISPOSE EXISTING LANDSCAPE SHRUB. REMOVE AND SALVAGE EXISTING ROCK. 7. REMOVE AND SALVAGE EXISTING GRAVEL. 8. REMOVE AND DISPOSE OF EXISTING CHAINLINK FENCE AND APPURTENANCES. REMOVE AND DISPOSE OF EXISTING GATE. 10. EXISTING SWING GATE TO REMAIN. 11. REMOVE AND DISPOSE EXISTING CUT-OFF WALL. LEGEND **BUILDING OUTLINE** PAVEMENT EDGE ========= CONCRETE WALL \_\_\_\_ CURB ---- EDGE OF CONCRETE BUILDING OVERHANG EXISTING FENCE \_\_\_\_\_ EXISTING GATE PATTERN LEGEND





PROJECT TITLE:

**BUILDING OUTLINE** 

ASPHALT REMOVAL

SIDEWALK REMOVAL

GRAVEL/ROCK REMOVAL

1	5	ı by:	Checked by:
_	J.P.	<u>;</u>	Drawn By:
1	G.N.	d By:	Designed By:
DESIGN			
REVISIONS			
REMAR		Date	No.
-			

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

ABQ FIRE STATION 13

DRAWING TITLE:

SITE REMOVAL PLAN - SOUTH

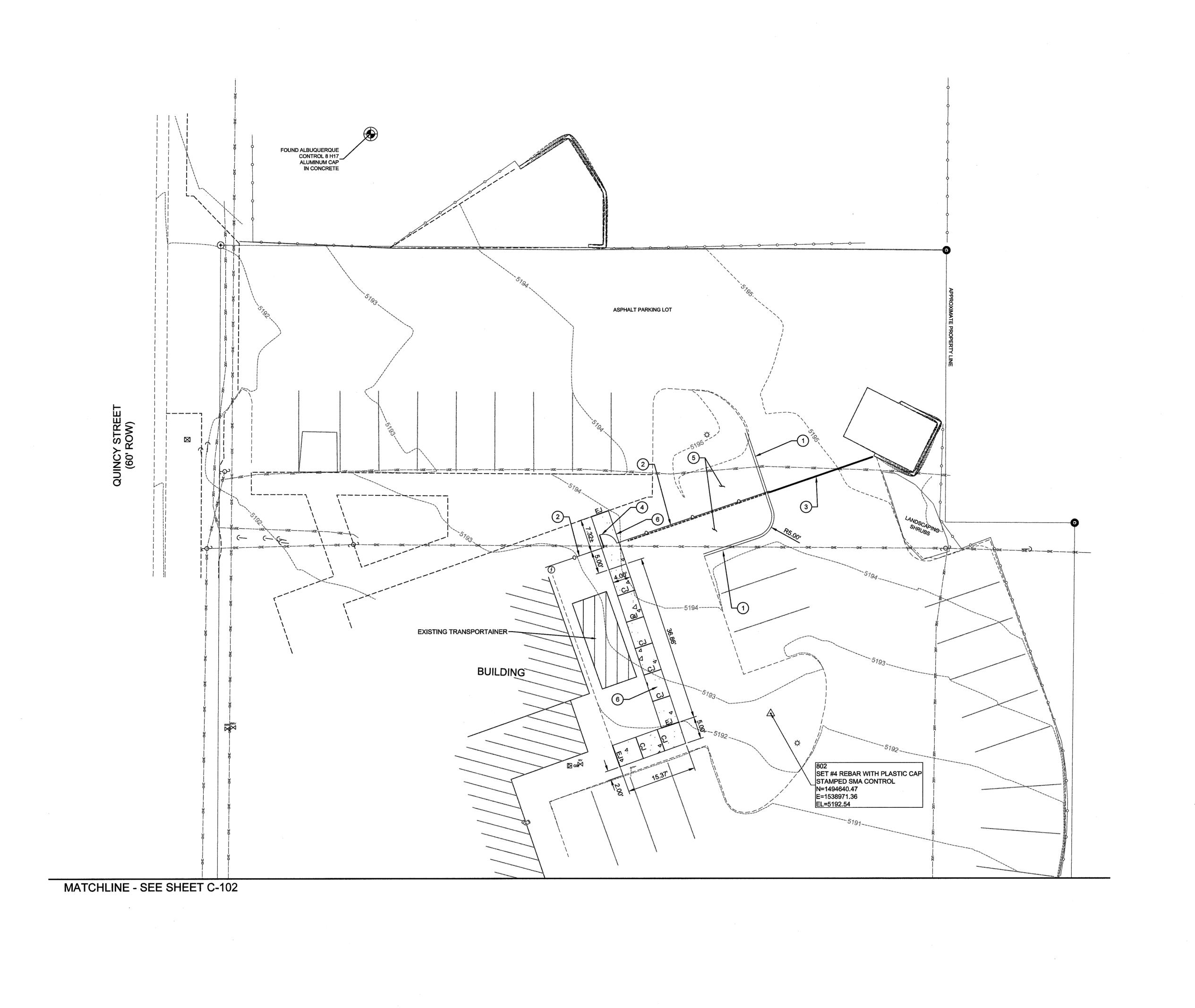
Design Review Committee

City Engineer Approval

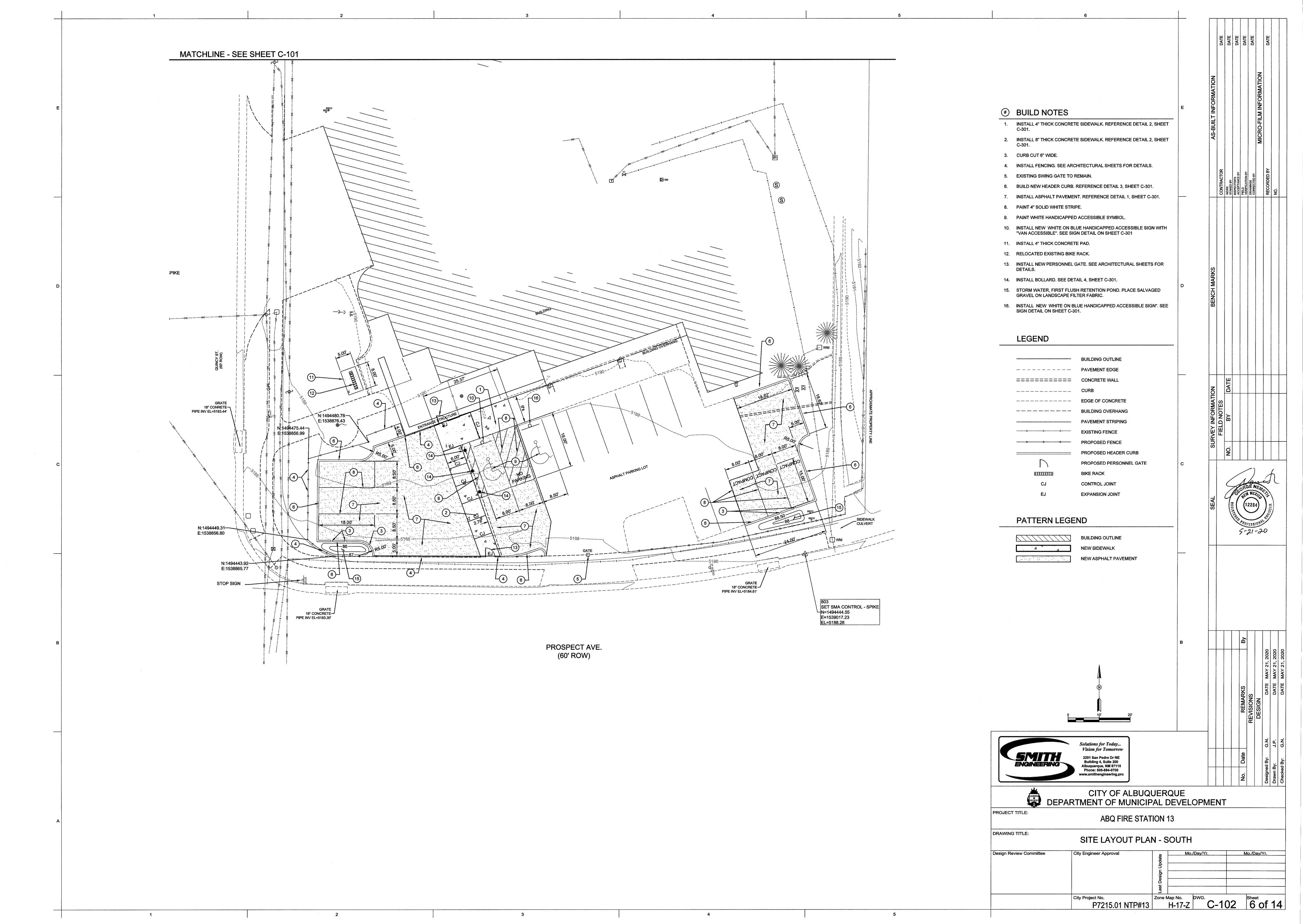
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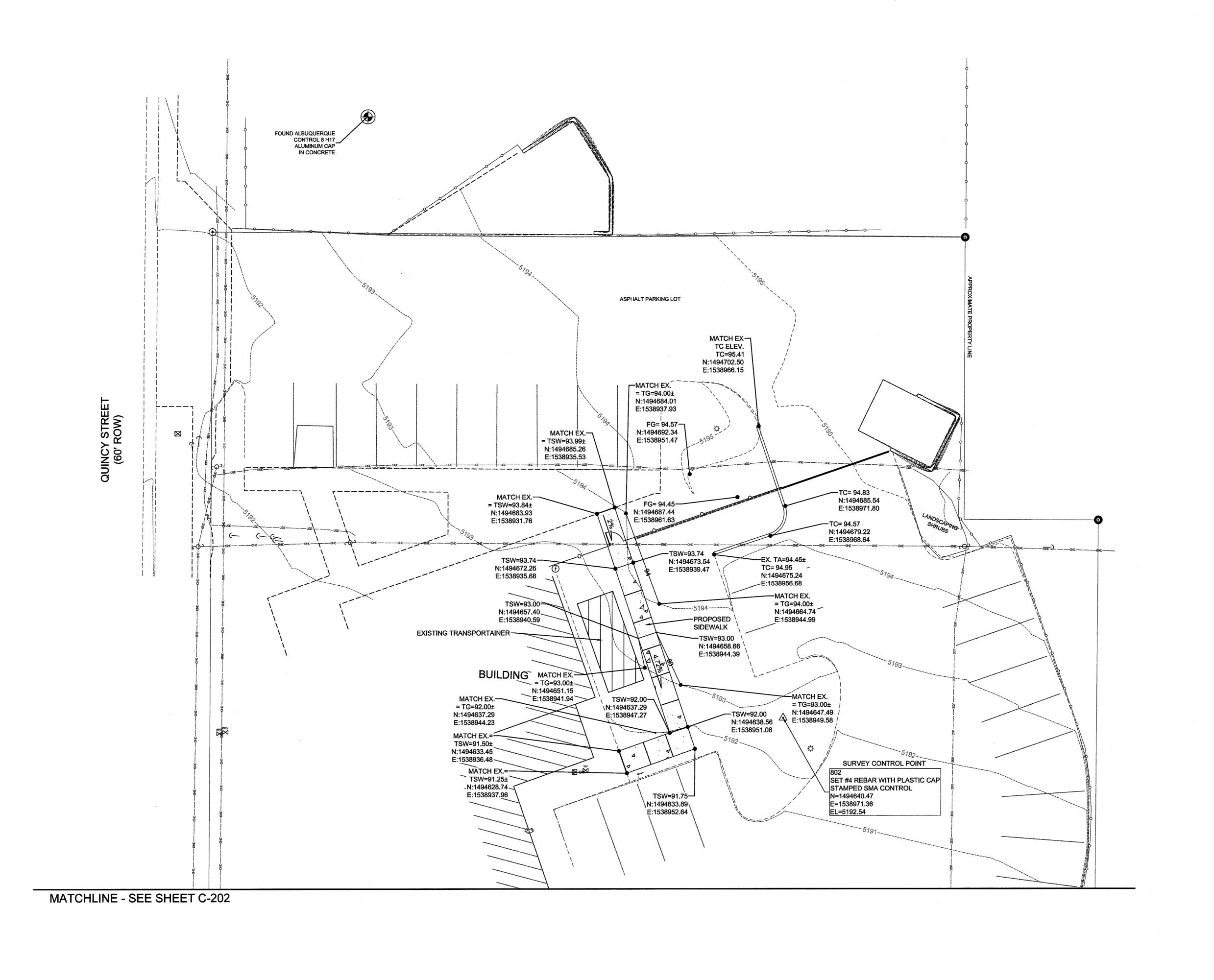
Design Review Committee

ew Committee	City Engineer Approval	date	Mo.	./Day/Y	r		Mo./Day/Yr.	
		esign Upd						
		Last Des						
	City Project No. P7215.01 NTP#13	Zone N	Мар No. <b>H-17-Z</b>	DWG.	CD1	02	Sheet 4 of	14



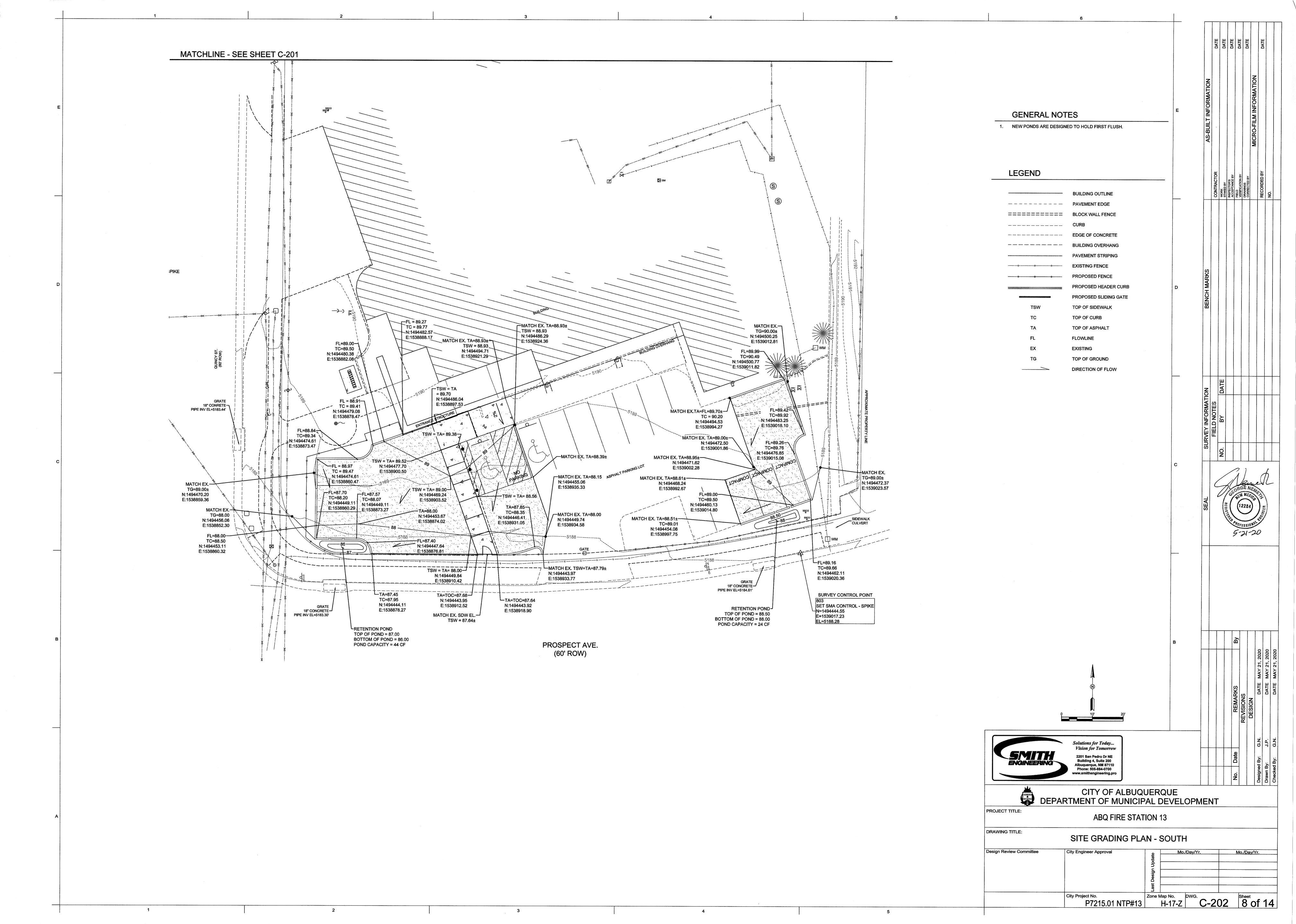
DATE
DATE
DATE
DATE # BUILD NOTES BUILD NEW CONCRETE HEADER CURB, REFERENCE DETAIL 3, SHEET C-301. 2. INSTALL FENCING. SEE ARCHITECTURAL SHEETS FOR DETAILS. NEW 24" WIDE SLIDING GATE. SEE ARCHITECTURAL SHEET FOR DETAILS. INSTALL NEW PERSONNEL GATE. SEE ARCHITECTURAL SHEETS FOR DETAILS PLACE SALVAGED GRAVEL ON LANDSCAPE FILTER FABRIC. INSTALL 4" THICK CONCRETE SIDEWALK. REFERENCE DETAIL 2, SHEET C-301. LEGEND BUILDING OUTLINE ---- PAVEMENT EDGE ======== CONCRETE WALL ----- CURB EDGE OF CONCRETE BUILDING OVERHANG PAVEMENT STRIPING PROPOSED FENCE PROPOSED HEADER CURB PROPOSED SLIDING GATE RADIUS OF CURVE CONTROL JOINT **EXPANSION JOINT** 2201 San Pedro Dr NE Building 4, Suite 200 Albuquerque, NM 87110 CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT PROJECT TITLE: **ABQ FIRE STATION 13** DRAWING TITLE: SITE LAYOUT PLAN - NORTH Mo./Day/Yr. City Engineer Approval Mo./Day/Yr. Design Review Committee City Project No. P7215.01 NTP#13 Zone Map No. H-17-Z C-101 Sheet 5 of 14

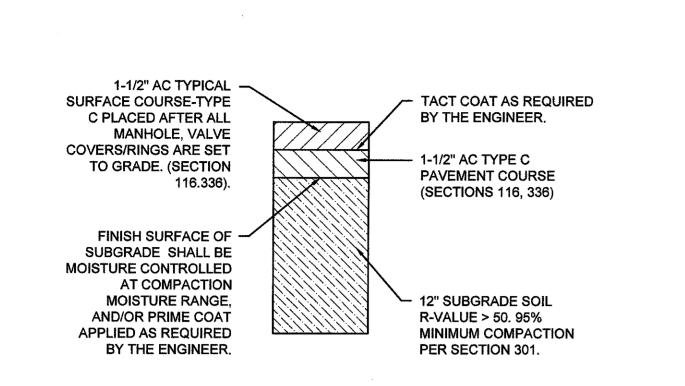




2

**LEGEND BUILDING OUTLINE** ---- PAVEMENT EDGE ======== BLOCK WALL FENCE \_\_\_\_ CURB ---- EDGE OF CONCRETE BUILDING OVERHANG PAVEMENT STRIPING EXISTING FENCE PROPOSED FENCE PROPOSED HEADER CURB PROPOSED SLIDING GATE TOP OF SIDEWALK TOP OF CURB TOP OF ASPHALT FLOWLINE **EXISTING** TOP OF GROUND DIRECTION OF FLOW Vision for Tomorrow 2201 San Pedro Dr NE Building 4, Suite 200 Albuquerque, NM 87110 Phone: 505-884-0700 CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT PROJECT TITLE: **ABQ FIRE STATION 13** DRAWING TITLE: SITE GRADING PLAN - NORTH Mo./Day/Yr. Design Review Committee Mo./Day/Yr. City Project No. P7215.01 NTP#13 Zone Map No. H-17-Z C-201 Sheet 7 of 14





1 TYPICAL PAVEMENT SECTION
C-102 SCALE: NTS

SCHEDULE 40 PIPE
(4½" O.D.)

FILL WITH CONCRETE

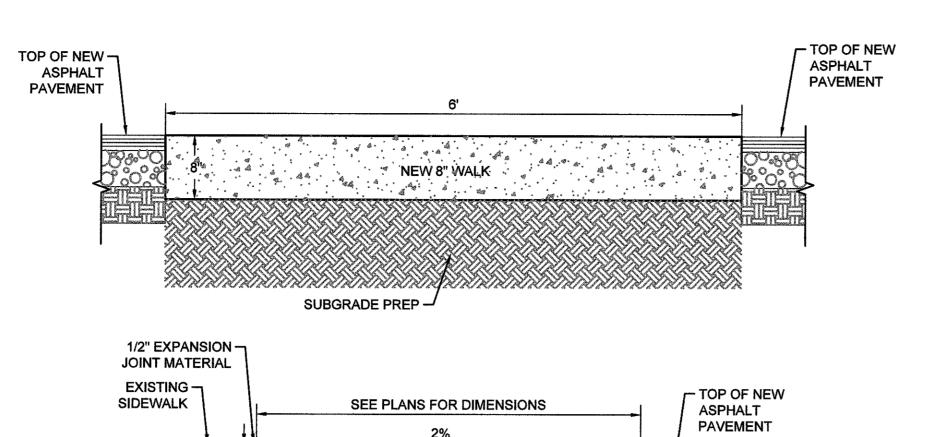
CONCRETE

NIM.

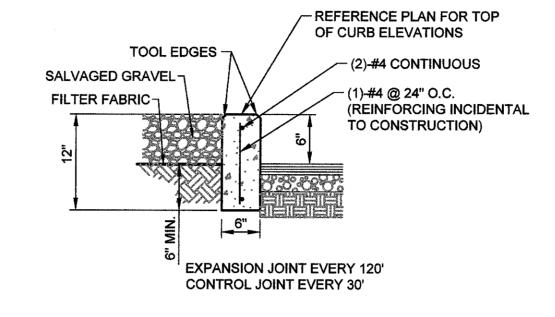
N

PRIME ENTIRE POST W/2 COATS EXTERIOR ENAMEL PRIMER.
PAINT EXPOSED SURFACE W/2 COATS TRAFFIC YELLOW ENAMEL.

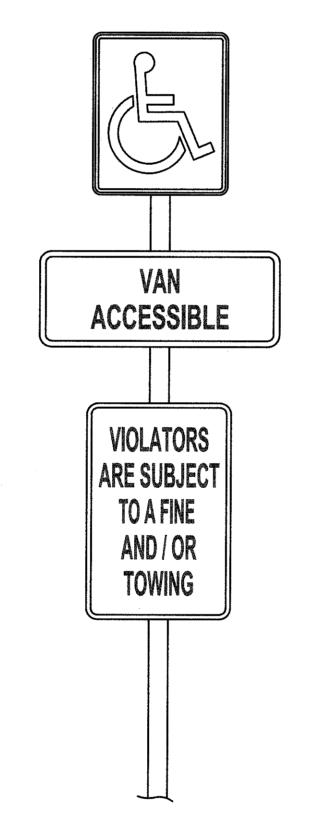
4 BOLLARD DETAIL
C-102 SCALE: NTS



NEW 4" WALK

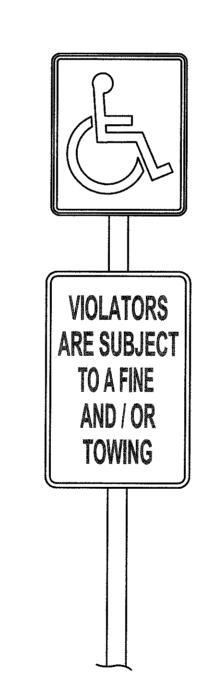


3 HEADER CURB
C-102 SCALE: NTS

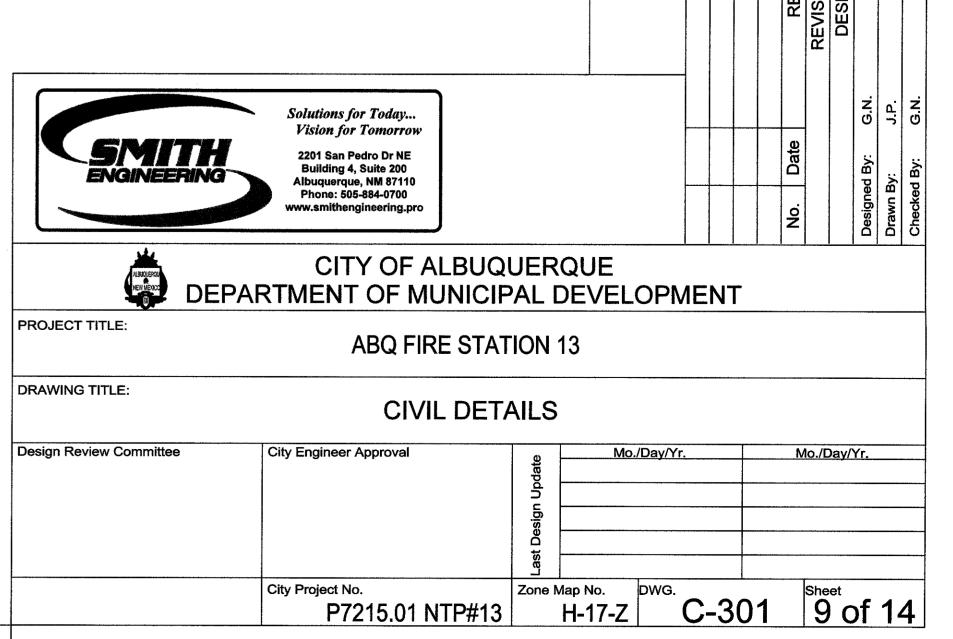


5 HANDICAP PARKING SIGN DETAIL - VAN ACCESSIBLE

C-102 SCALE: NTS



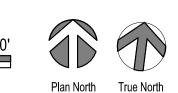
6 HANDICAP PARKING SIGN DETAIL
C-102 SCALE: NTS





PROSPECT AVE NE

SITE PLAN - EXISTING AND FOR REFERENCE ONLY



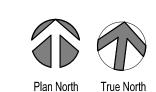
					DATE	DATE	DATE	DATE	DATE		DATE
GENERAL NOTES  A. FIELD VERIFY ALL DIMENSIONS.			] <sup>E</sup>	AS-BUILT INFORMATION						MICRO-FILM INFORMATION	
DESCRIPTION OF VINCREASING SIZE OF THE EXISTING PARKING LOSPACES DEDICATED TO CITY OF ALBUQUERQUE	T FROM 23 SPACES TO 26-30 SPA				CONTRACTOR	WORK STAKED BY	INSPECTOR'S ACCEPTANCE BY	FIELD VERIFICATION BY			RECORDED BY
FENCE LINE TO ENCOMPASS THE SOUTHWEST A ENTRY AND EXIT GATES.	REA OF THE SITE AND ADDING N	IEW ELECTRIC VEHICLE	D	BENCH MARKS							
LEGEND	DING FOOTPRINT				FIELD NOTES	NO. BY DATE					
PROF	PERTY LINE		C	SEAL		R	Jue 1	DE L	HXOI : \25	N N	E+CO - Dyong
			В					By			MAY 21, 2020
								REMARKS	REVISIONS	DESIGN	DATE
2101 Mountain Road NW Suite B   Al 505-843-9639   www.studioswarch.co	TECTS  Ibuquerque NM 87104  om	© 2019 Studio Southwest A Duplication or reproduction without the express written Studio Southwest Architects violation of federal and inter The information contained i is the intellectual property of Southwest Architects, Inc. of thereto are reserved.	by any means consent of s, Inc. is a rnational law. n this document of Studio and all rights	\/I=	NI <sup>-</sup>			No. Date			Designed By: D. DIXON
PROJECT TITLE:		RE STATION 13		vI⊏	IN —	1					
DRAWING TITLE:  Design Review Committee	EXISTING SI  City Engineer Approval	TE PLAN - OVE	RALL Mo./Day/Y	r.					Mo./D	)ay/\	<u>/r.</u>

City Project No. P7215.01 NTP#13 Zone Map No. H-17-Z AS101 Sheet 10 of 14

Permit Set



\DEMOLITION PLAN



#### SELECTIVE DEMOLITION

- A. DEMOLITION WORK SHALL COMPLY WITH ANSI A10.6 AND NFPA 24.1
- B. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. HAZARDOUS WASTE SHALL BE HANDLED AND DISPOSED OF IN COMPLIANCE WITH HAZARDOUS MATERIALS REGULATIONS, REPORTS REGARDING THE PRESENCE OF HAZARDOUS MATERIALS ARE ON FILE AT THE OFFICE OF THE ARCHITECT AND ARE AVAILABLE FOR REVIEW AND USE BY THE CONTRACTOR. THE CONTRACTOR SHALL EXAMINE THE REPORTS AND THE SITE CONDITIONS PRIOR TO COMMENCING THE WORK.
- ALL DEMOLITION WORK SHALL BE PERFORMED BY PERSONS EXPERIENCED IN DEMOLITION WORK SIMILAR IN NATURE AND EXTENT TO THAT REQUIRED BY THIS PROJECT.
- D. DO NOT OBSTRUCT PUBLIC WAYS ADJACENT TO THE PROJECT WITHOUT WRITTEN AUTHORIZATION FROM AUTHORITIES HAVING JURISDICTION. ERECT TEMPORARY BARRICADES, PASSAGEWAYS, OR OTHER PROTECTION AS REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES, AND AS REQUIRED BY JURISDICTIONAL
- E. PROTECT EXISTING SITEWORK, AND EXISTING BUILDING EXTERIOR CONDITIONS AND FEATURES. PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE THE STABILITY AND INTEGRITY OF THE EXISTING CONSTRUCTION TO REMAIN, AND AS NECESSARY TO

PREVENT THE UNPLANNED COLLAPSE OF THE MATERIALS OF CONSTRUCTION BEING

- G. IN THE EVENT THAT UNANTICIPATED CONDITIONS ARE ENCOUNTERED, INCLUDING MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENT OF THE DEMOLITION DRAWINGS, REPORT SUCH CONDITIONS IMMEDIATELY TO THE ARCHITECT, AND DO NOT
- PROCEED WITH THE AFFECTED WORK UNTIL AUTHORIZED BY THE ARCHITECT. H. ITEMS TO BE REMOVED SHALL BE DETACHED FROM THE EXISTING CONSTRUCTION EMPLOYING
- REMOVED ITEMS SHALL BE DISPOSED OF LEGALLY OFF-SITE, UNLESS DESIGNATED TO BE SALVAGED, OR REMOVED AND STORED.

CUTTING AND REMOVAL METHODS THAT ARE LEAST LIKELY TO DAMAGE ADJACENT

- ITEMS DESIGNATED TO BE SALVAGED SHALL BE DETACHED FROM THE EXISTING CONSTRUCTION AND DELIVERED TO THE OWNER REPRESENTATIVE. THE OWNER REPRESENTATIVE IS ENTITLED TO SALVAGE AND/OR REMOVE EQUIPMENT, HARDWARE, FIXTURES, AND FURNISHINGS FROM ALL AREAS OF THIS CONTRACT PRIOR TO DEMOLITION.
- K. ITEMS DESIGNATED TO BE REMOVED AND STORED SHALL COMPLY WITH THE PROCEDURES AND REQUIREMENTS DESCRIBED UNDER HISTORIC TREATMENT PROCEDURES.
- L. MAINTAIN EXISTING UTILITY SERVICES AND FIRE PROTECTION FACILITIES, AND PROTECT THEM FROM DAMAGE DURING THE DEMOLITION OPERATIONS. INTERRUPTIONS OF UTILITIES TO THE
- M. TEMPORARILY SHUT OFF UTILITIES TO SELECTED PORTIONS OF THE BUILDING AS REQUIRED BY DEMOLITION OPERATIONS. CAP, VALVE, PLUG, OR SEAL ENDS OF PIPING AND CONDUIT REQUIRED TO BE CUT-OFF OR DISCONNECTED BY THE DEMOLITION WORK. MAINTAIN CONTINUITY OF UTILITIES TO OTHER PORTIONS OF THE BUILDING.

BUILDING SHALL BE COORDINATED WITH THE OWNER REPRESENTATIVE.

- N. COMPLY WITH THE OWNER REPRESENTATIVE REQUIREMENTS FOR USING AND PROTECTING ELEVATORS, STAIRS, BUILDING ENTRANCES, AND OTHER BUILDING FACILITIES DURING DEMOLITION OPERATIONS
- O. COMPLY WITH THE FOLLOWING DUST CONTROL MEASURES:

CONSTRUCTION WHICH IS TO REMAIN.

- a. ISOLATE THE WORK AREA FOR THE DURATION OF THE WORK BY COMPLETELY SEALING OFF ALL OPENINGS AND FIXTURES IN THE WORK AREA, INCLUDING BUT NOT LIMITED TO, HEATING AND VENTILATION DUCTS, DOORWAYS, CORRIDORS, WINDOWS. AND LIGHTING WITH PLASTIC SHEETING TAPED SECURELY IN PLACE. BUILD DOUBLE BARRIERS OF PLASTIC SHEETING AT ALL ENTRANCES AND EXITS TO THE WORK AREA SO THAT THE WORK AREA IS ALWAYS CLOSED OFF BY ONE
- PROTECTION: COVER ALL FLOORS AND WALL SURFACES IN THE WORK AREA WITH PLASTIC SHEETING TAPED SECURELY IN PLACE TO PROTECT FROM DAMAGE.
- BEFORE WORK IS BEGUN, REMOVE ALL REMOVABLE ITEMS AND EQUIPMENT
- FROM THE WORK AREA AND STORE AS DIRECTED. COVER ALL NON-REMOVABLE ITEMS AND EQUIPMENT IN THE WORK AREA WITH PLASTIC SHEETING TAPED SECURELY IN PLACE.

BARRIER WHEN WORKERS ENTER OR EXIT.

- REMOVE ALL HEATING, VENTILATION, AND AIR-CONDITIONING SYSTEM FILTERS, PACK THEM IN SEALABLE PLASTIC BAGS (6-MIL MINIMUM) FOR DISPOSAL IN THE APPROVED WASTE DISPOSAL SITE AND REPLACE THEM WITH NEW FILTERS.
- 3. POST WARNING SIGNS AND LABELS AS REQUIRED BY 29 CFR 1910.1001, ASTM E 849. P. MAINTAIN ALL FIRE EXITS DURING CONSTRUCTION.

#### SPECIAL PROCEDURES

- A. ALL PERSONNEL PERFORMING THE WORK SHALL BE FULLY TRAINED, EXPERIENCED, AND QUALIFIED TO DO THE WORK AND SHALL BE ADEQUATELY INSTRUCTED AND SUPERVISED TO INSURE THAT ALL PARTS AND FEATURES OF THE BUILDING THAT ARE TO BE LEFT IN PLACE ARE PROTECTED FROM DAMAGE DURING THE DEMOLITION OPERATIONS AND MAINTAINED IN THEIR CURRENT CONDITION OR STATE. SUPERVISORY PERSONNEL SHALL BE PRESENT AT ALL TIMES WHEN WORK IS IN PROGRESS.
- PRIOR TO COMMENCING THE DEMOLITION WORK THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE AT THE PROJECT SITE. ALL KEY PERSONNEL THAT WILL BE INVOLVED IN THE WORK, INCLUDING SUPERVISORY PERSONS, ARCHITECT AND OWNER'S REPRESENTATIVE SHALL ATTEND THE CONFERENCE. THE AGENDA FOR THE PRE-CONSTRUCTION CONFERENCE SHALL INCLUDE A REVIEW OF THE SCOPE OF THE PROJECT, AND SPECIAL CONDITIONS AND PROCEDURES INVOLVED IN THE WORK.
- THE MARKING, IDENTIFICATION OR CATALOGUING OF ANY ITEMS OR MATERIALS EXCEPT THOSE DESIGNATED FOR DEMOLITION, SHALL UTILIZE TEMPORARY MEANS OF IDENTIFICATION THAT ARE INCONSPICUOUS AND THAT DO NOT DAMAGE, MARK OR OTHERWISE ALTER THE APPEARANCE OR FINISH OF SUCH ITEMS OR MATERIALS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT FROM DAMAGE, ALL WORK THAT IS TO REMAIN IN PLACE, INCLUDING GENERAL CONSTRUCTION; FLOOR, WALL AND CEILING FINISHES; HARDWARE, FIXTURES, AND ATTACHMENT OF TEMPORARY PROTECTION TO THE EXISTING CONSTRUCTION REMAIN SHALL BE APPROVED BY THE ARCHITECT PRIOR TO
- PRIOR TO COMMENCING THE WORK, THE CONTRACTOR SHALL IDENTIFY AND DOCUMENT EXISTING CONDITIONS, INCLUDING CONDITIONS OF ADJOINING CONSTRUCTION TO REMAIN IN PLACE, WHICH MAYBE MISCONSTRUED AS DAMAGE CAUSED BY THE OPERATIONS OF THIS PROJECT. SUBMIT THIS INFORMATION TO THE ARCHITECT BEFORE THE WORK BEGINS.
- IN THE EVENT OF DAMAGE TO ANY ITEM THAT IS TO REMAIN IN PLACE THE CONTRACTOR SHALL REPAIR AND RESTORE THE DAMAGED ITEM TO ITS ORIGINAL CONDITION.
- IN THE EVENT THAT PROTECTIVE MEASURES INCLUDE TEMPORARY REMOVAL OF ITEMS OR MATERIALS THAT ARE TO REMAIN, EMPLOY METHODS WHICH WILL PREVENT DAMAGE TO SUCH ITEMS OR MATERIALS DURING THEIR REMOVAL, STORAGE, AND REINSTALLATION, CLEARLY IDENTIFY ALL PARTS IN SUCH A MANNER THAT THEY CAN BE INSTALLED IN THEIR ORIGINAL LOCATION AND ORIENTATION.
- ALONG THE PATH OF TRAVEL FOR THE MOVEMENT OF EQUIPMENT THROUGHOUT THE BUILDING, REMOVAL OF DEMOLISHED MATERIALS, ETC. TEMPORARILY REMOVE DOORS FROM THEIR HINGES AND IDENTIFY TO ALLOW REPLACEMENT OF EACH DOOR IN ITS ORIGINAL OPENING AND PER ITS ORIGINAL ORIENTATION AND STORE SAFELY. PAD AND/OR OTHERWISE PROTECT DOOR FRAMES. MOLDINGS, BASE, FLOOR AND WALLS AS NECESSARY TO PREVENT DAMAGE DURING DEMOLITION PROCEDURES.
- IN THE EVENT THAT THE CONTRACTOR PROPOSES PROCEDURES OTHER THAN THOSE DESCRIBED FOR THE WORK, PROVIDE A DESCRIPTION SUCH PROPOSED PROCEDURES FOR REVIEW AND APPROVAL BY THE ARCHITECT PRIOR TO PRECEDING WITH THAT PORTION OF THE
- ALL ITEMS TO BE REMOVED AND SALVAGED TO OWNER SHALL BE IDENTIFIED PER GENERAL NOTE "C" ABOVE, CATALOGUED PER THE DIRECTION OF OWNER, AND STORED ON PALLETS IN A LOCATION DESIGNATED BY THE OWNER.

COMPLY WITH THE FOLLOWING PROCEDURES WHILE PERFORMING WORK WITH HEAT-

- GENERATING EQUIPMENT, INCLUDING WELDING, CUTTING, SOLDERING, BRAZING, PAINT REMOVAL WITH HEAT, AND OTHER OPERATIONS WHERE OPEN FLAMES OR IMPLEMENTS UTILIZING HEAT ARE USED: OBTAIN OWNERS APPROVAL FOR OPERATIONS INVOLVING USE OF OPEN-FLAME OR WELDING EQUIPMENT.
- a. NOTIFICATION SHALL BE GIVEN FOR EACH OCCURRENCE AND LOCATION OF WORK WITH HEAT- GENERATING EQUIPMENT. AS FAR AS PRACTICAL USE HEAT-GENERATING EQUIPMENT IN SHOP AREAS OR OUTSIDE
- THE BUILDING. BEFORE WORK WITH HEAT-GENERATING EQUIPMENT COMMENCES FURNISH PERSONNEL TO SERVE AS A FIRE WATCH (OR WATCHES) FOR LOCATIONS WHERE
- DO NOT PERFORM WORK WITH HEAT-GENERATING EQUIPMENT IN OR NEAR ROOMS OR IN AREAS WHERE FLAMMABLE LIQUIDS OR EXPLOSIVE VAPORS ARE PRESENT OR THOUGHT TO BE PRESENT. USE A COMBUSTIBLE GAS INDICATOR TEST TO ENSURE THAT
- THE AREA IS SAFE. REMOVE AND KEEP THE AREA FREE OF COMBUSTIBLES, INCLUDING RUBBISH, PAPER, WASTE, ETC., WITHIN AREA OF OPERATIONS.
- BLANKETS TO COVER SUCH MATERIALS. WHERE POSSIBLE, FURNISH AND USE BAFFLES OF METAL OR GYPSUM BOARD TO
- PREVENT THE SPRAYING OF SPARKS OR HOT SLAG INTO SURROUNDING COMBUSTIBLE
- OTHER OPENINGS. INSPECT EACH LOCATION OF THE DAYS WORK NOT SOONER THAN 30 MINUTES AFTER COMPLETION OF OPERATIONS TO DETECT HIDDEN OR SMOLDERING FIRES AND TO
- ENSURE THAT PROPER HOUSEKEEPING IS MAINTAINED. WHERE SPRINKLER PROTECTION EXISTS AND IS FUNCTIONAL, MAINTAIN IT WITHOUT INTERRUPTION WHILE OPERATIONS ARE BEING PERFORMED. IF OPERATIONS ARE
- M. INSPECT THE LOCATION OF WORK AT THE COMPLETION OF OPERATIONS EACH DAY SMOKING BY PERSONNEL PERFORMING WORK IN OR NEAR THE PROJECT STRUCTURE SHALL
- N. KEEP THE ROOF SEALED TIGHT DURING DEMOLITION AND CONSTRUCTION.

#### GENERAL NOTES

A. FIELD VERIFY ALL DIMENSIONS.

EXISTING DUMPSTER AND WALL ENCLOSURE TO REMAIN. EXISITNG FENCE TO BE REMOVED.

EXISITING TRANSPORTAINER TO REMAIN.

WORK IS TO BE PERFORMED.

- a. IF COMBUSTIBLE MATERIAL CANNOT BE REMOVED, PROVIDE FIREPROOF
- PREVENT THE EXTENSION OF SPARKS AND PARTICLES OF HOT METAL THROUGH OPEN WINDOWS, DOORS, HOLES AND CRACKS IN FLOORS, WALLS, CEILINGS, ROOFS, AND
- PERFORMED CLOSE TO AUTOMATIC SPRINKLER HEADS, SHIELD THE INDIVIDUAL HEADS TEMPORARILY WITH GUARDS.

BUILDING FOOTPRINT AREA TO BE REMOVED - REFER TO CIVIL. CONCRETE SURFACE TO BE REMOVED - REFER TO EXISTING GRAVEL EXISTING FENCE/GATE TO REMAIN ---- DEMOLITION FENCE/GATE TO BE REMOVED ~ × × × × × × × × × NEW FENCE/GATE

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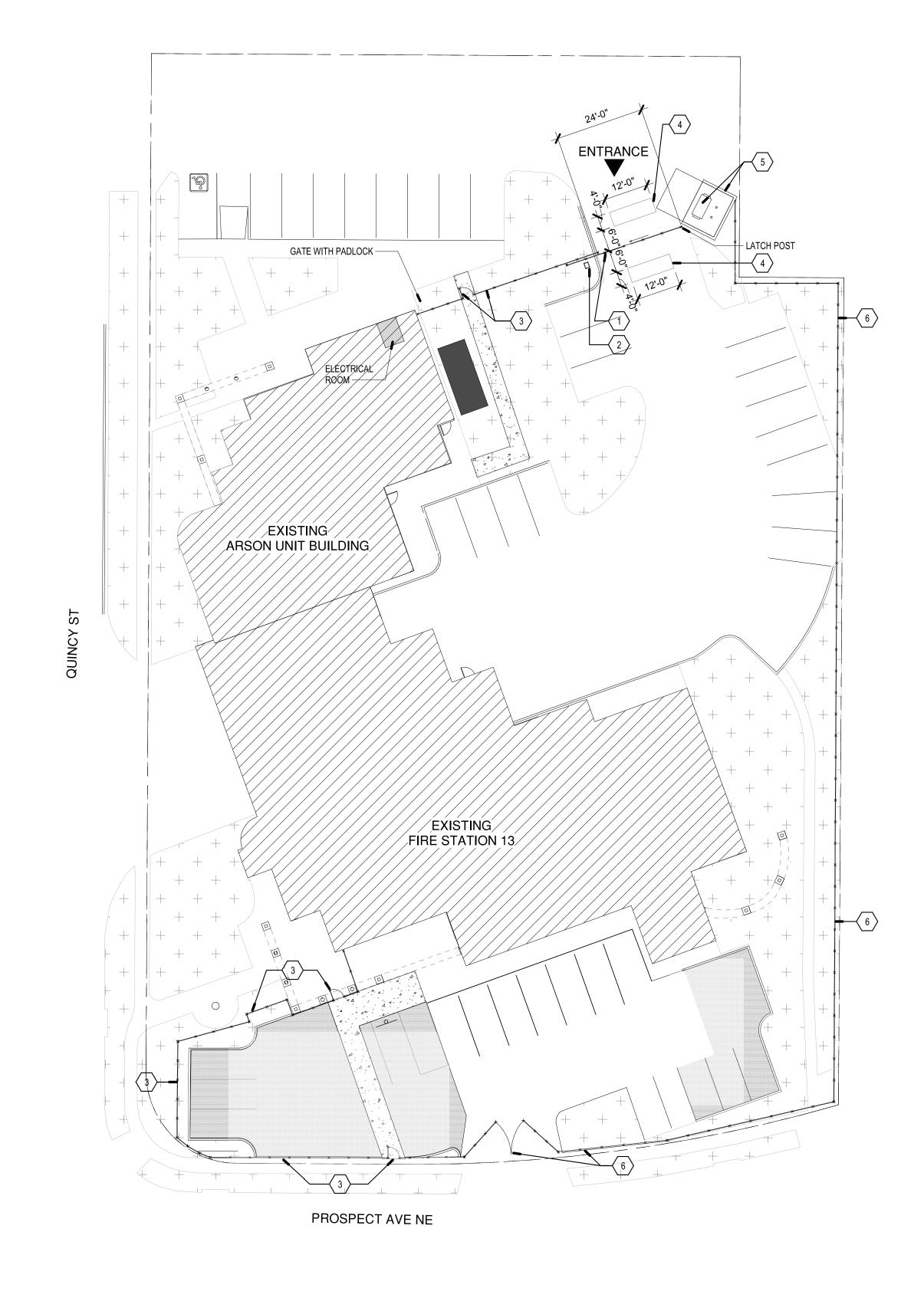
DEPARTMENT OF MUNICIPAL DEVELOPMENT ABQ FIRE STATION 13 **DEMOLITION PLAN** City Engineer Approval Mo./Day/Yr. Mo./Day/Yr. Oject No. Zone Map No. DWG. AS102 Sheet 11 of 14 Permit Set

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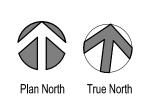
PROJECT TITLE:

DRAWING TITLE: Design Review Committee



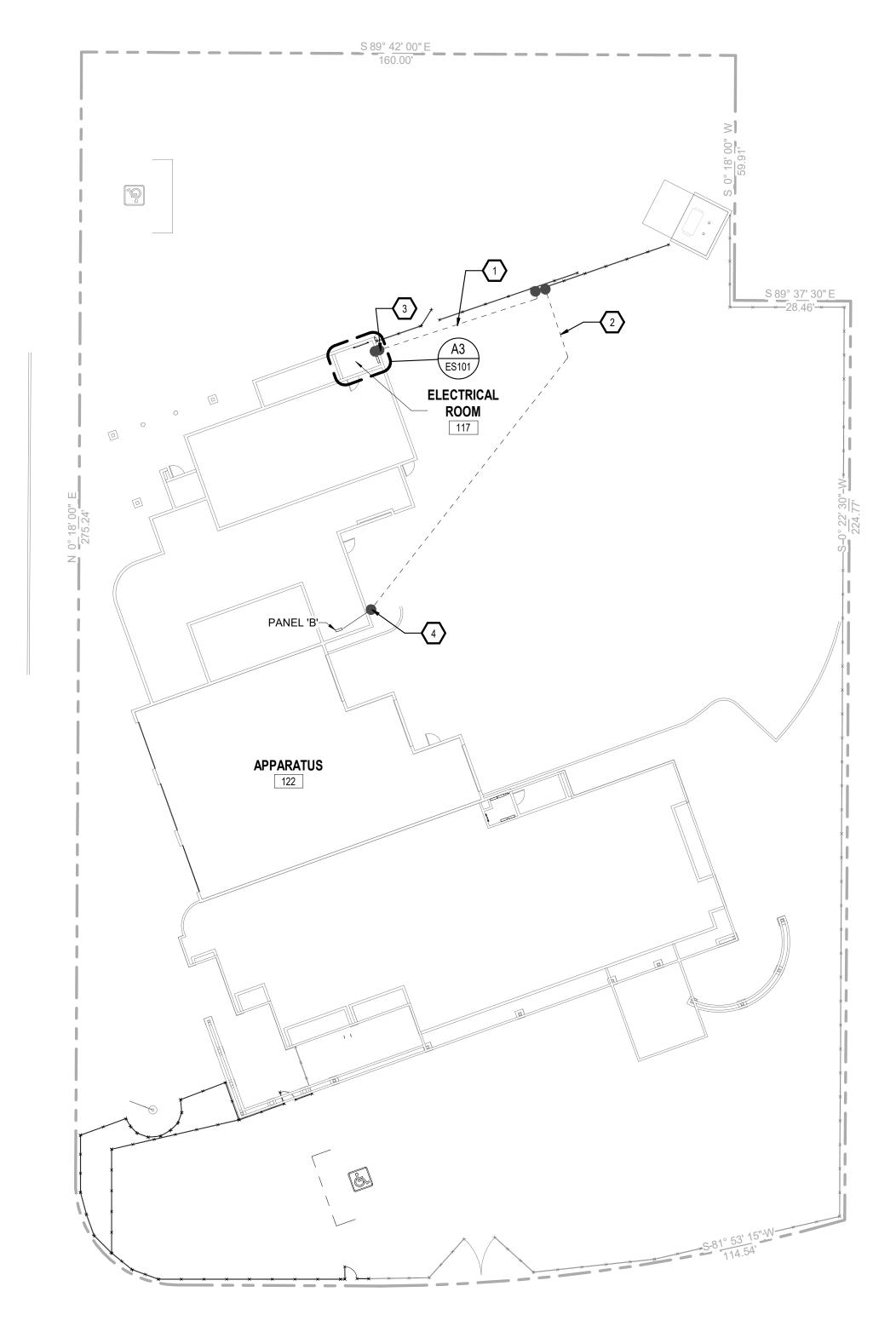
A1 NEW SITE PLAN

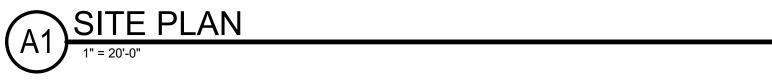
1" = 20'-0"

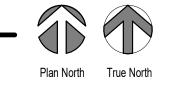


GENERAL NOTES A. FIELD VERIFY ALL DIMENSIONS. SHEET KEYNOTES 1 INSTALL NEW 32' -0" SLIDER GATE; BASIS OF DESIGN LIFT MASTER ELITE SERIES CSL24UL HIGH TRAFFIC COMMERCIAL SLIDE GATE OPERATOR, BASIS 3 INSTALL NEW FENCE/GATE PER MANUFACTURER'S DETAILS ADDRESSED IN SPECIFICATIONS AS REQUESTED PER WARRANTY. 4 1.5" X 1/4" SAWCUT WITH POURABLE CRACK FILLER EXISTING DUMPSTER AND WALL ENCLOSURE TO REMAIN. 6 EXISTING CHAINLINK PERIMETER FENCE AND GATES SHALL REMAIN. **BUILDING FOOTPRINT** NEW PAVEMENT - REFER TO CIVIL NEW SIDEWALK - REFER TO CIVIL EXISTING GRAVEL + + + PROPERTY LINE \* \* \* \* \* \* \* \* \* \* \* \* \* \* \* \* EXISTING FENCE/GATE TO REMAIN × × × × × × × × × × NEW FENCE/GATE \_\_ \_ \_ \_ \_ \_ \_ \_ EASEMENT LINE WATER VALVE EXISTING FIRE HYDRANT © 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document 2101 Mountain Road NW Suite B | Albuquerque NM 87104 is the intellectual property of Studio Southwest Architects, Inc. and all rights 505-843-9639 | www.studioswarch.com thereto are reserved. CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT PROJECT TITLE: ABQ FIRE STATION 13

DRAWING TITLE: **NEW SITE PLAN** Mo./Day/Yr. City Engineer Approval Mo./Day/Yr. Design Review Committee Permit Set





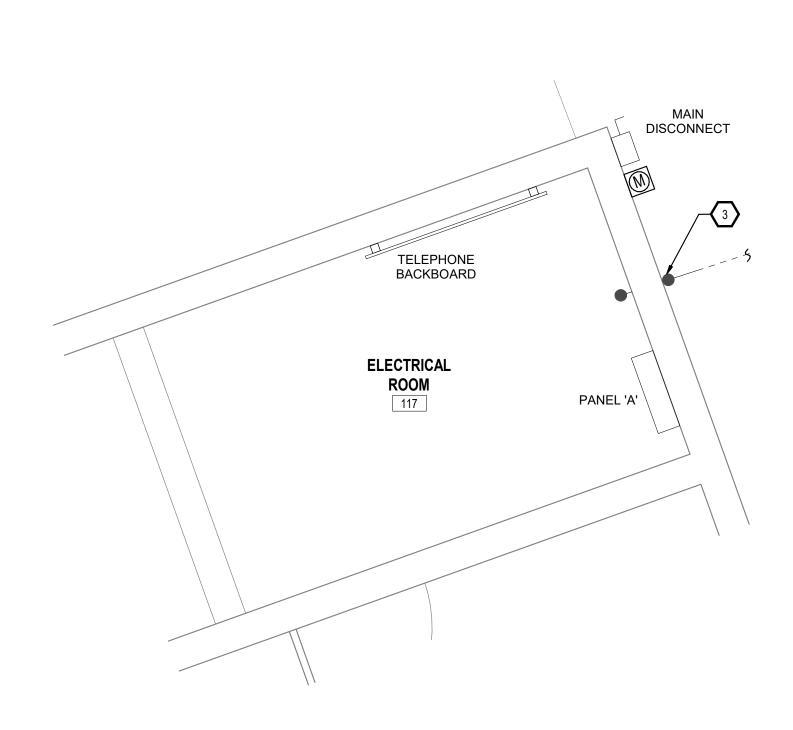




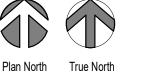
- A. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROVIDING ALL WORK INDICATED ON THE DRAWINGS, THIS
- CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, SUPPLIES, AND MATERIALS IN ADDITION TO PERFORMING ALL OPERATIONS. B. PERFORM ALL ELECTRICAL WORK IN A NEAT AND WORKMANLIKE MANNER IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AND THE NATIONAL ELECTRICAL CODE (NEC). ALL LOCAL AND STATE REQUIREMENTS SHALL BE OBSERVED DURING THE PERFORMANCE OF THIS
- C. CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES FOUND BETWEEN CONTRACT DOCUMENTS AND/OR LEGAL OR SAFETY REQUIREMENTS.
- CONTRACTOR SHALL FOLLOW ALL MANUFACTURER RECOMMENDED INSTALLATION GUIDELINES. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES. ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 VOLTS WITH TYPE THHN/THWN, 90 DEGREE INSULATION UNLESS OTHERWISE NOTED. MINIMUM WIRE SIZE SHALL BE #12 AWG FOR POWER CIRCUITS. CONDUCTORS SHALL BE SOLID WIRE FOR #12 AWG AND STRANDED FOR #10 AWG OR LARGER. ALL WIRING SHALL BE RUN IN CONDUIT INCLUDING LOW VOLTAGE CONTROL WIRING. SIGNAL WIRING MAY BE RUN IN PVC
- CONDUIT OR PVC FLEXIBLE TUBING. G. GENERALLY, CONDUIT SHALL BE EMT, 3/4" MINIMUM. IN AREAS SUBJECT TO DAMAGE CONDUIT SHALL BE RIGID OR IMC TYPE. ALL CONDUIT
- SHALL BE CONCEALED UNLESS NOTED OTHERWISE. H. SUPPORT ALL CONDUIT INDEPENDENTLY FROM THE BUILDING STRUCTURE. DO NOT SUPPORT FROM VENTILATION DUCTS, MECHANICAL PIPING, SUSPENDED CEILING GRIDS, OR THEIR HANGERS. USE NEC ACCEPTABLE METHODS OF SUPPORT.
- INSTALL EXTERIOR WIRING AND DEVICES IN CONDUIT WITH WEATHERPROOF FITTINGS AND IN WEATHERPROOF BOXES. ALL DEVICES AND EQUIPMENT SHALL BE RATED FOR EXTERIOR USE.
- MAINTAIN A MINIMUM OF 24 INCH SEPARATION BETWEEN POWER CONDUITS AND SIGNAL CONDUITS AS PRACTICAL. ROUTE CONDUITS TO NOT CROSS EACH OTHER. EXPOSED CONDUIT AND DEVICE BOXES IN ALL AREAS FOR COMMUNICATION AND POWER.

#### **KEYED NOTES:**

- 1. PROVIDE AND INSTALL 3/4" UNDERGROUND CONDUIT W/ PULLSTRING FOR
- DATA TO ELECTRICAL ROOM.
- 2. PROVIDE AND INSTALL 3/4" UNDERGROUND CONUIT WITH #12, #12NEU, #12 GND TO PANEL "B" WEIGHT ROOM.
- 3. TRANSITION TO DATA CONDUIT TO 3/4" EMT CONDUIT ABOVE GROUND.
- PROVIDE "LB" CONDUIT FITTINGS ON EACH SIDE OF WALL PENETRATION. SEAL WALL PENETRATION WITH FIRE SEALANT.
- 4. TRANSITION TO POWER CONDUIT TO 3/4" EMT CONDUIT ABOVE GROUND WITH #12, #12NEU, #12 GND. PROVIDE "LB" CONDUIT FITTINGS ON EXTERIOR SIDE OF WALL PENETRATION. SEAL WALL PENETRATION WITH FIRE SEALANT. ROUTE CONDUIT ABOVE CEILING TO PANEL.



A3) ELECTRICAL ROOM 117



				SE	REGUE MA	Di A	FESS	No.			
			В			By			MAY 21, 2020	MAY 21, 2020	MAY 21, 2020
						REMARKS	REVISIONS	DESIGN	DATE	DATE	DATE
STUDI	O SW		hwest Architects, Inc.						W.B.	W.B.	J.A.
ARCHI	TECTS	Studio Southwest A violation of federal a The information cor	architects, Inc. is a and international law. Itained in this document			Date			d By:	3y:	d By:
2101 Mountain Road NW Suite B   A 505-843-9639   www.studioswarch.c		is the intellectual pr Southwest Architec thereto are reserved	ts, Inc. and all rights			No.			Designed By:	Drawn By:	Checked F
ALRICULETOLE NEW MEXICO	CITY OF A	ALBUQUE RKS DEPA			, ,	•	<u> </u>				
PROJECT TITLE:	ABQ FIF	RE STATION	N 13								
DRAWING TITLE:	ELECTR	ICAL SITE F	PLAN								
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/\	r.		N	Mo./I	Day/	Yr.		
PERMIT SET	City Project No. P7215.01	Zon	e Map No. DWG		S10	1	She	eet 13	of	14	1

DATE DATE DATE DATE DATE DATE DATE

		PANEL 'B'	(MODIF	IED	CI	RCU	ITS	S ARE SHADED)		
VOLT PHAS WIRE FEED	E: :	120/208V 3 PHASE 4 WIRE BOTTOM	FRAME: MAIN: ENCLOS LOCATIO	URE:	125A FRAM MAIL LUGS NEMA 1 DO ELECTRICA	ONLY OOR-IN-DO	OR	MIN AIC RATING: CIRCUITS: MOUNTING:	10,000 30 RECESSI	ED
СКТ	BKR	LOAD DESCRIPTION	VA	CONN	ECTED VA	LOAD	VA	LOAD DESCRIPTION	BKR	СКТ
NO	RTNG	EOAD DESCRIPTION	VA	Α	В	С	VA	LOAD DESCRIPTION	RTNG	NO
1	20A/1	RECEPT EAST/MIDDLE	720	1720			1000	HVAC UNIT	20A/1	2
3	20A/1	RECEPT EAST/MIDDLE	720		1440		720	LIGHTS	20A/1	4
5	20A/1	RECEPT EAST/MIDDLE	720			1440	720	LIGHTS	20A/1	6
7	20A/1	RECEPT WEST/MIDDLE	720	1440			720	RECEPT NORTH OF HALL	20A/1	8
9	20A/1	RECEPT WEST/MIDDLE	720		2880		2160	WATER HEATER (RESTROOM)	30A/1	10
11	20A/1	RECEPT WEST/MIDDLE	720			1620	900	ASST. CHIEF A.C. (WEST)	20A/1	12
13	20A/1	RECEPT CAPT. OFF./HALL	720	1920		N.	1200	GATE CONTROLLER	20A/1	14
15	20A/1	RECEPT CAPT. OFFICE	540	3	540			SPARE	20A/1	16
17	20A/1	RECEPT CAPT. OFFICE	540	65		540		SPARE	20A/1	18
19	20A/1	UNKNOWN	720	720				SPARE	20A/1	20
21	E0.4/0	DAWGE	3120		6722		3602			22
23	50A/2	RANGE	3120			6722	3602	AIR COMPRESSOR		24
25			1441	5043			3602	1		26
27	20A/3	RTU-5	1441		1441			SPACE	17	28
29			1441			1441		SPACE	Ų.	30
	-20	CONNECTED LOAD	(VA) PER PHASE	10843	13023	11763	35629	TOTAL CONNECTED LOAD (VA)	•	
		28 200 to 17 1 Per (proc 27 100 Up 116			1	VA. U. N. 13850	99.0	TOTAL CONNECTED LOAD (AMPS)		

### LOAD SUMMARY

FEEDER NAME	DESIGN AMPS	CONNECTED AMPS	DEMAND AMPS	DEMAND %		FEEDER LOAD %
В	100	99	69.3	69.30%	10.7	69.30%

	1	4	5	
				PRMATION DATE DATE DATE DATE DATE DATE DATE DATE
E				AS-BUILT INFO
				CONTRACTOR WORK STAKED BY INSPECTOR'S ACCEPTANCE BY FIELD VERILD
D				BENCH MARKS
				RMATION DATE
С	PANEL 'B' (MODIFIED CIRCUITS ARE SHADED)			SURVEY INFO NO. BY
	VOLTAGE:         120/208V         FRAME:         125A FRAME         MIN AIC RATING:         10,000           PHASE:         3 PHASE         MAIN:         MAIL LUGS ONLY         CIRCUITS:         30           WIRE:         4 WIRE         ENCLOSURE:         NEMA 1 DOOR-IN-DOOR         MOUNTING:         RECESSED           FEED:         BOTTOM         LOCATION:         ELECTRICAL ROOM         VA         LOAD DESCRIPTION         BKR RTNG         CKT RTNG         NO           1         20A/1         RECEPT EAST/MIDDLE         720         1720         1000         HVAC UNIT         20A/1         2           3         20A/1         RECEPT EAST/MIDDLE         720         1440         720         LIGHTS         20A/1         4			THE SECOND FOR THE SE
	5       20A/1       RECEPT EAST/MIDDLE       720       1440       720       LIGHTS       20A/1       6         7       20A/1       RECEPT WEST/MIDDLE       720       1440       720       RECEPT NORTH OF HALL       20A/1       8         9       20A/1       RECEPT WEST/MIDDLE       720       2880       2160       WATER HEATER (RESTROOM)       30A/1       10         11       20A/1       RECEPT WEST/MIDDLE       720       1620       900       ASST. CHIEF A.C. (WEST)       20A/1       12         13       20A/1       RECEPT CAPT. OFF, JHALL       720       1920       1200       GATE CONTROLLER       20A/1       14         15       20A/1       RECEPT CAPT. OFFICE       540       540       SPARE       20A/1       16         17       20A/1       RECEPT CAPT. OFFICE       540       540       SPARE       20A/1       18         19       20A/1       UNKNOWN       720       720       SPARE       20A/1       20         21       50A/2       RANGE       3120       6722       3602       AIR COMPRESSOR       50A/3       24			
В	1441   5043   3602   26			AARKS By DATE MAY 21, 2020 DATE MAY 21, 2020 DATE MAY 21, 2020 DATE MAY 21, 2020
	FEEDER NAME AMPS DEMAND AMPS DEMAND & SPARE FEEDER AMPS DEMAND & SPARE FEEDER AMPS LOAD % B 100 99 69.3 69.30% 10.7 69.30%			STUDIO SW  ARCHITECTS  2101 Mountain Road NW Suite B   Albuquerque NM 87104 505-843-9639   www.studioswarch.com  © 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.
A				Southwest Architects, Inc. and all rights thereto are reserved.  CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT  ABQ FIRE STATION 13  PRAWING TITLE:  ELECTRICAL SCHEDULES
5/22/2020 1:28:57 PM				Design Review Committee  City Engineer Approval  PERMIT SET  City Project No. P7215.01 NTP#13  City Engineer Approval  By Mo./Day/Yr.