

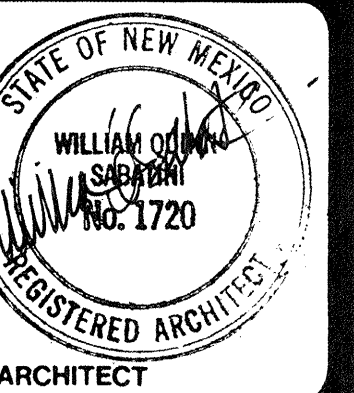
NOTES

- EXIST. UTIL. POLE TO REMAIN.
- 4" CONC. SLAB.
- BICYCLE RACK. SEE DETAIL 6/A1.
- NEW 4" CONCRETE WALK.
- DELETED
- NEW 6" CONCRETE WALK.
- NEW 6" CONCRETE WALK.
- FLAGPOLE - SEE DETAIL 4/A1.
- HEADER CURB - SEE DETAIL 3/A1.
- STANDARD CURB - SEE DETAIL 2/A1.
- 1/2" EXPANSION JOINT.
- CONSTRUCTION JOINT. SEE DWS. ST.
- 4" PAINTED STRIPING.
- ASPHALT PAVING SHALL BE IN ACCORDANCE WITH DWS. P4 AND SECTION 200 OF THE CITY OF ALBUQUERQUE INTERIM STD. SPEC. FOR PUBLIC WORKS CONST. 1985 EDITION. PAVEMENT GRADATION C WITH ARTERIAL PROPERTIES.
NOTE: MEASUREMENT AND PAYMENT SECTIONS NOT APPLICABLE.
- 6" PRECAST CONC. BUMPER. ANCHOR TO ASPHALT W/ 3/8" & REBAR.
- PROVIDE TOLDED JTS. @ 12' O.C. 1/2" EXP. JTS. @ 12' O.C. STAGGER JOINTS.
- PAINTED "HANDICAP" SYMBOL.

CONCRETE LEGEND:

- CONCRETE INCLUDED IN PAGE 3D.
- CONCRETE INCLUDED IN ADDITIVE ALTERNATE #2.

REVISIONS



ENGINEER

ARCHITECT

City of Albuquerque
City Project No. 2298
**Fire Station
13**

PROJECT NO.
8402

DATE
Nov. 8, 1985

SITE PLAN



HCP GRAPHIC

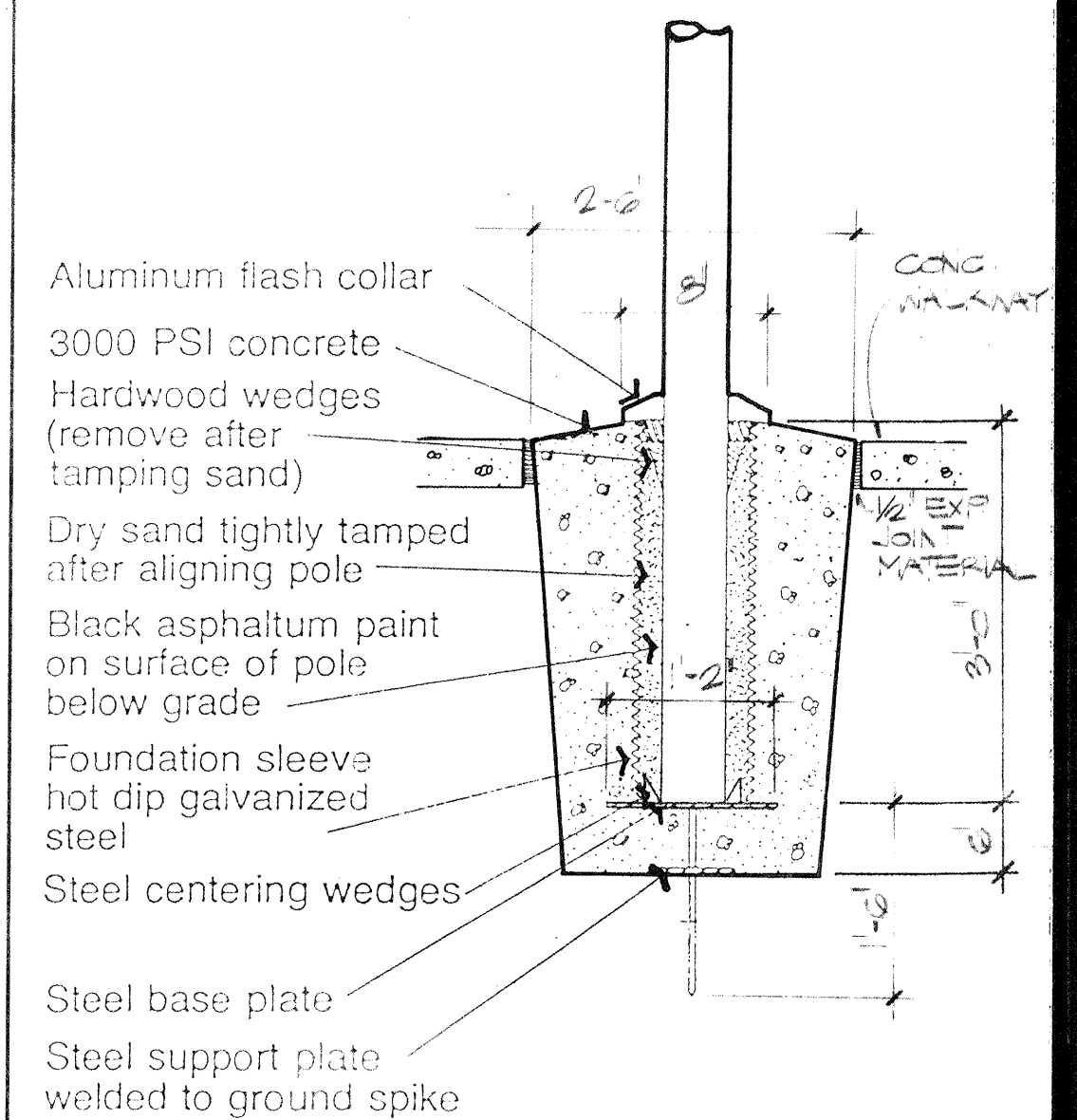
(SEE PLAN NTS FOR LOCATION)

STANDARD CURB

2" x 10"

HEADER CURB

3/4" x 10"

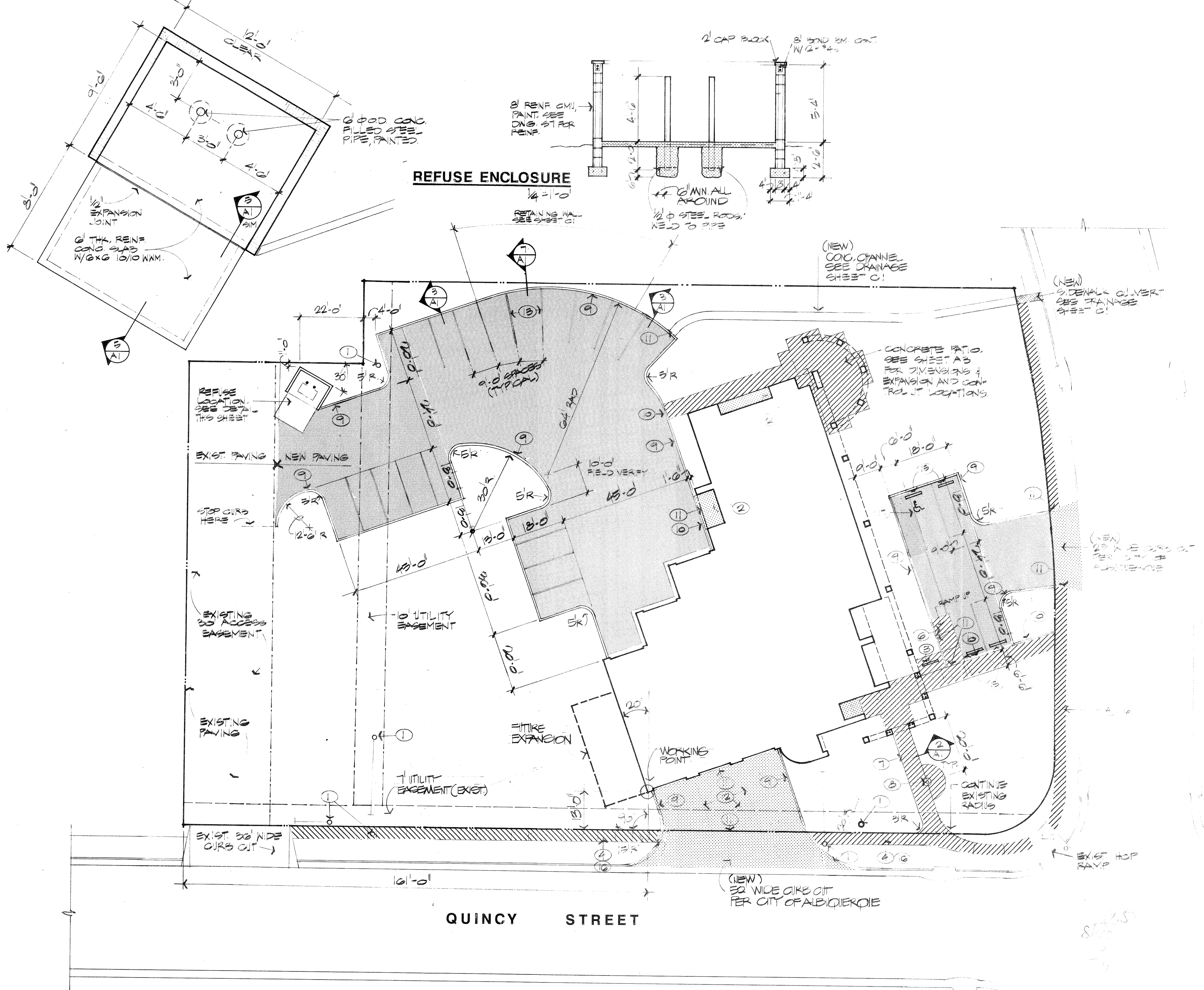


FLAGPOLE BASE DETAIL

N.T.S.

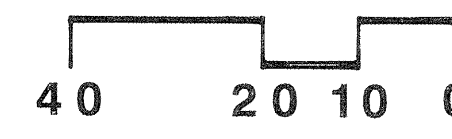
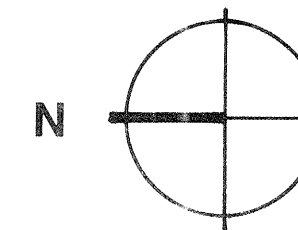
TURNED DOWN SLAB

3/4" x 10"



SITE PLAN

1" = 20'-0"

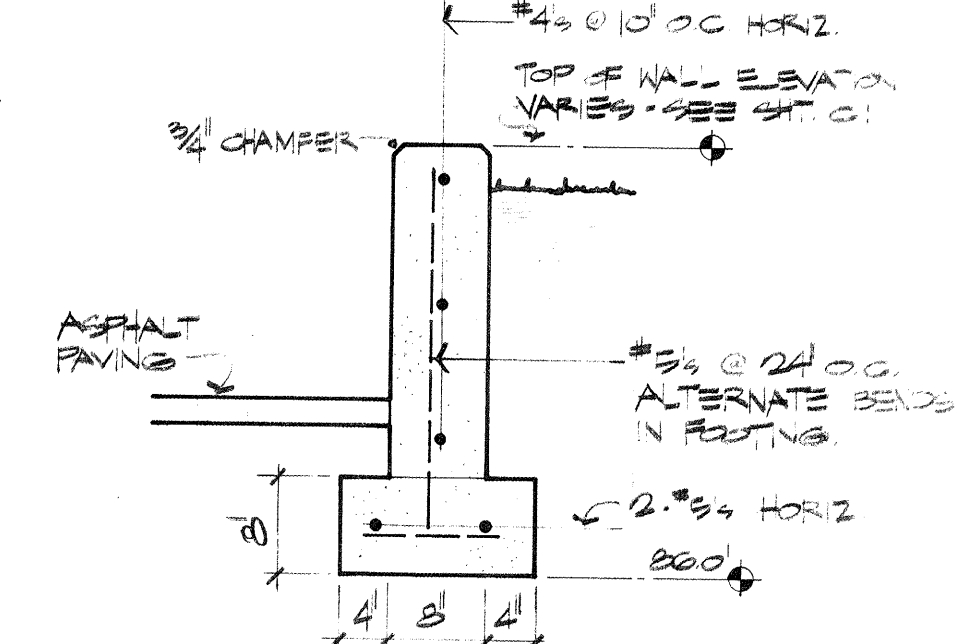
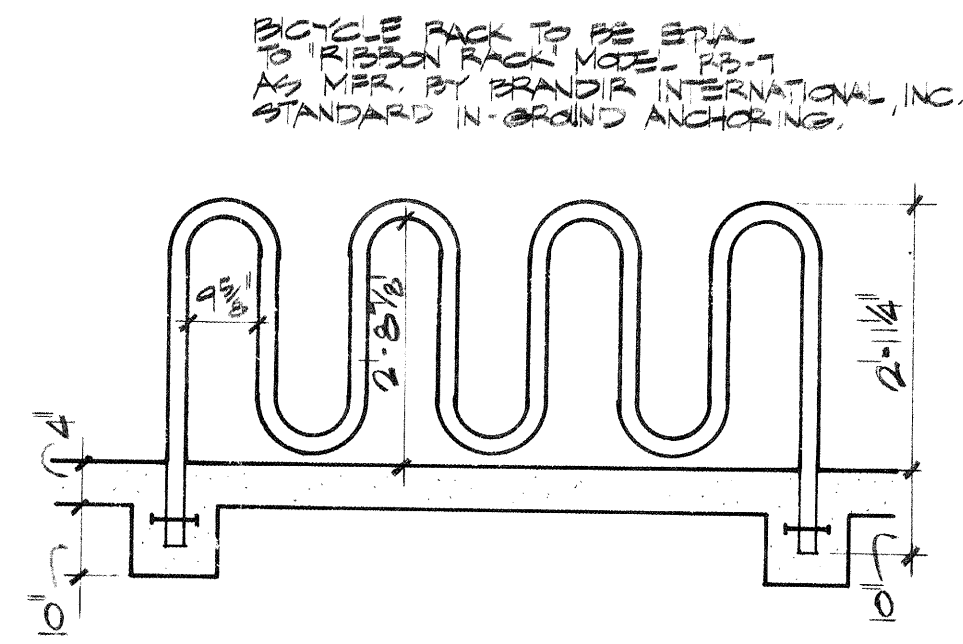


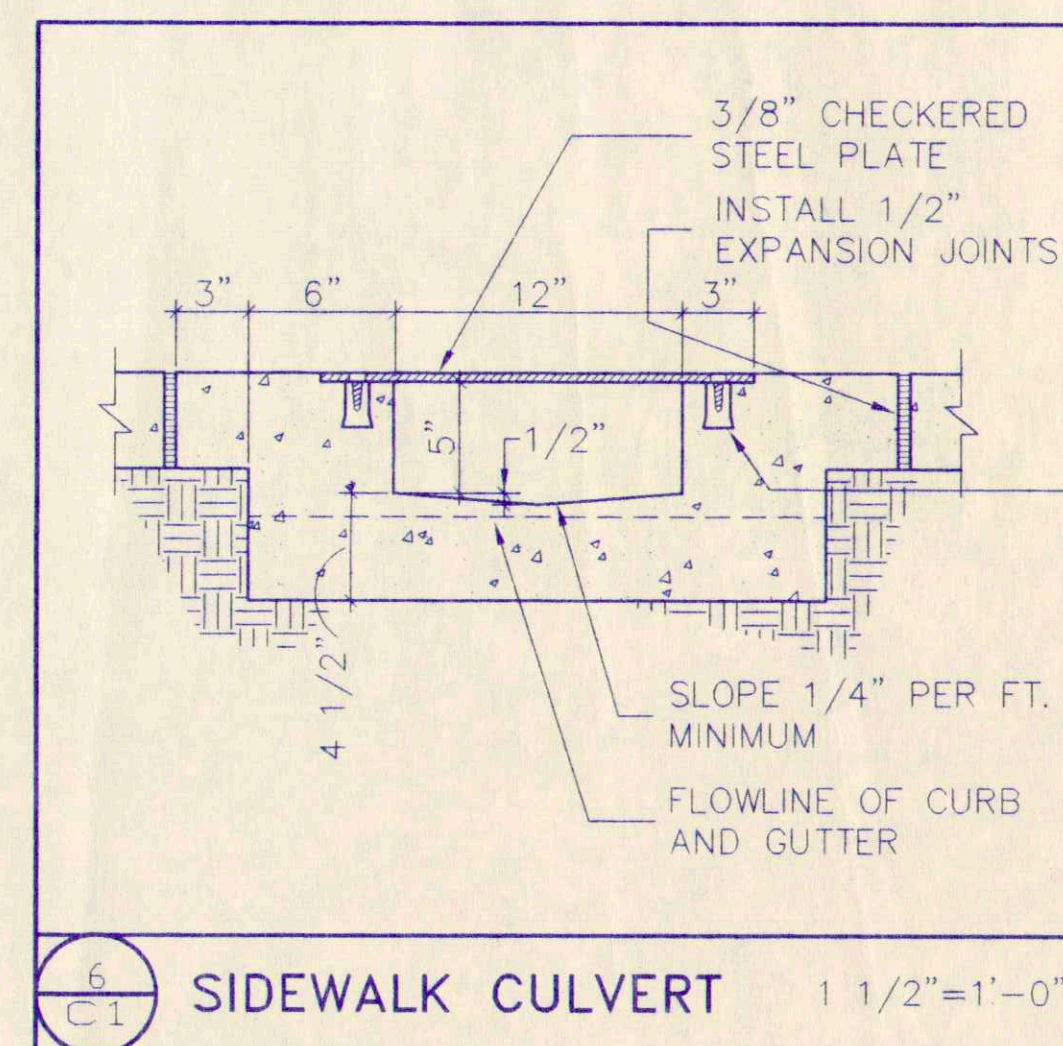
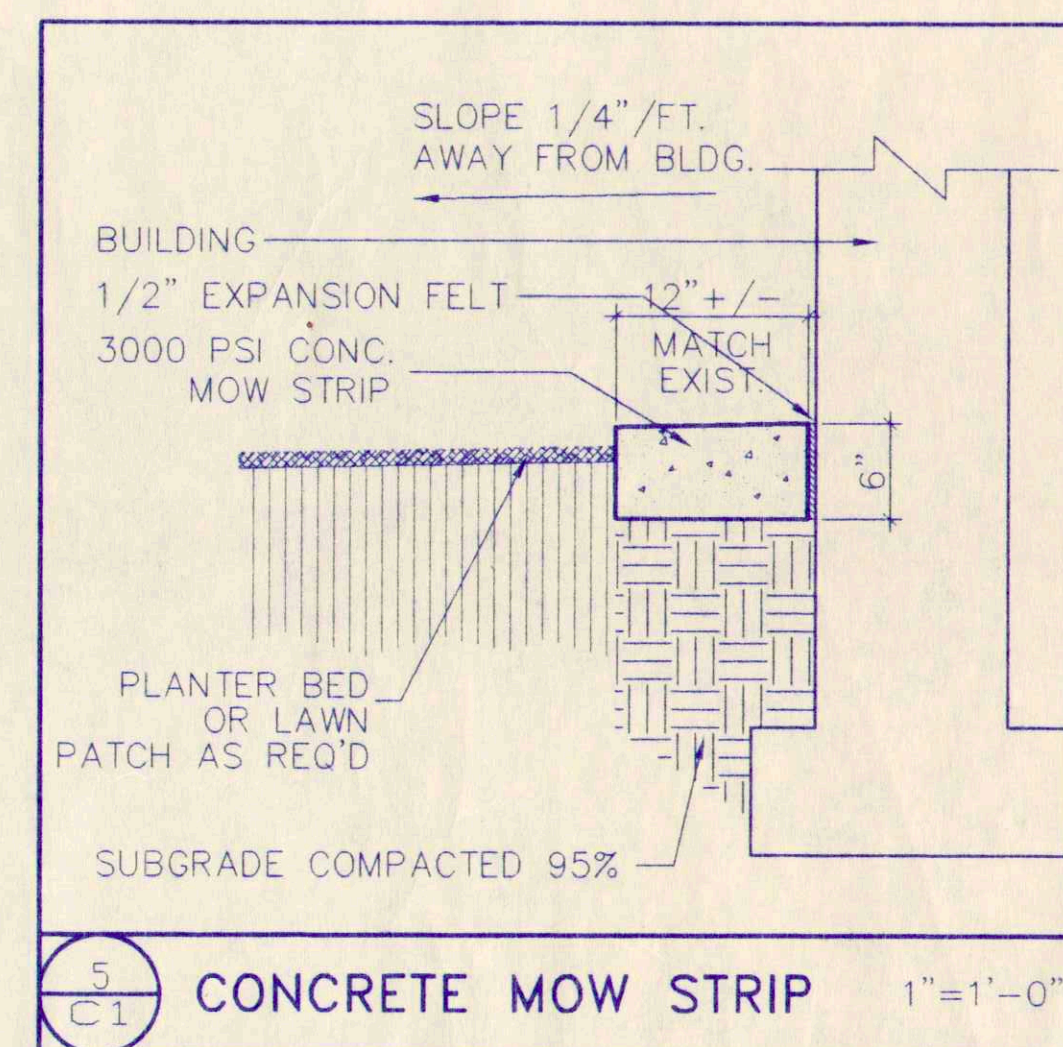
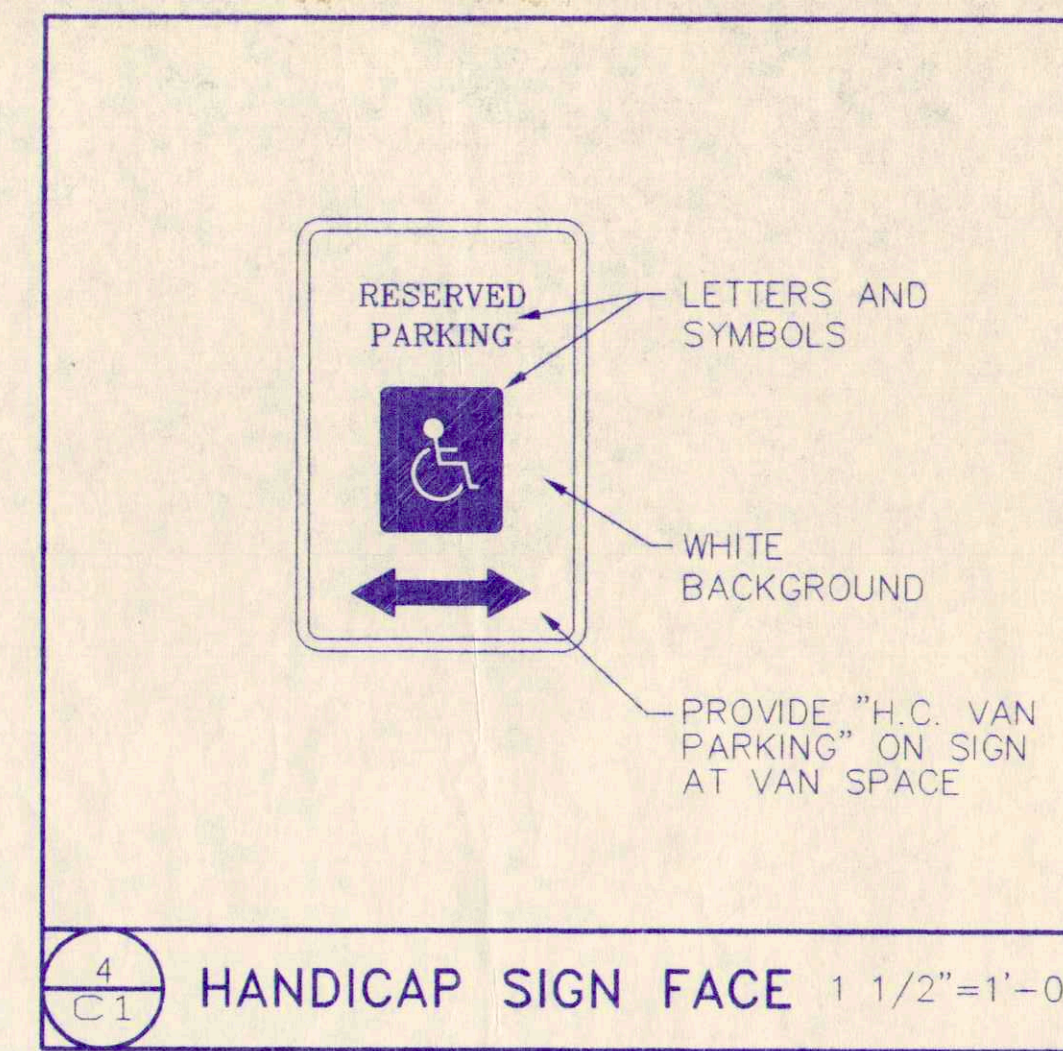
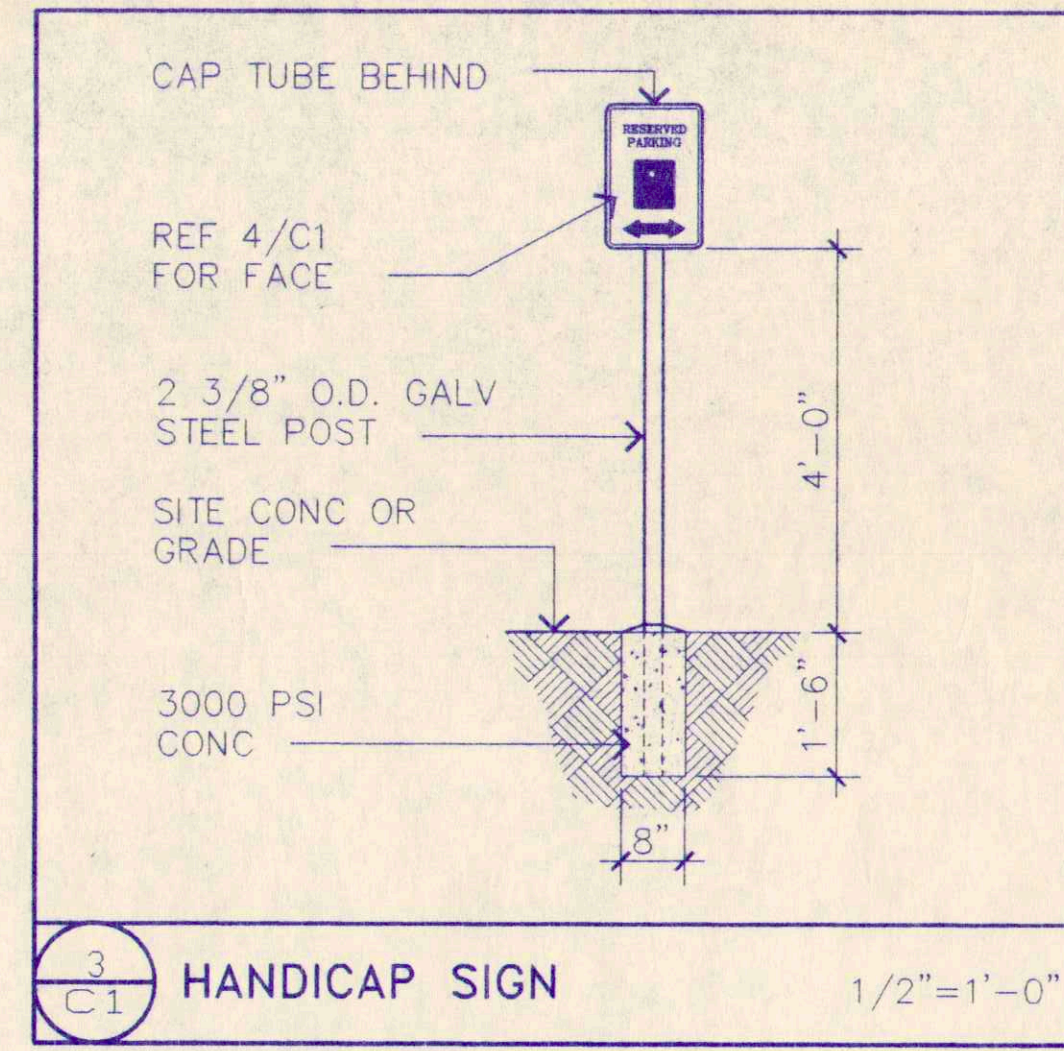
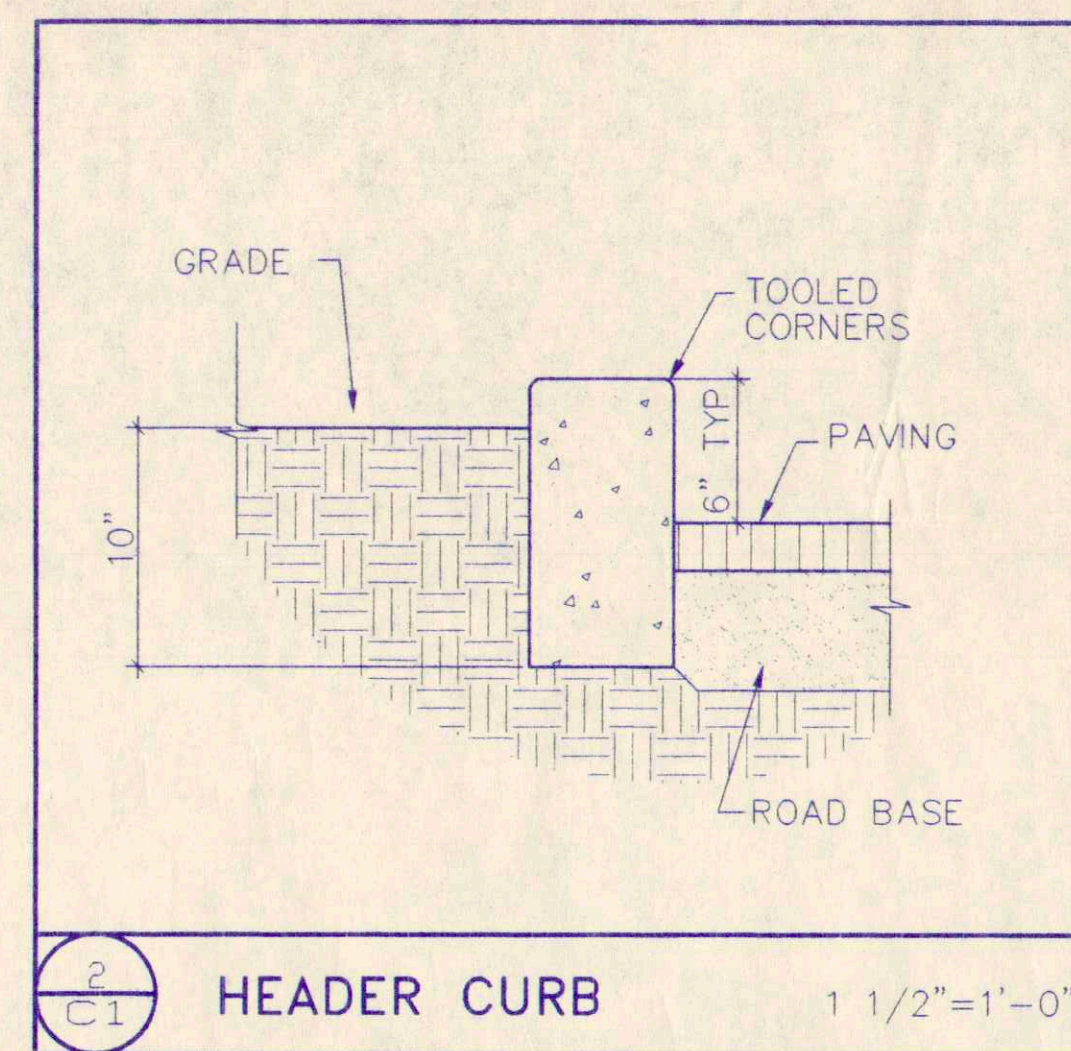
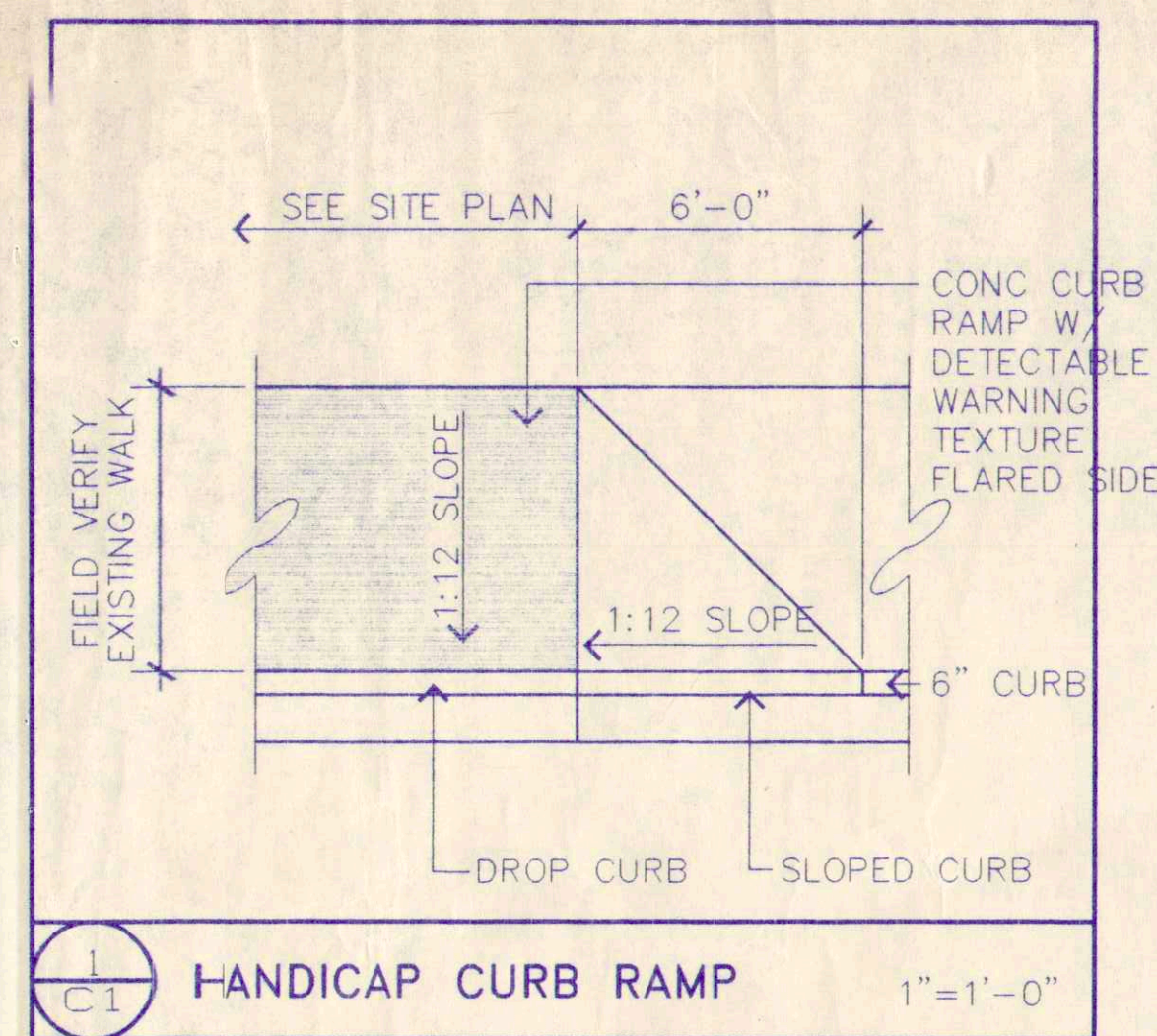
BICYCLE RACK

1/2" x 10"

RETAINING CURB

3/4" x 10"





BUILDING CRITERIA

PROJECT: ADDITION TO FIRE MARSHAL'S OFFICE
 ADDRESS: 2510 QUINCY N.E.
 LEGAL: LOTS 1-B-7, BLOCK 1, VIDAS ADDITION
 OCCUPANCY TYPE: B-2
 CONSTRUCTION TYPE: V N

BUILDING AREA

EXISTING BUILDING (REMODEL):	2,334 S.F.
NEW BUILDING (ADDITION):	1,525 S.F.
TOTAL AREA:	3,859 S.F.
ALLOWABLE AREA (TABLE #5-C, UBC)	8,000 S.F.

OCCUPANT LOAD

EXISTING BUILDING (REMODEL)	
OFFICE SPACE - 1600 S.F./100	16
CONFERENCE ROOM - 384 S.F./15	26
NEW BUILDING (ADDITION)	
OFFICE SPACE - 1,329 S.F./100	14
TOTAL OCCUPANT LOAD	56

PARKING REQUIREMENTS

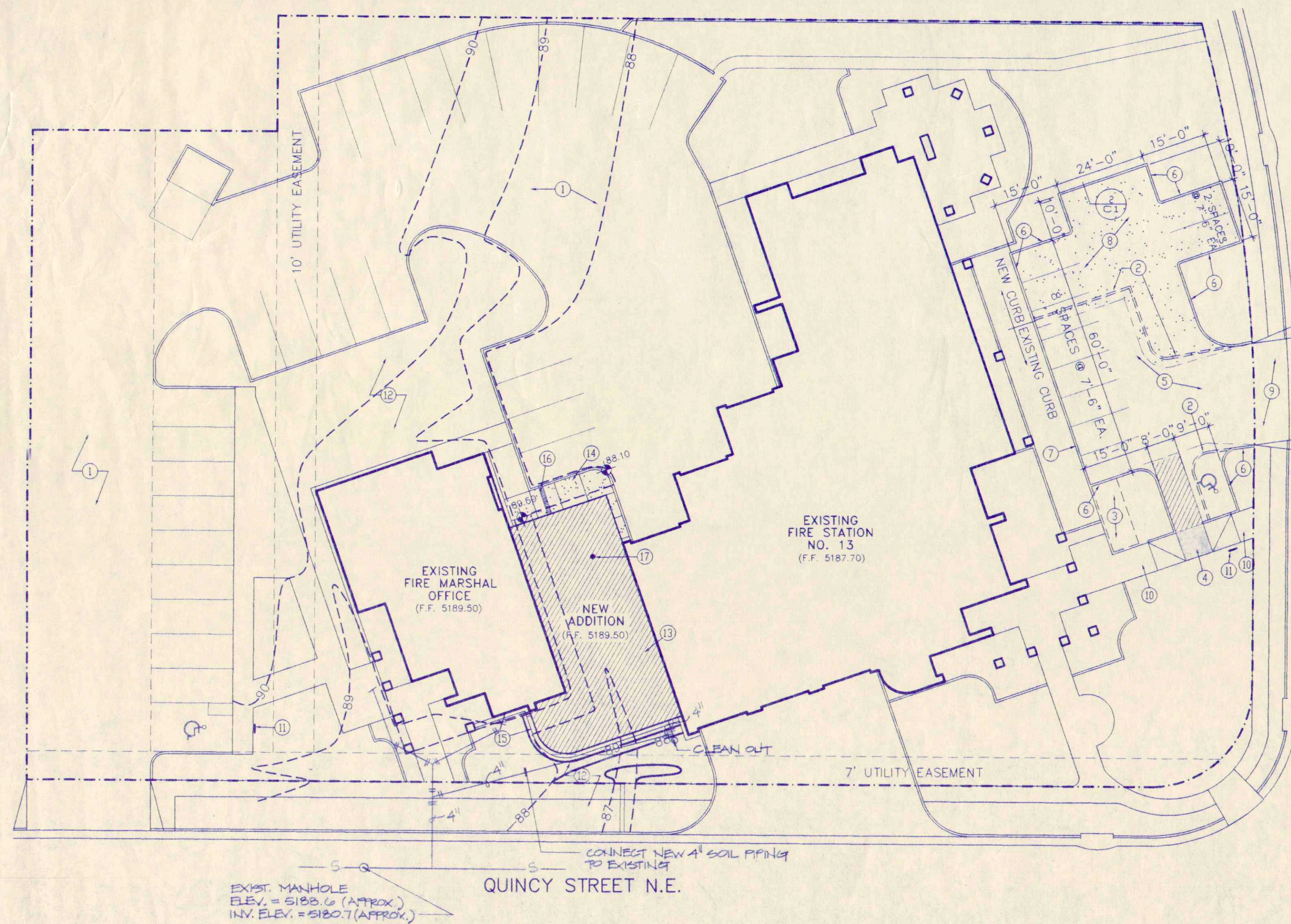
EXISTING BUILDING (REMODEL)	
FIRE MARSHAL OFFICE - 1,996 S.F./200	10 SPACES
FIRE STATION BUILDING -	23 SPACES
NEW BUILDING (ADDITION) - 1,329 S.F./200	7 SPACES
TOTAL PARKING REQUIRED	40 SPACES

PARKING PROVIDED	
EXISTING SPACES -	33 SPACES
ADDITIONAL SPACES PROVIDED -	7 SPACES
TOTAL PARKING PROVIDED	40 SPACES

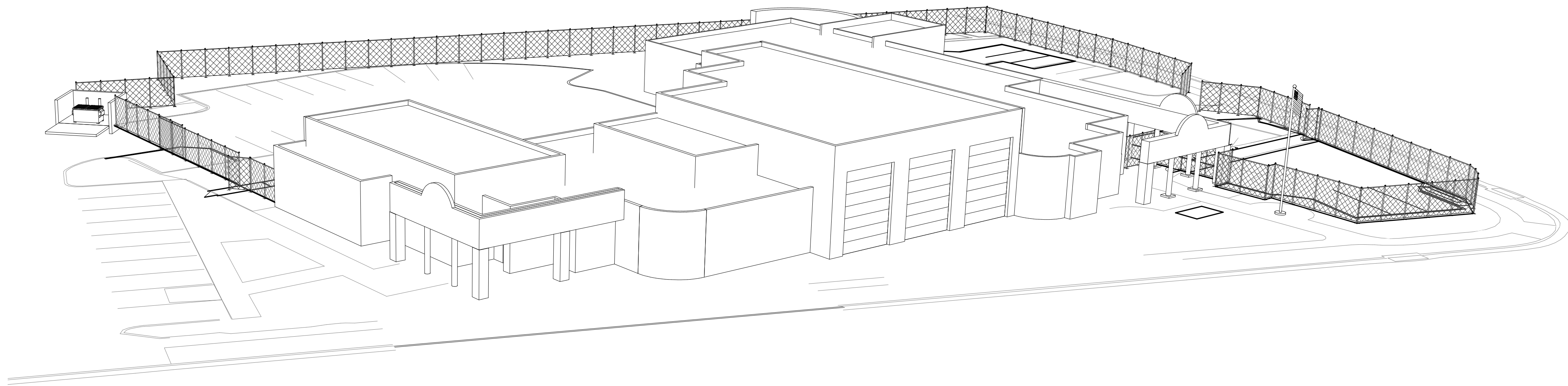
PARKING SPACE BREAKDOWN	
27 REGULAR	
11 SMALL CAR	
1 HANDICAP (CAR)	
1 HANDICAP (VAN)	

GRADING KEYED NOTES

- EXISTING ASPHALT PARKING AREA TO REMAIN.
- EXISTING CURB TO BE REMOVED SHOWN DASHED. REMOVE ADDITIONAL +/- 24" OF EXISTING ASPHALT AND PREPARE FOR NEW ASPHALT PAVING.
- EXISTING CONCRETE RAMP AND CURB TO BE REMOVED.
- REMOVE PORTION OF EXISTING CONCRETE WALK AND CONSTRUCT H.C. RAMP AND CURB CUT PER DETAIL THIS SHEET. (A)
- EXISTING ASPHALT PAVING TO REMAIN - RESTRIPE AS SHOWN.
- NEW CONCRETE HEADER CURB, SEE DETAIL THIS SHEET. (A)
- EXISTING CONCRETE CURB TO REMAIN. SAW-CUT EXISTING CURB AT REMOVAL LOCATIONS.
- NEW ASPHALT PAVING TO MATCH EXISTING. FEATHER NEW ASPHALT TO EXISTING.
- EXISTING CURB CUT.
- EXISTING CONCRETE WALK TO REMAIN.
- NEW HANDICAP PARKING SIGNAGE, SEE DETAILS (A) (B) THIS SHEET.
- EXISTING SOD AREA TO REMAIN.
- REMOVE EXISTING SOD, PLANTINGS AND IRRIGATION AS REQUIRED FOR NEW CONSTRUCTION. PATCH AS REQUIRED.
- NEW 4" CONCRETE SIDEWALK.
- NEW CONCRETE MOW STRIP. SEE DETAIL (C) THIS SHEET.
- SIDEWALK CULVERT. SEE DETAIL (A) THIS SHEET.
- REMOVE TREE STUMP/ROOTS AS REQUIRED FOR NEW CONSTRUCTION.



ABQ FIRE STATION 13
Permit Set
P7215.01 NTP#13



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT- Managing Department

APRIL 21, 2020
ALBUQUERQUE FIRE DEPARTMENT- Owner

Property Information

PROPERTY ADDRESS: 4901 PROSPECT AVE NE
ALBUQUERQUE, NM 87110
ZONE: NR-SU DISTRICT; ZONE ATLAS PAGE H-17-Z

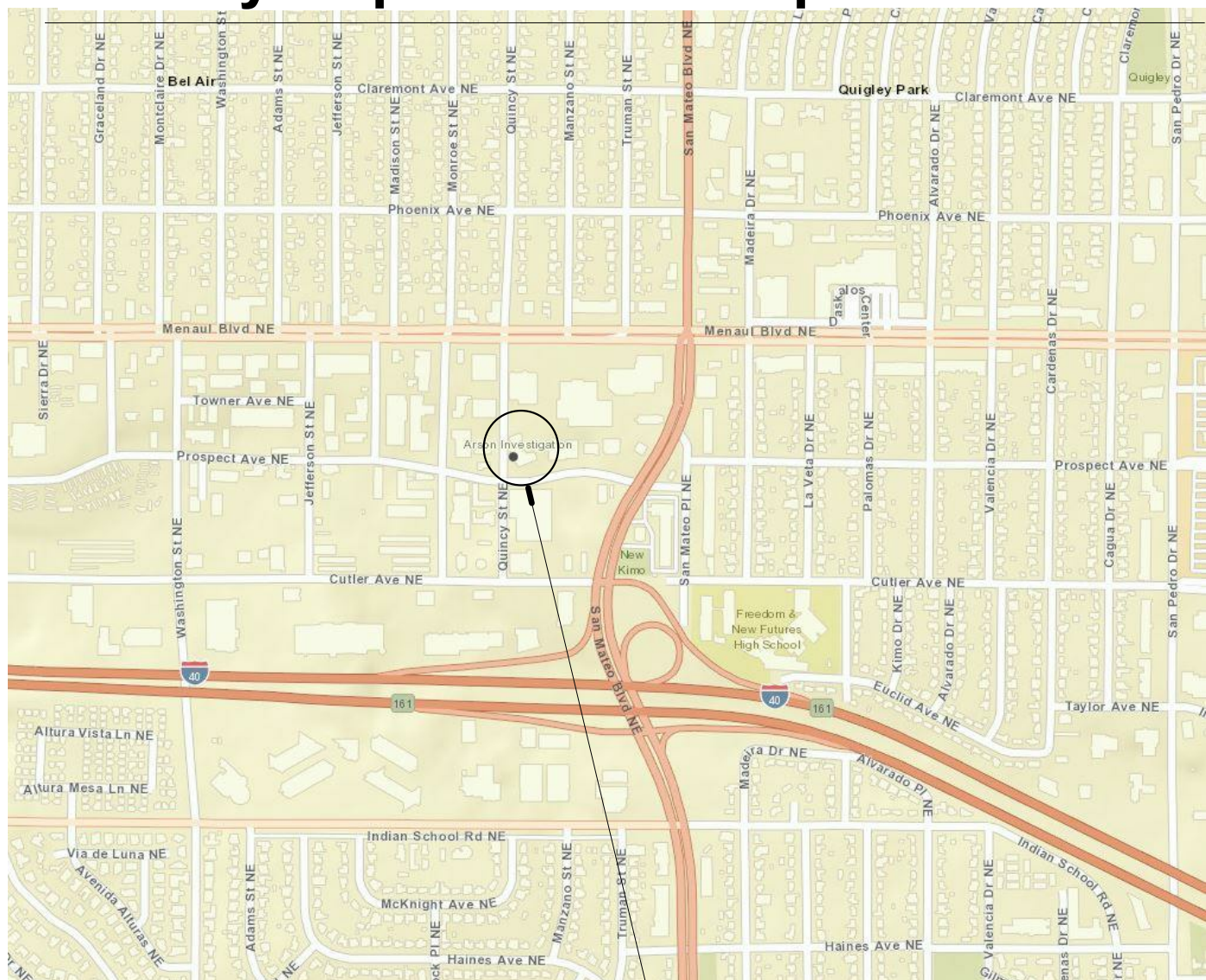
Legal Description

1 LT1-B-7 BLK 1 VIDAS ADD BEING REPLAT OF PORTION LT1-B-2 BLK 1 CONT 1.242 ACRES,
PROPERTY CLASS V

Contacts

DEPARTMENT OF MUNICIPAL DEV. - CONSTRUCTION PROJECT MANAGER - (505) 768-3530 -
jessevaldez@cabq.gov
Contact Name: JESSE VALDEZ, CDT, LEED AP BD+C
STUDIO SOUTHWEST ARCHITECTS - ARCHITECT - (505) 843-9639 - LAnderson@studioswarch.com
Contact Name: LAURA ANDERSON, AIA
SMITH ENGINEERING COMPANY - CIVIL ENGINEERS - (505) 884-0700 - georgen@smithengineering.pro
Contact Name: GEORGE NEMETH, PE
QA ENGINEERING - MECHANICAL, ELECTRICAL & PLUMBING - (505) 883-7992 - jon@qaengineering.com
Contact Name: JON ANTHONY, PE
BALIS & COMPANY - COST ANALYST - (505) 883-7990 - jon@balisnm.com
Contact Name: JON BALIS, PMP

Vicinity Map/ Location Map



PROJECT LOCATION

Drawing Index

- General**
- G-001 COVER SHEET
- Fire**
- FIRE1 FIRE 1 PLAN
- Civil**
- CD101 SITE REMOVAL PLAN - NORTH
CD102 SITE REMOVAL PLAN - SOUTH
C-101 SITE LAYOUT PLAN - NORTH
C-102 SITE LAYOUT PLAN - SOUTH
C-201 SITE GRADING PLAN - NORTH
C-202 SITE GRADING PLAN - SOUTH
C-301 CIVIL DETAILS
- Architectural Site**
- AS101 EXISTING SITE PLAN - OVERALL
AS102 DEMOLITION PLAN
AS103 NEW SITE PLAN
- Electrical**
- ES101 ELECTRICAL SITE PLAN
E-001 ELECTRICAL SCHEDULE

Symbols

- SHEET KEYNOTE**
- 12
- PLAN CALLOUT**
- A1
A-401
DETAIL DESIGNATION
SHEET DETAIL IS FOUND ON
- SECTION DETAIL SYMBOL**
- A1
A-501
- DETAIL DESIGNATION**
- A1
A-501
SCALE: 1/8" = 1'-0"
DRAWING SCALE
- REVISION NUMBER**
- 09 30 00.01
- SPECIFICATION KEYNOTE**
- 09 30 00.01
- NORTH ARROWS**
- Plan North True North (SURVEYOR'S NORTH IF DIFFERENT FROM PLAN NORTH)



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REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER STAMP AND SIGNATURE		APPROVED	ENGINEER	DATE	APPROVED FOR CONSTRUCTION		
		DRC CHAIRMAN					
		TRANSPORTATION					
		WATER/WASTEWATER			City Architect		
		HYDROLOGY					
		CONSTR. MNGMT.			City Engineer		
Date		City Project No.	Zone Map No.	DWG.	Sheet		
APRIL 21, 2020		P7215.01 NTP#13	H-17-Z	G-001	1 of 14		

PROJECT LOCATION



VICINITY MAP: Zone Atlas No:H-17-Z

UTILITY COMPANY CONTACTS

CITY OF ALBUQUERQUE
UTILITY DEVELOPMENT

PO Box 1293
Albuquerque, New Mexico 87103
contact: Bob Strong, Utility Coordination, (505) 768-2719

PNM

New Service Delivery Office
4201 Edith Blvd NE
Albuquerque, NM 87107
(505) 241-3425

NEW MEXICO GAS COMPANY

New Meter Installation
(877) 243-0979
Start/Stop Service
(888) NM-GAS-CO (888-664-2726)

CALL BEFORE YOU DIG!

STATEWIDE
1-800-321-ALERT
ALBUQUERQUE
811

CENTURYLINK

New Service
(866) 963-6665
Disconnect/ Suspend Service
(877) 803-8414

COMCAST/XFINITY

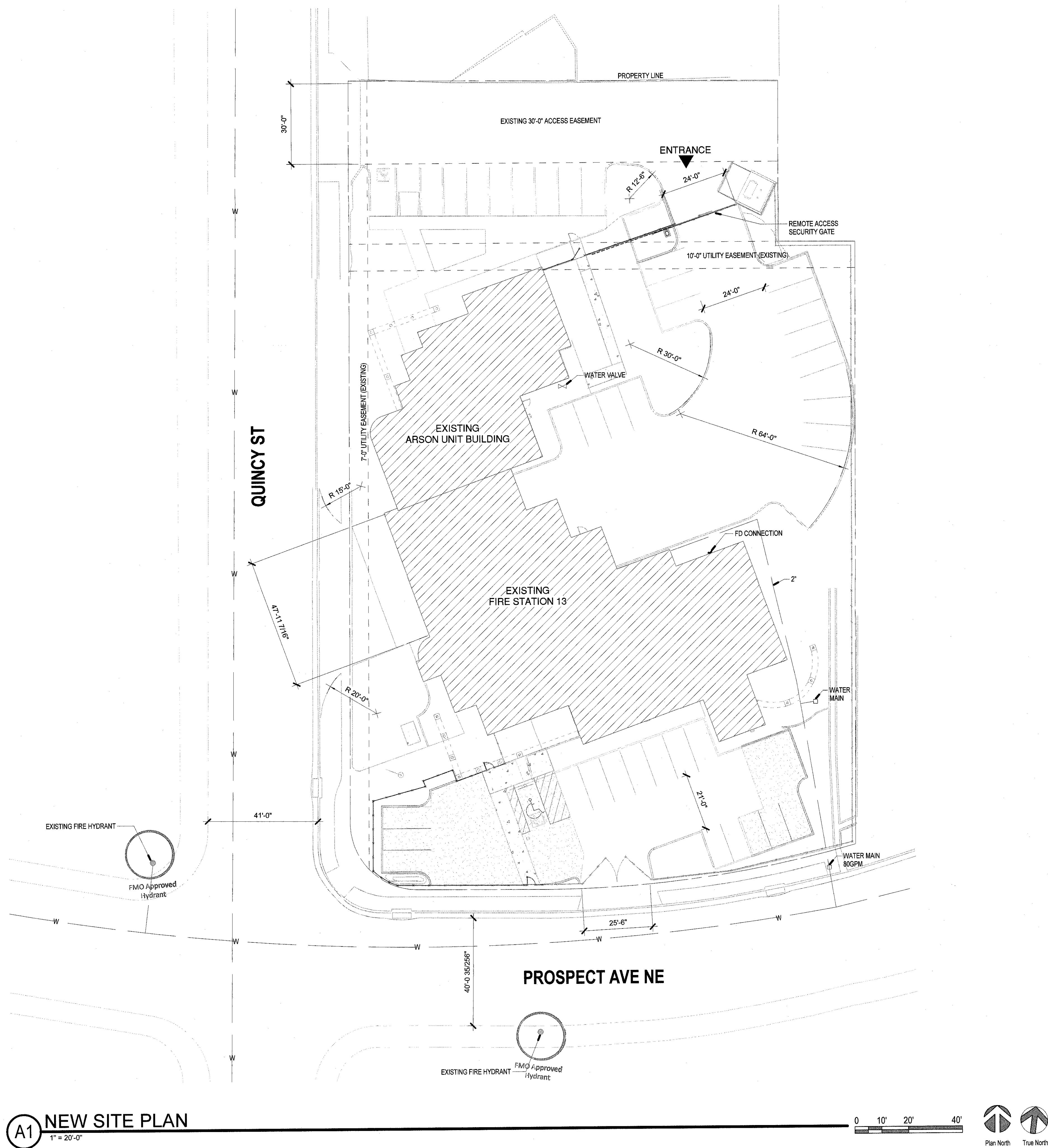
New Service
(866) 429-0152
Disconnect/ Suspend Service
(800) 391-3000

FINAL FOR CONSTRUCTION
DATE: APRIL 21, 2020

Project Name: ABQ FIRE STATION 13
COA Project Number: P7215.01 NTP#13

RECORD DRAWINGS
DATE:

1913.05
3/11/2020 2:45:05 PM



GENERAL NOTES

FIRE STATION 13
4801 PROSPECT AVE NE
ALBUQUERQUE, NM 87110

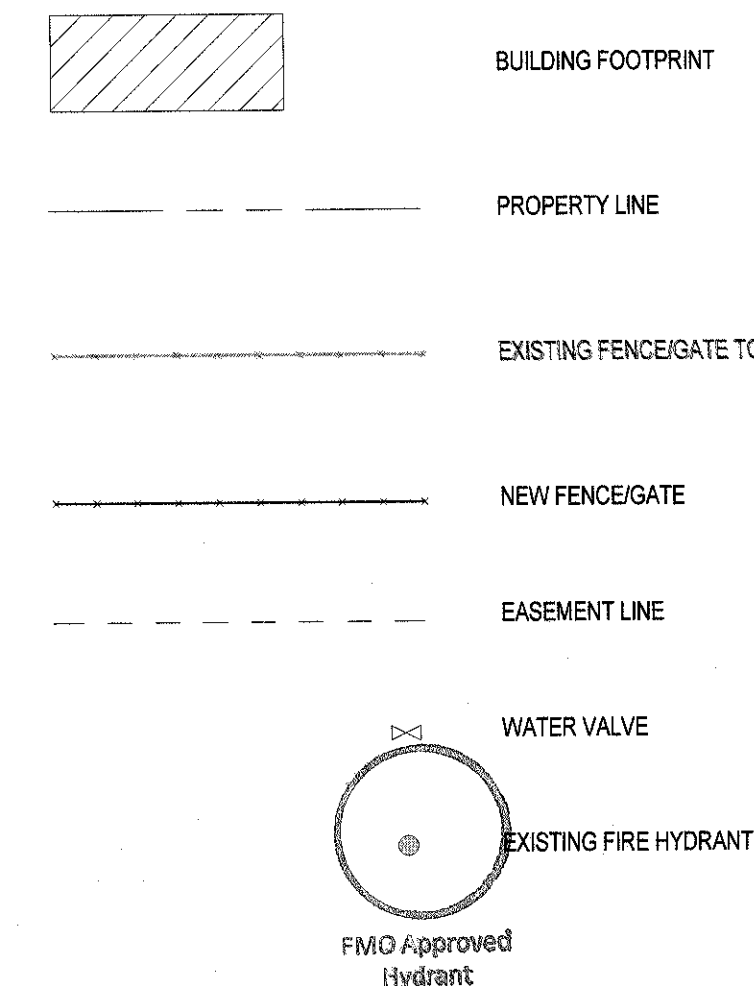
ARSON UNIT BUILDING
3,859 SQ. FT.
OCCUPANCY GROUP: B - office
TYPE: IN CONSTRUCTION
SPRINKLED: ??
15'-6" BUILDING HEIGHT

FIRE STATION BUILDING
9,554 SQ. FT.
OCCUPANCY GROUP: B - fire station
TYPE: IN CONSTRUCTION
SPRINKLED: ??
21'-4" BUILDING HEIGHT

2 EXISTING FIRE HYDRANTS NEAR SITE

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES
LESS THAN 10% AND A LOAD CAPACITY OF 15,000 POUNDS.

LEGEND



STUDIO SW ARCHITECTS
2101 Mountain Road NW Suite B | Albuquerque NM 87104
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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

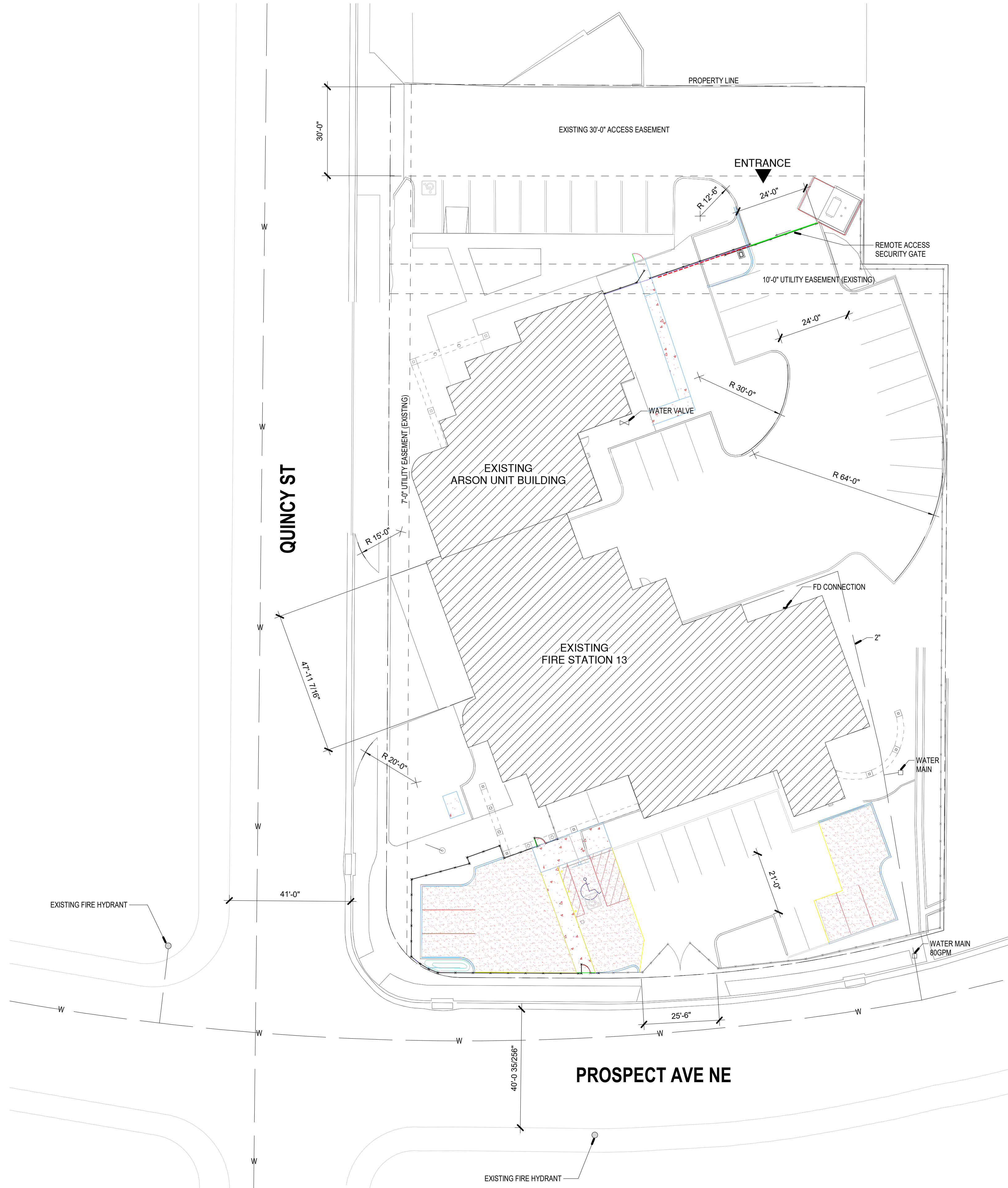
PROJECT TITLE: **ABQ FIRE STATION 13**

DRAWING TITLE: **FIRE 1 PLANS**

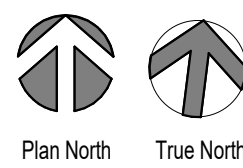
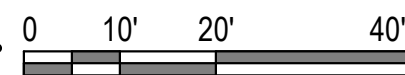
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
90% Submittal	City Project No. P7215.01 NTP#13	Zone Map No. H-17-Z	DWG. FIRE1	Sheet 2 of 14

20-002448
HYDRANT AND FIRE ACCESS
ALBUQUERQUE FIRE MARSHAL'S OFFICE
PLANS CHECKING DIVISION
8071-1119-1 CONSTRUCTION TYPE 1-2
2020-03-05
APPROVED/DISAPPROVED
APPROVED BY: [Signature]
DATE: 3/5/2020

1913.05
4/16/2020 3:14:32 AM



A1 NEW SITE PLAN
1" = 20'-0"



GENERAL NOTES

FIRE STATION 13
4801 PROSPECT AVE NE
ALBUQUERQUE, NM 87110

ARSON UNIT BUILDING
3,859 SQ. FT.
OCCUPANCY GROUP - B - office
TYPE IN CONSTRUCTION
SPRINKLED ??
15'-8" BUILDING HEIGHT

FIRE STATION BUILDING
3,504 SQ. FT.
OCCUPANCY GROUP - B fire station
TYPE IN CONSTRUCTION
SPRINKLED ??
21'-4" BUILDING HEIGHT

2 EXISTING FIRE HYDRANTS NEAR SITE

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES
LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

LEGEND

- BUILDING FOOTPRINT
- PROPERTY LINE
- EXISTING FENCE/GATE TO REMAIN
- NEW FENCE/GATE
- EASEMENT LINE
- WATER VALVE
- EXISTING FIRE HYDRANT

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ARCHITECTS

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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

PROJECT TITLE:
ABQ FIRE STATION 13

DRAWING TITLE:
FIRE 1 PLAN

Design Review Committee	City Engineer Approval	Zone Map No.	DWG.	Sheet
		H-17-Z	FIRE 1	2 of 14

Permit Set

City Project No.
P7215.01 NTP#13

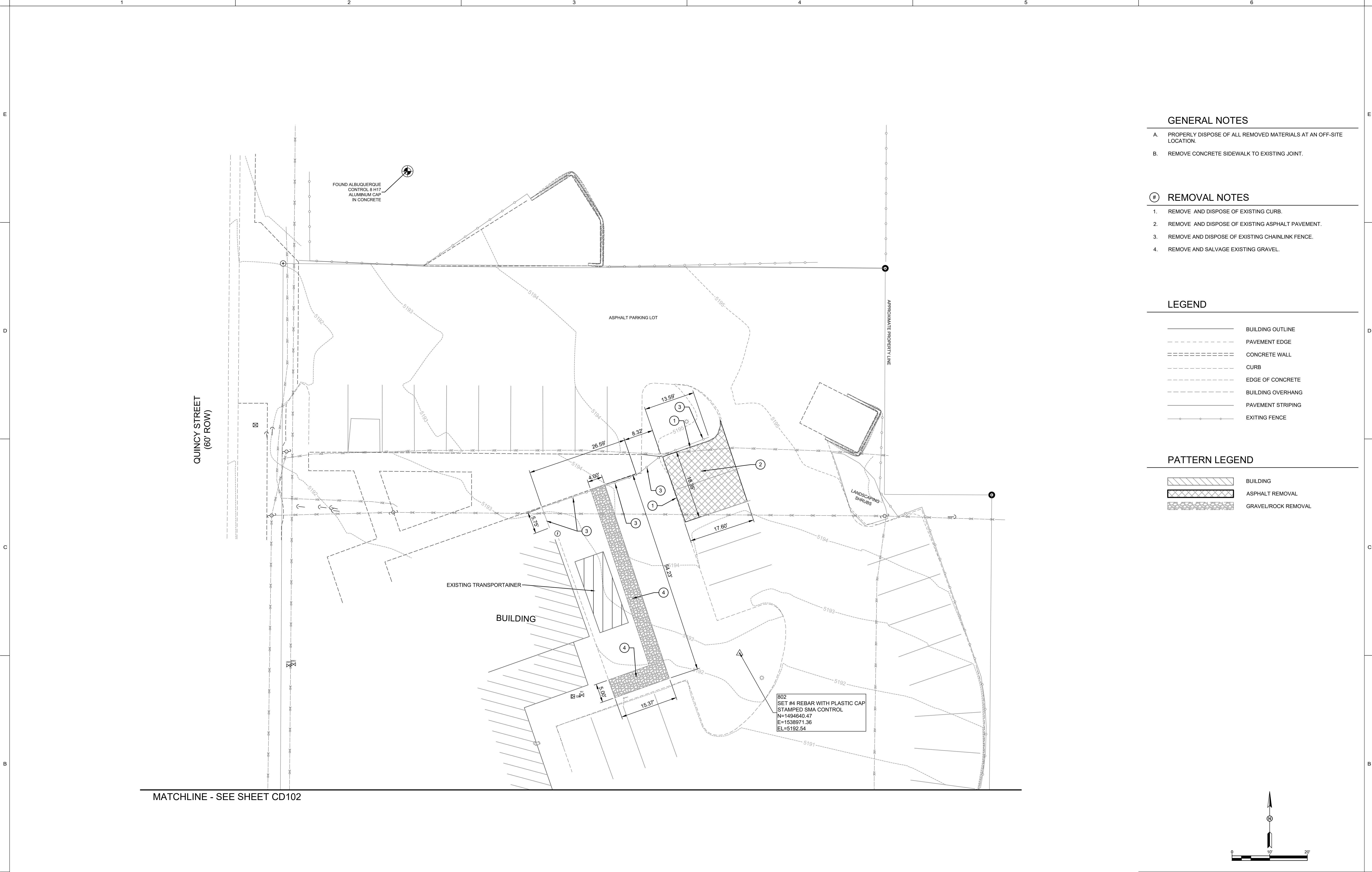
Last Design Update

Mo./Day/Yr.	Mo./Day/Yr.

No.	Date	REMARKS	By

Designed By:	L.A.	DATE	APRIL 21, 2020
Drawn By:	C.H.	DATE	APRIL 21, 2020
Checked By:	D.D.	DATE	APRIL 21, 2020

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
FIELD NOTES	DATE			CONTRACTOR	DATE
NO.	BY			WORK BY	DATE
				INSPECTED BY	DATE
				FIELD	DATE
				DESIGNED BY	DATE
				CHECKED BY	DATE
				RECORDED BY	DATE
				NO.	DATE



GENERAL NOTES

- A. PROPERLY DISPOSE OF ALL REMOVED MATERIALS AT AN OFF-SITE LOCATION.
- B. REMOVE CONCRETE SIDEWALK TO EXISTING JOINT.

REMOVAL NOTES

1. REMOVE AND DISPOSE OF EXISTING CURB.
2. REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT.
3. REMOVE AND DISPOSE OF EXISTING CHAINLINK FENCE.
4. REMOVE AND SALVAGE EXISTING GRAVEL.

LEGEND

- BUILDING OUTLINE
- PAVEMENT EDGE
- CONCRETE WALL
- CURB
- EDGE OF CONCRETE
- BUILDING OVERHANG
- PAVEMENT STRIPING
- EXISTING FENCE


PATTERN LEGEND

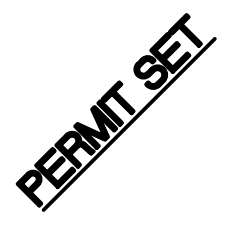
- BUILDING
- ASPHALT REMOVAL
- GRAVEL/ROCK REMOVAL

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		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT	
PROJECT TITLE: ABQ FIRE STATION 13			
DRAWING TITLE: SITE REMOVAL PLAN- NORTH			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
			Mo./Day/Yr.
90% Submittal	City Project No. P7215.01 NTP#13	Zone Map No. H-17-Z	DWG.
			Sheet CD101 3 of 14

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL	
CONTRACTOR	DATE	BENCH MARK	DATE	FIELD NOTES	DATE		
BY	DATE	NO.	DATE	BY	DATE		
INSPECTED BY	DATE						
FIELD CHECK BY	DATE						
DRAWINGS	DATE						
CORRECTED BY	DATE						
RECORDED BY	DATE						
NO.	DATE						

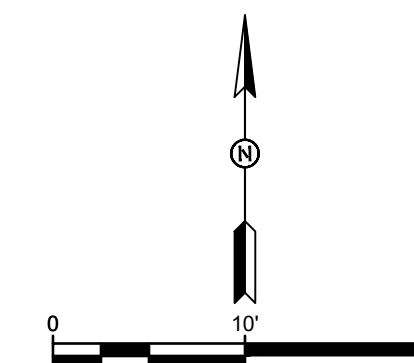
903
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- A. PROPERLY DISPOSE OF ALL REMOVED MATERIALS AT AN OFF-SITE LOCATION.
- B. REMOVE CONCRETE SIDEWALK TO EXISTING JOINT.

1. REMOVE AND DISPOSE EXISTING CONCRETE HEADER CURB.
2. REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT.
3. REMOVE AND DISPOSE EXISTING 4" THICK CONCRETE SIDEWALK.
4. REMOVE AND RELOCATE EXISTING BIKE RACK. SEE SHEET C-102 FOR NEW LOCATION.
5. REMOVE AND DISPOSE EXISTING LANDSCAPE SHRUB.
6. REMOVE AND SALVAGE EXISTING ROCK.
7. REMOVE AND SALVAGE EXISTING GRAVEL.
8. REMOVE AND DISPOSE OF EXISTING CHAINLINK FENCE AND APPURTENANCES.
9. REMOVE AND DISPOSE OF EXISTING GATE.
10. EXISTING SWING GATE TO REMAIN.
11. REMOVE AND DISPOSE EXISTING CUT-OFF WALL.

	BUILDING OUTLINE
	PAVEMENT EDGE
	CONCRETE WALL
	CURB
	EDGE OF CONCRETE
	BUILDING OVERHANG
	PAVEMENT STRIPING
	EXISTING FENCE
	EXISTING GATE

BUILDING OUTLINE
 ASPHALT REMOVAL
 SIDEWALK REMOVAL
 GRAVEL/ROCK REMOVAL



 CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

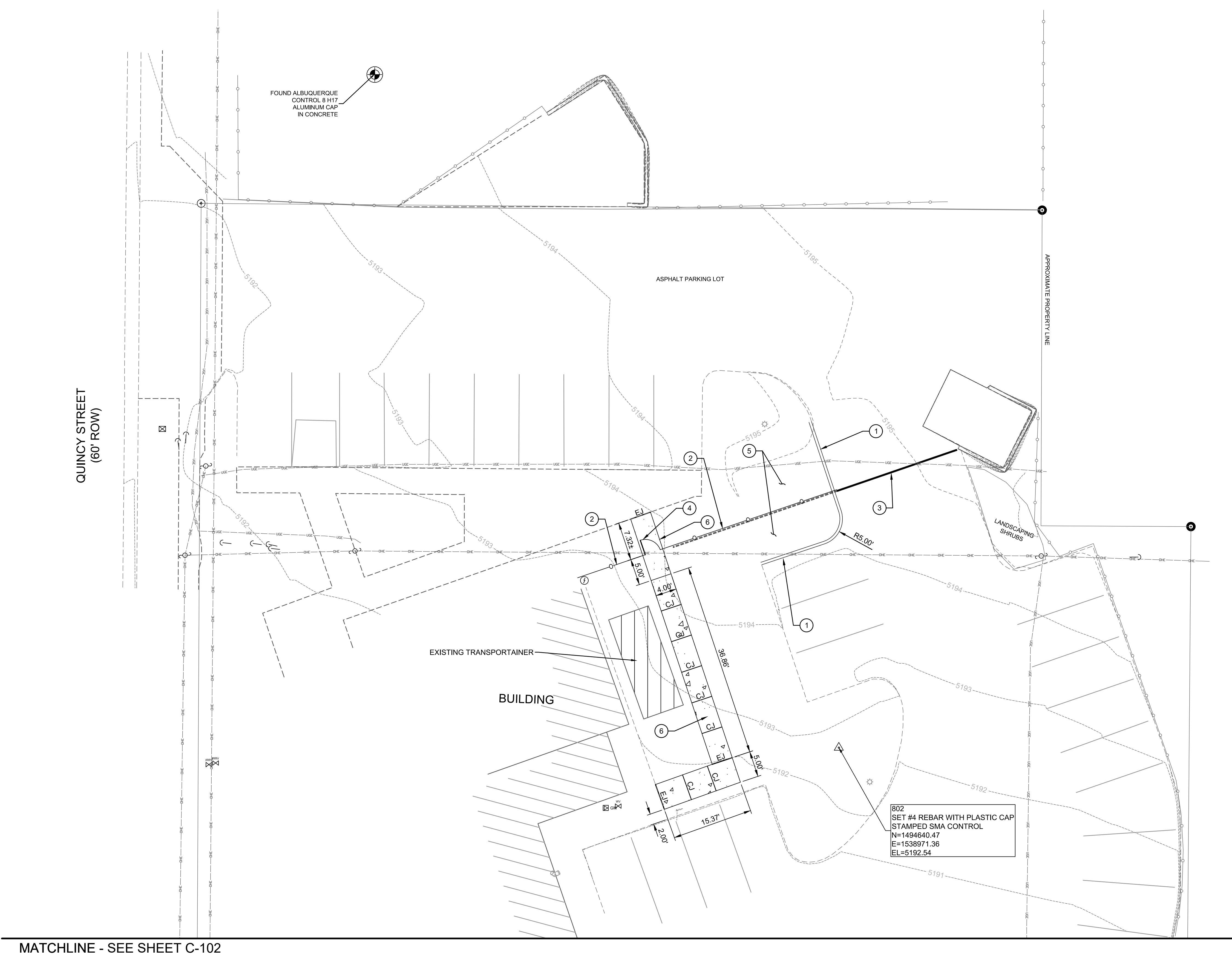
PROJECT TITLE:	ABQ FIRE STATION 13
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DRAWING TITLE: SITE REMOVAL PLAN - SOUTH

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

90% Submittal	City Project No. P7215.01 NTP#13	Zone Map No. H-17-Z	DWG. CD102	Sheet 4 of 14
---------------	-------------------------------------	------------------------	---------------	------------------

[illegible]



BUILD NOTES

- BUILD NEW CONCRETE HEADER CURB, REFERENCE DETAIL 3, SHEET C-301.
- INSTALL FENCING. SEE ARCHITECTURAL SHEETS FOR DETAILS.
- NEW 24" WIDE SLIDING GATE. SEE ARCHITECTURAL SHEET FOR DETAILS.
- INSTALL NEW PERSONNEL GATE. SEE ARCHITECTURAL SHEETS FOR DETAILS.
- PLACE SALVAGED GRAVEL ON LANDSCAPE FILTER FABRIC.
- INSTALL 4" THICK CONCRETE SIDEWALK. REFERENCE DETAIL 2, SHEET C-301.

LEGEND

- | | |
|--|-----------------------|
| | BUILDING OUTLINE |
| | PAVEMENT EDGE |
| | CONCRETE WALL |
| | CURB |
| | EDGE OF CONCRETE |
| | BUILDING OVERHANG |
| | PAVEMENT STRIPING |
| | EXISTING FENCE |
| | PROPOSED FENCE |
| | PROPOSED HEADER CURB |
| | PROPOSED SLIDING GATE |
| | RADIUS OF CURVE |
| | CONTROL JOINT |
| | EXPANSION JOINT |



		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT	
PROJECT TITLE: ABQ FIRE STATION 13			
DRAWING TITLE: SITE LAYOUT PLAN - NORTH			
Design Review Committee	City Engineer Approval	Last Design Update	
90% Submittal	City Project No. P7215.01 NTP#13	Zone Map No. H-17-Z	DWG. C-101
Sheet 5 of 14			

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL	
CONTRACTOR	DATE	NO.	DATE	FIELD NO.	DATE		
INSPECTED BY	DATE	BY	DATE	BY	DATE		
FIELD CHECK BY	DATE						
DRAWINGS	DATE						
MICRO-FILM INFORMATION							
RECORDED BY	DATE						
NO.							

MATCHLINE - SEE SHEET C-101



BUILD NOTES

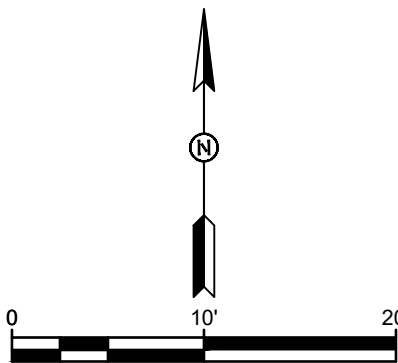
1. INSTALL 4" THICK CONCRETE SIDEWALK. REFERENCE DETAIL 2, SHEET C-301.
2. INSTALL 8" THICK CONCRETE SIDEWALK. REFERENCE DETAIL 2, SHEET C-301.
3. CURB CUT 6" WIDE.
4. INSTALL FENCING. SEE ARCHITECTURAL SHEETS FOR DETAILS.
5. EXISTING SWING GATE TO REMAIN.
6. BUILD NEW HEADER CURB. REFERENCE DETAIL 3, SHEET C-301.
7. INSTALL ASPHALT PAVEMENT. REFERENCE DETAIL 1, SHEET C-301.
8. PAINT 4" SOLID WHITE STRIPE.
9. PAINT WHITE HANDICAPPED ACCESSIBLE SYMBOL.
10. INSTALL NEW WHITE ON BLUE HANDICAPPED ACCESSIBLE SIGN WITH "VAN ACCESSIBLE".
11. INSTALL 4" THICK CONCRETE PAD.
12. RELOCATED EXISTING BIKE RACK.
13. INSTALL NEW PERSONNEL GATE. SEE ARCHITECTURAL SHEETS FOR DETAILS.
14. INSTALL BOLLARD. SEE DETAIL 4, SHEET C-301.
15. STORM WATER, FIRST FLUSH RETENTION POND. PLACE SALVAGED GRAVEL ON LANDSCAPE FILTER FABRIC.

LEGEND

- BUILDING OUTLINE
- PAVEMENT EDGE
- CONCRETE WALL
- CURB
- EDGE OF CONCRETE
- BUILDING OVERHANG
- PAVEMENT STRIPING
- EXISTING FENCE
- PROPOSED FENCE
- PROPOSED HEADER CURB
- PROPOSED PERSONNEL GATE
- BIKE RACK
- CJ CONTROL JOINT
- EJ EXPANSION JOINT

PATTERN LEGEND

- BUILDING OUTLINE
- NEW SIDEWALK
- NEW ASPHALT PAVEMENT



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

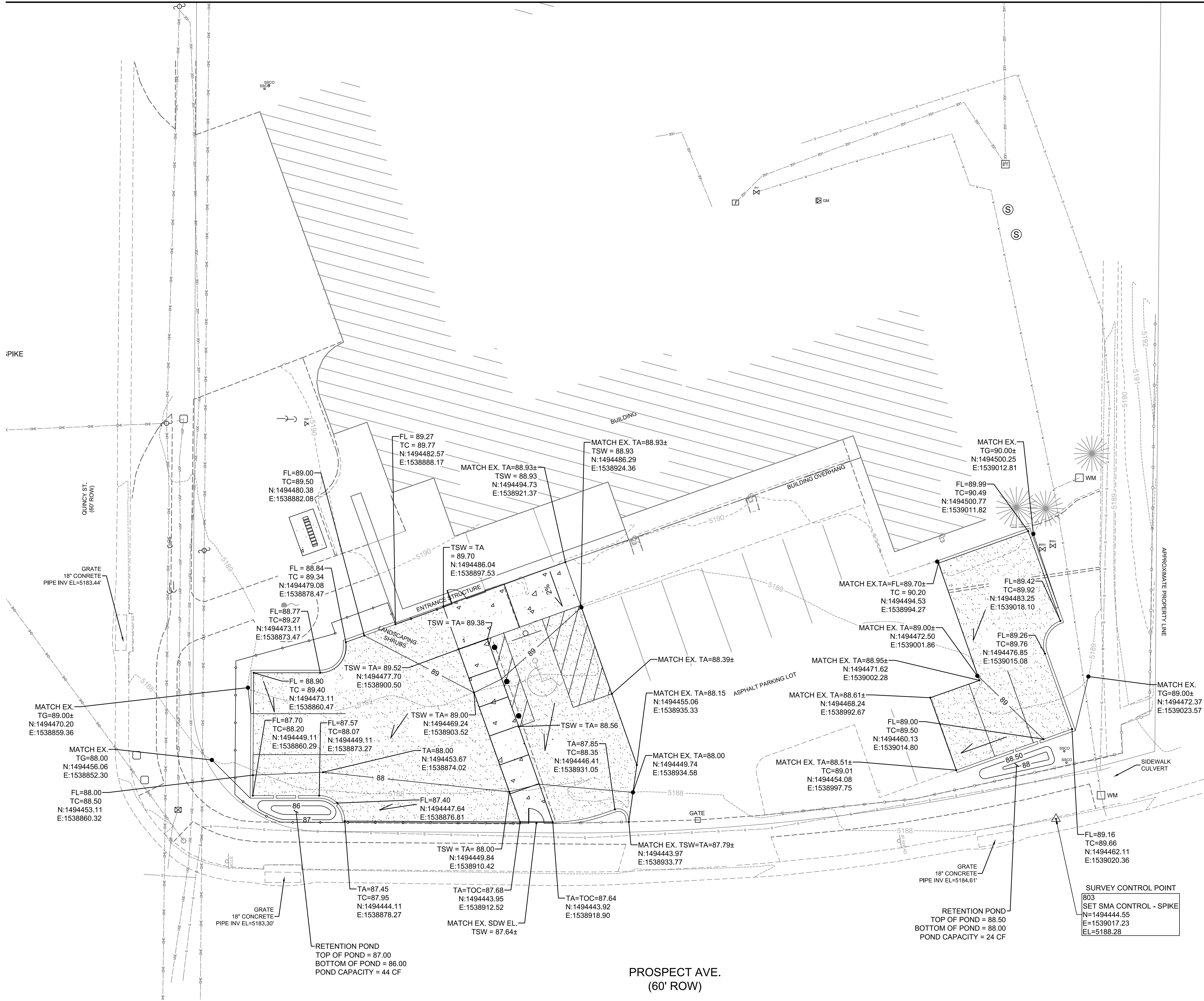
PROJECT TITLE:
ABQ FIRE STATION 13

DRAWING TITLE:
SITE LAYOUT PLAN - SOUTH

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	
			Mo./Day/Yr.	Mo./Day/Yr.
90% Submittal	City Project No. P7215.01 NTP#13	Zone Map No. H-17-Z	DWG. C-102	Sheet 6 of 14

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL	REMARKS	By
CONTRACTOR	DATE	INSPECTED BY	DATE	FIELD NO.	DATE			
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MICRO-FILM INFORMATION		RECORDED BY		DATE		No.	Date	Date

MATCHLINE - SEE SHEET C-201

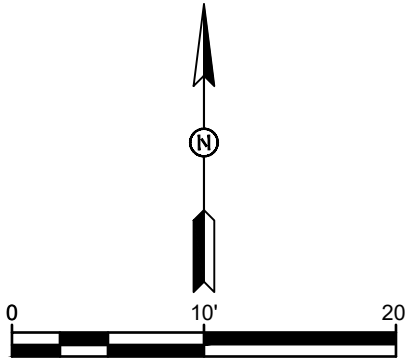


GENERAL NOTES

1. NEW PONDS ARE DESIGNED TO HOLD FIRST FLUSH.

LEGEND

- BUILDING OUTLINE
PAVEMENT EDGE
BLOCK WALL FENCE
CURB
EDGE OF CONCRETE
BUILDING OVERHANG
PAVEMENT STRIPING
EXISTING FENCE
PROPOSED FENCE
PROPOSED HEADER CURB
PROPOSED SLIDING GATE
TOP OF SIDEWALK
TOP OF CURB
TOP OF ASPHALT
FLOWLINE
EXISTING
TOP OF GROUND
DIRECTION OF FLOW



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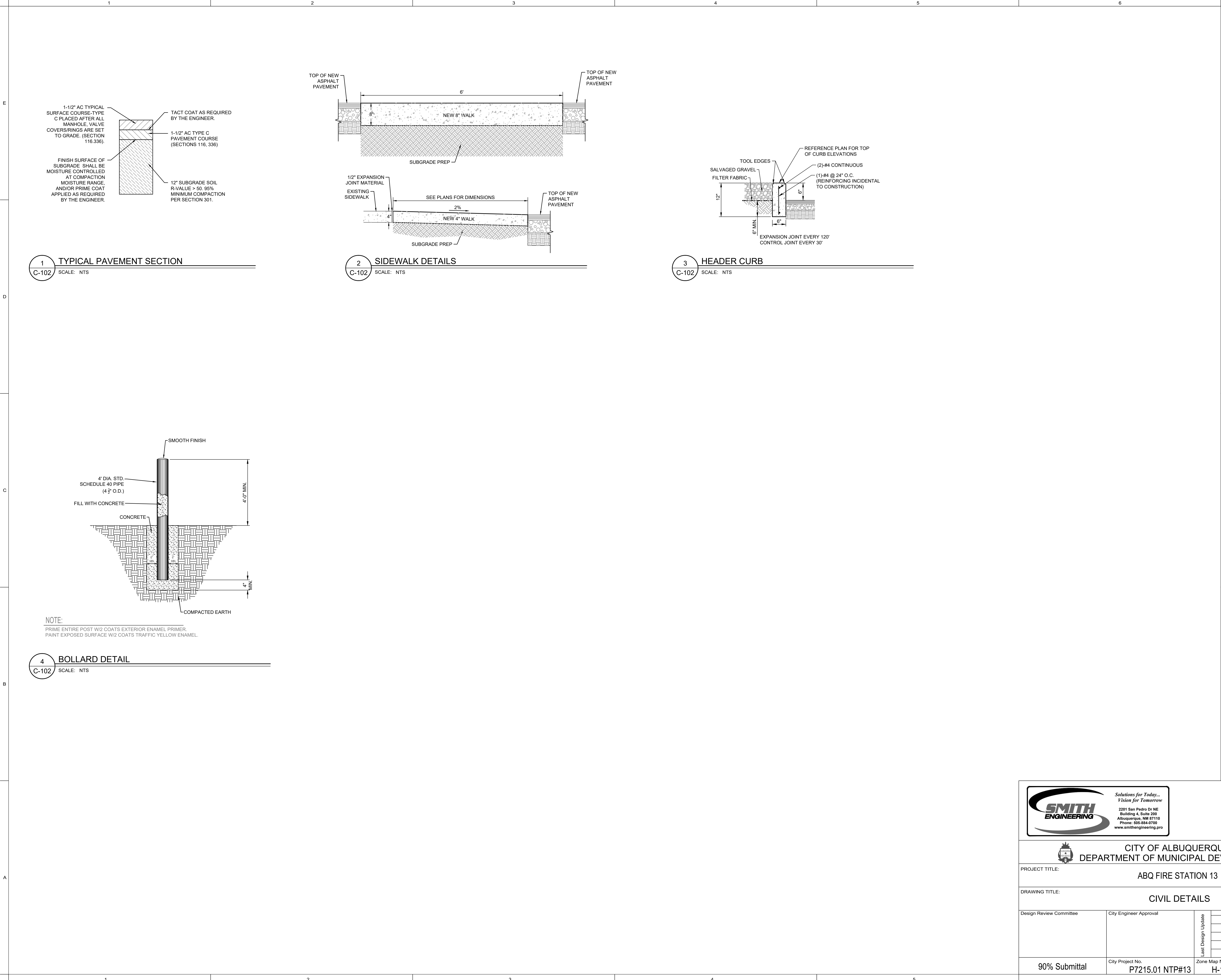
CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

PROJECT TITLE:
ABQ FIRE STATION 13

DRAWING TITLE:
SITE GRADING PLAN - SOUTH

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
90% Submittal	City Project No. P7215.01 NTP#13	Zone Map No. H-17-Z	DWG. C-202	Sheet 8 of 14


AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL	FIELD NOTES		DATE	
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INSPECTED BY	DATE	INSPECTED BY	DATE							
FIELD CHECK BY	DATE	FIELD CHECK BY	DATE							
MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		REMARKS	REVISIONS		DATE	
RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE		NO.	DATE	DATE	DATE





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PROJECT TITLE:
ABQ FIRE STATION 13

DRAWING TITLE:
CIVIL DETAILS

Design Review Committee

City Engineer Approval

Last Design Update

Mo./Day/Yr.

Mo./Day/Yr.

90% Submittal

City Project No.
P7215.01 NTP#13

Zone Map No.
H-17-Z

DWG.
C-301

Sheet
9 of 14

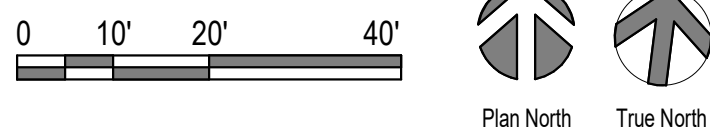
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A1 SITE PLAN - EXISTING AND FOR REFERENCE ONLY
1" = 20'-0"



GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS.

DESCRIPTION OF WORK

INCREASING SIZE OF THE EXISTING PARKING LOT FROM 23 SPACES TO 26-30 SPACES, WITH RESERVED SPACES DEDICATED TO CITY OF ALBUQUERQUE SATELLITE PARKING, ALSO EXPANDING THE EXISTING FENCE LINE TO ENCOMPASS THE SOUTHWEST AREA OF THE SITE AND ADDING NEW ELECTRIC VEHICLE ENTRY AND EXIT GATES.

LEGEND


- BUILDING FOOTPRINT
- PROPERTY LINE



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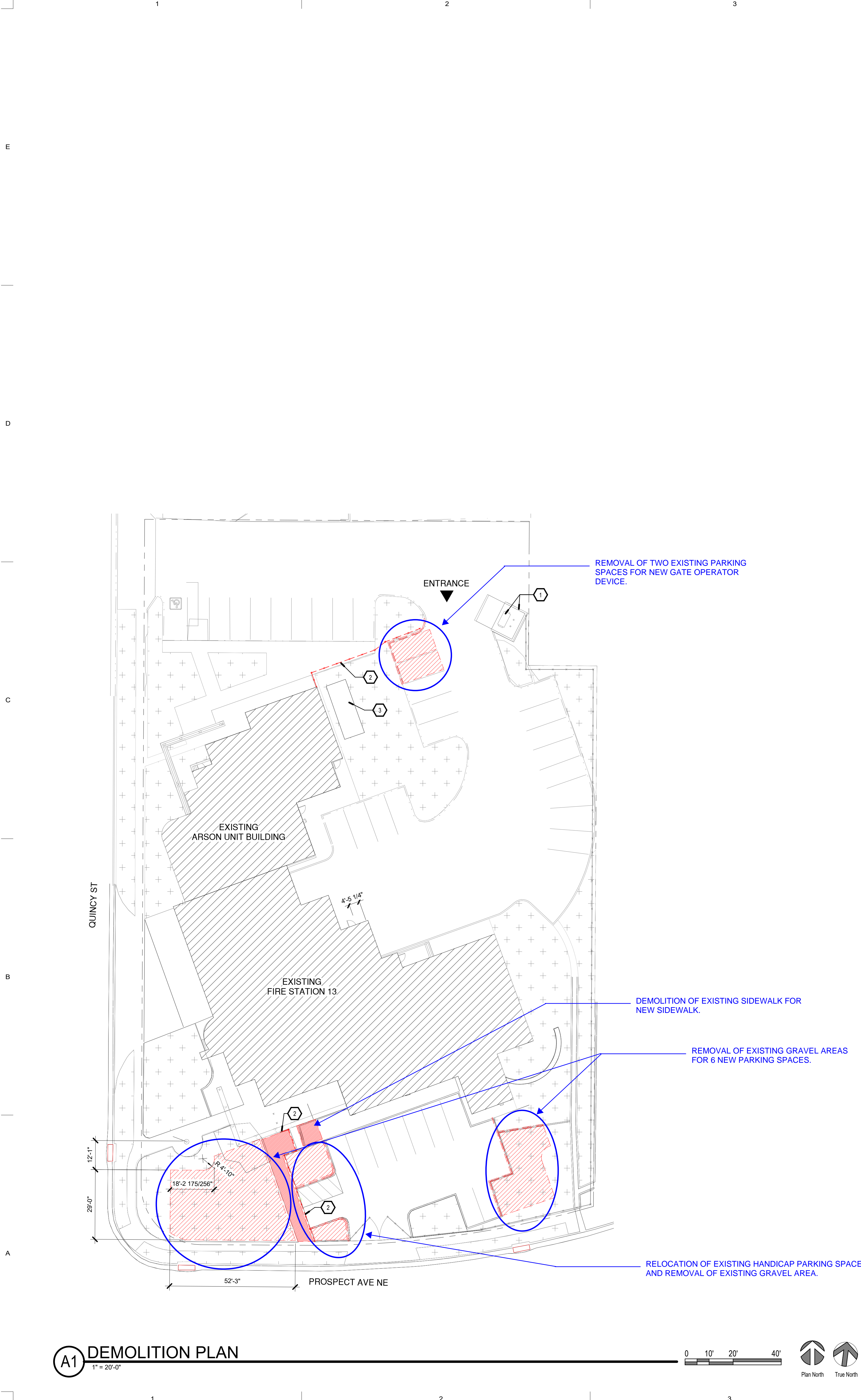
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 CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT		PROJECT TITLE: ABQ FIRE STATION 13	
DRAWING TITLE: EXISTING SITE PLAN - OVERALL		DESIGNED BY: L.A. DRAWN BY: C.H. CHECKED BY: D.D.	
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
			Mo./Day/Yr.
Permit Set	City Project No. P7215.01 NTP#13	Zone Map No. H-17-Z	Sheet 10 of 14
			AS101

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	FIELD NOTES	DATE	BY	CONTRACTOR	DATE
				WORK BY	DATE
				INSPECTED BY	DATE
				FIELD	DATE
				CONSTRUCTION BY	DATE
				CORRECTED BY	DATE
				MICRO-FILM INFORMATION	
				RECORDED BY	DATE
				NO.	

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SELECTIVE DEMOLITION

A. DEMOLITION WORK SHALL COMPLY WITH ANSI A10.6 AND NFPA 24.1

B. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. HAZARDOUS WASTE SHALL BE HANDLED AND DISPOSED OF IN COMPLIANCE WITH HAZARDOUS MATERIALS REGULATIONS. REPORTS REGARDING THE PRESENCE OF HAZARDOUS MATERIALS ARE ON FILE AT THE OFFICE OF THE ARCHITECT AND ARE AVAILABLE FOR REVIEW AND USE BY THE CONTRACTOR. THE CONTRACTOR SHALL EXAMINE THE REPORTS AND THE SITE CONDITIONS PRIOR TO COMMENCING THE WORK.

C. ALL DEMOLITION WORK SHALL BE PERFORMED BY PERSONS EXPERIENCED IN DEMOLITION WORK SIMILAR IN NATURE AND EXTENT TO THAT REQUIRED BY THIS PROJECT.

D. DO NOT OBSTRUCT PUBLIC WAYS ADJACENT TO THE PROJECT WITHOUT WRITTEN AUTHORIZATION FROM AUTHORITIES HAVING JURISDICTION. ERECT TEMPORARY BARRICADES, PASSAGEWAYS, OR OTHER PROTECTION AS REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES, AND AS REQUIRED BY JURISDICTIONAL AUTHORITIES.

E. PROTECT EXISTING SITEWORK, AND EXISTING BUILDING EXTERIOR CONDITIONS AND FEATURES.

F. PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE THE STABILITY AND INTEGRITY OF THE EXISTING CONSTRUCTION TO REMAIN, AND AS NECESSARY TO PREVENT THE UNPLANNED COLLAPSE OF THE MATERIALS OF CONSTRUCTION BEING DEMOLISHED.

G. IN THE EVENT THAT UNANTICIPATED CONDITIONS ARE ENCOUNTERED, INCLUDING MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENT OF THE DEMOLITION DRAWINGS, REPORT SUCH CONDITIONS IMMEDIATELY TO THE ARCHITECT, AND DO NOT PROCEED WITH THE AFFECTED WORK UNTIL AUTHORIZED BY THE ARCHITECT.

H. ITEMS TO BE REMOVED SHALL BE DETACHED FROM THE EXISTING CONSTRUCTION EMPLOYING CUTTING AND REMOVAL METHODS THAT ARE LEAST LIKELY TO DAMAGE ADJACENT CONSTRUCTION WHICH IS TO REMAIN.

I. REMOVED ITEMS SHALL BE DISPOSED OF LEGALLY OFF-SITE, UNLESS DESIGNATED TO BE SALVAGED, OR REMOVED AND STORED.

J. ITEMS DESIGNATED TO BE SALVAGED SHALL BE DETACHED FROM THE EXISTING CONSTRUCTION AND DELIVERED TO THE OWNER REPRESENTATIVE. THE OWNER REPRESENTATIVE IS ENTITLED TO SALVAGE AND/OR REMOVE EQUIPMENT, HARDWARE, FIXTURES, AND FURNISHINGS FROM ALL AREAS OF THE CONTRACT PRIOR TO DEMOLITION.

K. ITEMS DESIGNATED TO BE REMOVED AND STORED SHALL COMPLY WITH THE PROCEDURES AND REQUIREMENTS DESCRIBED UNDER HISTORIC TREATMENT PROCEDURES.

L. MAINTAIN EXISTING UTILITY SERVICES AND FIRE PROTECTION FACILITIES, AND PROTECT THEM FROM DAMAGE DURING THE DEMOLITION OPERATIONS. INTERRUPTIONS OF UTILITIES TO THE BUILDING SHALL BE COORDINATED WITH THE OWNER REPRESENTATIVE.

M. TEMPORARILY SHUT OFF UTILITIES TO SELECTED PORTIONS OF THE BUILDING AS REQUIRED BY DEMOLITION OPERATIONS. CAP, VALVE, PLUG, OR SEAL ENDS OF PIPING AND CONDUIT REQUIRED TO BE CUT-OFF OR DISCONNECTED BY THE DEMOLITION WORK. MAINTAIN CONTINUITY OF UTILITIES TO OTHER PORTIONS OF THE BUILDING.

N. COMPLY WITH THE OWNER REPRESENTATIVE REQUIREMENTS FOR USING AND PROTECTING ELEVATORS, STAIRS, BUILDING ENTRANCES, AND OTHER BUILDING FACILITIES DURING DEMOLITION OPERATIONS.

O. COMPLY WITH THE FOLLOWING DUST CONTROL MEASURES:

1. GENERAL:

a. ISOLATE THE WORK AREA FOR THE DURATION OF THE WORK BY COMPLETELY SEALING OFF ALL OPENINGS AND FIXTURES IN THE WORK AREA, INCLUDING BUT NOT LIMITED TO, HEATING AND VENTILATION DUCTS, DOORWAYS, CORRIDORS, WINDOWS, AND LIGHTING WITH PLASTIC SHEETING TAPED SECURELY IN PLACE. BUILD DOUBLE BARRIERS OF PLASTIC SHEETING AT ALL ENTRANCES AND EXITS TO THE WORK AREA SO THAT THE WORK AREA IS ALWAYS CLOSED OFF BY ONE BARRIER WHEN WORKERS ENTER OR EXIT.

b. COVER ALL FLOORS AND WALL SURFACES IN THE WORK AREA WITH PLASTIC SHEETING TAPED SECURELY IN PLACE TO PROTECT FROM DAMAGE. BEFORE WORK IS BEGUN, REMOVE ALL REMOVABLE ITEMS AND EQUIPMENT FROM THE WORK AREA AND STORE AS DIRECTED.

c. COVER ALL NON-REMOVABLE ITEMS AND EQUIPMENT IN THE WORK AREA WITH PLASTIC SHEETING TAPED SECURELY IN PLACE.

d. REMOVE ALL HEATING, VENTILATION, AND AIR-CONDITIONING SYSTEM FILTERS. PACK THEM IN SEALABLE PLASTIC BAGS (MIN. MINIMUM) FOR DISPOSAL IN THE APPROVED WASTE DISPOSAL SITE AND REPLACE THEM WITH NEW FILTERS.

3. POST WARNING SIGNS AND LABELS AS REQUIRED BY 29 CFR 1910.1001, ASTM E 848.

P. MAINTAIN ALL FIRE EXITS DURING CONSTRUCTION.

SPECIAL PROCEDURES

A. ALL PERSONNEL PERFORMING THE WORK SHALL BE FULLY TRAINED, EXPERIENCED, AND QUALIFIED TO DO THE WORK AND SHALL BE ADEQUATELY INSTRUCTED AND SUPERVISED TO INSURE THAT ALL PARTS AND FEATURES OF THE BUILDING THAT ARE TO BE LEFT IN PLACE ARE PROTECTED FROM DAMAGE DURING THE DEMOLITION OPERATIONS AND MAINTAINED IN THEIR CURRENT CONDITION OR STATE. SUPERVISORY PERSONNEL SHALL BE PRESENT AT ALL TIMES WHEN WORK IS IN PROGRESS.

B. PRIOR TO COMMENCING THE DEMOLITION WORK THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE AT THE PROJECT SITE. ALL KEY PERSONNEL THAT WILL BE INVOLVED IN THE WORK, INCLUDING SUPERVISORY PERSONS, ARCHITECT AND OWNERS REPRESENTATIVE SHALL ATTEND THE CONFERENCE. THE AGENDA FOR THE PRE-CONSTRUCTION CONFERENCE SHALL INCLUDE A REVIEW OF THE SCOPE OF THE PROJECT, AND SPECIAL CONDITIONS AND PROCEDURES INVOLVED IN THE WORK.

C. THE MARKING, IDENTIFICATION OR CATALOGING OF ANY ITEMS OR MATERIALS EXCEPT THOSE DESIGNATED FOR DEMOLITION, SHALL UTILIZE TEMPORARY MEANS OF IDENTIFICATION THAT ARE INCONSPICUOUS AND THAT DO NOT DAMAGE, MARK OR OTHERWISE ALTER THE APPEARANCE OR FINISH OF SUCH ITEMS OR MATERIALS.

D. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT FROM DAMAGE, ALL WORK THAT IS TO REMAIN IN PLACE, INCLUDING GENERAL CONSTRUCTION, FLOOR, WALL, AND CEILING FINISHES, HARDWARE, FIXTURES, AND ATTACHMENT OF TEMPORARY PROTECTION TO THE EXISTING CONSTRUCTION REMAIN SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

E. PRIOR TO COMMENCING THE WORK, THE CONTRACTOR SHALL IDENTIFY AND DOCUMENT EXISTING CONDITIONS, INCLUDING CONDITIONS OF ADJOINING CONSTRUCTION TO REMAIN IN PLACE, WHICH MAYBE MISCONSTRUED AS DAMAGE CAUSED BY THE OPERATIONS OF THIS PROJECT. SUBMIT THIS INFORMATION TO THE ARCHITECT BEFORE THE WORK BEGINS.

F. IN THE EVENT OF DAMAGE TO ANY ITEM THAT IS TO REMAIN IN PLACE THE CONTRACTOR SHALL REPAIR AND RESTORE THE DAMAGED ITEM TO ITS ORIGINAL CONDITION.

G. IN THE EVENT THAT PROTECTIVE MEASURES INCLUDE TEMPORARY REMOVAL OF ITEMS OR MATERIALS THAT ARE TO REMAIN, EMPLOY METHODS WHICH WILL PREVENT DAMAGE TO SUCH ITEMS OR MATERIALS DURING THEIR REMOVAL, STORAGE, AND REINSTALLATION. CLEARLY IDENTIFY ALL PARTS IN SUCH A MANNER THAT THEY CAN BE INSTALLED IN THEIR ORIGINAL LOCATION AND ORIENTATION.

H. ALONG THE PATH OF TRAVEL FOR THE MOVEMENT OF EQUIPMENT THROUGHOUT THE BUILDING, REMOVAL OF DEMOLISHED MATERIALS, ETC. TEMPORARILY REMOVE DOORS FROM THEIR HINGES AND IDENTIFY TO ALLOW REPLACEMENT OF EACH DOOR IN ITS ORIGINAL OPENING AND PER ITS ORIGINAL ORIENTATION AND STORE SAFELY. PAD AND/OR OTHERWISE PROTECT DOOR FRAMES, MOLDINGS, BASE, FLOOR AND WALLS AS NECESSARY TO PREVENT DAMAGE DURING DEMOLITION PROCEDURES.

I. IN THE EVENT THAT THE CONTRACTOR PROPOSES PROCEDURES OTHER THAN THOSE DESCRIBED FOR THE WORK, PROVIDE A DESCRIPTION SUCH PROPOSED PROCEDURES FOR REVIEW AND APPROVAL BY THE ARCHITECT PRIOR TO PRECEDING WITH THAT PORTION OF THE WORK.

J. ALL ITEMS TO BE REMOVED AND SALVAGED TO OWNER SHALL BE IDENTIFIED PER GENERAL NOTE "O" ABOVE, CATALOGUED PER THE DIRECTION OF OWNER, AND STORED ON PALLETS IN A LOCATION DESIGNATED BY THE OWNER.

K. COMPLY WITH THE FOLLOWING PROCEDURES WHILE PERFORMING WORK WITH HEAT-GENERATING EQUIPMENT, INCLUDING WELDING, CUTTING, SOLDERING, BRAZING, PAINT REMOVAL WITH HEAT, AND OTHER OPERATIONS WHERE OPEN FLAMES OR IMPLEMENTS UTILIZING HEAT ARE USED:

1. OBTAIN OWNERS APPROVAL FOR OPERATIONS INVOLVING USE OF OPEN-FLAME OR WELDING EQUIPMENT.

a. NOTIFICATION SHALL BE GIVEN FOR EACH OCCURRENCE AND LOCATION OF WORK WITH HEAT-GENERATING EQUIPMENT.

2. AS FAR AS PRACTICAL USE HEAT-GENERATING EQUIPMENT IN SHOP AREAS OR OUTSIDE THE BUILDING.

3. BEFORE WORK WITH HEAT-GENERATING EQUIPMENT COMMENCES FURNISH PERSONNEL TO SERVE AS A FIRE WATCH (OR WATCHES) FOR LOCATIONS WHERE WORK IS TO BE PERFORMED.

4. DO NOT PERFORM WORK WITH HEAT-GENERATING EQUIPMENT IN OR NEAR ROOMS OR IN AREAS WHERE FLAMMABLE LIQUIDS OR EXPLOSIVE VAPORS ARE PRESENT OR THOUGHT TO BE PRESENT. USE A COMBUSTIBLE GAS INDICATOR TEST TO ENSURE THAT THE AREA IS SAFE.

5. REMOVE AND KEEP THE AREA FREE OF COMBUSTIBLES, INCLUDING RUBBISH, PAPER, WASTE, ETC., WITHIN AREA OF OPERATIONS.

a. IF COMBUSTIBLE MATERIAL CANNOT BE REMOVED, PROVIDE FIREPROOF BLANKETS TO COVER SUCH MATERIALS.

6. WHERE POSSIBLE, FURNISH AND USE BAYNETS OF METAL OR GYPSUM BOARD TO PREVENT THE SPRAYING OF SPARKS OR HOT SLAG INTO SURROUNDING COMBUSTIBLE MATERIAL.

7. PREVENT THE EXTENSION OF SPARKS AND PARTICLES OF HOT METAL THROUGH OPEN WINDOWS, DOORS, HOLES AND CRACKS IN FLOORS, WALLS, CEILINGS, ROOFS, AND OTHER OPENINGS.

8. INSPECT EACH LOCATION OF THE DAYS WORK NOT SOONER THAN 30 MINUTES AFTER COMPLETION OF OPERATIONS TO DETECT HIDDEN OR SMOLDERING FIRES AND TO ENSURE THAT PROPER HOUSEKEEPING IS MAINTAINED.

9. WHERE SPRINKLER PROTECTION EXISTS AND IS FUNCTIONAL, MAINTAIN IT WITHOUT INTERRUPTION WHILE OPERATIONS ARE BEING PERFORMED. IF OPERATIONS ARE PERFORMED CLOSE TO AUTOMATIC SPRINKLER HEADS, SHIELD THE INDIVIDUAL HEADS TEMPORARILY WITH GUARDS.

M. INSPECT THE LOCATION OF WORK AT THE COMPLETION OF OPERATIONS EACH DAY. SMOKING BY PERSONNEL PERFORMING WORK IN OR NEAR THE PROJECT STRUCTURE SHALL BE PROHIBITED.

N. KEEP THE ROOF SEALED TIGHT DURING DEMOLITION AND CONSTRUCTION.

GENERAL NOTES

A. FIELD VERIFY ALL DIMENSIONS.

SHEET KEYNOTES

1. EXISTING DUMPSTER AND WALL ENCLOSURE TO REMAIN.

2. EXISTING FENCE TO BE REMOVED.

3. EXISTING TRANSPORTAINER TO REMAIN.

LEGEND

BUILDING FOOTPRINT

AREA TO BE REMOVED - REFER TO CIVIL

CONCRETE SURFACE TO BE REMOVED - REFER TO CIVIL

EXISTING GRAVEL

PROPERTY LINE

EXISTING FENCE/GATE TO REMAIN

DEMOLITION

FENCE/GATE TO BE REMOVED

NEW FENCE/GATE

AS-BUILT INFORMATION

CONTRACTOR WORK BY: REFLECTOR BY: FIELD BY: DEMOLITION BY: CORRECTED BY:

DATE: DATE: DATE: DATE: DATE: DATE:

BENCH MARKS

NO. DATE

SURVEY INFORMATION

FIELD NOTES

NO. BY DATE

SEAL

REVISIONS

DESIGN

By: No. Date

DATE: APRIL 21, 2020

DATE: APRIL 21, 2020

DATE: APRIL 21, 2020

CITY OF ALBUQUERQUE

DEPARTMENT OF MUNICIPAL DEVELOPMENT

PROJECT TITLE: ABQ FIRE STATION 13

DRAWING TITLE: DEMOLITION PLAN

Design Review Committee: City Engineer Approval: Last Design Update: Mo./Day/Yr. Mo./Day/Yr.

Permit Set: City Project No. P7215.01 NTP#13 Zone Map No. H-17-Z DWG. AS102 Sheet 11 of 14

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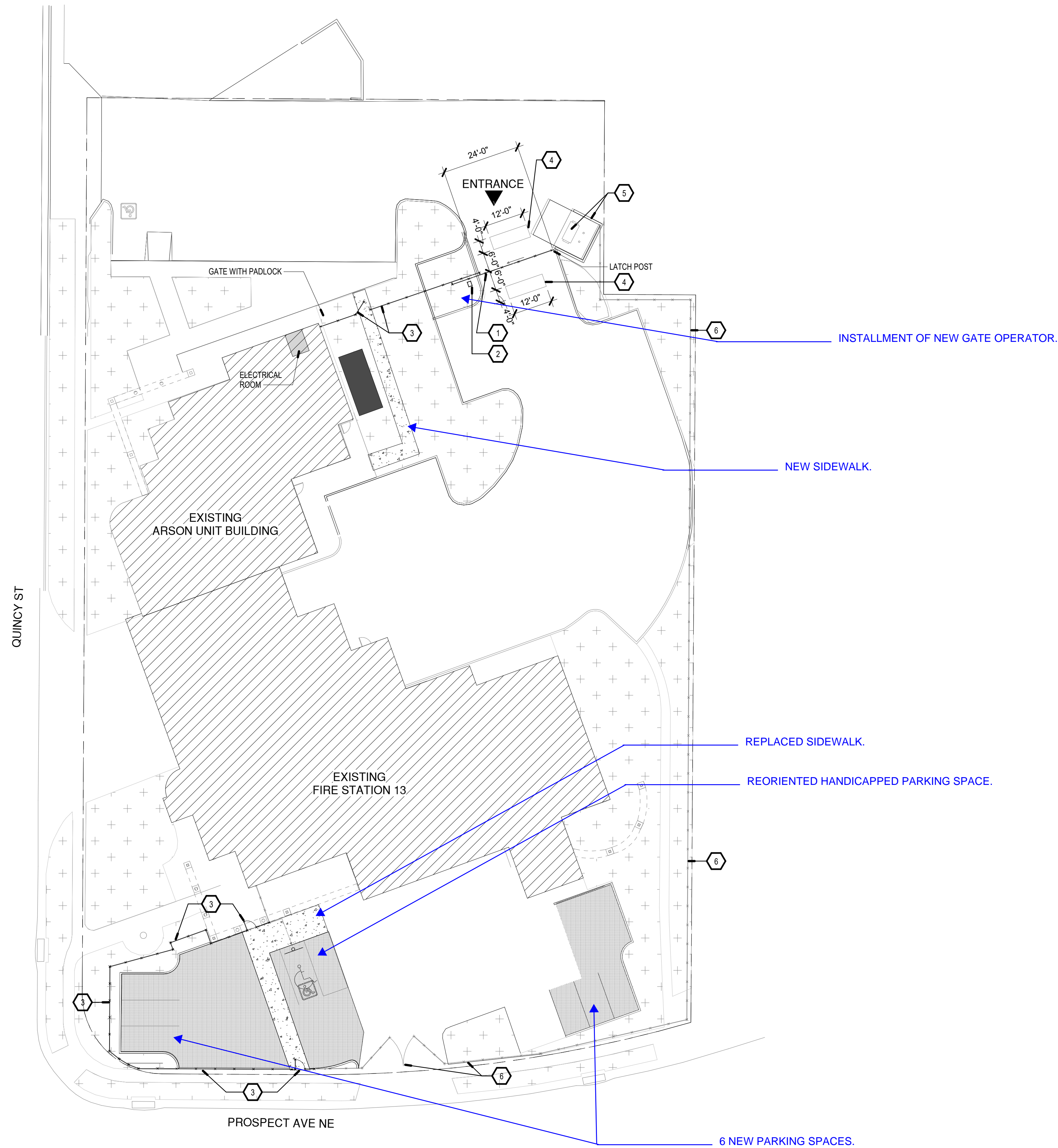
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GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS.

SHEET KEYNOTES

1. INSTALL NEW 3'-0" SLIDER GATE, BASIS OF DESIGN
2. LIFT MASTER ELITE SERIES CSL24UL HIGH TRAFFIC COMMERCIAL SLIDE GATE OPERATOR, BASIS OF DESIGN
3. INSTALL NEW FENCE/GATE PER MANUFACTURER'S DETAILS ADDRESSED IN SPECIFICATIONS AS REQUESTED PER WARRANTY.
4. 1.5" X 1/4" SAWCUT WITH POURABLE CRACK FILLER
5. EXISTING DUMPSTER AND WALL ENCLOSURE TO REMAIN.
6. EXISTING CHAINLINK PERIMETER FENCE AND GATES SHALL REMAIN.

LEGEND

- BUILDING FOOTPRINT
- NEW PAVEMENT - REFER TO CIVIL
- NEW SIDEWALK - REFER TO CIVIL
- EXISTING GRAVEL
- PROPERTY LINE
- EXISTING FENCE/GATE TO REMAIN
- NEW FENCE/GATE
- EASEMENT LINE
- WATER VALVE
- EXISTING FIRE HYDRANT

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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

PROJECT TITLE: **ABQ FIRE STATION 13**

DRAWING TITLE: **NEW SITE PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
Permit Set	City Project No. P7215.01 NTP#13	Zone Map No. H-17-Z	DWG. AS103	Sheet 12 of 14

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		SEAL		REVISIONS		DESIGN	
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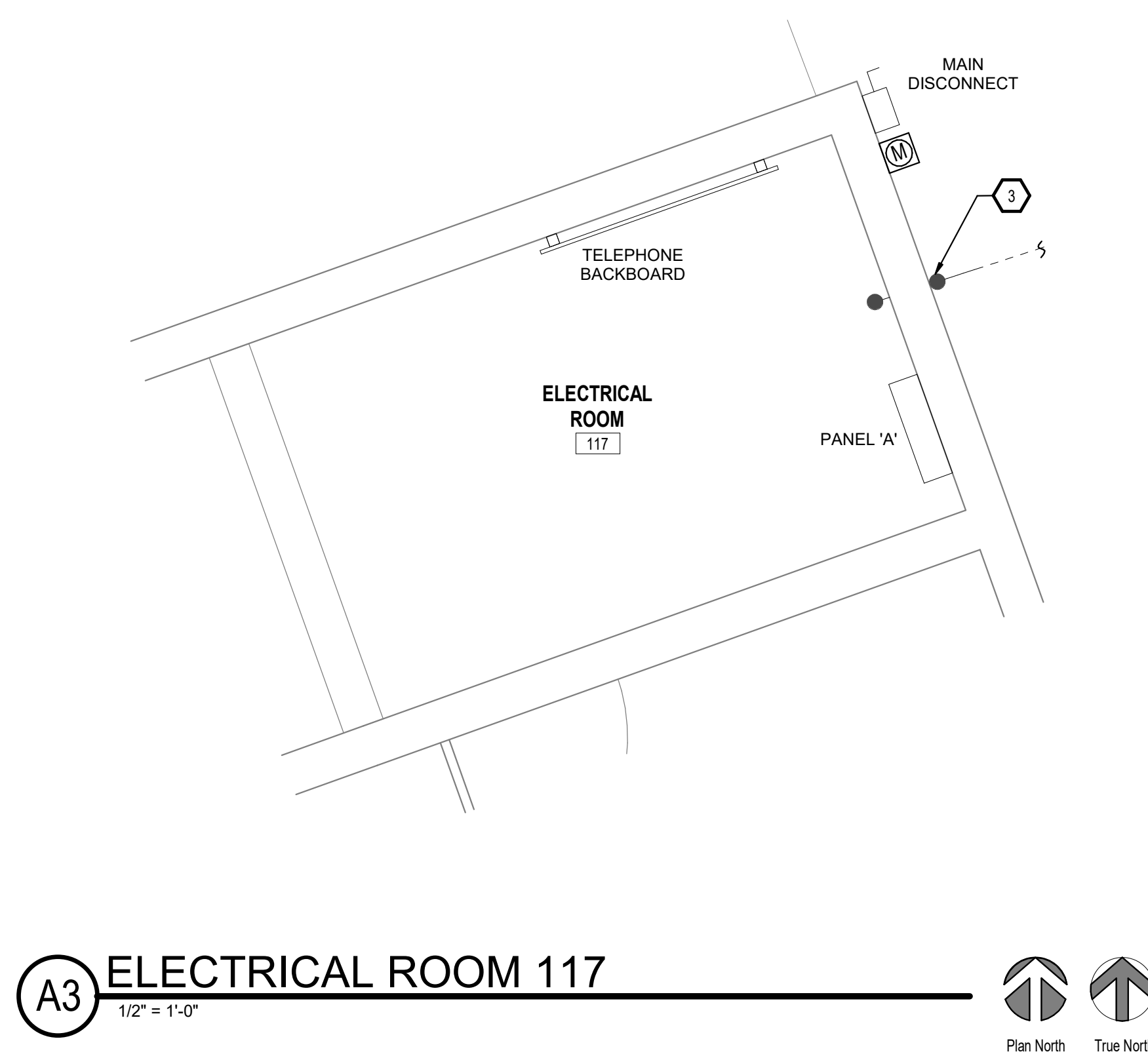
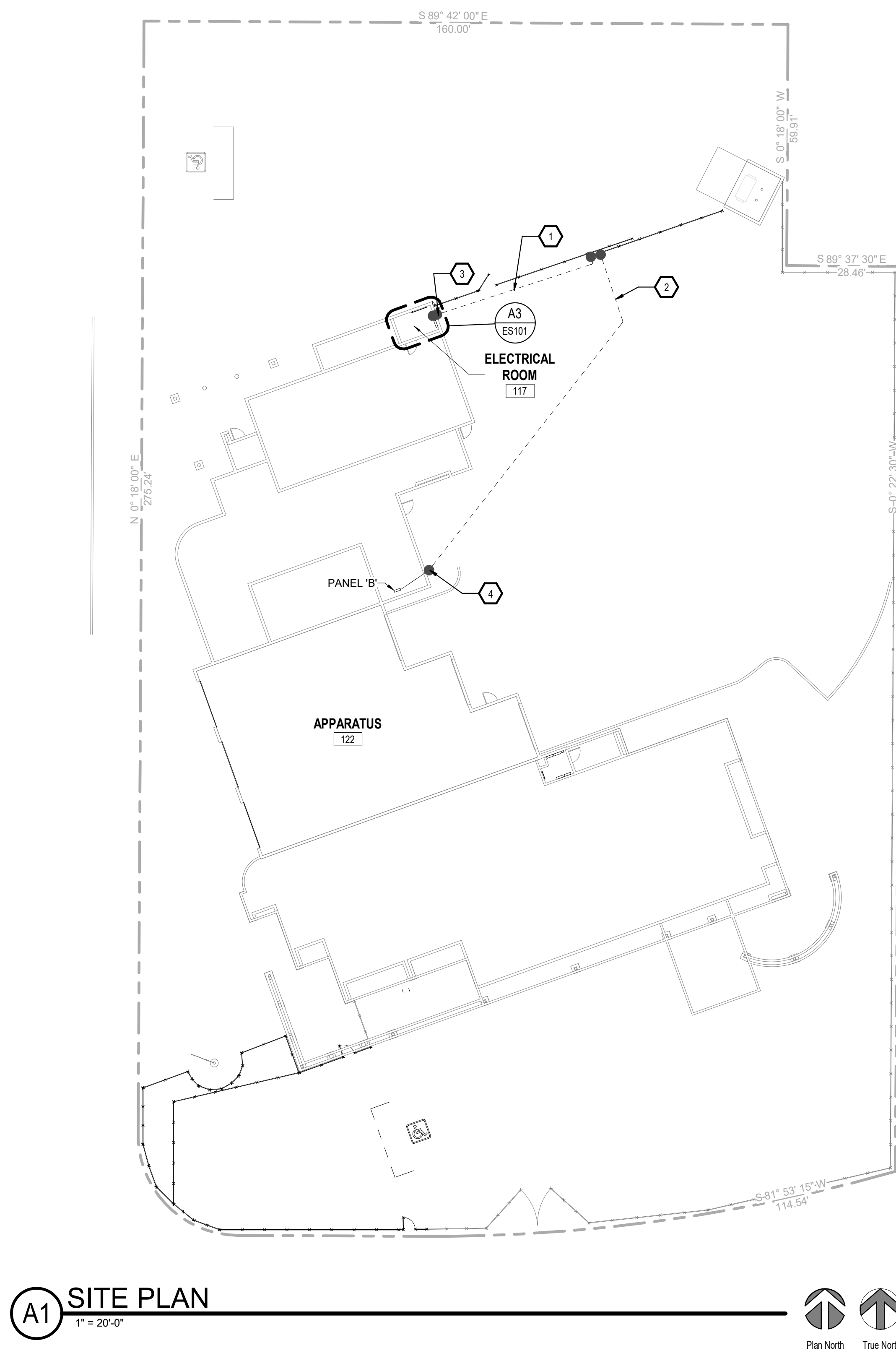
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GENERAL NOTES:

- A. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROVIDING ALL WORK INDICATED ON THE DRAWINGS, THIS CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, SUPPLIES, AND MATERIALS IN ADDITION TO PERFORMING ALL OPERATIONS.
- B. PERFORM ALL ELECTRICAL WORK IN A NEAT AND WORKMANLIKE MANNER IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AND THE NATIONAL ELECTRICAL CODE (NEC). ALL LOCAL AND STATE REQUIREMENTS SHALL BE OBSERVED DURING THE PERFORMANCE OF THIS WORK.
- C. CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES FOUND BETWEEN CONTRACT DOCUMENTS AND/OR LEGAL OR SAFETY REQUIREMENTS.
- D. CONTRACTOR SHALL FOLLOW ALL MANUFACTURER RECOMMENDED INSTALLATION GUIDELINES.
- E. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- F. ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 VOLTS WITH TYPE THHN/THWN, 90 DEGREE INSULATION UNLESS OTHERWISE NOTED. MINIMUM WIRE SIZE SHALL BE #12 AWG FOR POWER CIRCUITS. CONDUCTORS SHALL BE SOLID WIRE FOR #12 AWG AND STRAND FOR #10 AWG OR LARGER. ALL WIRING SHALL BE RUN IN CONDUIT INCLUDING LOW VOLTAGE CONTROL WIRING. SIGNAL WIRING MAY BE RUN IN PVC CONDUIT OR PVC FLEXIBLE TUBING.
- G. GENERALLY, CONDUIT SHALL BE EMT, 3/4" MINIMUM. IN AREAS SUBJECT TO DAMAGE CONDUIT SHALL BE RIGID OR IMC TYPE. ALL CONDUIT SHALL BE CONCEALED UNLESS NOTED OTHERWISE.
- H. SUPPORT ALL CONDUIT INDEPENDENTLY FROM THE BUILDING STRUCTURE. DO NOT SUPPORT FROM VENTILATION DUCTS, MECHANICAL EQUIPMENT, SUSPENDED CEILING OR OTHER HANGERS. USE THE FOLLOWING CONDUIT SUPPORT:
- I. INSTALL EXTERIOR WIRING AND DEVICES IN CONDUIT WITH WEATHERPROOF FITTINGS AND IN WEATHERPROOF BOXES. ALL DEVICES AND EQUIPMENT SHALL BE RATED FOR EXTERIOR USE.
- J. MAINTAIN A MINIMUM OF 24 INCH SEPARATION BETWEEN POWER CONDUITS AND SIGNAL CONDUITS AS PRACTICAL. ROUTE CONDUITS TO NOT CROSS EACH OTHER. EXPOSED CONDUIT AND DEVICE BOXES IN ALL AREAS FOR COMMUNICATION AND POWER.

KEYED NOTES:

1. PROVIDE AND INSTALL 3/4" UNDERGROUND CONDUIT W/ PULLSTRING FOR DATA TO ELECTRICAL ROOM.
2. PROVIDE AND INSTALL 3/4" UNDERGROUND CONDUIT WITH #12, #12NEU, #12 GND TO PANEL "B" WEIGHT ROOM.
3. TRANSITION TO DATA CONDUIT TO 3/4" EMT CONDUIT ABOVE GROUND. PROVIDE "LB" CONDUIT FITTINGS ON EACH SIDE OF WALL PENETRATION.
4. TRANSITION TO WALL PENETRATION WITH FIRE SEALANT WITH FIRE SEALANT.
5. TRANSITION TO POWER CONDUIT TO 3/4" EMT CONDUIT ABOVE GROUND WITH #12, #12NEU, #12 GND. PROVIDE "LB" CONDUIT FITTINGS ON EXTERIOR SIDE OF WALL PENETRATION. SEAL WALL PENETRATION WITH FIRE SEALANT. ROUTE CONDUIT ABOVE CEILING TO PANEL.

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<div style="text-align: center;">  <h2 style="margin: 0;">CITY OF ALBUQUERQUE</h2> <h3 style="margin: 0;">PUBLIC WORKS DEPARTMENT</h3> </div>							
PROJECT TITLE:		ABQ FIRE STATION 13					
DRAWING TITLE:		ELECTRICAL SITE PLAN					
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.		Mo./Day/Yr.		
PERMIT SET	City Project No. P7215.01 NTP#13	Zone Map No. H-17-Z	DWG. ES101	Sheet 13 of 14			

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