



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

**APPLICATION INFORMATION**

Applicant: Rolling Frito Lay by Shane Garner		Phone: 575-937-3053
Address: P.O. Box 349		Email: sgtrout@gmail.com
City: Ruidoso Downs	State: NM	Zip: 88346
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

**BRIEF DESCRIPTION OF REQUEST**

Extend storage buildings 28' in length(newly built, permit #10736) .

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: 9A1A	Block: ---	Unit: ---
Subdivision/Addition: Renaissance Center	MRGCD Map No.:---	UPC Code: 101606141931610220
Zone Atlas Page(s): F-16-Z	Existing Zoning: NR-BP	Proposed Zoning: No change
# of Existing Lots: 1	# of Proposed Lots: No change	Total Area of Site (acres): 8.36

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: 1550 Mission Ave.	Between: Culture	and: Chappell
--	------------------	---------------

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

Signature:	Date: 11/18/2020
Printed Name: Shane Garner	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P3 at the front followed by the remaining documents *in the order provided on this form*.

**ARCHEOLOGICAL CERTIFICATE**

- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Archaeological Compliance Documentation Form with property information section completed

Note: Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- One copy of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

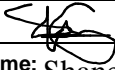
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- One copy of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**


**ALTERNATIVE SIGNAGE PLAN**

- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
  - Sign Posting Agreement

***I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.***

Signature: 	Date: 11/23/2020
Printed Name: Shane Garner	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers:	Project Number:	
Staff Signature:		
Date:		



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		<b>Appeals</b>
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Signature:	Date: 11/18/2020
Printed Name: Shane Garner	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-01338	AA	\$50			

Meeting/Hearing Date: N/A	Fee Total: \$50
Staff Signature: Vanessa A Segura	Date: 11/24/2020 Project # PR-2020-004073

Shane Garner/Circle E, LLC is authorized to work on behalf of Frito Lay in obtaining all necessary permits from the City of Albuquerque Zoning and Building departments for the 28' extension of the two recently built storage buildings located at 1550 Mission Ave.

Thank you,

**Tyler Shulman**

Supply Chain Ops Associate Manager

FLNA HQ | IMO Asset Strategy

7701 Legacy Dr, Plano, TX, 75024, USA

Office: (972) 334-3998 | Cell: (832) 618-2337

Tyler.Shulman@Pepsico.com



Circle E, LLC

P.O. Box 349

Ruidoso Downs, NM 88346

575-937-3053

[sgtrout@gmail.com](mailto:sgtrout@gmail.com)

To All Concerned,

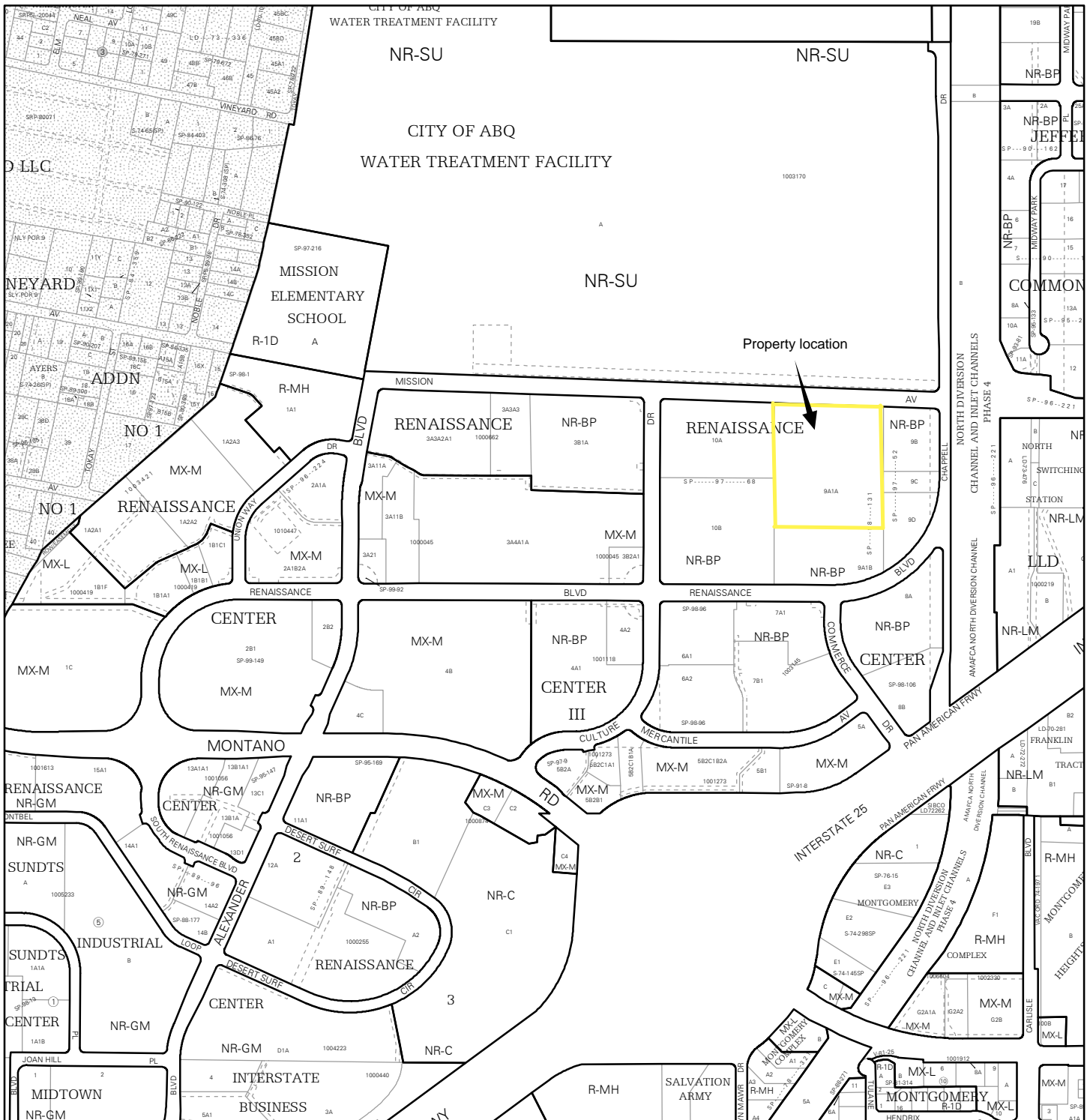
Update as of 11/17/2020. After nearing completion of the initial buildings, it was determined that the space need was miscalculated and that an additional 28' of length is needed for each building to accommodate the carts from over flow discussed in the original letter below.

Rolling Frito Lay is requesting an addition of two (2) storage areas to accommodate product fulfillment due to a significant increase of orders/growth of area. These buildings will be used to store carts with product ready to roll into the trucks and will alleviate congestion being experienced in the main distribution center (DC). The buildings will be connected to the DC at the South East corner of the building, currently being occupied with cargo trailers. Frito Lay's intent is to use these buildings until other buildings can be placed in strategic locations and take the overflow from this main DC. After reviewing IDO 6-4(X)(2) Minor Amendments we feel we meet the criteria listed and request our application be approved as to continue with our project. Please contact me for any additional information needed or required.

Respectfully,


Shane Garner

Circle E, LLC

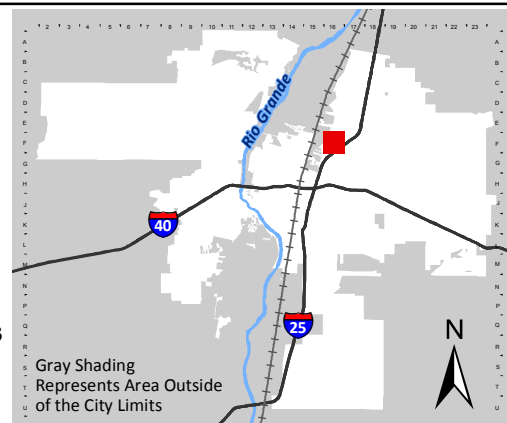


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>









## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**F-16-Z**

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Gray Shading  
Represents Area Outside  
of the City Limits

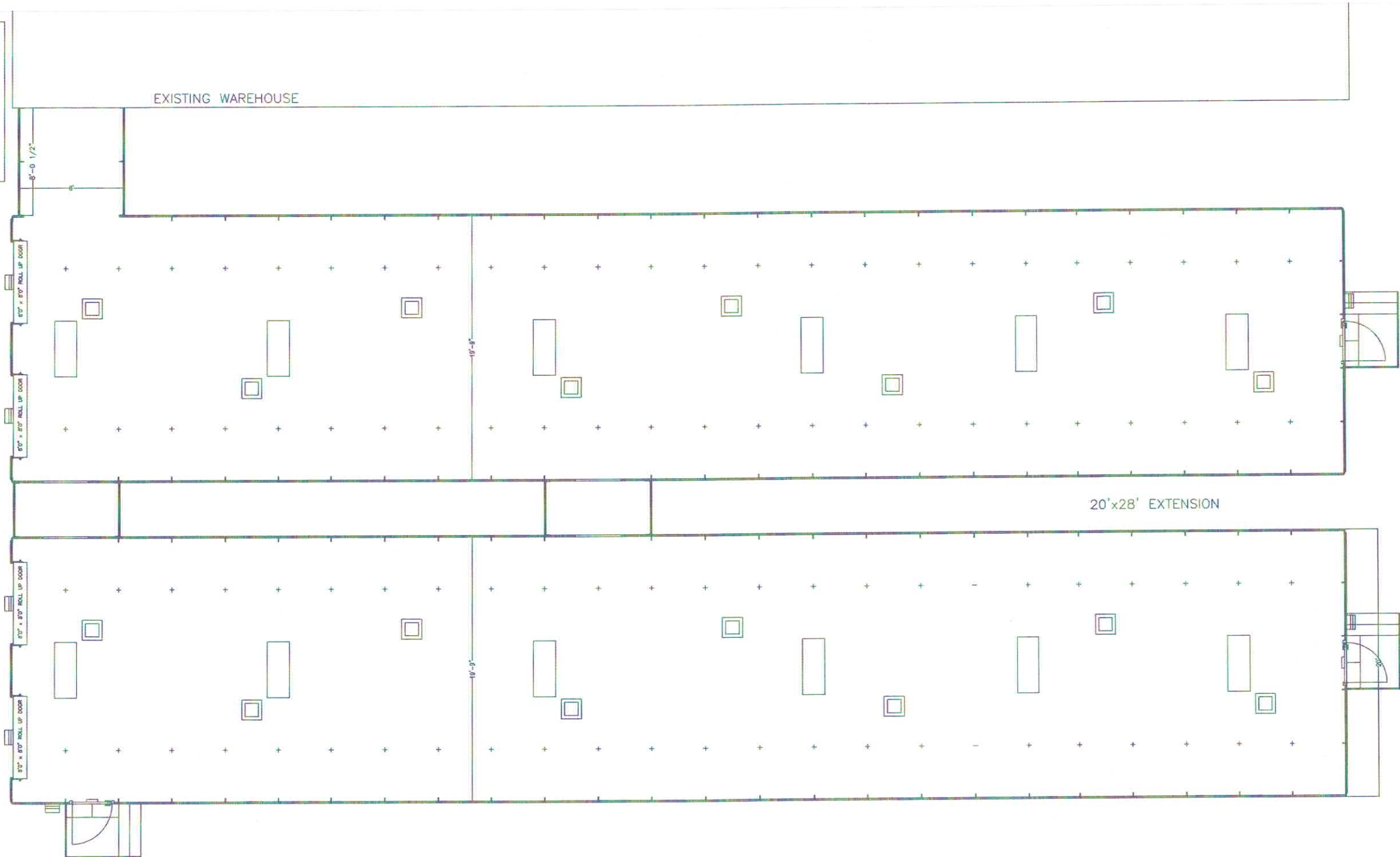
Feet

0    250    500    1,000



All fastening of the building components and mounting of electrical fixtures are surface mounted and visual for inspection.

No fastening or electrics are hidden.



NOV 20 2020



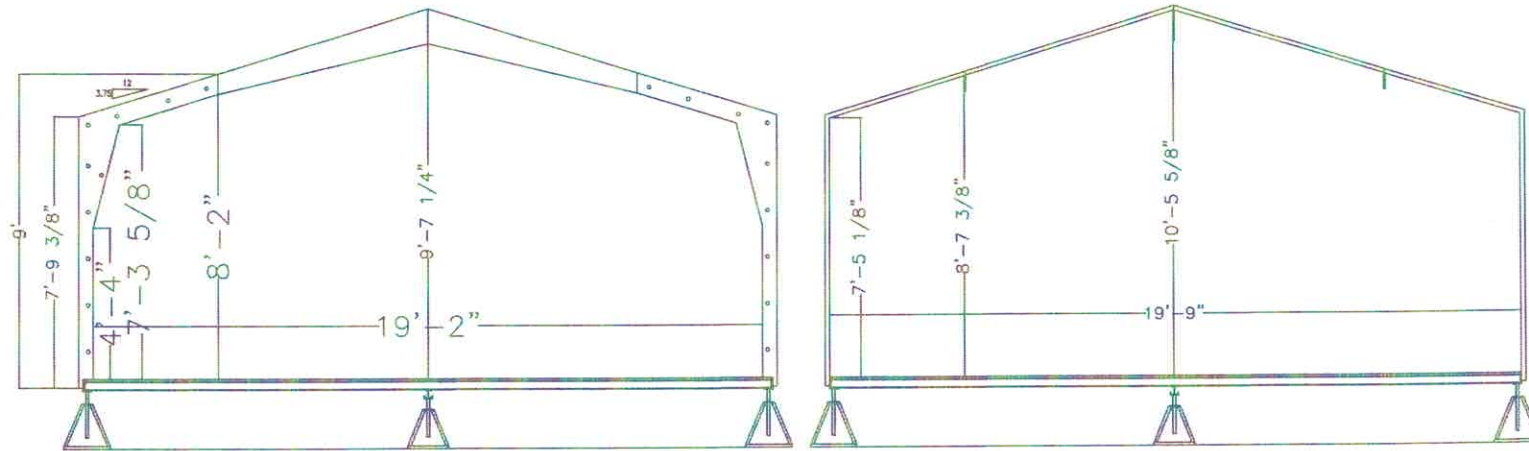
Rev# 0 - Original Submittal

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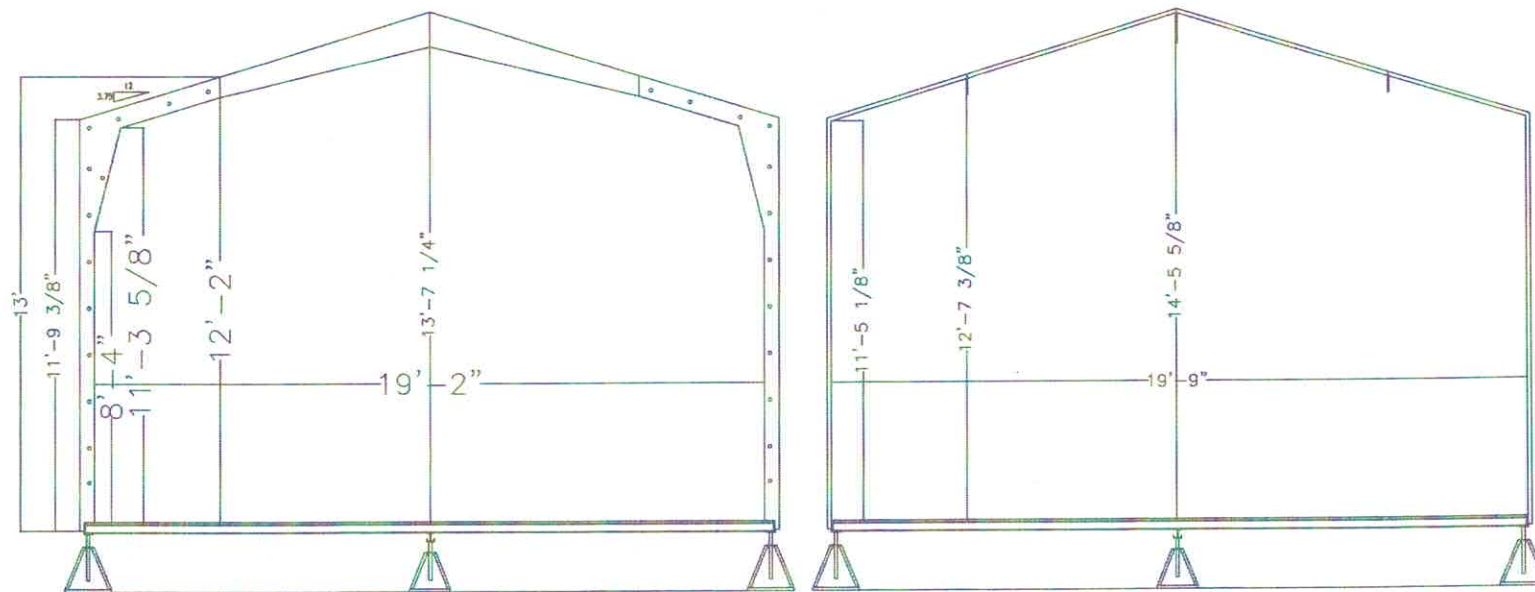


CLIENT:	Frito	
LOCATION:	Albuquerque, NM	
PROJECT:	Albuquerque warehouse	
VIEW:	Steel	
SIZE:	20'wx100'lx13'/9'h ext.	
PG#	FANME-01	
REV#	0	
WO#		
DD	MM	YYYY
22	10	2020
BY:	SS	

9' Warehouse Cross section



13' Warehouse Cross section



Dock Level Warehouse Details;

Warehouse #1 -

Electrical:

- interior lights (qty:6)
- exterior lights (qty:3)

Ventilation:

- 12"x12" aluminum louvre located on either side of the rollup door at minimum 6ft elevation (qty:4)
- 50 sqin. roof vent (qty:8)
- 24" exhaust fan with motion sensor and hood with insect screen (qty:1)

Doors:

- 36"x84" steel door & frame with door closer and entry style lockset (qty:1)
- 6'x8' rollup door (qty:2)

Warehouse #2 -

Electrical:

- interior lights (qty:6)
- exterior lights (qty:4)
- exit sign (qty:3)

Ventilation:

- 12"x12" PVC louvre located on either side of the rollup door at minimum 6ft elevation (qty:4)
- 50 sqin. roof vent (qty:8)
- 24" exhaust fan with motion sensor and hood with insect screen (qty:1)

Doors:

- 36"x84" steel door & frame with door closer and entry style lockset (qty:2)

Design Notes:

Pre-engineered fiberglass, self-supporting, modular building. Building system is designed to withstand the maximum limits for wind & snow loads calculated according to the International Building Code. These maximum loads are: wind speed of 150 mph, snow loads of 50 lbs/sq.ft. This enclosure is located in Albuquerque, NM(Bernalillo County)-Risk Category: I

Modular Sections:

All component sections consist of a single molded piece made of solid fiberglass & have an internal structural flange. Components are attached by the internal flanges using adhesive & steel fasteners.

Exterior Finish:

All exterior surfaces are orthophthalic polyester laminate with high quality ultra violet inhibitors & fire retardant fillers. Materials used meet the International Building Code as approved for plastics material in construction.

Insulation:

Foam core panel R12, composed of 1" polyiso insulation, interior fiberglass skin.

Caulking:

All exterior caulking is premium quality silicone sealant adhesive. All roof seams are taped with 4" wide UV protected butyl roofing tape & sealed with a brush on silicone sealant coating.

Fastening:

Exterior fastening is 304 stainless & interior fastening is zinc.

Base/Floor:

Dock level steel flooring system anchored to concrete pad (concrete pad provided by others.)

NOV 20 2020



PE. PLD

Rev# 0 - Original Submittal

Ownership of Documents

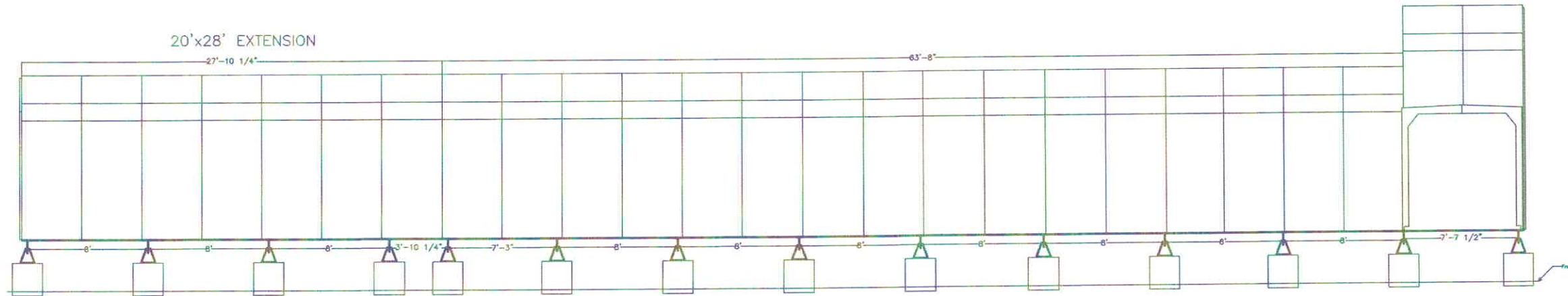
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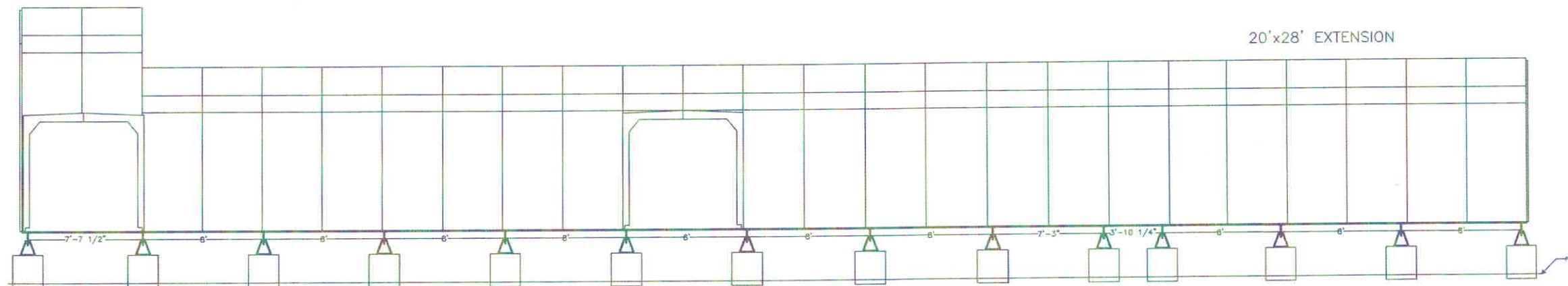
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LOCATION:	Albuquerque, NM		
PROJECT:	Albuquerque warehouse	PG#	FANME-02
VIEW:	Cros section / Design Notes	REV#	0
SIZE:	20'w x 28'1 x 9'h ext.	WO#	
		DD	MM
		22	10
		2020	
		BY:	SS



Warehouse #1 – Left Side View



Warehouse #1 – Right side view



ILDEFONSO GONZALEZ  
 NEW MEXICO  
 20635  
 PROFESSIONAL ENGINEER  
 NOV 20 2020  
*D. Alfonso Gonzalez P.E., P.L.D.*

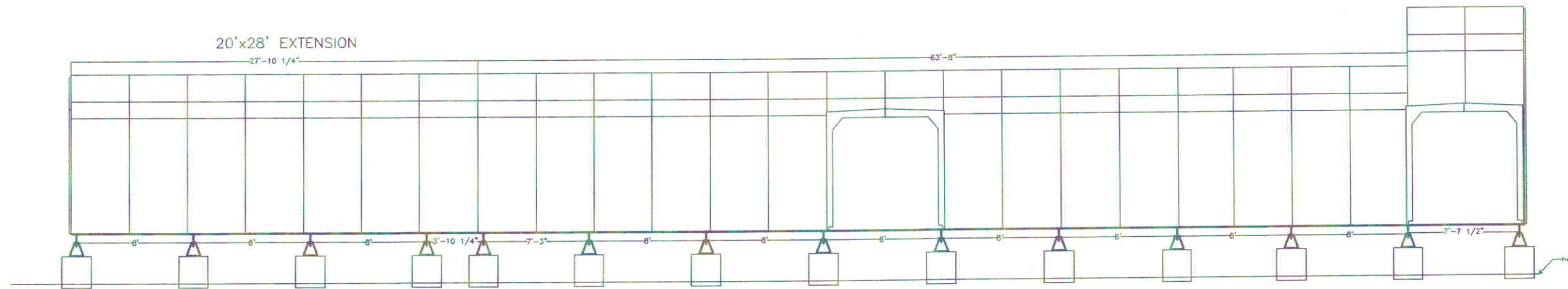
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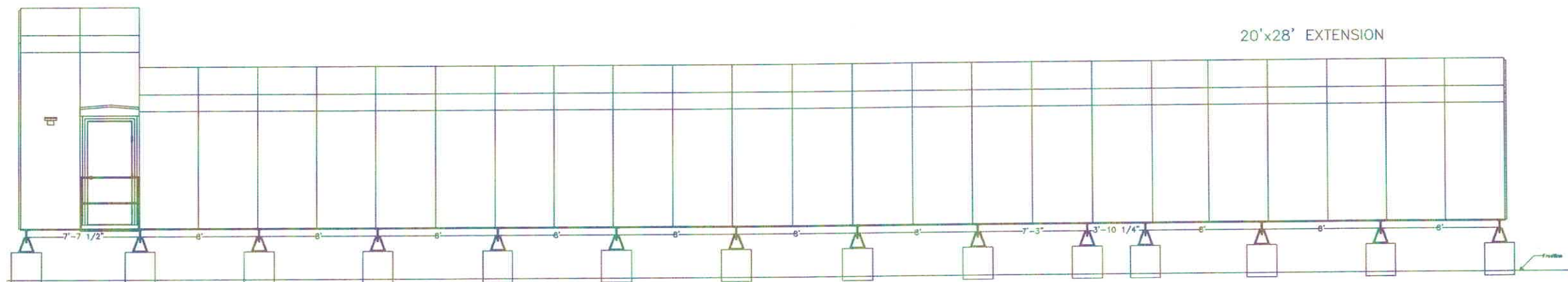


CLIENT:	Frito	
LOCATION:	Albuquerque, NM	
PROJECT:	Albuquerque warehouse	
VIEW:	Side elevation(warehouse#1)	
SIZE:	20'wx100'lx13'9'h_ext.	
PG#	FANME-03	
REV#	0	
WO#		
DD	MM	YYYY
22	10	2020
BY:	SS	

Warehouse #2 - Left Side View



Warehouse #2 - Right side view



NOV 20 2020

PE, Ph.D.

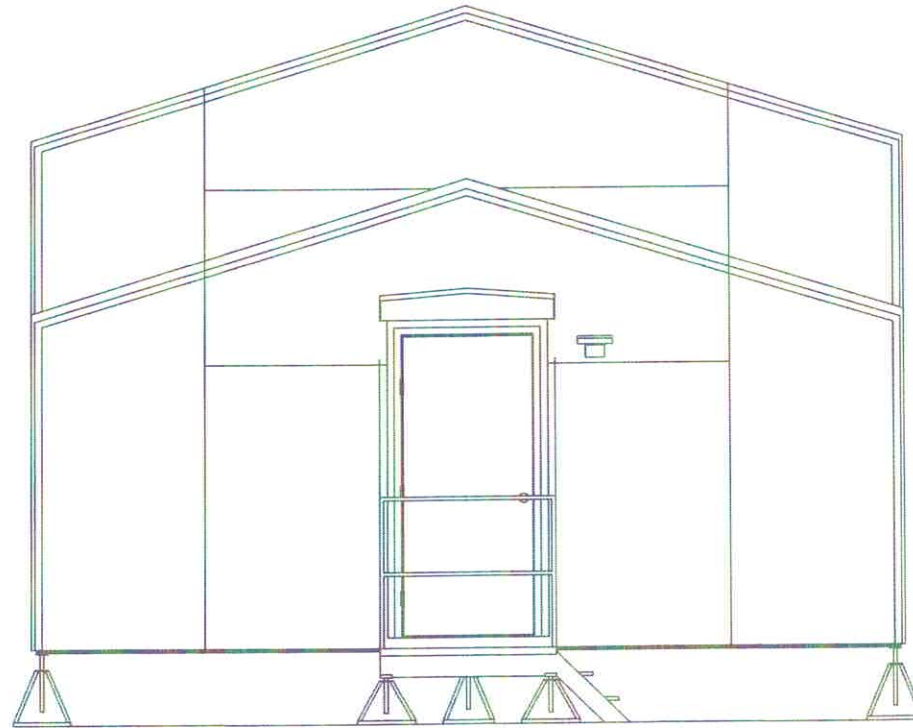
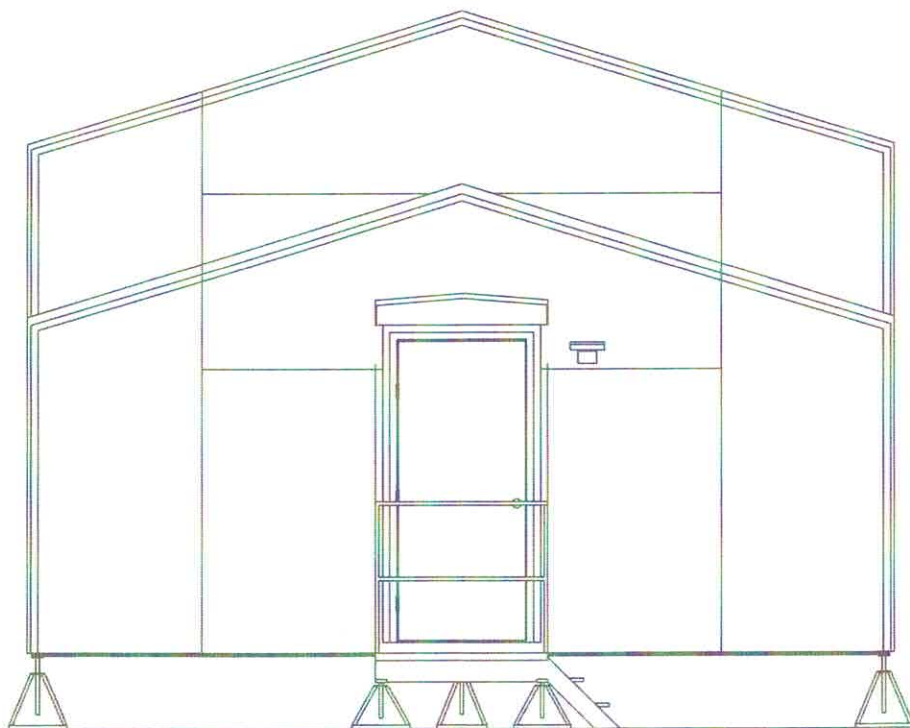
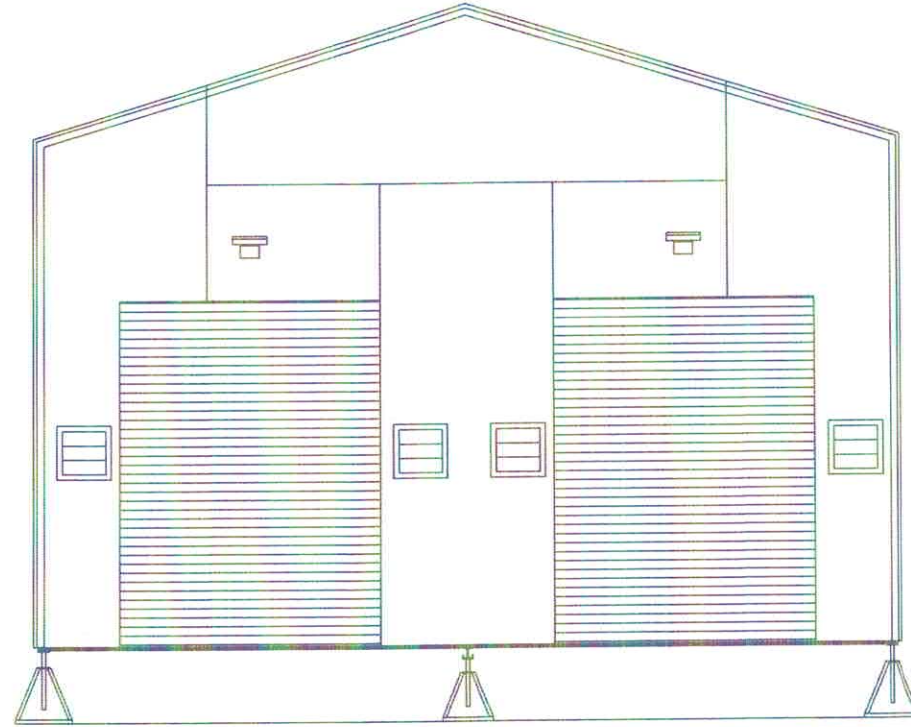
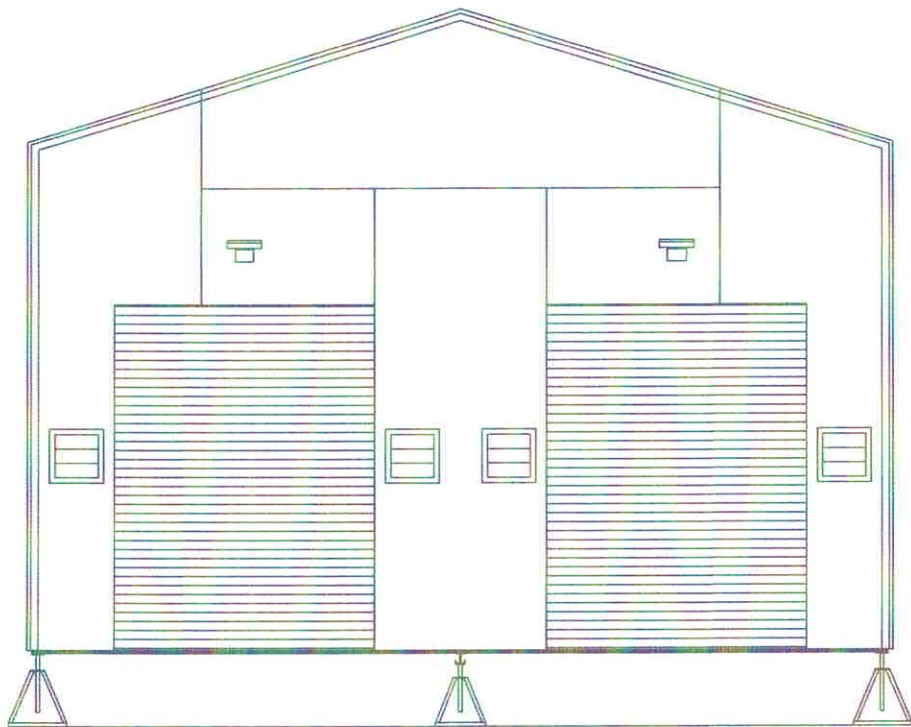
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CLIENT:	Frito	
LOCATION:	Albuquerque, NM	
PROJECT:	Albuquerque warehouse	
VIEW:	Side elevation(warehouse#2)	
SIZE:	20'wx100'lx13'9'h ext.	
PG#	FANME-04	
REV#	0	
WO#		
DD	MM	YYYY
22	10	2020
BY:	SS	





**Steel Floor:**

**Material:**

- steel angle 4x3x.250 thickness ASTM A 500, min. yield 50.0 ksi, min. tensile 62.0 ksi, elong 2-% min 23
- 3x2.9 super light i-beam, min yield 80.0 ksi, min tensile 100.0 ksi, elong 2-% min 18
- 3/4" spruce T&G

**Layout:**

Steel angle runs on the outside length of the floor, i-beam runs the center length of the floor for support. I-beams are set at 24" o.c. running the width of the floor. Plywood is fastened with a 1-1/2" drive pin fastening system.

**Load Requirements:**

- fiberglass enclosure - 9360 lbs
- steel floor with plywood - 6863 lbs

Required storage load at 100lbs/sq.ft over 960sq.ft(20'w x 72'l) - 144000 lbs

Total weight: 160223 lbs

Complete enclosure and flooring supported by 30 jackstands with an ultimate load of 20000 lbs each, total weight load capacity: 600000 lbs

**Anchoring:**

Wind Speed(see Wind Load Calculator for more detail):

- V = 110 mph
- Pv = 30.98

**Wall Length:**

- Wall Length = 100 ft
- Wall Height = 12/8 ft
- Surface Area= 832 sq.ft.

Total Wind Load =(Pv x sq.ft.) = 25 775.36 lbs

**Anchoring:**

2x 1/2" x 3-3/4" anchor bolt set min. 2.24" in min. 4000 PSI concrete actual pull-out load = 7716 lbs

Anchors required =TWL/APOL

- =25775.36/7716
- =3.34 pcs

**Straps:**

Each strap is designed to withstand 5000lbs. There are 10 strap points

- =SP\*SDL
- =10\*5000
- =50000 lbs

**NOTE:**

This floor is only designed as a general storage and cannot be used for heavier warehouse loads. Maximum weight is 100 psf. It shall not be used for any other purpose unless rechecked and resealed.

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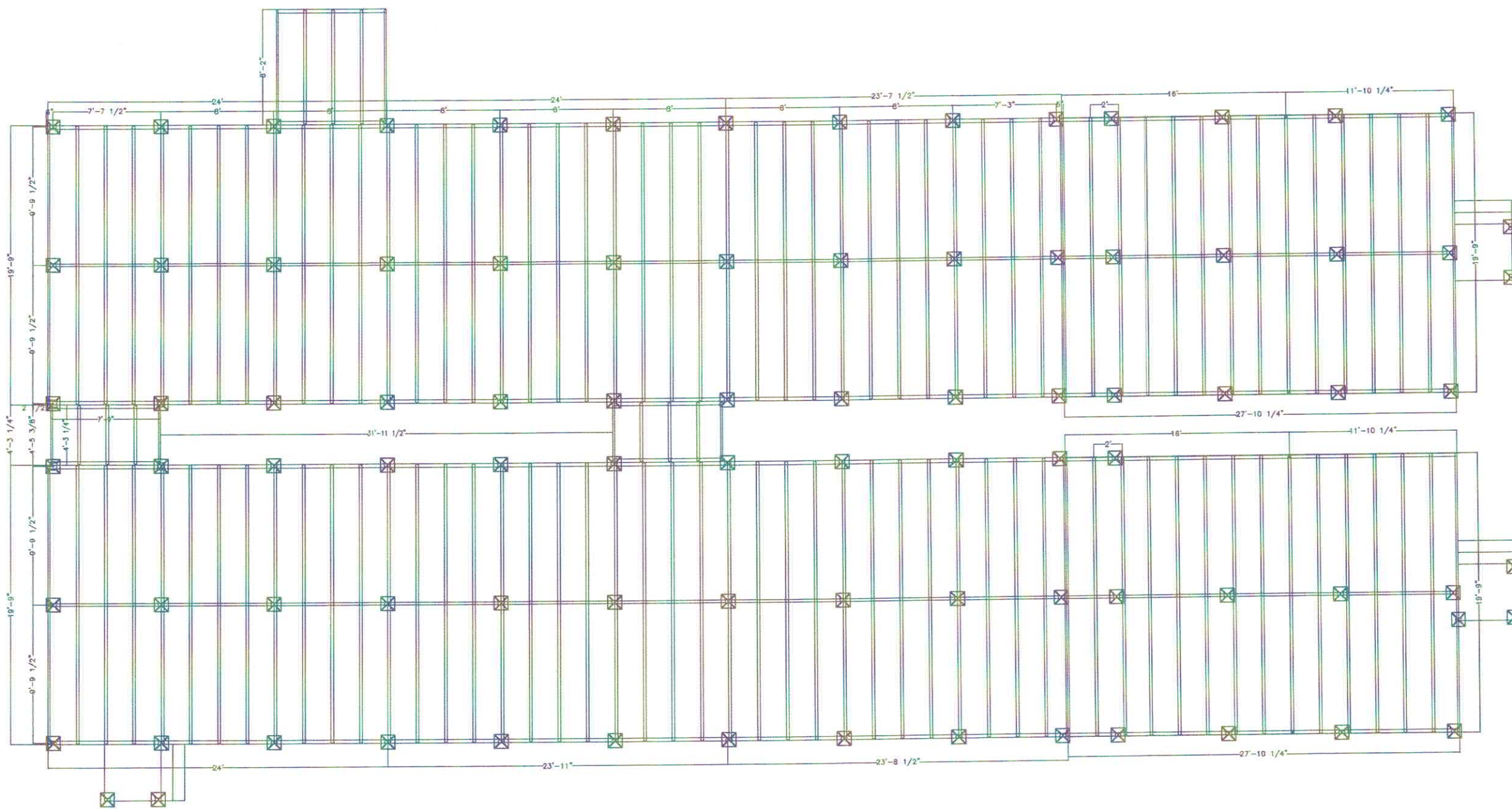
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CLIENT:	Frito
LOCATION:	Albuquerque, NM
PROJECT:	Albuquerque warehouse
VIEW:	Front / Rear Elevation
SIZE:	20'wx100'lx13'/9'h ext.
PG#	FANME-05
REV#	0
WO#	
DD	MM   YYYY
BY:	SS





Anchors - Located approximately every 8' o.c. next to exterior jackstands on all warehouses.

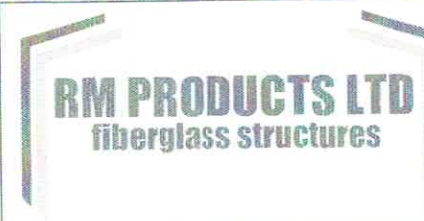


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*D. Alfonso Gonzalez, P.E., Ph.D.*

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CLIENT:	Frito
LOCATION:	Albuquerque, NM
PROJECT:	Albuquerque warehouse
VIEW:	Steel floor
SIZE:	20'wx100'lx13'9'h ext.
PG#	FANME-06
REV#	0
WO#	
DD	MM
22	11
2020	
BY:	SS

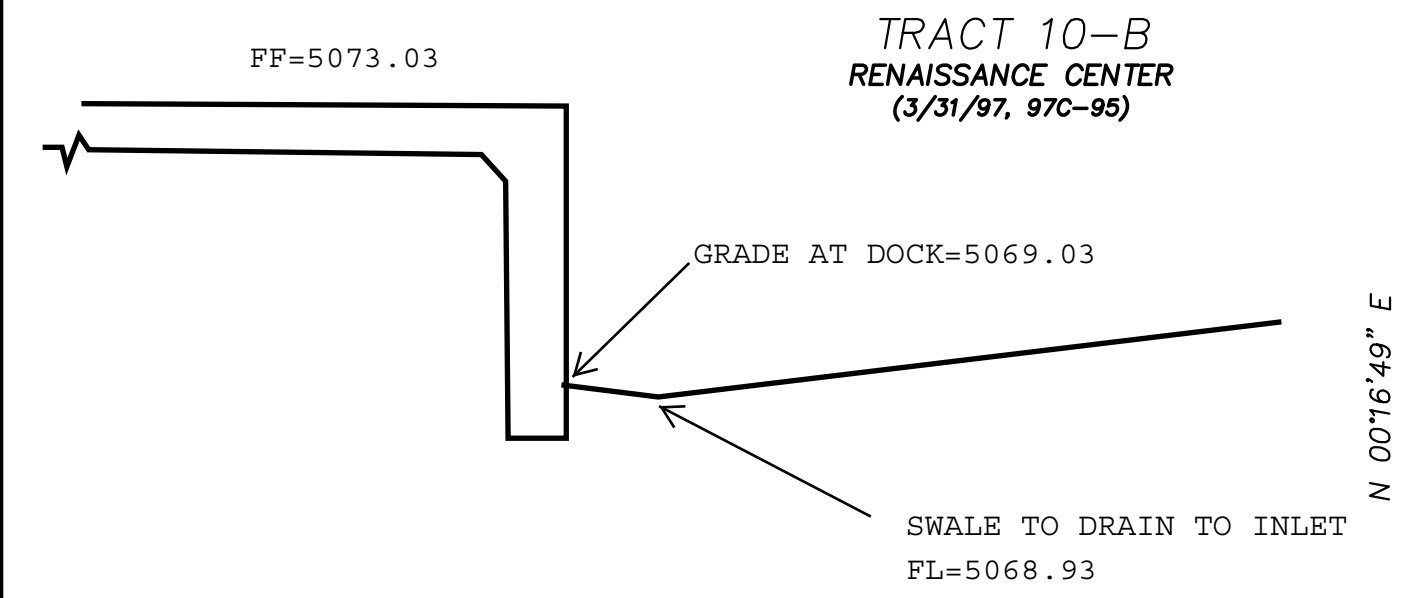
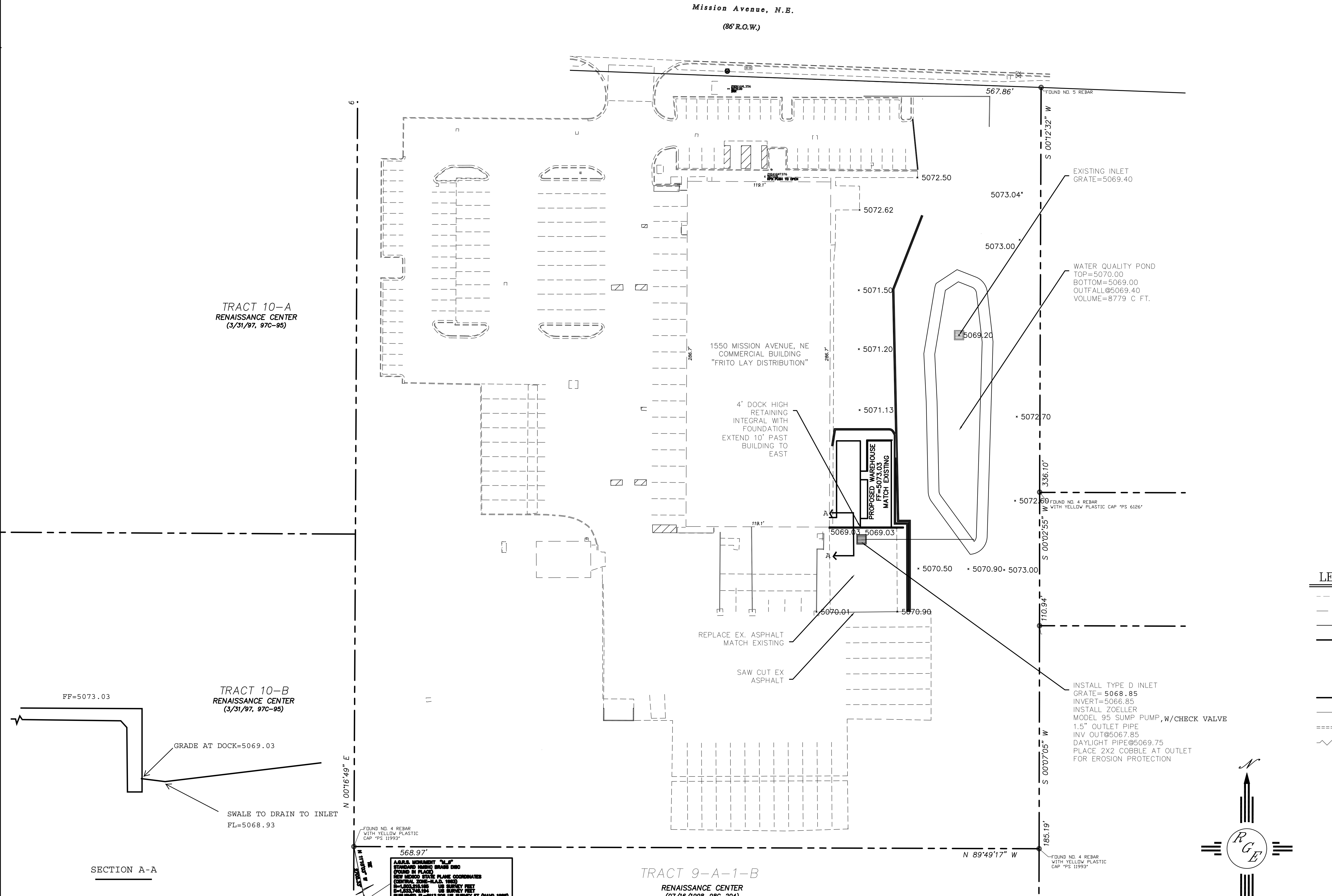
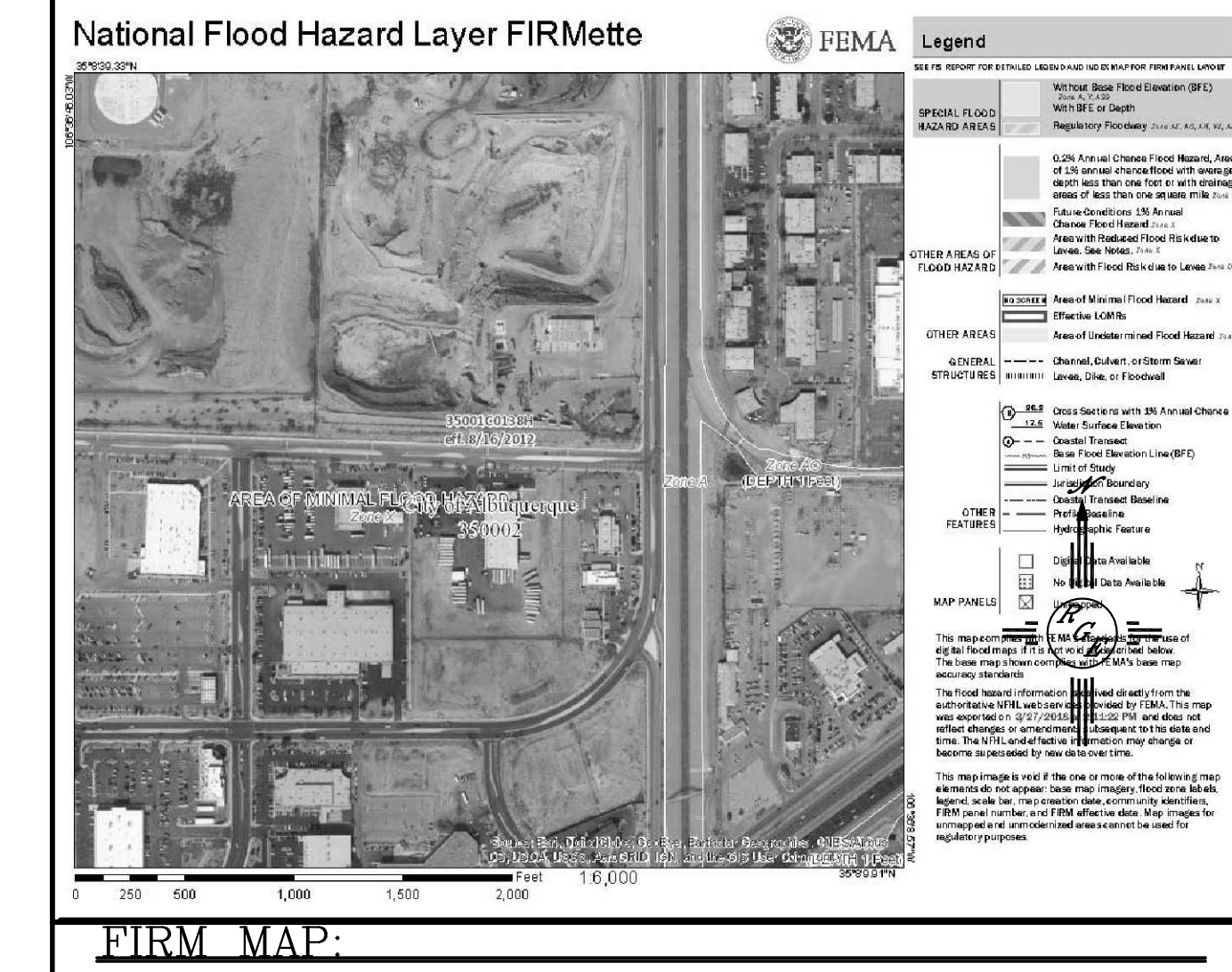
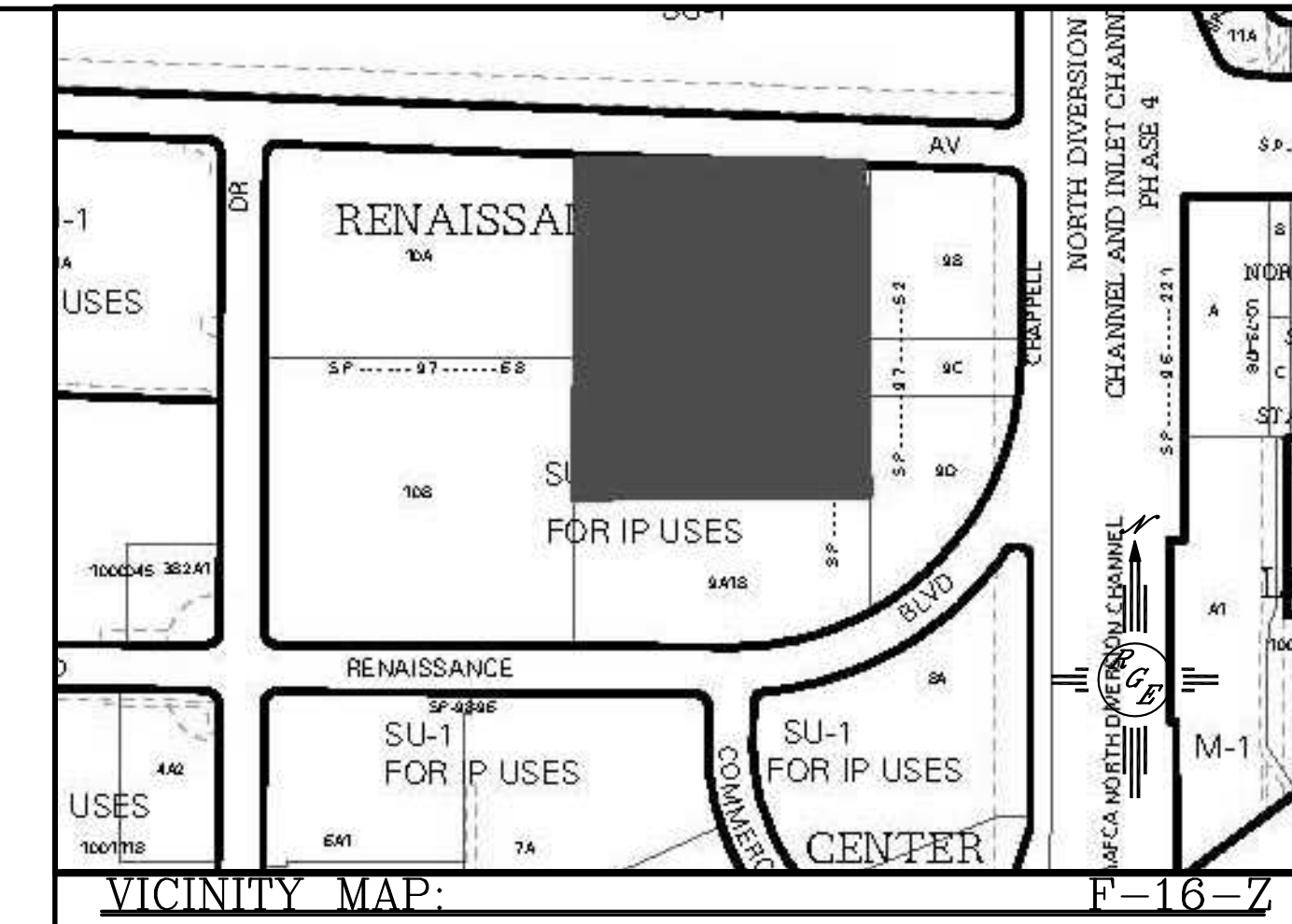


**DRAINAGE NARRATIVE**

THIS SITE WAS DESIGNED FOR FULLY DEVELOPED CONDITIONS. THE INITIAL CONSTRUCTION DID NOT PAVE ALL THE AREAS IDENTIFIED WITHIN THE APPROVED GRADING PLAN (F15-D51) THE DRAINAGE INFRASTRUCTURE WAS CONSTRUCTED AND THE PROPOSED ADDITIONAL BUILDING AND REPLACING EXISTING PAVEMENT THAT CONFORMS TO THE DEVELOPED CONDITION ASSUMPTIONS OF THE APPROVED PLANDUE TO THE LAYOUT OF THE SITE AND EXISTING INFRASTRUCTURE, A FIRST FLUSH POND IS CONSTRUCTED

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**LEGAL DESCRIPTION:**  
Tract 9-A-1-A, Renaissance Center

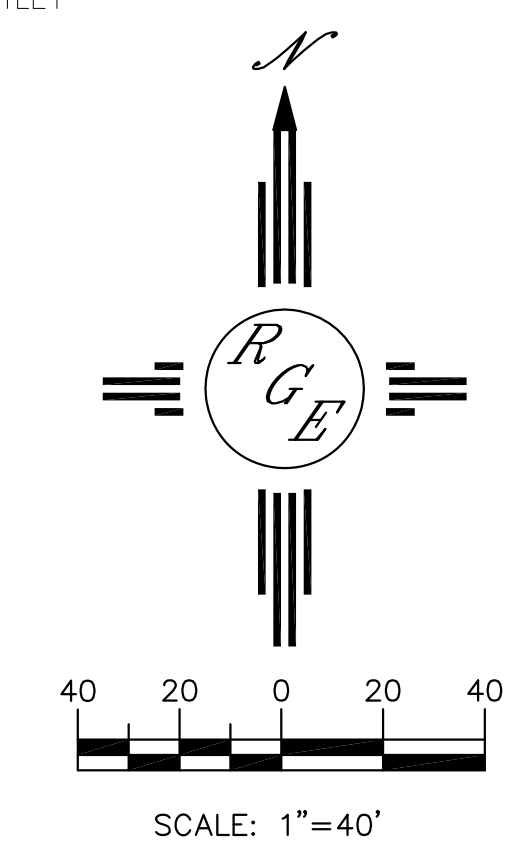
**NOTES:**  
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

**LEGEND**

---	EXISTING CONTOUR
- - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
▲	SLOPE TIE
x	EXISTING SPOT ELEVATION
·	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	EXISTING CURB
---	GRADE BREAK

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

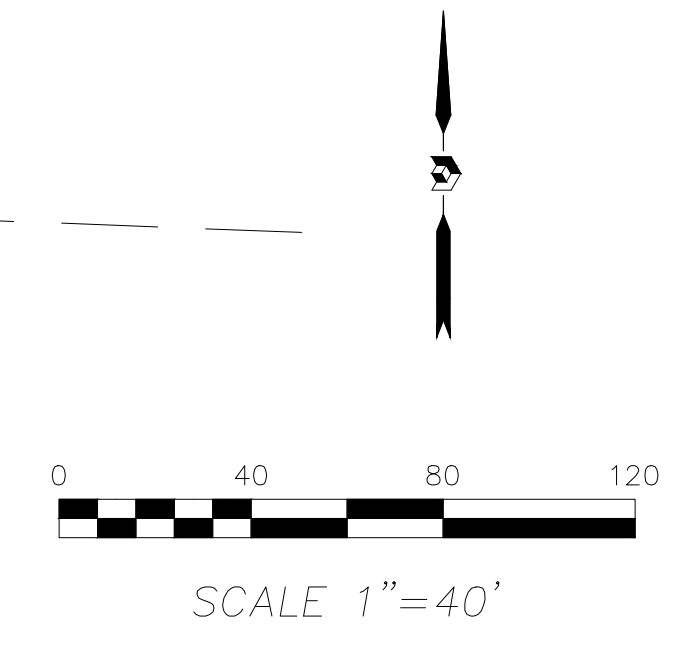
ENGINEER'S SEAL 	FRITO LAY  GRADING AND DRAINAGE PLAN	DRAWN BY WCWJ
6/16/20	 Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DATE 6-15-20
DAVID SOULE P.E. #14522		210245-LAYOUT-6-15-20
		SHEET #
		JOB # 210245



# Mission Avenue, N.E.

(86' R.O.W.)

Site Plan of  
**Tract 9-A-1-A**  
**Renaissance Center**  
 City of Albuquerque, Bernalillo County, New Mexico  
 April 2020



TRACT 10-A  
 RENAISSANCE CENTER  
 (3/31/97, 97C-95)

TRACT 9-B  
 RENAISSANCE CENTER  
 (3/13/97, 97C, 76)

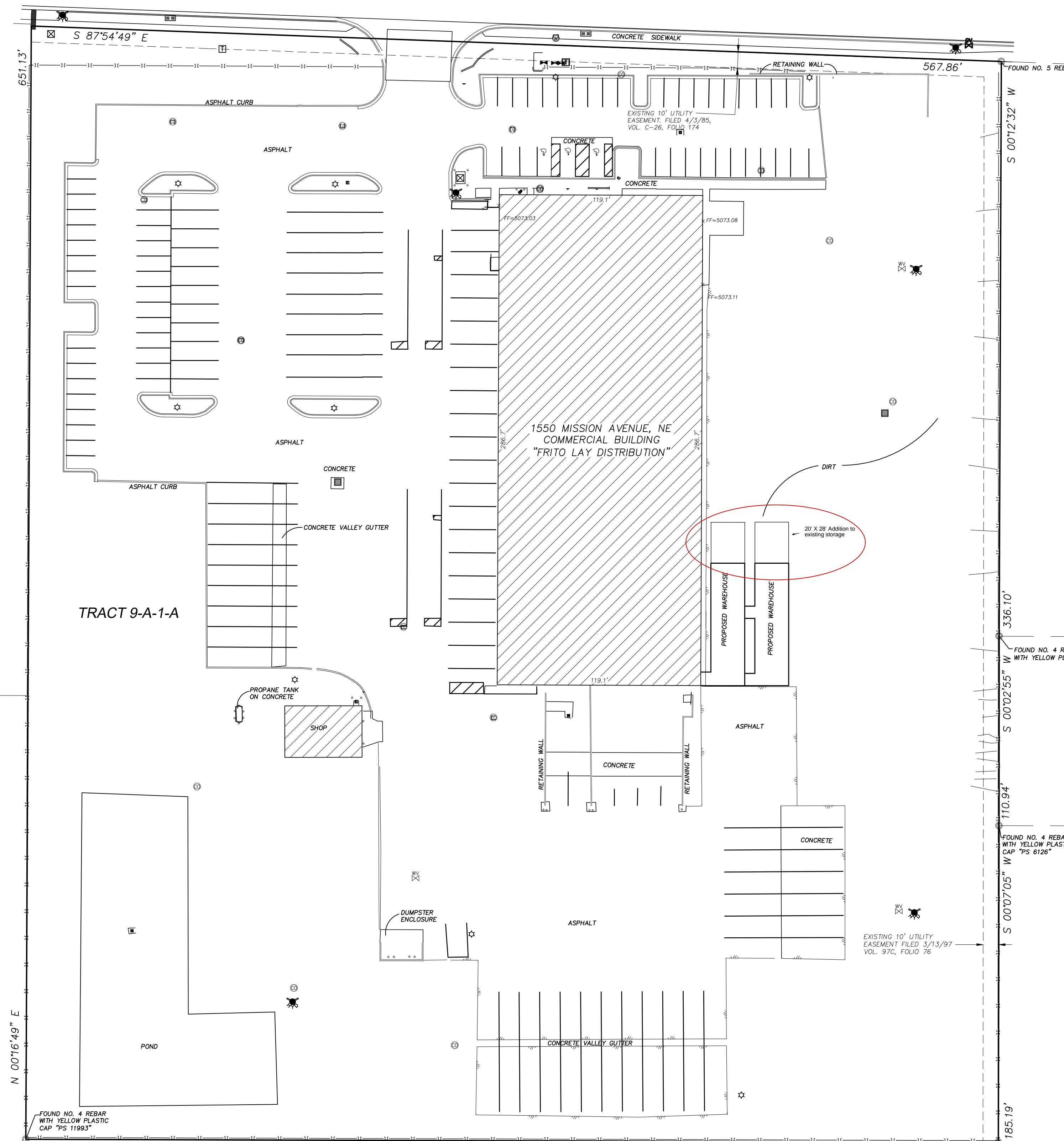
TRACT 9-C  
 RENAISSANCE CENTER  
 (3/13/97, 97C, 76)

TRACT 9-D  
 RENAISSANCE CENTER  
 (3/13/97, 97C, 76)

TRACT 9-A-1-A

TRACT 10-B  
 RENAISSANCE CENTER  
 (3/31/97, 97C-95)

TRACT 9-A-1-B  
 RENAISSANCE CENTER  
 (07/16/1998, 98C-204)



### Notes

- PLAT REFERENCES:  
 A. RENAISSANCE CENTER (07/16/1998, 98C-204)
- ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS MONUMENT "M\_6", PUBLISHED ELEVATION (FEET) = 5113.206
- LOCATION OF UNDERGROUND UTILITIES AND EASEMENTS NOT VERIFIED BY THIS PLAN. UNDERGROUND UTILITIES MAY EXIST WHERE NONE ARE SHOWN. UNDERGROUND UTILITY LOCATION IS BASED UPON INFORMATION PROVIDED BY OTHERS AND MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE OWNER SHOULD INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE OWNER IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. THE OWNER IS URGED TO COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES, IN PLANNING AND CONDUCTING EXCAVATION. THE OWNER SHOULD MAKE THEMSELVES AWARE OF REGULATIONS STATED IN CHAPTER 62, ARTICLE 14, NMSA 1978 RELATING TO EXCAVATION DAMAGE TO PIPELINES AND UNDERGROUND UTILITY LINES.
- THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT HAVE BEEN DEMONSTRATED TO PRODUCE DATA THAT MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR A TOPOGRAPHIC MAP COMPILED AT A SCALE OF 1"=40' WITH A CONTOUR INTERVAL OF ONE FOOT.

568.97'  
 A.G.R.S. MONUMENT "M\_6"  
 STANDARD MACH. BRASS DISC  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1502515.165 US SURVEY FEET  
 E=1533745.194 US SURVEY FEET  
 PUBLISHED E=1513,206 US SURVEY FT (NAVD 1988)  
 GRID TO GRID FACTOR=0.999672339  
 DELTA ALPHA ANGLE=-07'2.9"10"

COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION			
STATE PLANE ZONE: NM-C	GRID	TYPE: STANDARD		LAND GRANT	ELENA GALLEGOS			PROPERTY OWNER	ROLLING FRITO-LAY SALES LP C/O GEORGE MCELROY & ASSOC		
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS: YES	SECTION	TOWNSHIP	RANGE	MERIDIAN	SUBDIVISION NAME	RENAISSANCE CENTER		
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM	COMBINED SCALE FACTOR:	DISTANCE ANNOTATION: GROUND E = 0	BEARING ANNOTATION: GROUND E = 0	CITY	COUNTY	STATE	UPC	101606141931610220			
GRID TO GROUND: 1.00317276999	GROUND TO GRID: 0.99967271300	ELEVATION TRANSLATION: ELEVATIONS VALID: ±0.00'	YES	ALBUQUERQUE	BERNALILLO	NM					

**OFFICE LOCATION:**  
 9200 San Mateo Boulevard, NE  
 Albuquerque, NM 87113  
 505.856.5700 PHONE  
 505.856.7900 FAX

**PROJECT INFORMATION**

CREW/TECH: MT	DATE OF SURVEY 04/16/2019
DRAWN BY: JK	CHECKED BY: LM
PSI JOB NO. 204040T	SHEET NUMBER 1 OF 1