



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: Paradise Holding Company Inc		Phone: 713-464-7757
Address: 10355 Centrepark Dr Suite 200		Email: MichaelM@primroseparadisehills.com
City: Houston	State: TX	Zip: 77043
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park PI NE		Email: jniski@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List all owners:	

### BRIEF DESCRIPTION OF REQUEST

Minor Amendment to Site Plan

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TR A-1 Plat for TR A-1 Albuquerque West Unit 2	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101306409028520304
Zone Atlas Page(s): C-13-Z	Existing Zoning: NR-C	Proposed Zoning: NR-C
# of Existing Lots: 1	# of Proposed Lots:	Total Area of Site (acres): 3.4816

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 4550 Paradise Blvd	Between: Paseo Del Norte	and: Eagle Ranch
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### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1004000

Signature:	Date: 8/4/2020
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-00711	SK	\$50			

Meeting/Hearing Date: N/A	Fee Total: \$50
Staff Signature: Vanessa A Segura	Date: 8/4/2020 Project # PR-2020-004213

## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

### ☒ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

### ☐ ARCHEOLOGICAL CERTIFICATE

- \_\_\_ Archaeological Compliance Documentation Form with property information section completed
- \_\_\_ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

### ☒ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
  - ☒ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
  - ☒ Copy of the Official Notice of Decision associated with the prior approval
  - ☒ Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- \_\_\_ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
  - \_\_\_ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
  - \_\_\_ Copy of the Official Notice of Decision associated with the prior approval
  - \_\_\_ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ ALTERNATIVE SIGNAGE PLAN

- \_\_\_ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- \_\_\_ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- \_\_\_ Required notices with content per IDO Section 14-16-6-4(K)(6)
  - \_\_\_ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
  - \_\_\_ Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 

Date: 08/04/2020

Printed Name: Ronald R. Bohannon

☐ Applicant or ☒ Agent

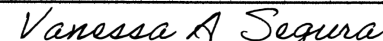
#### FOR OFFICIAL USE ONLY

Project Number:

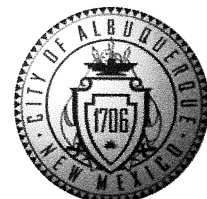
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PR-2020-004213

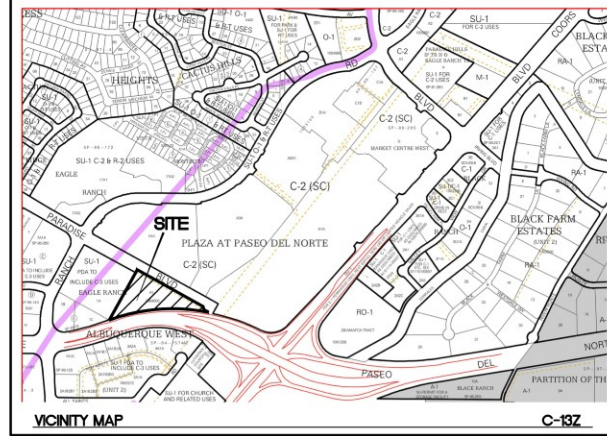
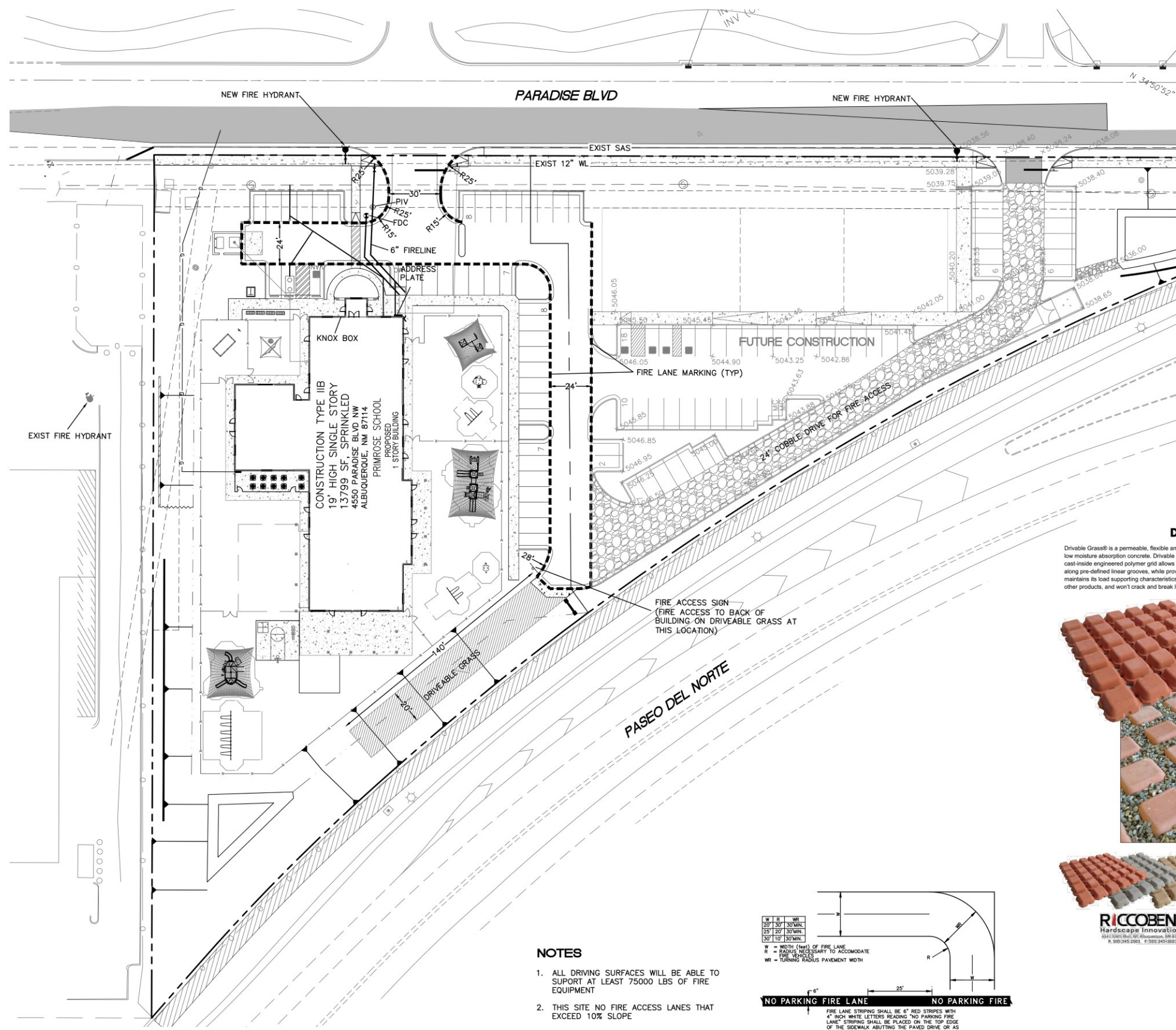
SI-2020-00711

Staff Signature: 

Date: 8/4/2020



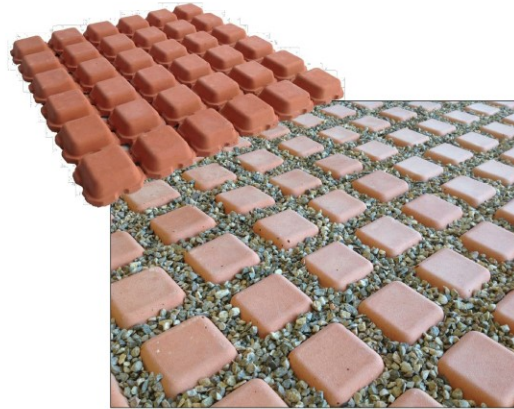




- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - - - EASEMENT
  - - - EXISTING CURB & GUTTER
  - - - FIRE LANE STRIPING
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT

**Drivable Grass®**

Drivable Grass® is a permeable, flexible and plantable concrete pavement system. This product is made of wet cast, low moisture absorption concrete. Drivable Grass® is cast with holes to allow for infiltration and root penetration. A cast-in-place engineered polymer grid allows Drivable Grass® to flex and conform to irregular ground surface contours along pre-defined linear grooves, while providing the intended structural support needed for daily use. Drivable Grass® maintains its load supporting characteristics even when saturated. The design also eliminates sharp edges common in other products, and won't crack and break like rigid concrete or pop up like plastic.

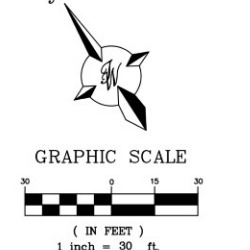
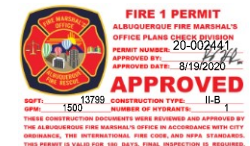
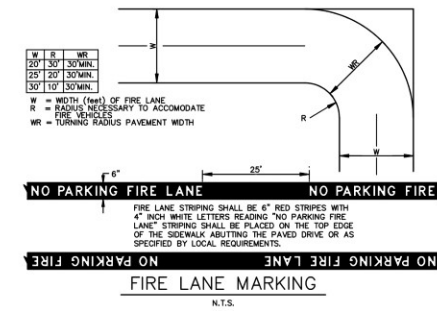


**RICCOBENE**  
Hardscape Innovations  
844-848-2441 • 505-425-0000 • 10000 S. 10th Ave. • Suite 100 • Albuquerque, NM 87123 • P: 505-245-2001 • F: 505-245-2002

Component	Quantity
Drivable Grass	10000
Concrete base (1" thick)	10000
Concrete base (2" thick)	10000
Concrete base (3" thick)	10000
Concrete base (4" thick)	10000
Concrete base (5" thick)	10000
Concrete base (6" thick)	10000
Concrete base (7" thick)	10000
Concrete base (8" thick)	10000
Concrete base (9" thick)	10000
Concrete base (10" thick)	10000
Concrete base (11" thick)	10000
Concrete base (12" thick)	10000
Concrete base (13" thick)	10000
Concrete base (14" thick)	10000
Concrete base (15" thick)	10000
Concrete base (16" thick)	10000
Concrete base (17" thick)	10000
Concrete base (18" thick)	10000
Concrete base (19" thick)	10000
Concrete base (20" thick)	10000

**NOTES**

- ALL DRIVING SURFACES WILL BE ABLE TO SUPPORT AT LEAST 75000 LBS OF FIRE EQUIPMENT
- THIS SITE NO FIRE ACCESS LANES THAT EXCEED 10% SLOPE



ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 8-18-2020 RONALD R. BOHANNAN P.E. #7868	PRIMROSE SCHOOL OF NW ALBUQUERQUE FIRE ONE PLAN  TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY pm DATE 8-18-2020 DRAWING  SHEET # 7 JOB # 2017092
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# TIERRA WEST, LLC

August 25, 2020

Ms. Jeanne Wolfenbarger, P.E.  
City of Albuquerque, Planning Department  
Plaza del Sol, 600 2<sup>nd</sup> NW  
Albuquerque, NM 87102

**RE: ADMINISTRATIVE AMENDMENT REQUEST  
PROJECT #: PR 2020-004213  
PARADISE CHARTER SCHOOL**

Dear Ms. Wolfenbarger:

Per the correspondence dated August 7, 2020, please find the following responses addressing the comments listed below:

1. List number of students for charter school. Show traffic circulation for school drop-offs and queuing patterns. This is for safety purposes and to keep cars from backing into public right-of-way as well as to provide a smooth circulation pattern for a high queue of vehicles.  
**The maximum capacity of students is 190 and we now list that in the Site Data table. The school serves infants and toddlers up to age 4. Kids will be dropped off between 6:30 am and 8:00 am and picked up between 5:00pm and 6:30pm. The school will have two 14 passenger buses that is may use for pickups from elementary schools. Vehicle will be allowed to use the gravel access road to the east entrance. We do not anticipate a large traffic que like for a typical Charter School.**
2. Is there any bus drop-offs associated with this charter school? Where would these buses pick up students?  
**Two 14 passenger busses may be use to pick up kids from elementary schools so the kids may stay at this school until their parents pick them up after work.**
3. Show 6-foot pedestrian connection to the proposed sidewalk along Paradise Boulevard.  
(There is a gap.)  
**The sidewalk is now shown to connect to the sidewalk along Paradise Boulevard.**
4. Provide details referenced in keyed notes, and include bike rack detail.  
**The sheet with the details is now included with this submittal.**
5. A 5-foot keyway is required on the east edge of the parking lot for vehicles backing out if the extra parking lot is going to be eliminated  
**The parking stalls were adjusted to provide for the 5 foot keyway.**
6. Provide Fire Marshall approval of layout.  
**The Approved Fire One Plan is included with this submittal.**
7. I could not find an NIA on file for this layout. Could some insight be provided?  
**At the time we submitted for the Administrative Amendment to change from the shooting range to the school a Traffic Impact Study form was completed. The Traffic Engineer signed off on the form stating thresholds weren't met and there was no need for a study. The**

5571 Midway Park Pl. NE  
Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com



**Neighborhood Impact Assessment was never mentioned. This school only serves young children through age 4 so it isn't like a typical Charter School serving grades 1-8. Therefore we do not anticipate a large amount of traffic. Attached is the copy of the form that was signed off at the time of the original submittal.**

8. If the lot line runs down the middle of the driving aisle, shared access/parking is needed. Provide copy of this if one has been obtained.

**That is the proposed lot line that is not platted. When the land owner submits for Phase II construction a plat will be filed with the shared easements. There is a note on this Site Plan stating those easements will be filed at the time of Plat.**

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Bohannon', with a stylized flourish at the end.

Ronald R. Bohannon, P.E

JN: 2017092

RRB/jn/ye

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Tierra West, LLC DATE OF REQUEST: 05/10/18 ZONE ATLAS PAGE(S): C-13-Z

CURRENT:

ZONING SU-1

LEGAL DESCRIPTION:

LOT OR TRACT # TR A-1 BLOCK #

PARCEL SIZE (AC/SQ. FT.) 3.48

SUBDIVISION NAME Albuquerque West Unit 2

REQUESTED CITY ACTION(S):

ANNEXATION ☐

ZONE CHANGE ☐ From  To

SECTOR, AREA, FAC. COMP PLAN ☐

AMENDMENT (Map/Text) ☐

SUBDIVISION\* ☐

BUILDING PERMIT ☒

BUILDING PURPOSES ☐

SITE DEVELOPMENT PLAN:

AMENDMENT ☐

ACCESS PERMIT ☐

OTHER ☐

\*includes platting actions

PROPOSED DEVELOPMENT: Private school 190 students

GENERAL DESCRIPTION OF

ACTION:

NO CONSTRUCTION/DEVELOPMENT ☐

NEW CONSTRUCTION ☒

EXPANSION OF EXISTING DEVELOPMENT ☐

# OF UNITS

BUILDING SIZE: 414000 (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature]

DATE 5-10-18

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>nd</sup> Floor West, 600 2<sup>nd</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☒ BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☒ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED. ☐

Notes:

If a TIS is required a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature]  
TRAFFIC ENGINEER

DATE 5/18/18

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with

TIS

-FINALIZED / /

-SUBMITTED / /

TRAFFIC ENGINEER  
DATE

August 4, 2020

Ms. Jolene Wolfley  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: ADMINISTRATIVE AMENDMENT  
4550 PARADISE BLVD. NW ALBUQUERQUE, NM 87114  
ZONE ATLAS PAGE C-13-Z

Dear Ms Wolfley:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Paradise Hills Holding Company, Inc. pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site

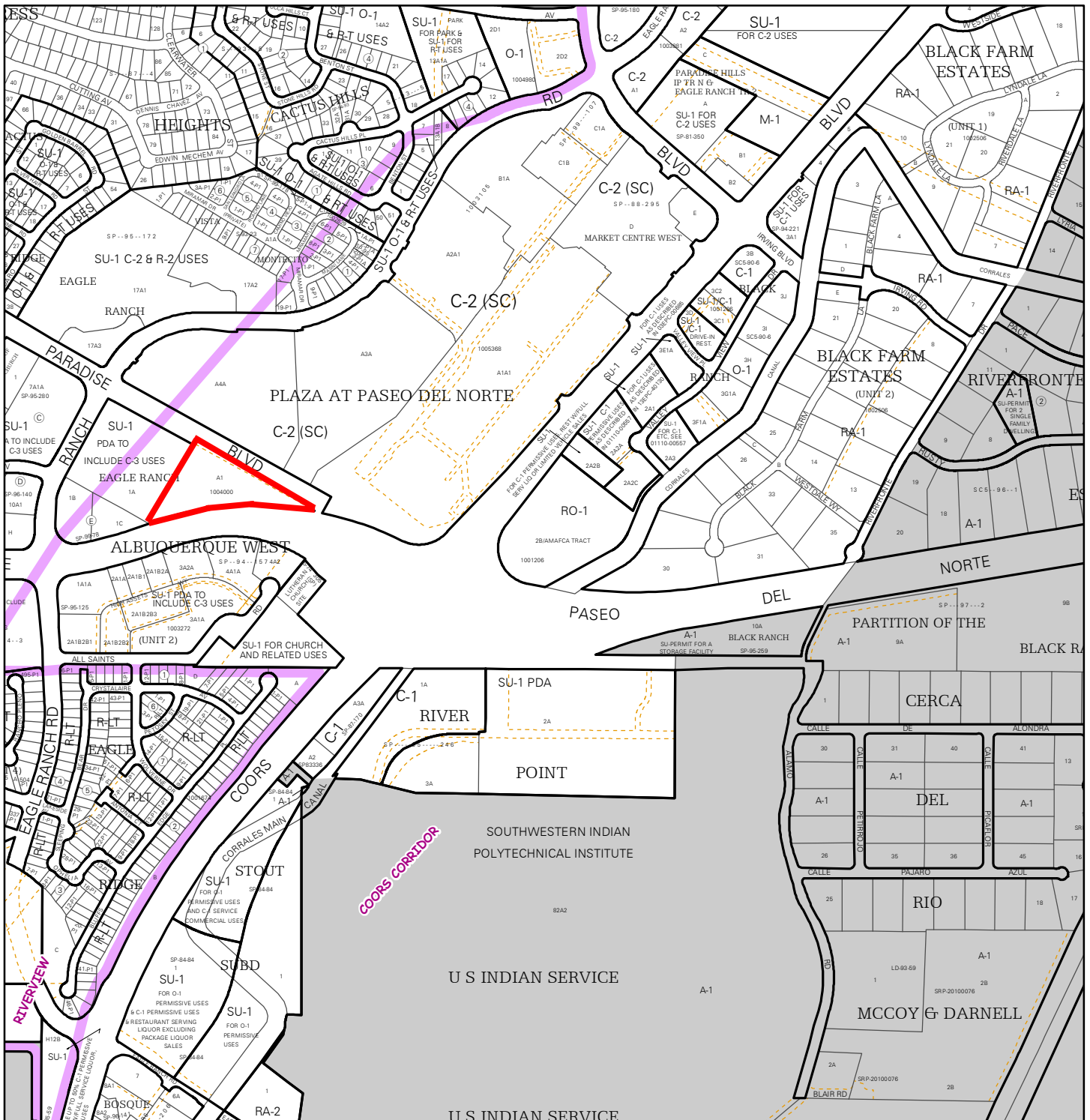
*Michael A. McLaughlin*  
Print Name

*Michael A. McLaughlin*  
Signature

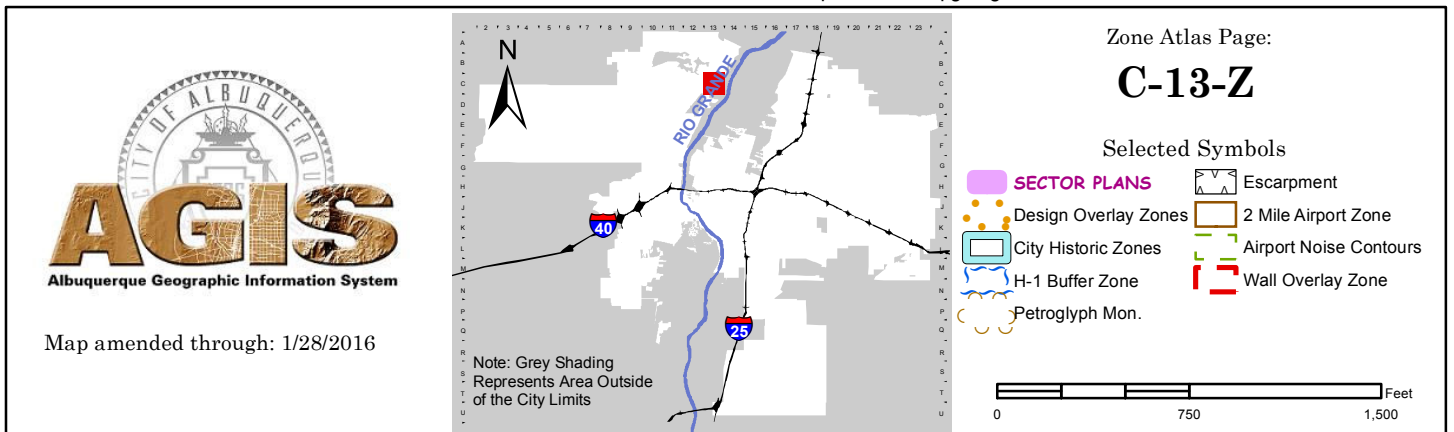
*President of Paradise Hills Holding Company, Inc.*  
Title

*3-9-2018*  
Date





For more current information and details visit: <http://www.cabq.gov/gis>





# TIERRA WEST, LLC

August 4, 2020

Ms. Jolene Wolfley, Chair  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: PRIMROSE SCHOOL  
ADMINISTRATIVE MINOR AMENDMENT TO SITE PLAN  
4550 PARADISE BLVD. NW ALBUQUERQUE, NM 87114  
ZONE ATLAS PAGE C-13-Z**

Dear Ms. Wolfley:

Tierra West LLC, on behalf of Paradise Hills Holding Company, Inc., requests approval of an Administrative Amendment to the Site Development Plan for Subdivision and Building Permit for the above-referenced site for the future development of the Primrose School. The site is located at Paradise Boulevard and Paseo Del Norte, the property is zoned SU-1 for PDA and C-3 Uses.

This request for an AA to the Site Development Plan for Building Permit seeks to adjust the parking lot limits and required parking spaces for a Charter School to be in compliance with the IDO. The requirements for parking for a private school allow for a lower required amount of parking and the school would like to reduce the previous parking lot to the one now shown on the plan. Shared parking will be constructed when Phase II is submitted to DRB at a future date.

The orientation, drainage, and traffic circulation will remain the same with the main entrance facing Paradise Blvd. the off-site improvements will be completed under the approved Work Order and a fire access will be constructed to the eastern entrance.

Included for your review and approval is the revised Site Development Plan.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

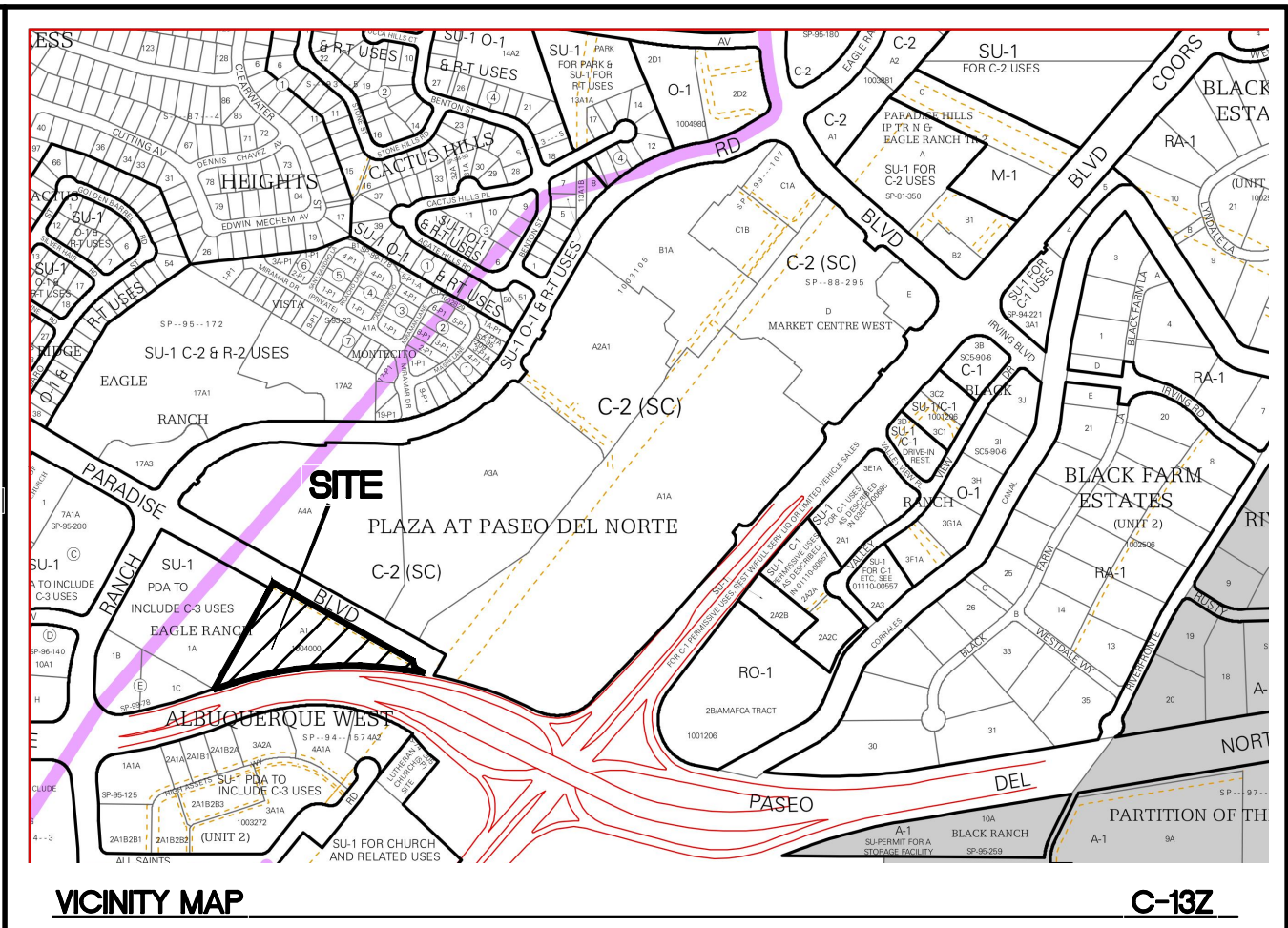
Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2017092  
RRB/jn/kw

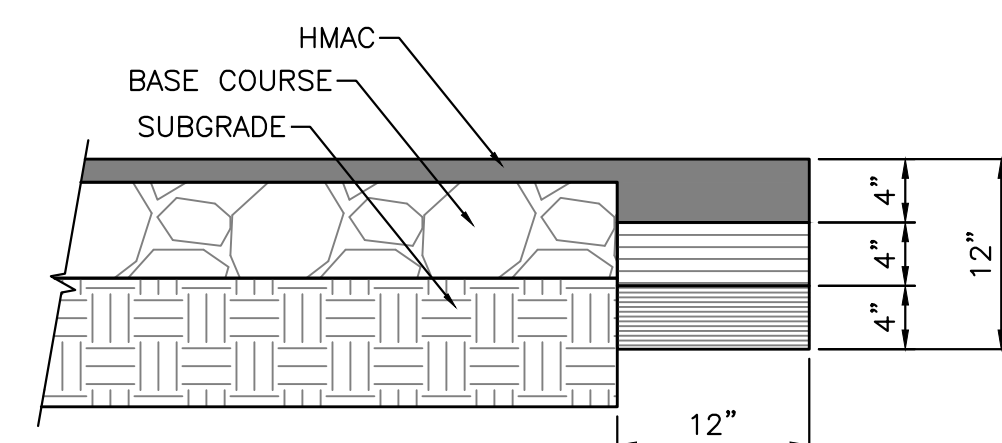
5571 Midway Park Pl. NE  
Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118  
tierrawestllc.com





TRACT A1 ALBUQUERQUE WEST UNIT 2

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	RETAINING WALL
	EXISTING CURB & GUTTER
	PROPOSED FENCE
	NEW PAVING PER COA STANDARDS
	NEW 10' ASPHALT TRAIL
	BICYCLE RACK
	24' GRAVEL FIRE ACCESS



PAVEMENT TERMINUS  
SCALE: 1"=1'

NOTE:

THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE. FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.

# SITE DATA TRACT A-1-A

ZONING	NR-C
PROPOSED USAGE	SCHOOL
LOT AREA:	
PHASE 1	89664 SF (2.06 AC)
BUILDING AREA:	
PHASE 1	13779 SF
FAR	0.154
BUILDING HEIGHT	26' MAXIMUM
SETBACKS	
FRONT	11' (MINIMUM)
SIDE	10' (MINIMUM)
REAR	10' (MINIMUM)

SITE DATA		TRACT A-1-B	
ZONING	PROPOSED	USAGE	NR-C COMMERCIAL/RETAIL
LOT AREA:		PHASE 2	62103 SF (1.43 AC)
BUILDING AREA:		PHASE 2	12300 SF
FAR			0.198
BUILDING HEIGHT		26'	MAXIMUM
SETBACKS			
FRONT	11'	(MINIMUM)	
SIDE	10'	(MINIMUM)	
REAR	10'	(MINIMUM)	




PARKING CALCULATIONS TRACT A-1-A		
UPDATED PER IDO		
BUILDING AREA:		
PHASE 1	13799 SF	
PARKING REQUIRED		
PHASE 1		
	2 SPACES PER CLASSROOM	
	TOTAL REQUIRED	24 SPACES
PARKING PROVIDED		
PHASE 1	32 SPACES	
ACCESSIBLE SPACES		
REQUIRED		
PHASE 1	3 SPACES	
PROVIDED		
PHASE 1	3 SPACES	
	(1 VAN ACCESSIBLE)	
MOTORCYCLE SPACES		
REQUIRED		
PHASE 1	2 SPACES	
PROVIDED		
PHASE 1	2 SPACES	
BICYCLE SPACES		
REQUIRED		
PHASE 1	10 SPACES	
PROVIDED		
PHASE 1	20 SPACES	

PARKING CALCULATIONS TRACT A-1-B	
BUILDING AREA:	
PHASE 2	12300 SF
PARKING REQUIRED	
PHASE 2	4 SPACE PER 1000 SF
	TOTAL REQUIRED=49 SPACES
PARKING PROVIDED	
PHASE 2	49 SPACES
ACCESSIBLE SPACES	
REQUIRED	
PHASE 2	3 SPACES
PROVIDED	
PHASE 2	4 SPACES
	(1 VAN ACCESSIBLE)
MOTORCYCLE SPACES	
REQUIRED	
PHASE 2	2 SPACES
PROVIDED	
PHASE 2	2 SPACES
BICYCLE SPACES	
REQUIRED	
PHASE 2	2 SPACES
PROVIDED	
PHASE 2	5 SPACES

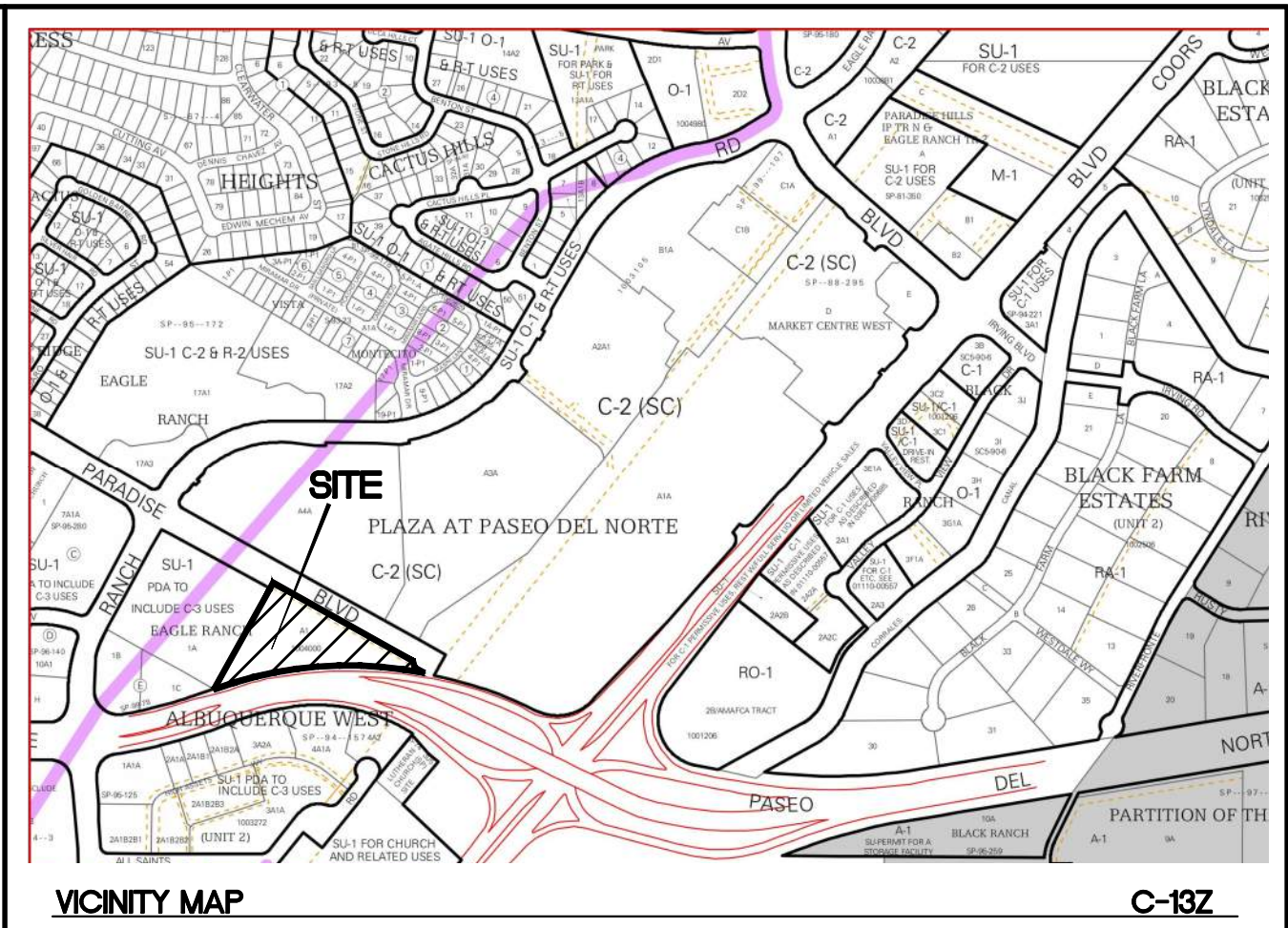
- 1 ACCESSIBLE PARKING
- 2 CURB AND GUTTER PER COA STD DWG 2415A
- 3 CONCRETE 6' SIDEWALK PER ARCHITECTURAL PLAN
- 4 DUMPSTER W/RECYCLE
- 5 6' CROSSWALK
- 6 SPEED REDUCER SEE DETAIL SHEET 6
- 7 BICYCLE PARKING
- 8 MONUMENT SIGN
- 9 MOTORCYCLE PARKING
- 10 6' VALLEY GUTTER PER COA STD DWG 2420
- 11 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- 12 UNIDIRECTION ACCESSIBLE RAMP SEE DETAIL SHEET 5
- 13 40 LF SAWTOOTH CURB SEE DETAIL SHEET 5
- 14 EXISTING CHAINLINK FENCE
- 15 PROPOSED RETAINING WALL SEE DETAIL SHEET 5

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
3. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALL WITH TOP OF EQUIPMENT BELOW TO OF SCREEN WALL.
5. PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE.
6. 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.
7. CROSS ACCESS, PAVING AND DRAINAGE PROVIDED TO EACH LOT
8. PHASE 2 WILL BE FUTURE DEVELOPMENT TO BE CONDUCTED AT A LATER DATE THAN PHASE 1
9. ALL FUTURE DEVELOPMENT SHALL BE DELEGATED TO DRB
10. DELIVERY TRUCKS TO BE SU-30 PANEL TRUCKS
11. THE 10 FOOT SIDEWALK AND OTHER RELATED PEDESTRIAN FEATURES IN FRONT OF THE BUILDING SHALL BE RELOCATED IF THE BUILDING IS EXPANDED IN A FUTURE PHASE
12. ALL ARCHITECTURAL DESIGN SHALL BE COMPATIBLE WITH THE PHASE 1 DEVELOPMENT ON TRACT A-1-A. IT SHALL BE SIMILAR IN COLOR AND MATERIAL TO THE FIRST BUILDING ON THE SITE AND HAVE A SIMILAR LEVEL OF ARTICULATION AND DETAIL. FUTURE BUILDINGS SHALL BE CONSISTENT WITH THE GENERAL BUILDING REGULATIONS 14-16-3-18.
13. PHASE 1 CONSTRUCTION WILL INCLUDE THE SIDEWALK AND PARKING STALLS IN FRONT OF THE FUTURE ADDITION AREA.
14. SECURITY CAMERAS WILL BE PROVIDED TO COVER SURVEILLANCE OF ALL ACCESS POINTS, PARKING LOTS AND THE SIDES OF THE BUILDING.
15. ANY CHANGES TO THIS PLAN WILL REQUIRE A REVIEW BY DRB AS OUTLINED IN THE IDO.






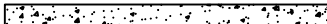
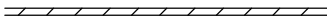







1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPING PLAN
3. CONCEPTUAL GRADING PLAN
4. MASTER UTILITY PLAN
5. CONSTRUCTION DETAILS
6. CONSTRUCTION DETAILS
7. APPROVED FIREONE PLAN
8. BUILDING ELEVATION

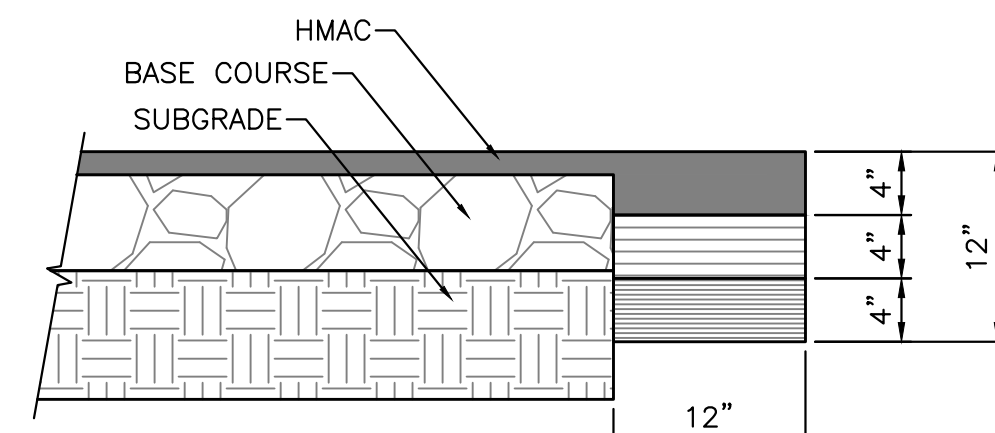
<p>ENGINEER'S SEAL</p>	<p><b>PRIMROSE SCHOOL OF NW ALBUQUERQUE</b></p>	<p>DRAWN BY pm</p>
	<p><b>SITE PLAN FOR BUILDING PERMIT</b></p>	<p>DATE 5-5-2020</p>
 <p>5-5-2020</p>	 <p><b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>DRAWING</p>
<p>RONALD R. BOHANNAN P.E. #7868</p>		<p>SHEET # <b>1</b></p>
		<p>JOB # 2017092</p>





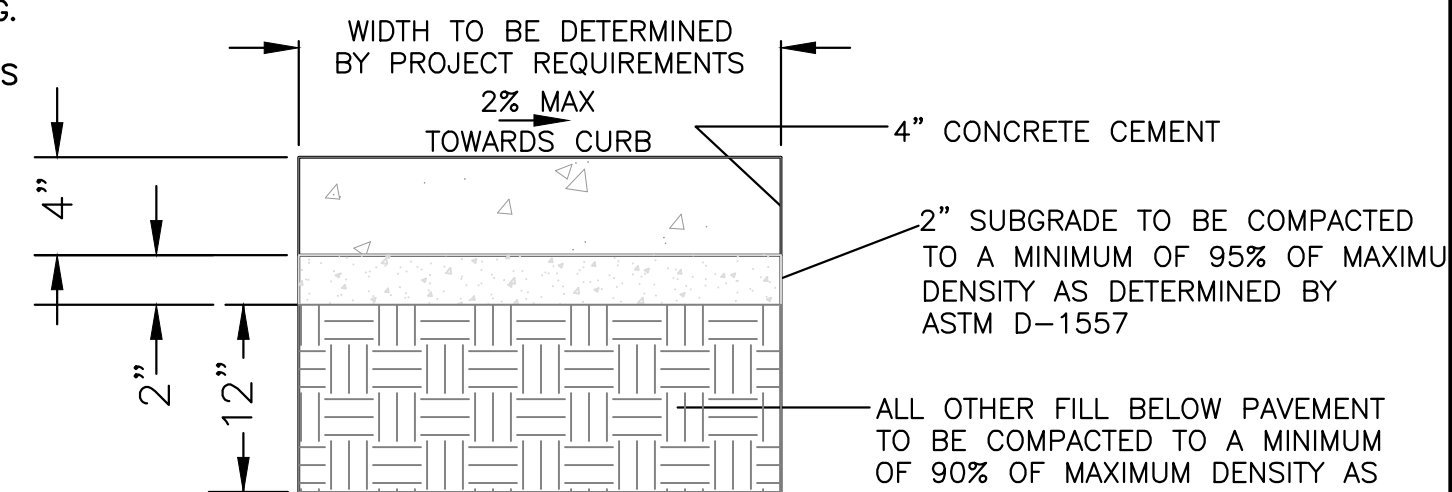
## LEGEND

- |   |                              |
|---|------------------------------|
|    | CURB & GUTTER                |
|    | BOUNDARY LINE                |
|    | EASEMENT                     |
|    | CENTERLINE                   |
|    | RIGHT-OF-WAY                 |
|    | BUILDING                     |
|    | SIDEWALK                     |
|    | RETAINING WALL               |
|    | EXISTING CURB & GUTTER       |
|    | PROPOSED FENCE               |
|    | NEW PAVING PER COA STANDARDS |
|   | NEW 10' ASPHALT TRAIL        |
|  | BICYCLE RACK                 |
|  | 24" GRAVEL FIRE ACCESS       |






PAVEMENT TERMINUS  
SCALE: 1"=1'

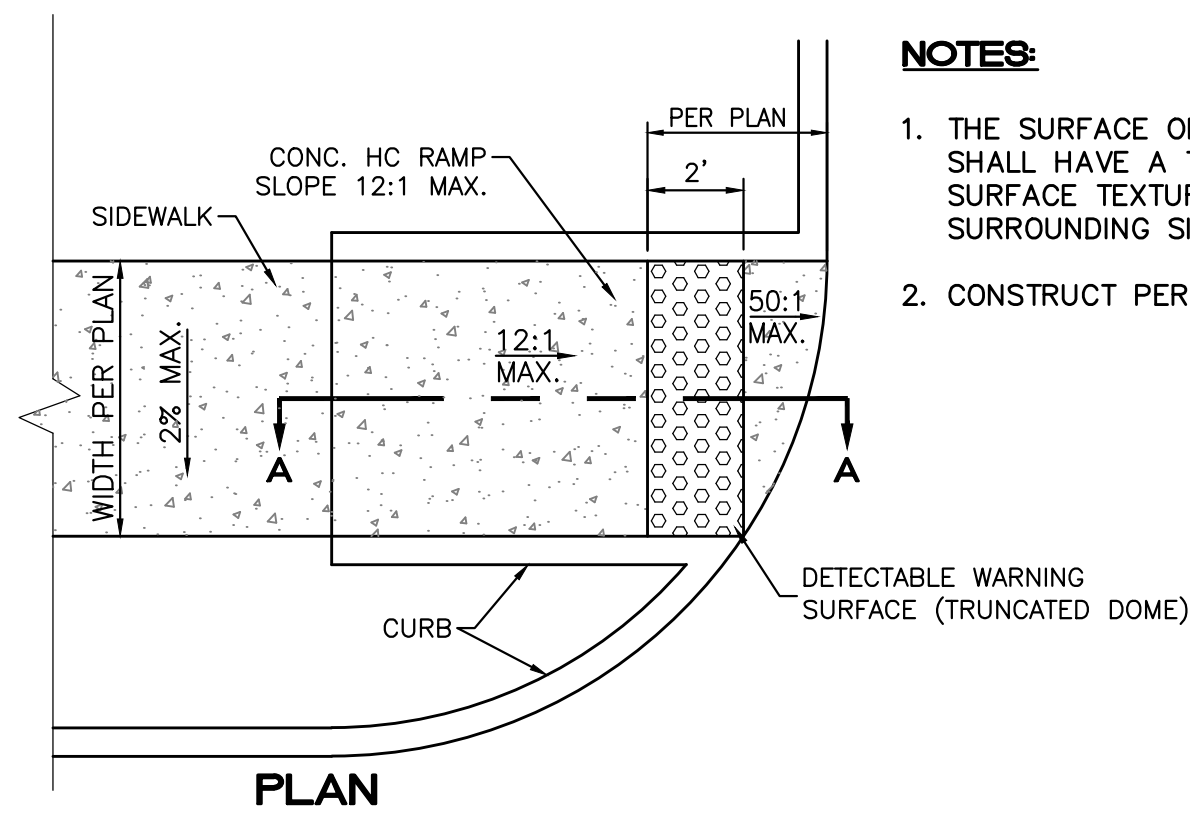
**NOTE:**  
THICKENED EDGE SHALL BE CONSTRUCTED  
IN COURSED NOT OVER 4" IN THICKNESS,  
EACH COURSE THOROUGHLY COMPACTED  
BEFORE PLACING NEXT COURSE, FINAL  
COURSE. FINAL COURSE TO BE PLACED  
MONOLITHIC WITH PAVEMENT.



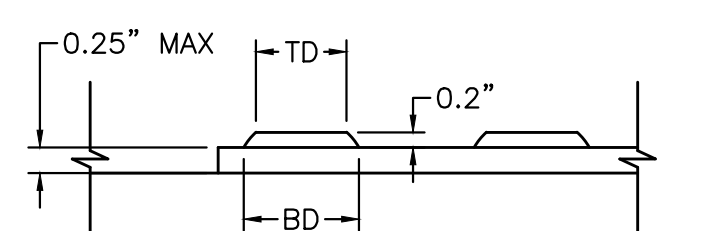
1. SITE PLAN FOR BUILDING PERMIT
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<p>ENGINEER'S SEAL</p>	<p><b>PRIMROSE SCHOOL OF NW ALBUQUERQUE</b></p>	<p>DRAWN BY pm</p>
	<p><b>SITE PLAN FOR BUILDING PERMIT</b></p>	<p>DATE 8-27-2020</p>
 <p>8-27-2020</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	 <p><b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>DRAWING</p>
		<p>SHEET #</p> <p><b>1</b></p>
		<p>JOB #</p> <p>2017092</p>

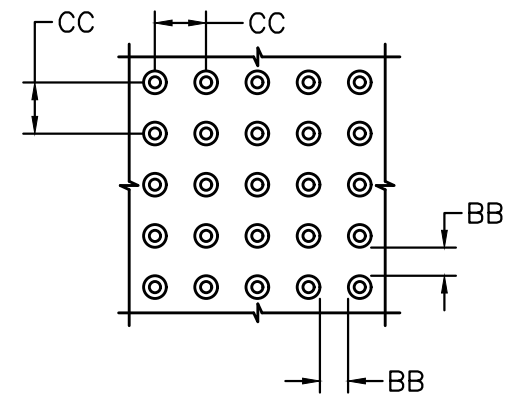




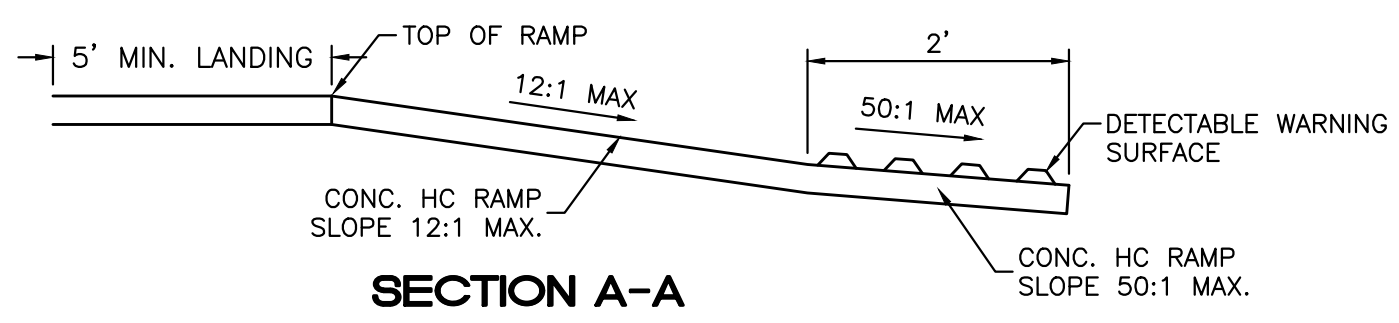
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
  2. CONSTRUCT PER A.D.A. STANDARDS.



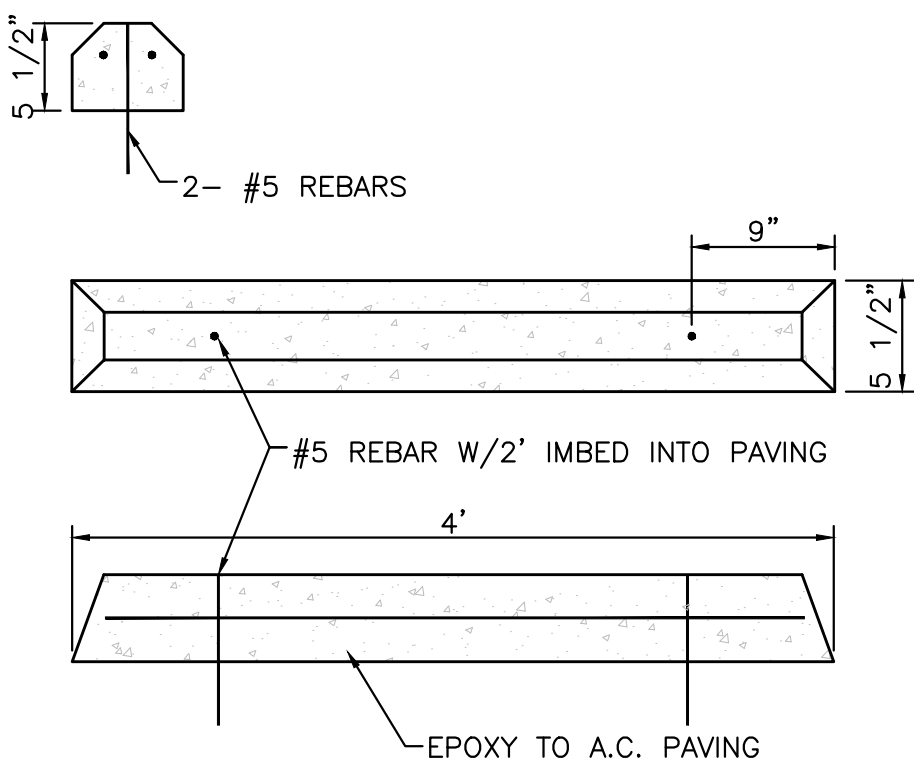
**DOME SECTION**  
BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



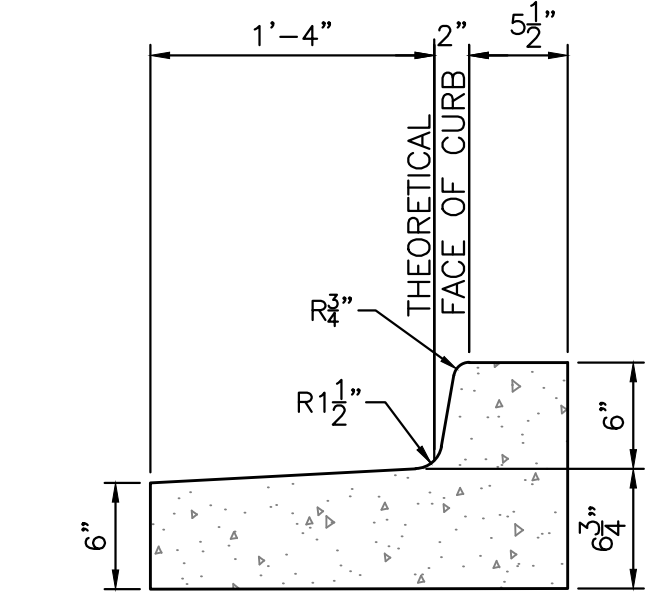
**DOME SPACING**  
CC - CENTER TO CENTER SPACING 2.35"  
BB - BASE TO BASE SPACING 1.48" MIN



**SECTION A-A**  
**UNIDIRECTIONAL HC RAMP**  
NOT TO SCALE

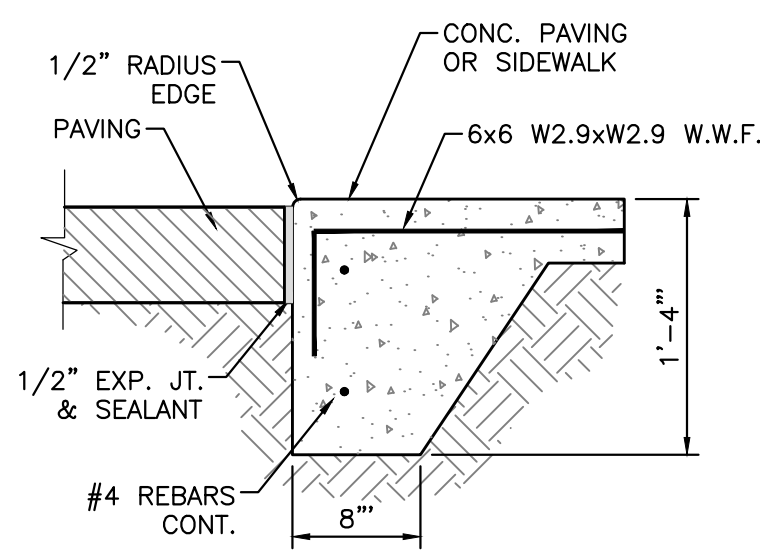


**WHEEL BUMPER**  
NTS

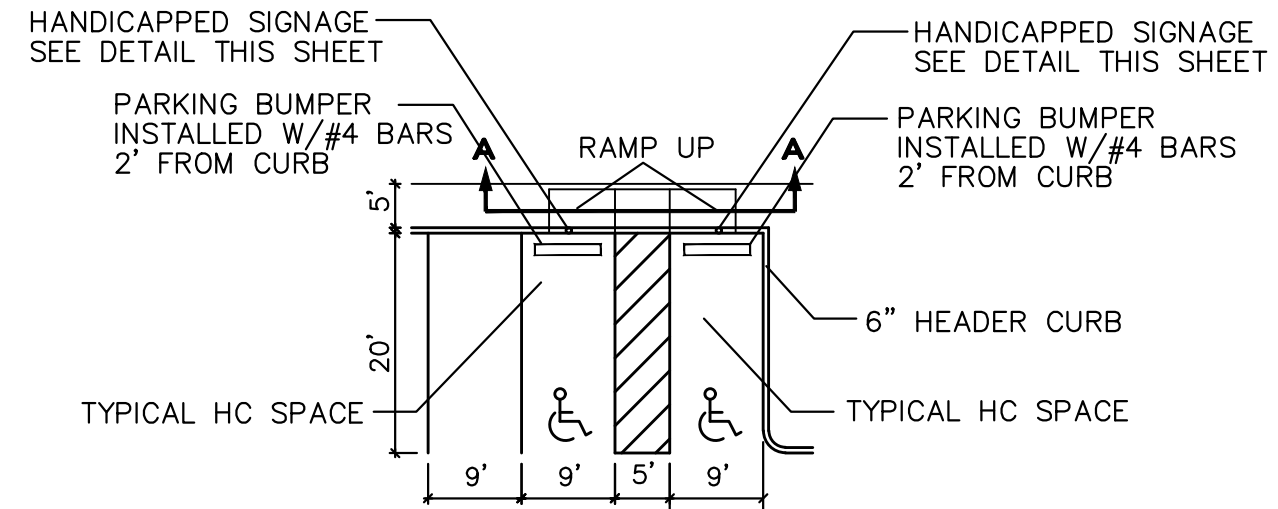


- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
  2. PROVIDE CONTRACTION JTS. 12" MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
  3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
  4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

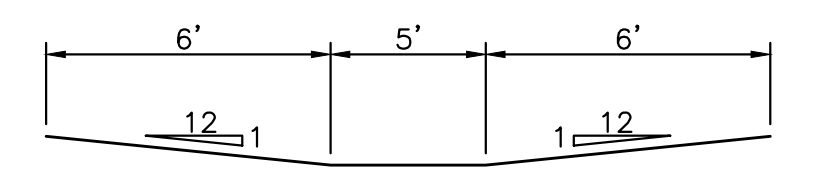
**STANDARD CURB / GUTTER**  
NTS



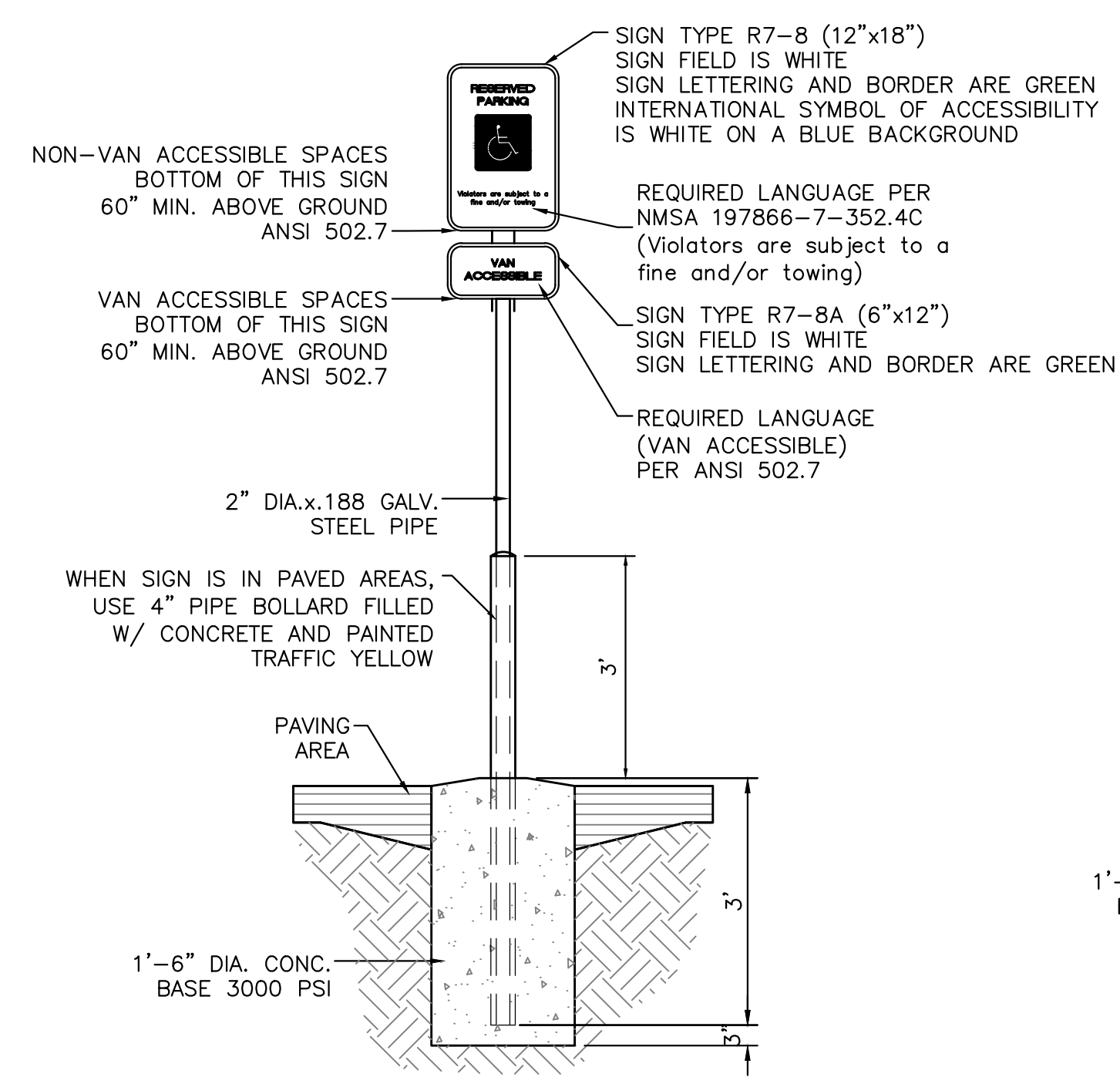
**DETAIL-FLUSH CURB**  
1" = 1'-0"



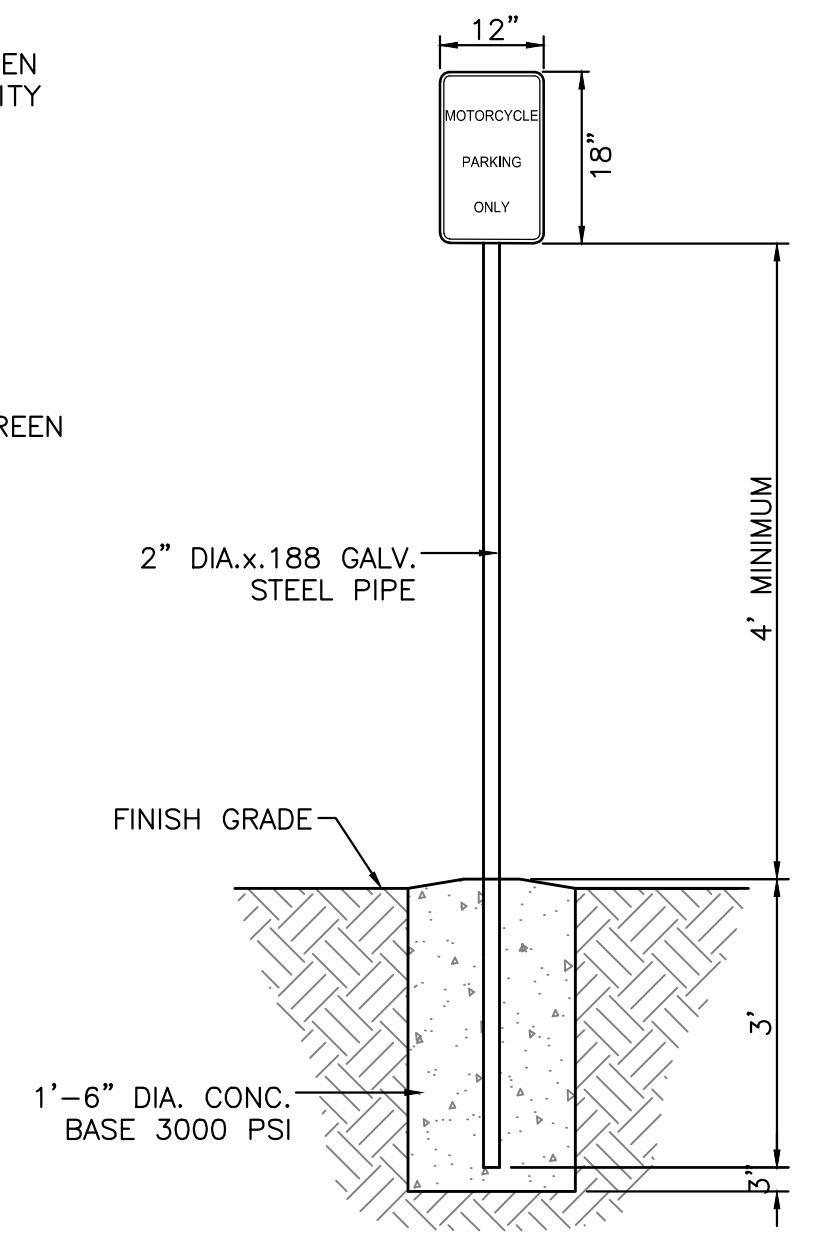
**HC PARKING DETAIL**  
NTS



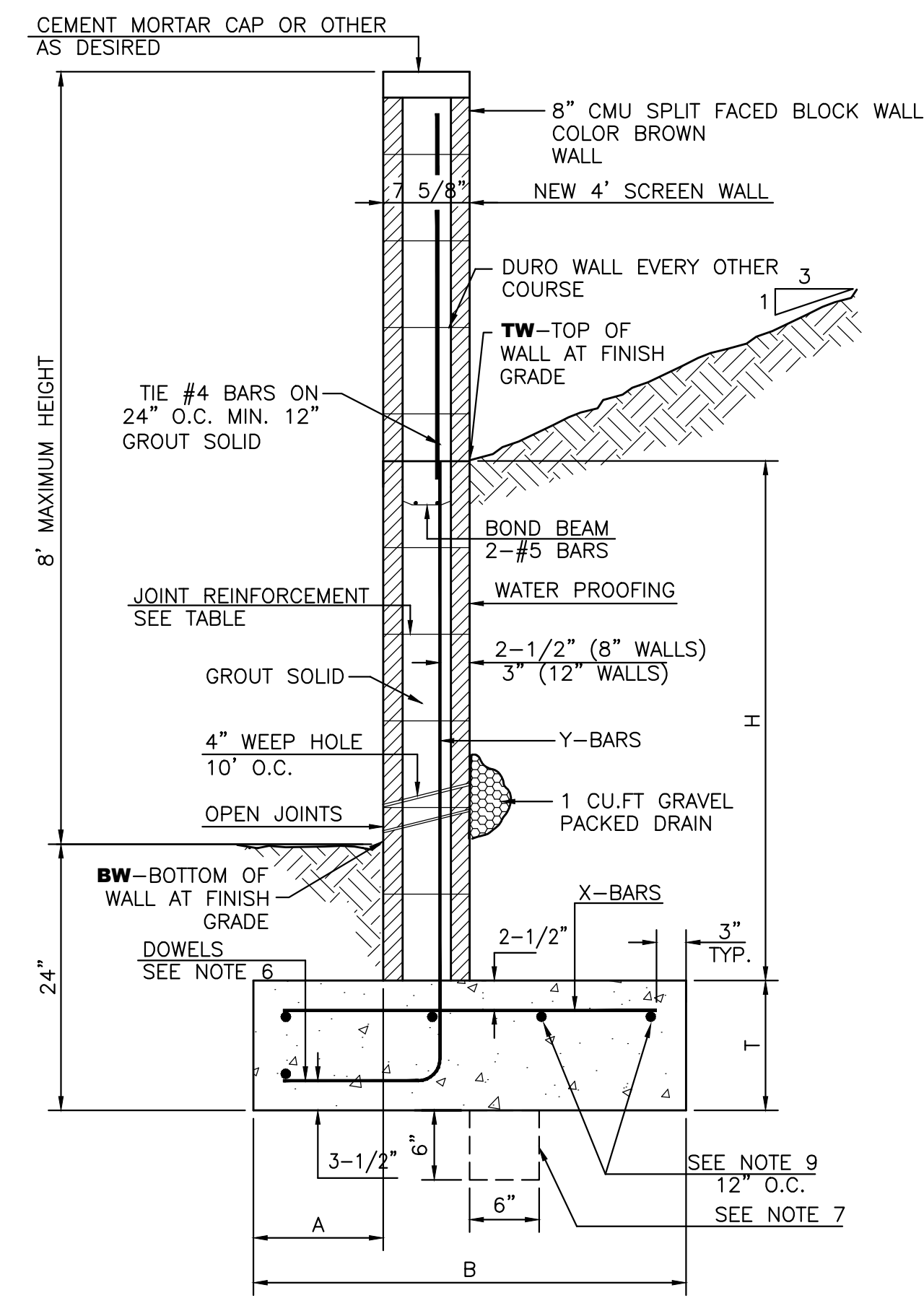
**HC PARKING DETAIL SECTION A-A**  
NTS



**ACCESSIBLE PARKING SIGN**  
NTS



**MOTORCYCLE PARKING SIGN**  
NTS

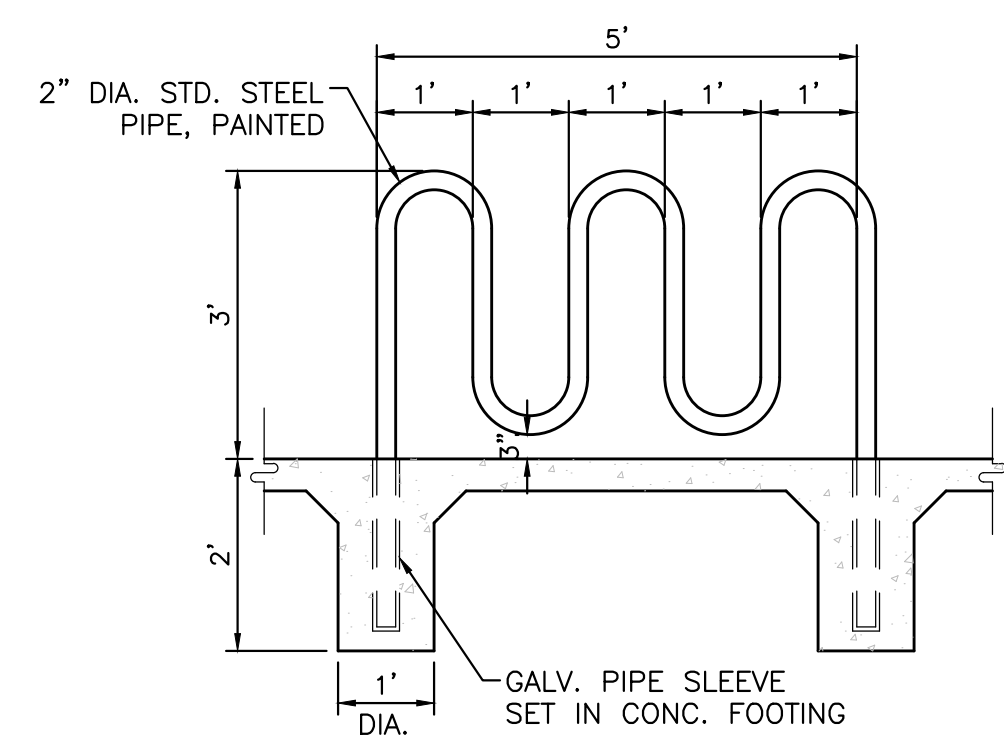


**RETAINING WALL DETAIL**  
NTS

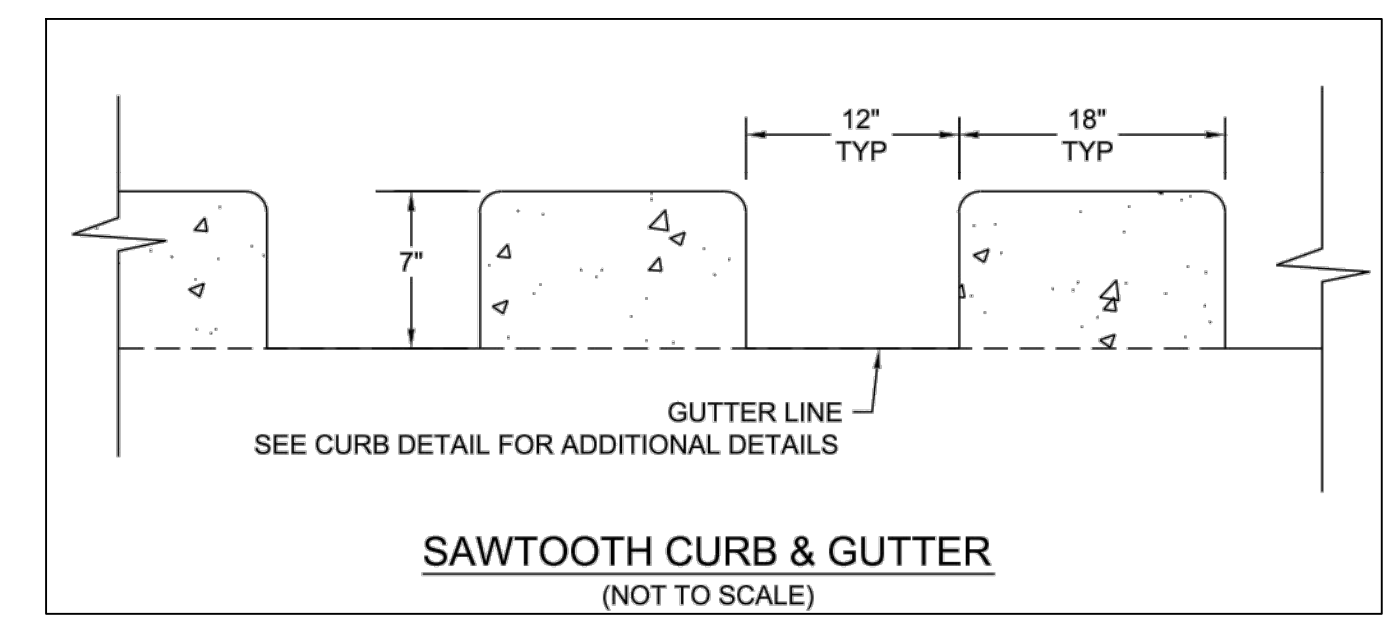
8 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
  2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
  5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
  7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
  8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
  9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



**BIKE RACK DETAIL**  
SCALE: 1/2"=1'



**SAWTOOTH CURB & GUTTER**  
(NOT TO SCALE)

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>PRIMROSE SCHOOL OF NW ALBUQUERQUE</b>	DRAWN BY pm
	<b>CONSTRUCTION DETAILS</b>	DATE 5-1-18
	 5571 MIDWAY PARK, PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # <b>6</b>
		JOB # 2017092

# **REFERENCE**

**PROJECT# - 2020-004213**

**CASE# - SI-2020-00711**

**FOR ALL DOCUMENTATION**

**(FINAL SIGN OFF IS STAMPED INCORRECTLY - SI-2020-00722)**

**G. Delgado UD&D**