

PARKING REQUIREMENTS

EXISTING BUILDINGS:	1/4 SEATS	120 SEATS/4 = 30 SPACES
EAST WORSHIP SPACE:	1/4 SEATS	40 SEATS/4 = 10 SPACES
OFFICE SPACES:	1ST FLR. 1/200	402 S.F./200 = 2 SPACES
OFFICE SPACES:	2ND FLR. 1/300	282 S.F./300 = 1 SPACE
GRADE SCHOOL ROOMS:	1/EMPLOYEE	5 ROOMS = 6 SPACES
HIGH SCHOOL ROOMS:	SEE NEW GYMNASIUM	(1 CLASSROOM - 3 SPACES)
NEW BUILDING:		
GYMNASIUM 9,000 S.F.:	1/4 SEATS AUDITORIUM	50 SEATS/4 = 13 SPACES
TOTAL SPACES REQUIRED:		75 SPACES (4 H.C.)
TOTAL SPACES PROVIDED:		75 SPACES (4 H.C.)
REMARKS:		
FUTURE BUILDING 1,525 S.F.:	1 STOR.	(PER 200 S.F. = 1 SPACE)
TOTAL SPACES REQUIRED:		8 SPACES

LANDSCAPE AND GROUND COVERING

LOT AREA:	174,240 SF App.
BUILDINGS:	PHASE I - 2,800 SF @ GRADE PHASE II - 11,200 PHASE III - 20,100
OPEN AREA:	49,140 SF
ALL ASPHALT PAVING, PARKING AND ROADWAYS:	PHASE I - 32,065 PHASE II - 52,887 PHASE III - 27,762 84,952 SF TOTAL
LANDSCAPE:	REQUIRED (@ 15% OF NET LOT AREA): 22,760 PHASE I 10,093 PHASE II 10,993 PHASE III 11,674 41,760
PROVIDED:	PHASE I 10,093 PHASE II 10,993 PHASE III 11,674 41,760

GENERAL INFORMATION

LOT AREA: 44 ACRES EXISTING VACANT LAND

PROPOSED BUILDINGS:

PHASE I -	2800 SF CHURCH
PHASE II -	2800 SF PARISH HALL (previous phase I church) 5600 SF OFFICES/DAYCARE/ CLASSROOMS/NTC ROOMS 5600 SF CHURCH
TOTALS:	14,000 SF BUILDING
PHASE III -	13,000 SF CLASSROOM/ OFFICES
TOTALS:	27,000 SF BUILDING

NOTE: PHASE I & II SHOWN FOR INFORMATIONAL PURPOSES ONLY. APPROVAL FOR CONSTRUCTION OF PHASE I ONLY.

REQUIRED PARKING PROVIDED

1/4 SEATS=20 (1HC)	33 (2HC)
1/200 SF=14	
1/200 SF=75	
117 (6 HC)	125 (8 HC)
1/200 SF=65 (3HC)	57 (5HC)
182 (9 HC)	182 (13 HC)

CONCEPTUAL DRAINAGE DATA

PRE-DESIGN CONFERENCE FINDINGS:

- NO EXISTING OR PROGRAMMED OUTFALL, REQUIRES A RETENTION POND TO BE DESIGNED PER NEW COUNTY ORDINANCE.
 - 100-YR, 10-DAY STORM.
 - 2 (2) CONSECUTIVE 100-YEAR DESIGN STORMS (6-HOURS).
- MAY USE DETENTION POND IF HE CAN JUSTIFY DISCHARGE RATE IS NOT DAMAGING TO DOWNSTREAM PROPERTIES.
- PRIVATE DRAINAGE MAINTENANCE POND AGREEMENT REQUIRED.
- POND FENCING REQUIRED AND OTHER INFRASTRUCTURE PER D.P.M. REQUIRED.
- POND PREFERRED TO ADJ. FRONT PROPERTY LINE ADJACENT TO ARENAL STREET IN CASE FUTURE IMPROVEMENTS ARE CONSTRUCTED.

(NOTE: THESE FINDINGS ARE BASED ON ENTIRE TRACT BEING ANNEXED TO CITY. OTHERWISE, ENGINEER SHOULD MEET WITH COUNTY PUBLIC WORKS FOR ADDITIONAL CRITERIA.)

PROPOSED GYMNASIUM

APPROVED BUILDINGS PER SITE DEVELOPMENT PLAN 1990:	
PHASE 1: WORKSHOP SPACE	5,600 S.F.
PHASE 2: CLASSROOMS/OFFICES	5,600 S.F.
PHASE 3: FUTURE SCHOOL	2,800 S.F.
PHASE 3: 2 STORY BLDG	13,000 S.F.
TOTAL APPROVED SQUARE FOOTAGE	27,000 S.F.
BUILDINGS THAT EXIST NOW	
EXISTING PHASE 1: WORKSHOP SPACE/BLDG. A	7,145 S.F.
EXISTING PHASE 2: CLASSROOMS/OFFICES	5,600 S.F.
TOTAL SQUARE FOOTAGE	12,745 S.F.
NEW BUILDINGS PROPOSED WITH THIS AA:	
PHASE 4: GYMNASIUM	9,000 S.F.
PHASE 5: FUTURE GYM ADDITION	4,000 S.F.
TOTAL SQUARE FOOTAGE	13,000 S.F.
REMOVE PHASE 3 FUTURE SCHOOL	2,800 S.F.
REMOVE PHASE 3 2 STORY BLDG	13,000 S.F.
NEW TOTAL PROPOSED SQUARE FOOTAGE	25,475 S.F.
TOTAL APPROVED SQUARE FOOTAGE	27,000 S.F.

LANDSCAPE KEY:

- 2" CALIPER SYCAMORE
- 2" CALIPER ARIZONA ASH
- PIRION
- 2" GAL SHIELD TO BE SELECTED FROM THE FOLLOWING BY OWNER:
- LAGO LINDSEY
- CUMMIA
- CANTALINA
- GRAND COVER - DESERT GRASS
- ASPHALT PAVING
- 5" L.S. DUFFER PLANTED W/ 1/2" L.S. ONLY PLANT GROUPS ALTERNATING PERIODICALLY & EVERGREEN @ 15' SPACING IN PAIRS...
- 2 CU. YD CONTAINER
- FIRE LANE - PAINT CURB RED

NOTE: IRRIGATION SYSTEM TO ALL LANDSCAPE AREAS TO BE OPERATED & MAINTAINED BY OWNER.

GYM BUILDING ELEVATION

SOUTH ELEVATION

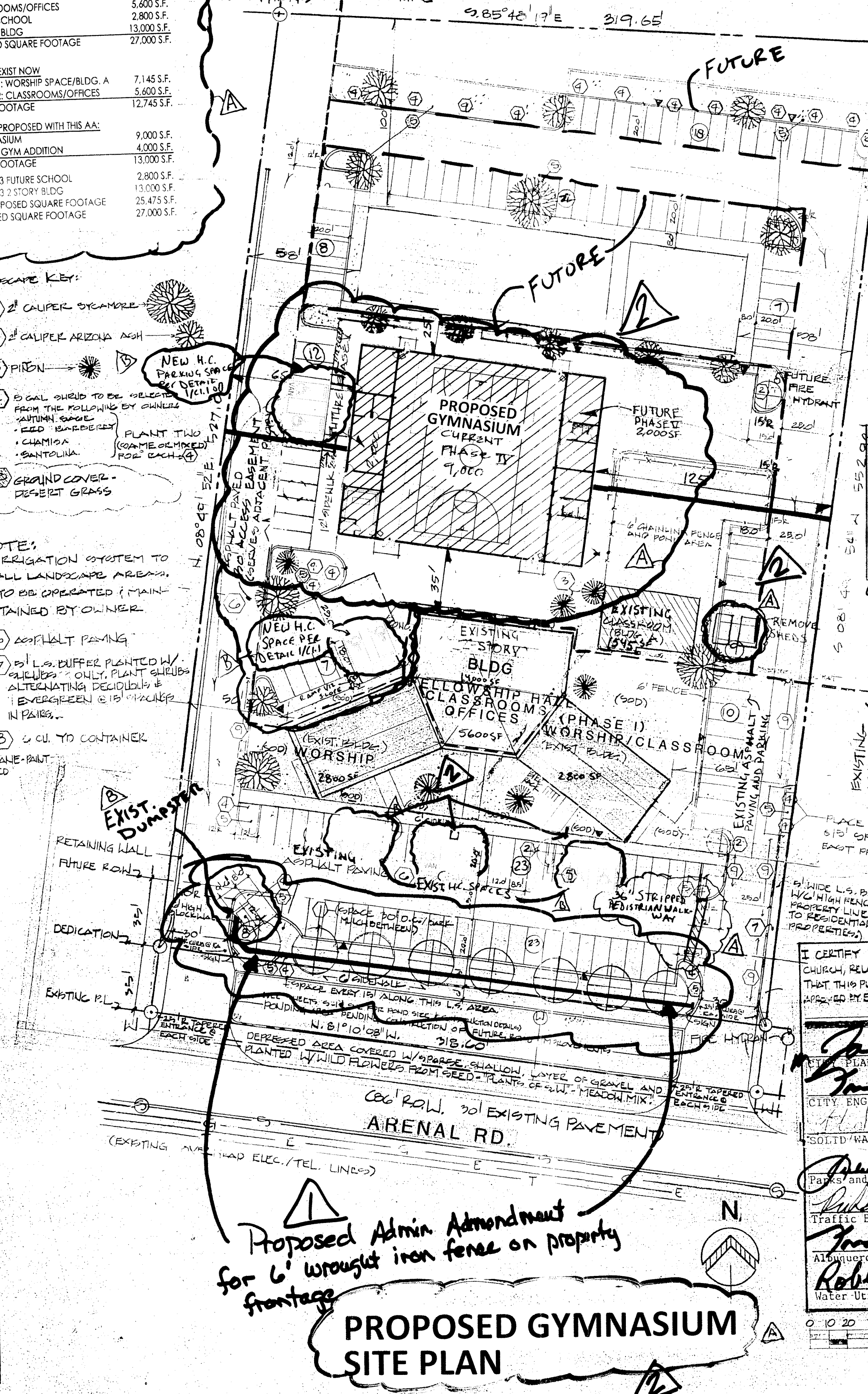
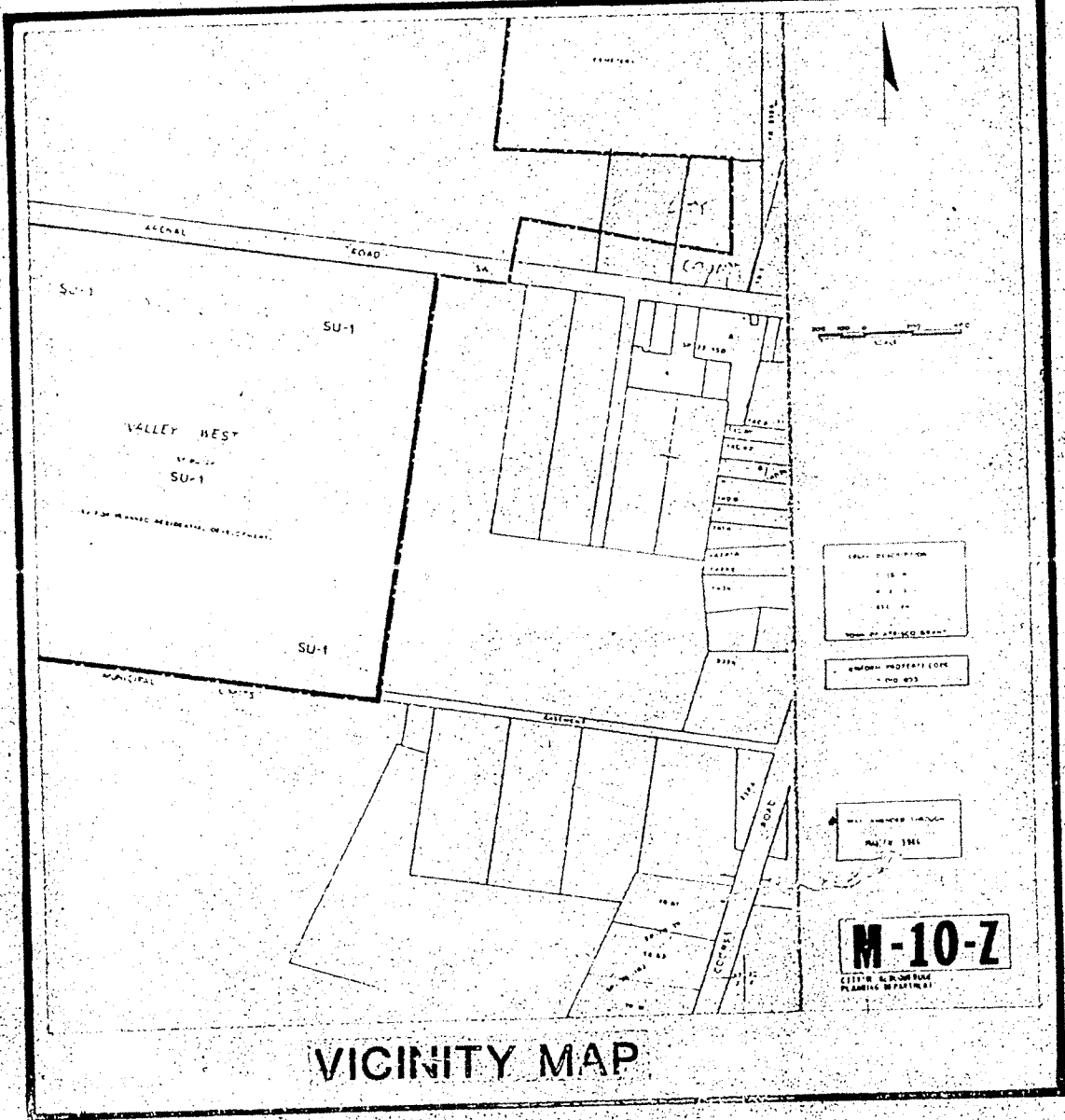
NORTH ELEVATION

SIGN ELEVATION

SCALE: 1/4" = 1'-0"

WEST ELEVATION

EAST ELEVATION



ADMINISTRATIVE AMENDMENT

FILE # 144 PROJECT # 1007253
10017
REPLACING PHASE III 13000 SF CLASSROOM BLDG W/ 19000 SF GYMNASIUM + ADDITIONS
APPROVED BY DATE
5/12/14

CONDITIONS:
ALL NEW PARKING SPACES SHOWN ON PLAN (NORTH/SOUTH OF NEW GYM) MUST BE CONSTRUCTED, INCLUDING 4 HC TO BE ADA COMPLIANT
EXISTING HC MUST ADD ACCESSIBLE RAMP (SEE NOTE @ BELOW
ALL LANDSCAPING MUST BE INSTALLED
REMOVE SHADES
ADD H.C. ACCESSIBLE RAMP PER C.O.A. STANDARDS TO EXISTING H.C. PARKING SPACES
PLACE 5' SPACING ALONG EAST PROPERTY LINE
1/2" WIDE L.S. DUFFER 1/2" HIGH PLANT ALONG PROPERTY LINE ADJACENT TO RESIDENTIAL ZONE.

REVISION DATE
10/2/90
5/15/95
3/14/14



I CERTIFY THAT THIS AREA IS ZONED S-U-1 FOR CHURCH, RELATED ACTIVITIES, AND PRIVATE SCHOOL, AND THAT THIS PLAN IS COMPLYING WITH THE SITE DEVELOPMENT APPROVED BY EPC ON 11/18/90. CONDITIONS OF PRACTICE OF DESIGNER HAVE BEEN REVIEWED AND FOUND TO BE IN COMPLIANCE WITH THE ABOVE.

Paul J. Bennett 12/5/90
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CITY ENGINEER
SOLID WASTE DEPARTMENT
Parks and Recreation Department
Robert W. Kane 10-2-90
Water Utilities Department

Proposed Admin. Amendment for 6' wrought iron fence on property frontage

PROPOSED GYMNASIUM SITE PLAN

DATE 9/15/90
SHEET NUMBER A-1
1118 Park Avenue SW
Atlanta, GA 30309
(404) 241-1889