

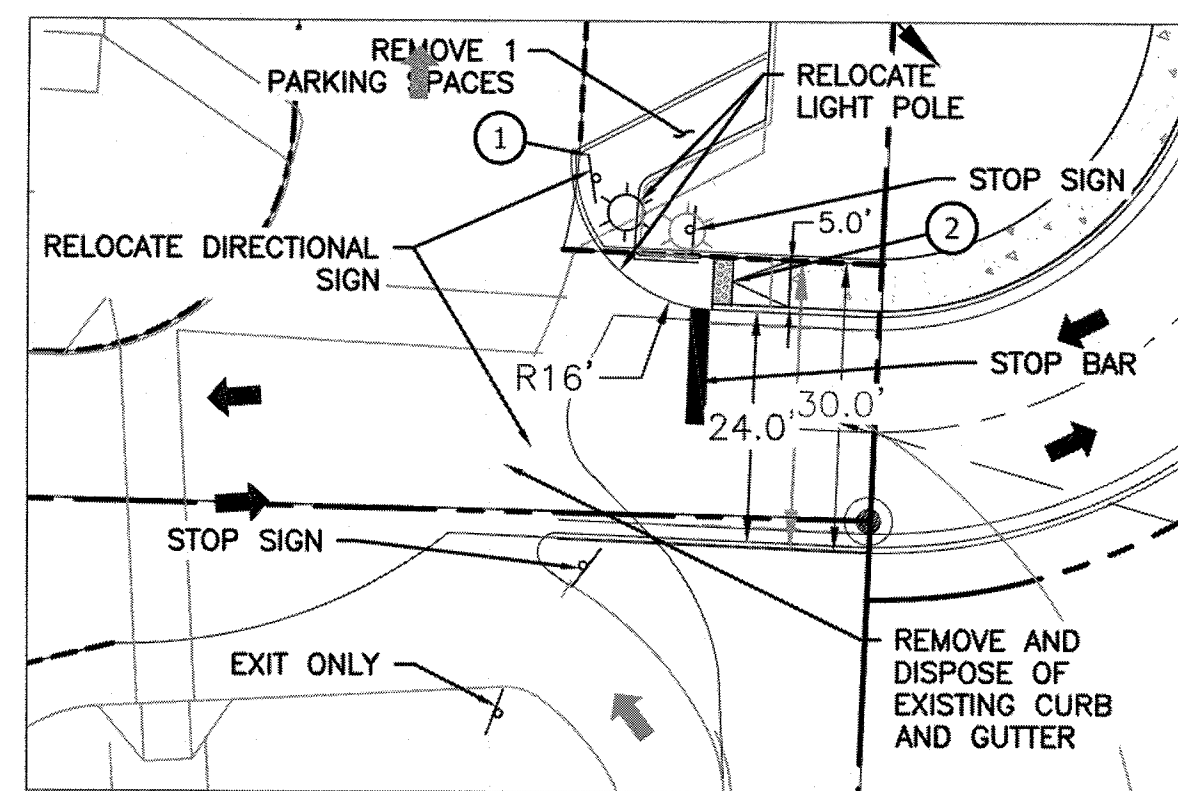
ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

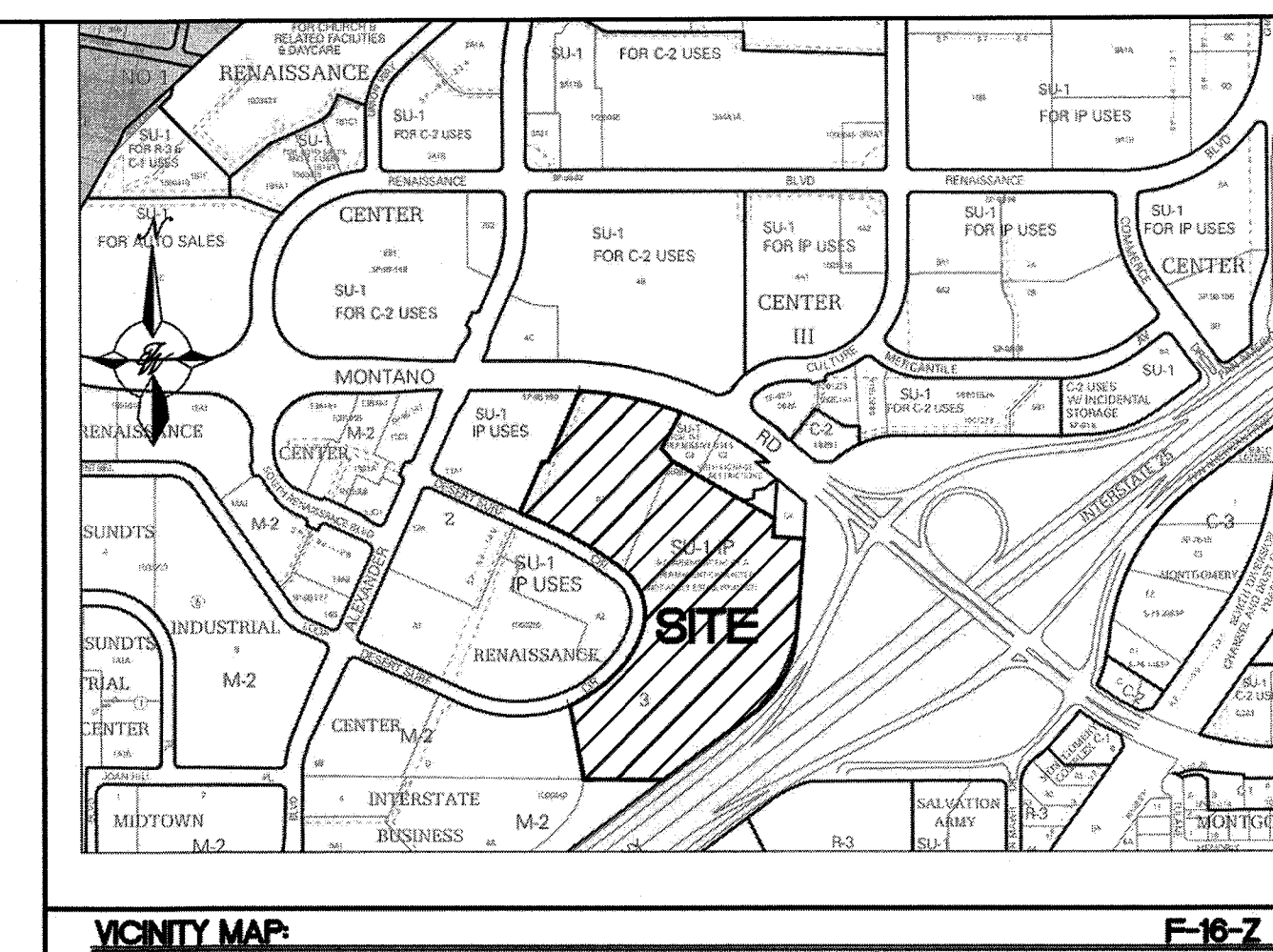
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	PARKING LOT LIGHTS
	LANE
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING EASEMENT
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING



CROSS DRAINAGE
EASEMENT ON PARCELS
C-3, C-2
FOR THE BENEFIT OF
PARCELS
C-4 & C-3, WITH
MAINTENANCE BY SAME

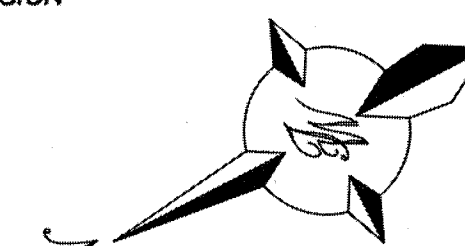
INSET
SCALE: 1" = 20'

ADMINISTRATIVE AMENDMENT
FILE # ^{SI-2019} ~~20096~~ PROJECT # ^{PR-2019} ~~002284~~
Revised building
square footage.
PR-2019 03Apr2019
APPROVED BY _____ DATE _____

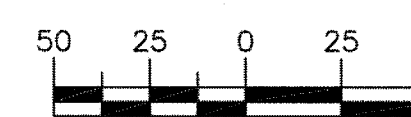


LEGAL DESCRIPTION:

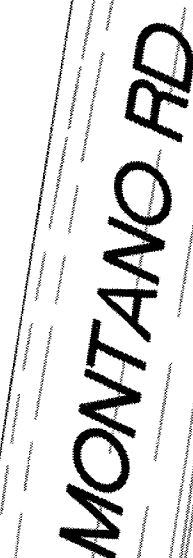
LOT C-1, RENAISSANCE CENTER III SUBDIVISION



GRAPHIC SCALE



SCALE: 1"=50'



PARCEL "C-1-A"
AREA= 612,771.94 sq.ft.
14.067 acres±

SITE DATA

PROPOSED USAGE:	SU-1, IP & AMUSEMENT FACILITY OF A PERMANENT CHARACTER	20' DRAINAGE
LOT AREA:	612,771.94 SF (14.067 ACRE)	
BUILDING AREA:	48,295 SF	
FUTURE EXPANSION:	5,134 SF	
TOTAL FUTURE BUILDING AREA:	53,428	
PARKING REQUIRED:	75 SPACES (15,000 SF/1 SPACE PER 200 SF)	
<u>PARKING REQUIRED:</u>	<u>133 SPACES (31,222 SF/1 SPACE PER 250 SF)</u>	
TOTAL PARKING:	208 SPACES	
REQUIRED		
PARKING PROVIDED:	384 SPACES	

HC PARKING REQUIRED: 12 SPACES
HC PARKING PROVIDED: 12 SPACES
2 SPACE VAN ACCESSIBLE

SC PARKING PROVIDED: 34 SPACES

MC PARKING REQUIRED: 6 SPACES
MC PARKING PROVIDED: 6 SPACES

**BICYCLE PARKING REQUIRED: 20 SPACES
(15% NET LOT AREA)**

BICYCLE PARKING PROVIDED: 20 SPACES

LANDSCAPE AREA REQUIRED: 84,982 SF
LANDSCAPE AREA PROVIDED: 288,516 SF

EXISTING DRIVEWAYS
TO BE REMOVED
AND REPLACED WITH
CITY STANDARD
UTTER AND SIDEWALK
PER COA STD
SS, 2415A AND 2430

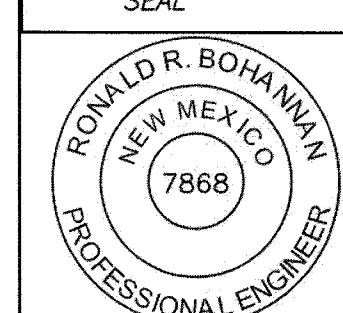
KEYED NOTES:

-
- 1 CURB & GUTTER (SEE DETAIL SHEET C12)
- 2 STRAIGHT HC RAMP (SEE DETAIL SHEET C12)
- 3 6 FT. SIDEWALK
- 4 6 FT. PEDESTRIAN CROSSING (SEE DETAIL SHEET C12)
- 5 DUMPSTER ENCLOSURE
- 6 EXISTING BILLBOARD TO BE ADJUSTED TO NEW GRADING
- 7 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET C12 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
- 8 PROPOSED PEDESTAL SIGN (SEE SHEET C13)
- 9 PROPOSED MONUMENT SIGN (SEE SHEET C13)
- 10 WHEEL STOP
- 11 SMALL CAR SPACE (SEE DETAIL SHT. C12)
- 12 ZERO CURB (SEE DETAIL SHT. C12)
- 13 MULTI-TENANT MONUMENT SIGN
- 14 CLEAR SIGHT TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES & SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 14 PARKING LOT LIGHTS (SEE DETAIL SHEET 13)
- 14 ROLL CURB (SEE DETAIL SHEET 13)
- NOTES
1. ALL BROKEN OR CRACKED CURB, GUTTER AND SIDEWALK MUST BE REPLACED WITH CITY STANDARD GURB, GUTTER, SIDEWALK PER COA STD DWGS, 2415A AND 2430
2. NEW VALLEY CURB TO MATCH EXISTING CURB AND GUTTER

NOTE

1. ALL BROKEN OR CRACKED CURB, GUTTER AND SIDEWALKS MUST BE REPLACED WITH CITY STANDARD GURB, GUTTER AND SIDEWALK PER COA STD DWGS, 2415A AND 2430
2. NEW VALLEY GUTTER TO MATCH EXISTING CURB AND GUTTER

ENGINEER'S
SEAL



3/27/2019

RONALD R. BOHANNA
P.E. #7868

MULTI-USE RECREATIONAL
FACILITY, ALBUQUERQUE, NM

SITE PLAN



DRAWN BY

BF
DATE

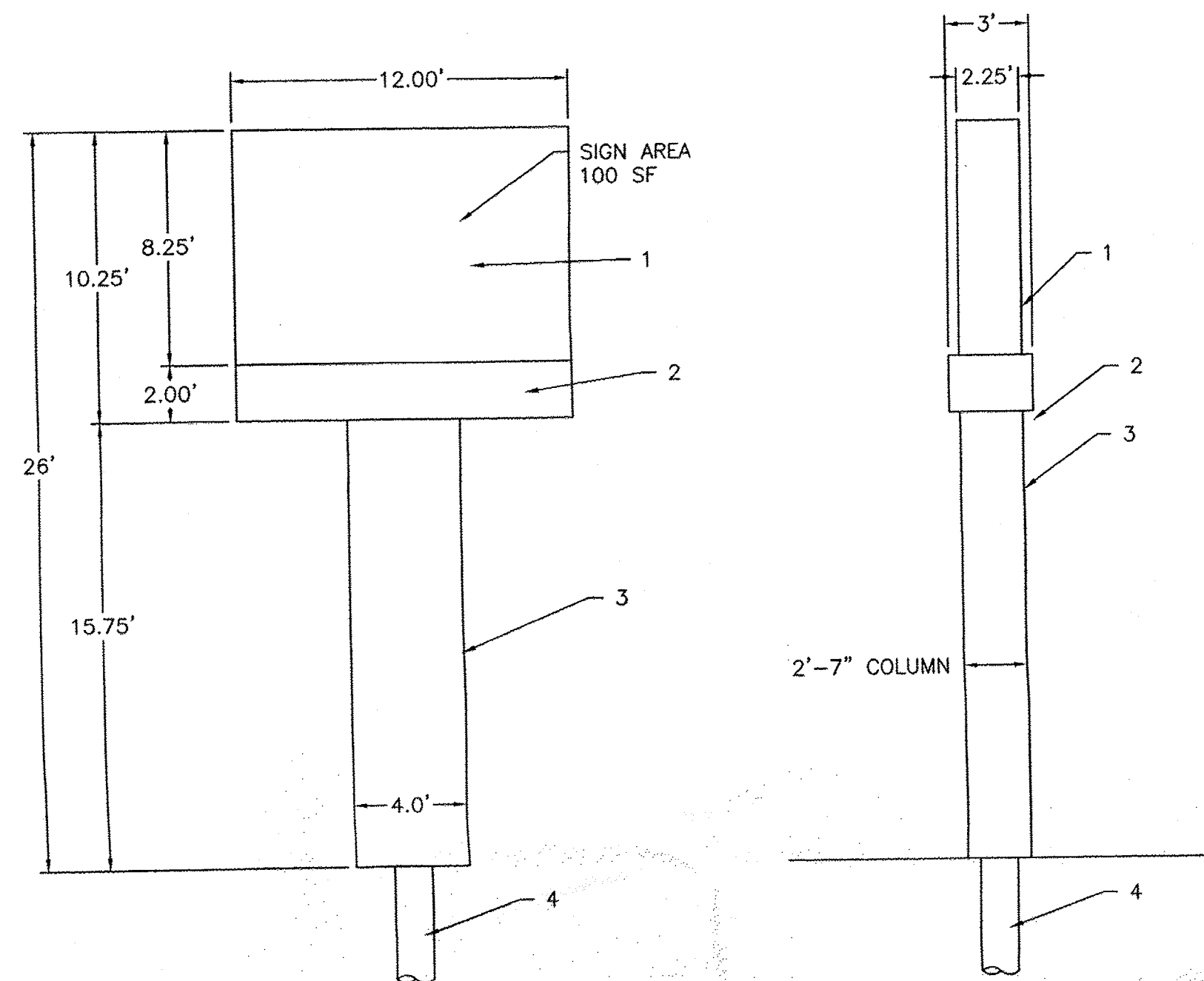
DATE
9/20/18

2017035_SPB-3

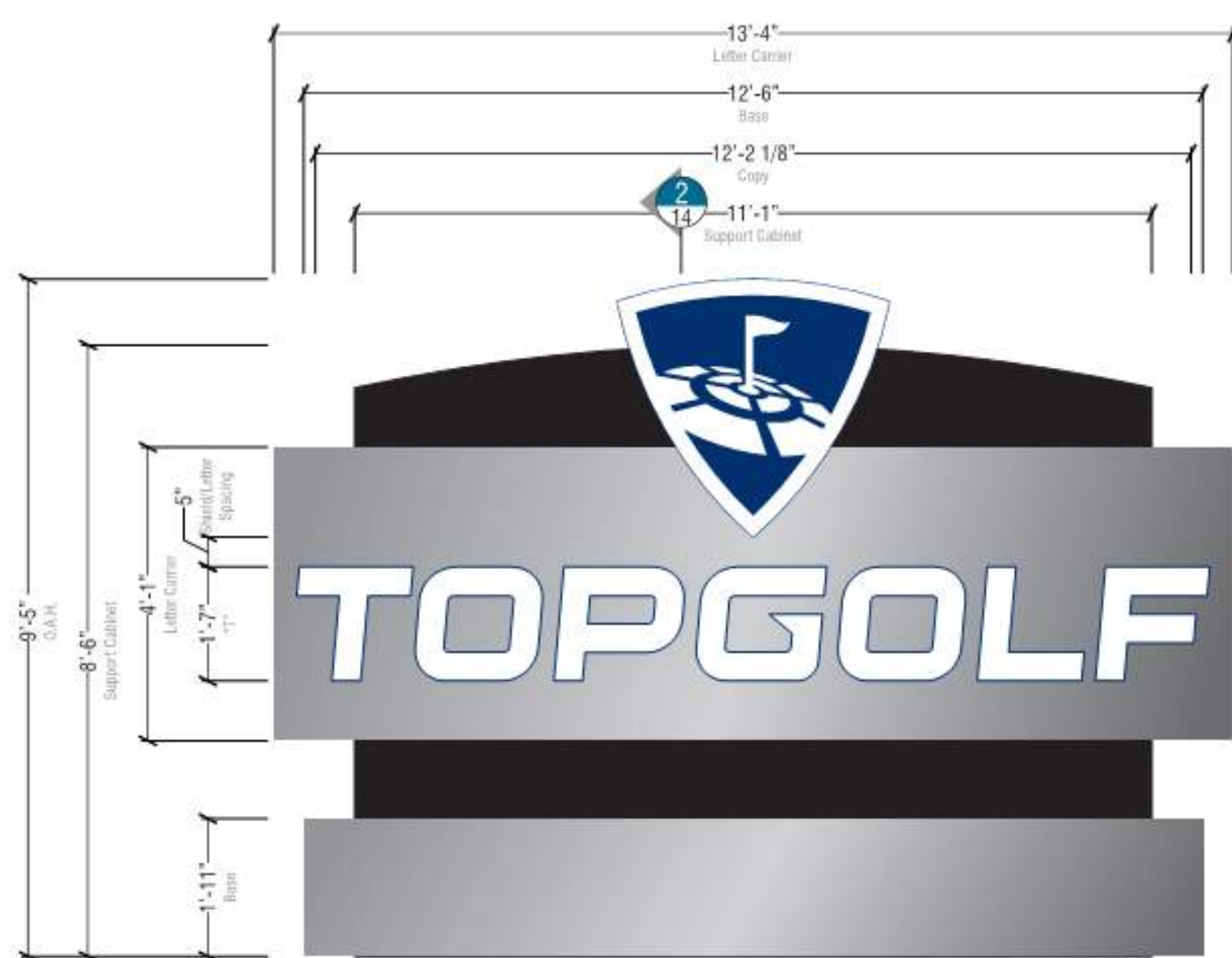
SHEET #

C2

JOB #
2017065

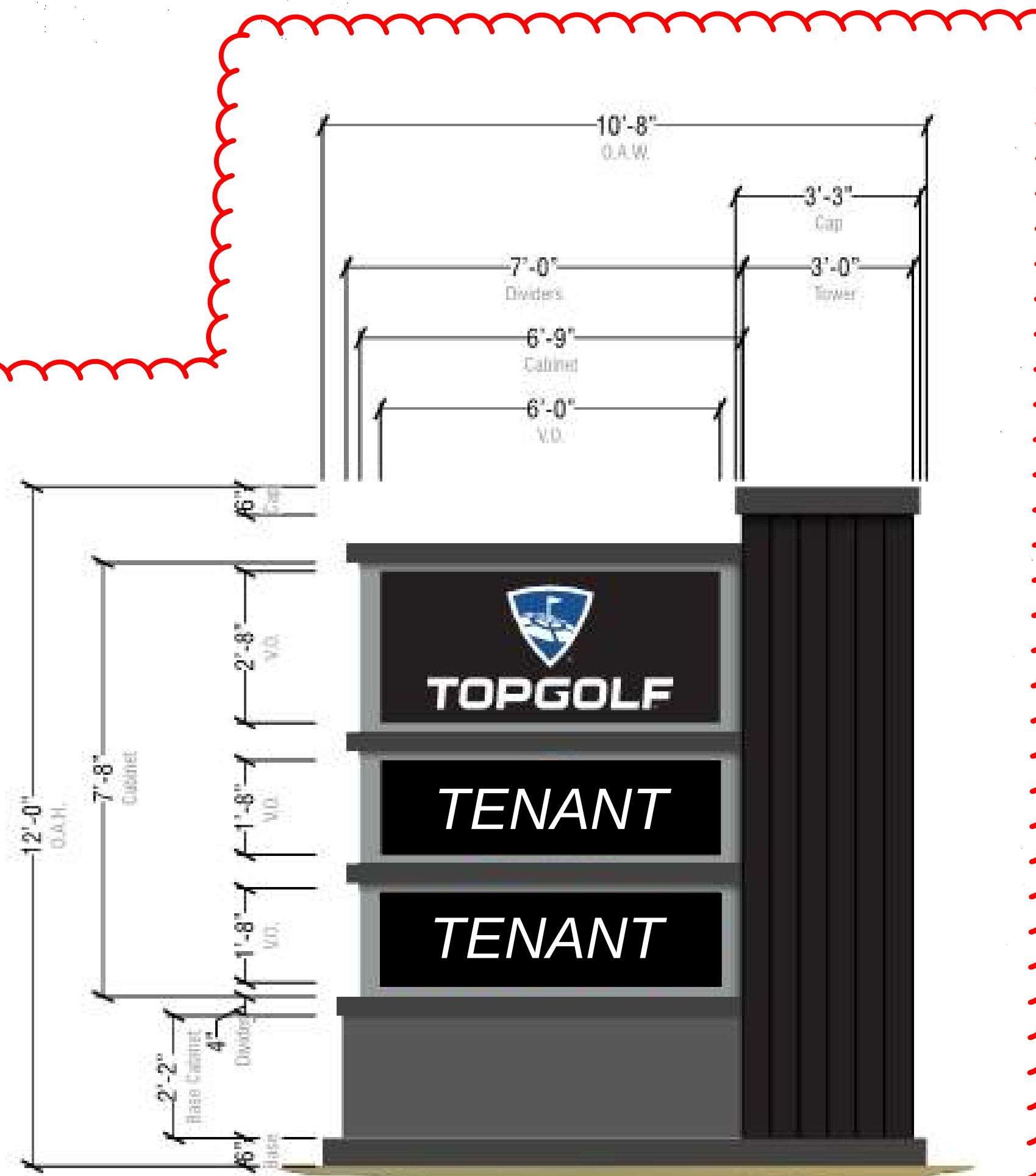


PROJECT PEDESTAL SIGN

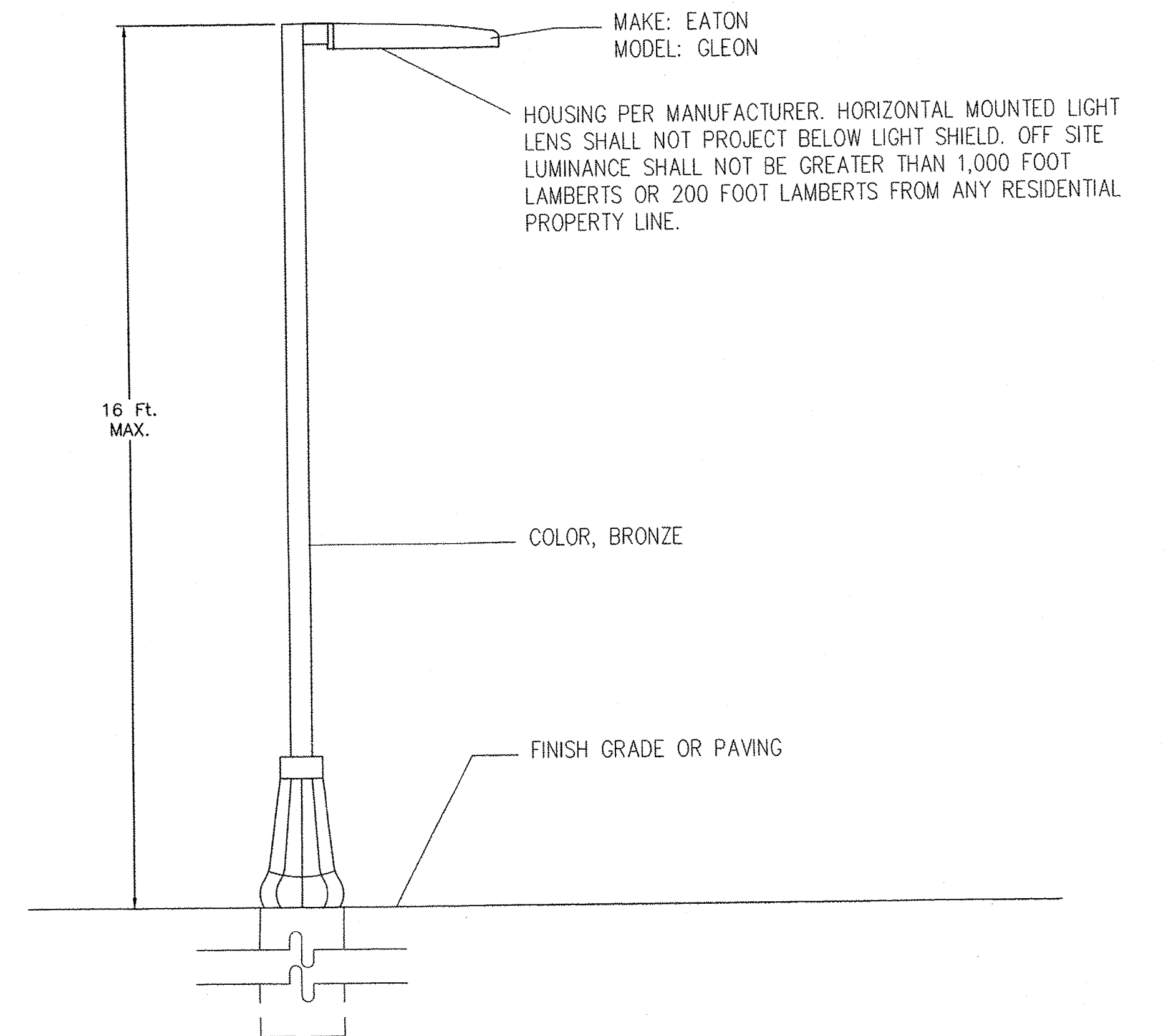


MONUMENT SIGN
SCALE: NTS

1. UTILITY LOGO CABINET: D/F ILLUMINATED CUSTOM FAB. CABINET
2. EMC: D/F 89mm PITCH 16x64 MATRIX AMBER MONOCHROME EMC
PRIMARY ELECTRICAL: 120V/240V-TOTAL SIGNS AMPS T.B.D.
POWER OUT: LEAVE 8'-0" PIGTAIL WIRE INSIDE CAB FOR SIGN HOOK UP.
POWER LOCATION: REFER TO M.E.P. DWGS
SWITCH LOCATION: T.B.D.
3. COLUMN: CUSTOM FABRICATED 1 1/2" ALUM. ANGLE FRAME COVERED ON ALL SIDES W/.090" THICK ALUM.
4. MOUNTING PIPE: 8" +/- DIA. PIPE SLEEVED INSIDE 24" O.D. STD. STEEL PIPE SET IN CONCRETE CAISSON.



MULTI-TENANT MONUMENT SIGN
SCALE: NTS

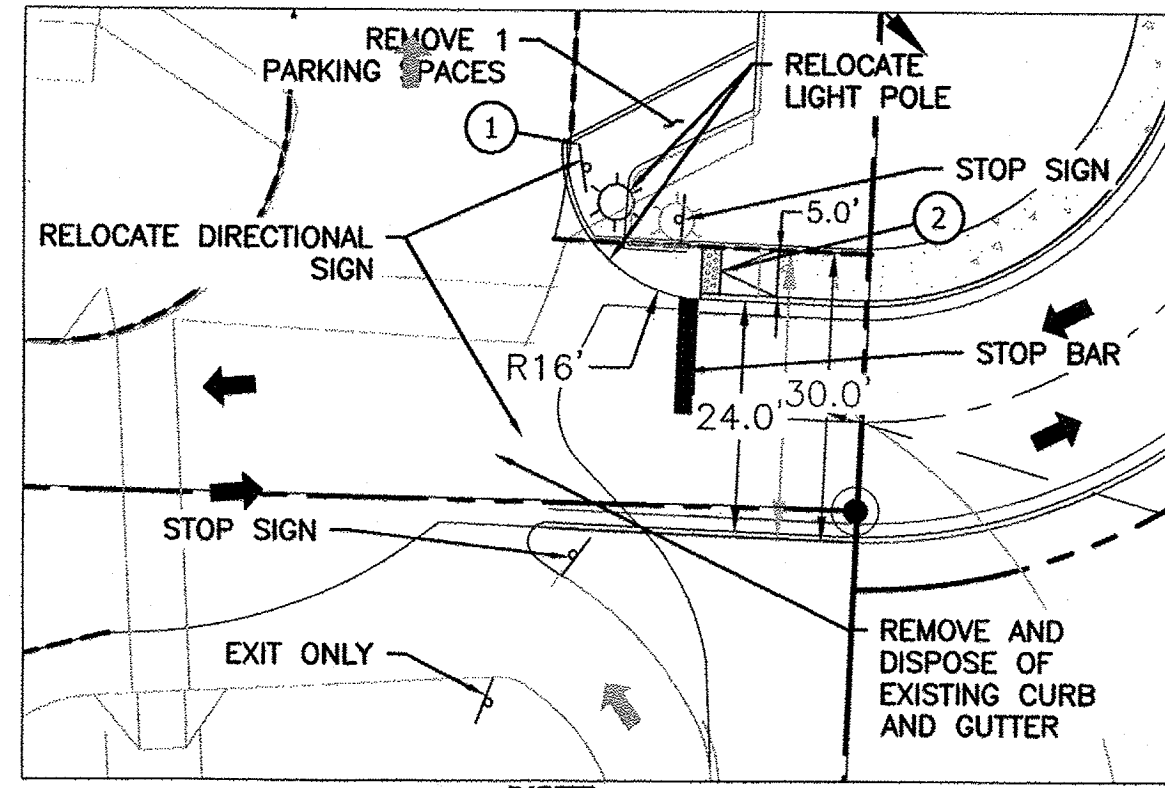


PARKING LOT LIGHT POLE
SCALE: NTS

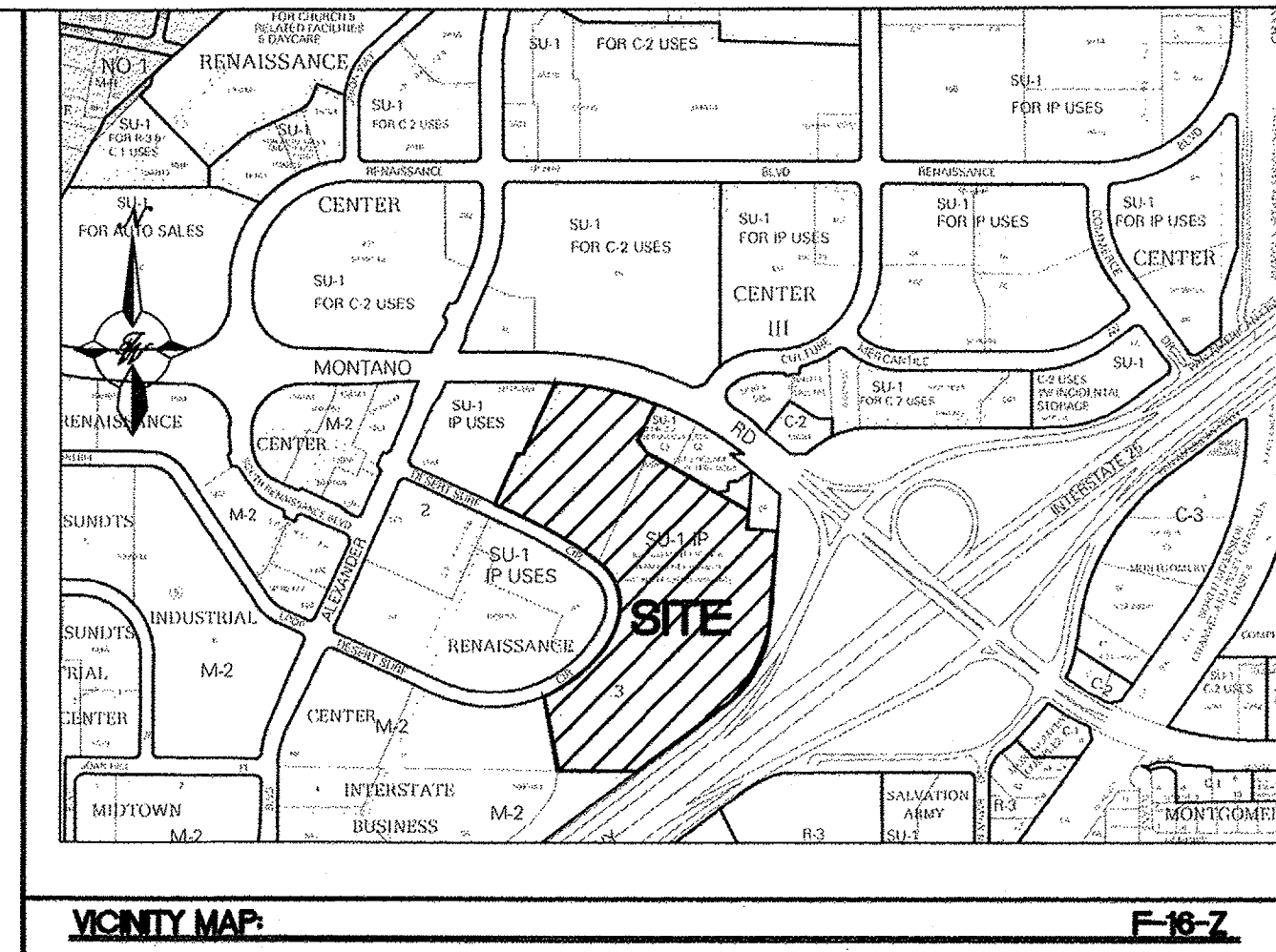
 RONALD R. BOHANNAN P.E. #7868	ENGINEER'S SEAL	MULTI-USE RECREATIONAL FACILITY, ALBUQUERQUE, NM	DRAWN BY BF
		SITE DETAILS 2	DATE 9/20/18
			2017035_DTB-3
			SHEET # C13
		TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2017065

LEGEND

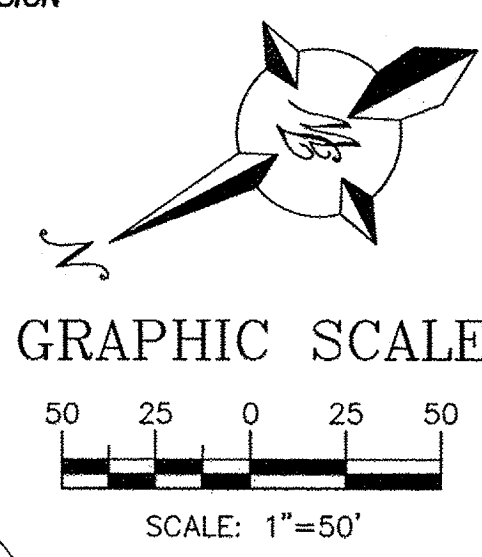
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- PARKING LOT LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING EASEMENT
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING



INSET
SCALE: 1" = 20'



LEGAL DESCRIPTION
LOT C-1, RENAISSANCE CENTER III SUBDIVISION



MONTANO RD

INTERSTATE 25

PARCEL "C-1-A"
AREA= 612,771.94 sq.ft.
14.067 acres±

SITE DATA

PROPOSED USAGE: SU-1, IP & AMUSEMENT FACILITY OF A PERMANENT CHARACTER
LOT AREA: 612,771.94 SF (14.067 ACRE)
BUILDING AREA: 46,222 SF
PARKING REQUIRED: 75 SPACES (15,000 SF/1 SPACE PER 200 SF)
PARKING REQUIRED: 125 SPACES (31,222 SF/1 SPACE PER 250 SF)
TOTAL PARKING REQUIRED: 200 SPACES
PARKING PROVIDED: 384 SPACES
HC PARKING REQUIRED: 12 SPACES
HC PARKING PROVIDED: 12 SPACES
2 SPACE VAN ACCESSIBLE
SC PARKING PROVIDED: 34 SPACES
MC PARKING REQUIRED: 6 SPACES
MC PARKING PROVIDED: 6 SPACES
BICYCLE PARKING REQUIRED: 20 SPACES (15% NET LOT AREA)
BICYCLE PARKING PROVIDED: 20 SPACES
LANDSCAPE AREA REQUIRED: 84,982 SF
LANDSCAPE AREA PROVIDED: 288,516 SF

EXISTING DRIVEWAYS TO BE REMOVED AND REPLACED WITH CITY STANDARD CURB, GUTTER AND SIDEWALK PER COA STD DWGS, 2415A AND 2430

KEYED NOTES:

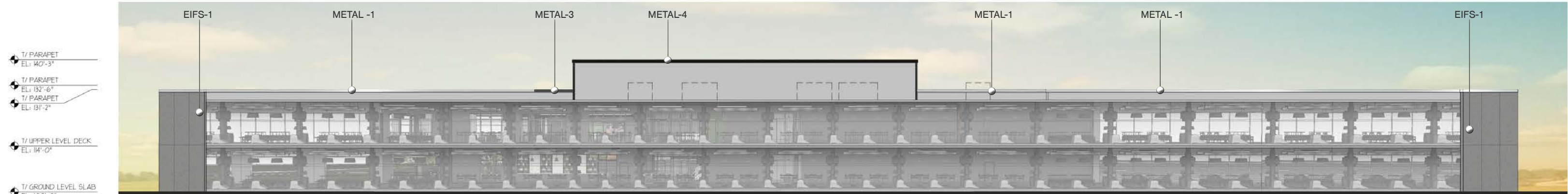
- 1 CURB & GUTTER (SEE DETAIL SHEET C12)
 - 2 STRAIGHT HC RAMP (SEE DETAIL SHEET C12)
 - 3 6 FT. SIDEWALK
 - 4 6 FT. PEDESTRIAN CROSSING (SEE DETAIL SHEET C12)
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 - 6 EXISTING BILLBOARD TO BE ADJUSTED TO NEW ACCESSIBLE PARKING SPACE TYPICAL SEE DETAIL SHEET C12 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE)
 - 7 PROPOSED PEDESTAL SIGN (SEE SHEET C13)
 - 8 PROPOSED MONUMENT SIGN (SEE SHEET C13)
 - 9 WHEEL STOP
 - 10 SMALL CAR SPACE (SEE DETAIL SHT. C12)
 - 11 ZERO CURB (SEE DETAIL SHT. C12)
 - 12
 - 13 CLEAR SIGHT TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
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- NOTES
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 2. NEW VALLEY GUTTER TO MATCH EXISTING CURB AND GUTTER.

15 MULTI-TENANT MONUMENT SIGN

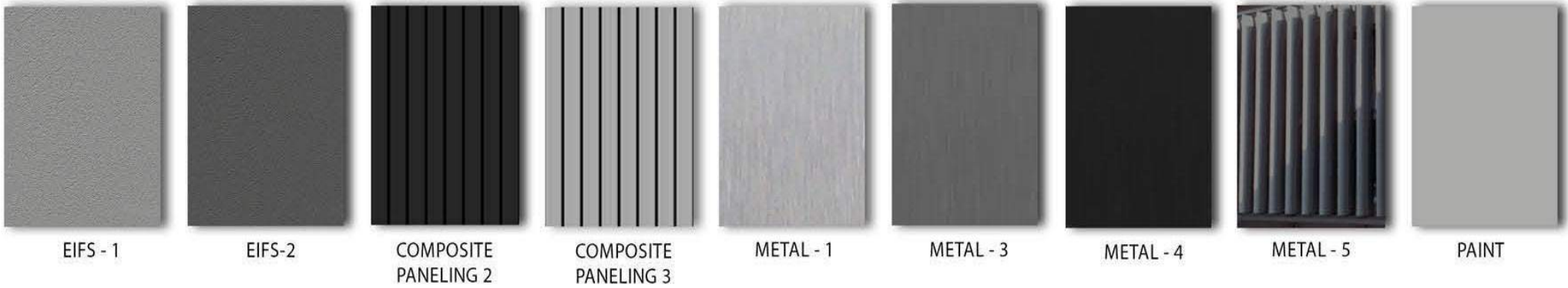
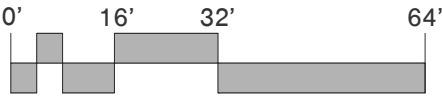
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MULTI-USE RECREATIONAL FACILITY, ALBUQUERQUE, NM	DRAWN BY BF
	SITE PLAN	DATE 9/20/18
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2017035_SPB-3
		SHEET # C2
		JOB # 2017065



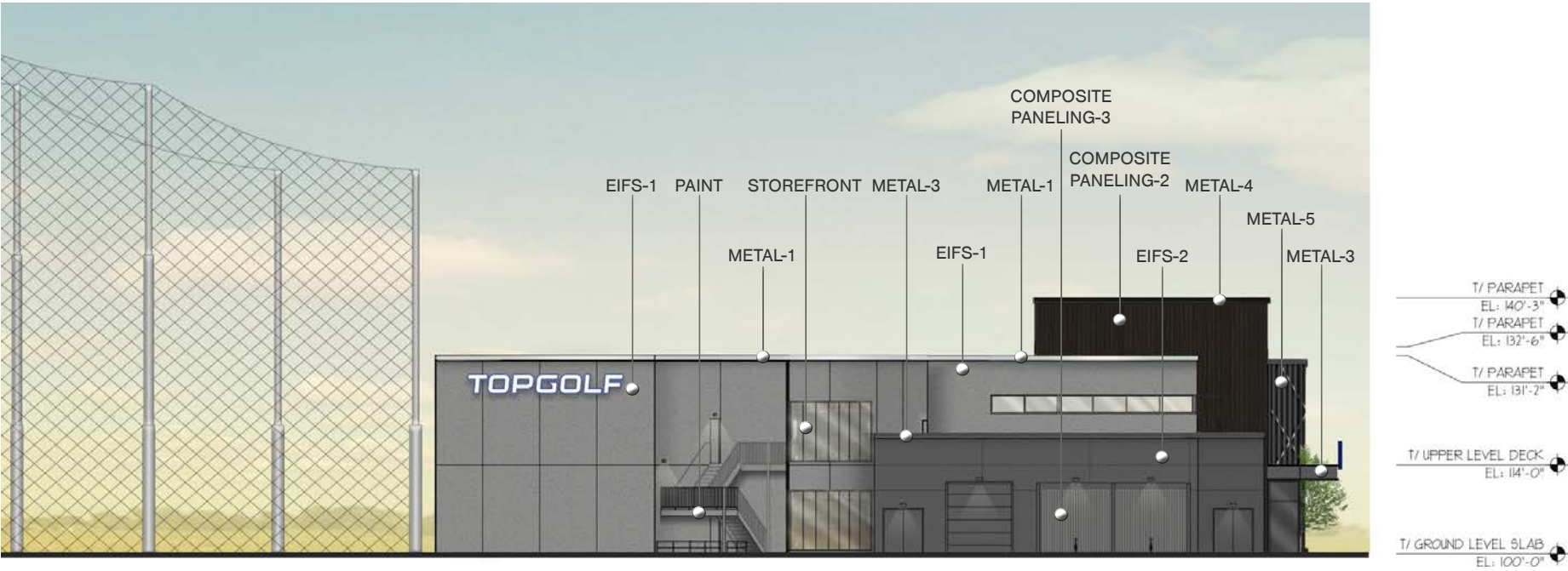
Front Elevation



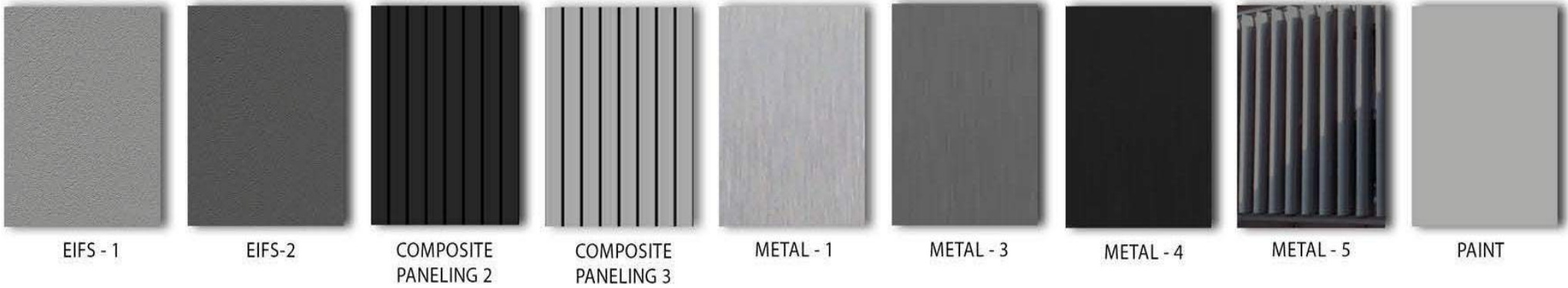
Rear Elevation



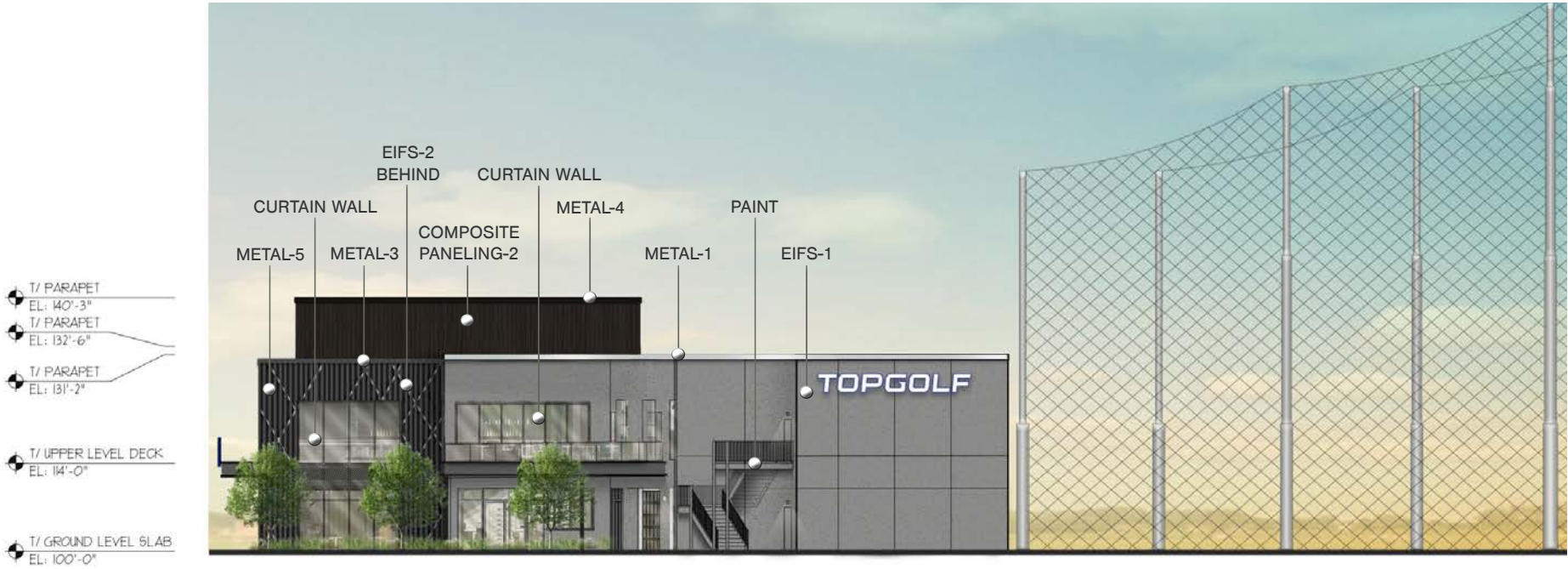
Exterior Elevations



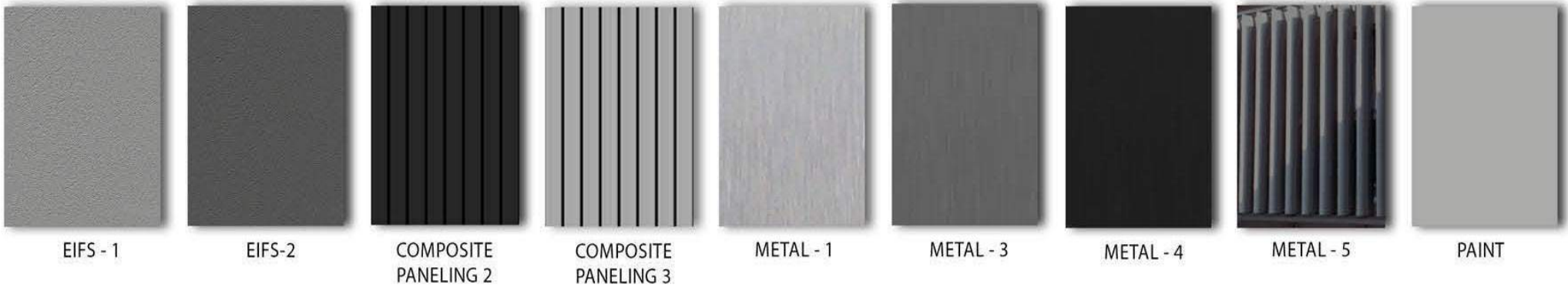
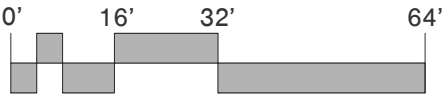
Left Elevation



Exterior Elevations



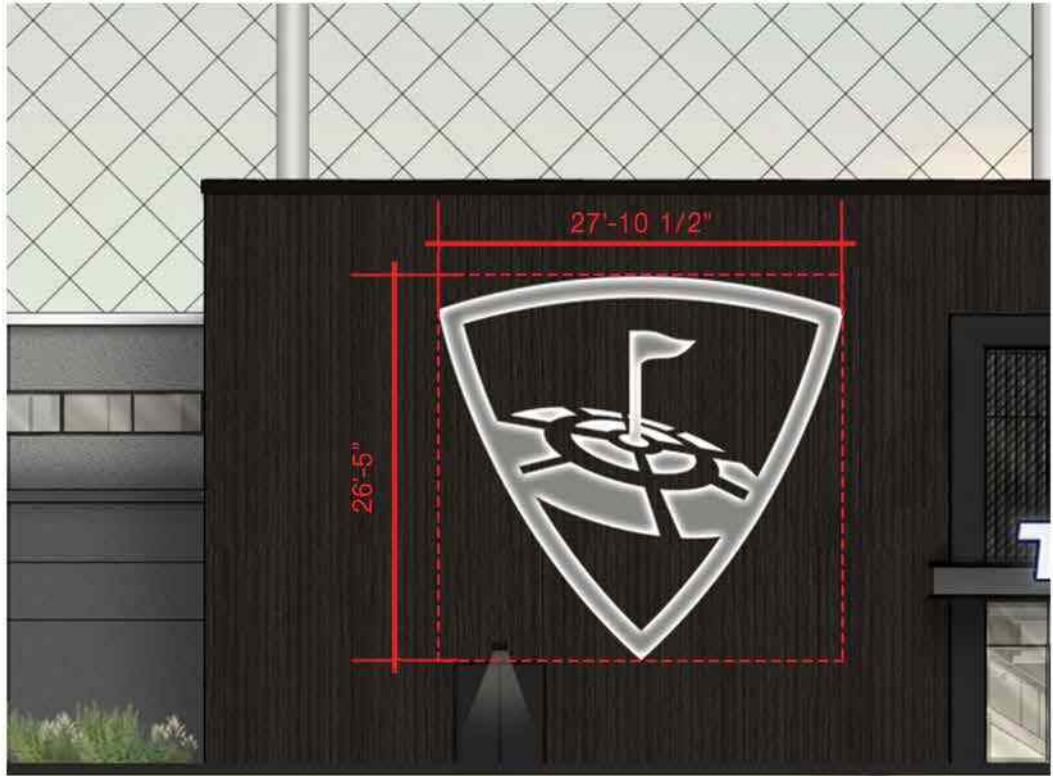
Right Elevation



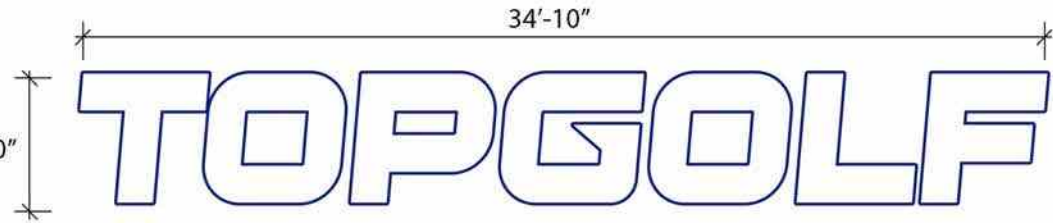
Exterior Elevations



FRONT ELEVATION: 12,950 SF. TOTAL



EXTERIOR WALL GRAPHIC: 736 SF. TOTAL = 5.3.% OF ELEVATION



EXTERIOR SIGN: 123 SF. TOTAL = 1% OF ELEVATION

FRONT ELEVATION SIGNAGE:
(506.2 SF.+123 SF.)/12,950 SF. = .049
4.9% TOTAL OF FRONT ELEVATION

EXTERIOR SIGN:
FRONT LIT CHANNEL LETTERS MOUNTED TO BUILDING

FONT: TOPGOLF APPROVED TYPEFACE

FACE: 3/16" 7328 WHITE POLYCARBONATE FACE W/ ARLON 2114 TRANS.
BLUE VINYL SKIN 1" WEDED OUTLINE

RETURNS: 6" .063 3003 H14 ALUM. RETURNS

TRIM CAPS: 2" SILVER JEWELITE TRIM CAPS

BACKS: .063 WHITE ALUMINUM PAINTED SILVER

EXTERNAL GUSSETS: 1/8" 5052 ALUMINUM W/ 2" FLANGES ON ALL SIDES

INTERNAL GUSSETS: 1/8" 5052 ALUMINUM CUT TO LETTER SHAPE AT BOTTOM

ANCHORS: 3/8" DIA X 5" GALVANIZED LAG BOLTS

ILLUMINATION: WHITE LEDS-G0Q3 6-7000K

MOUNTING: MOUNTED TO BUILDING W/ NON-CORROSIVE
HARDWARE AND CUSTOM GUSSETS AS REQUIRED. ALL PENETRATIONS
SEALED W/ CLEAR SILICONE. DRILL POWER HOLES AND ATTACH GUSSETS
IN THE FIELD, PROVIDE SS BOLTS

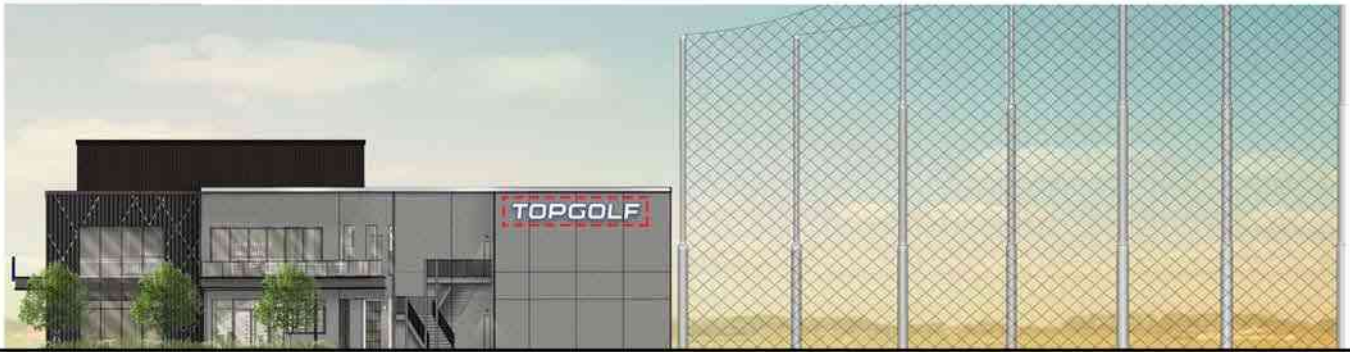
EXTERIOR WALL GRAPHIC:
SHIELD ART CRAFTED IN METAL



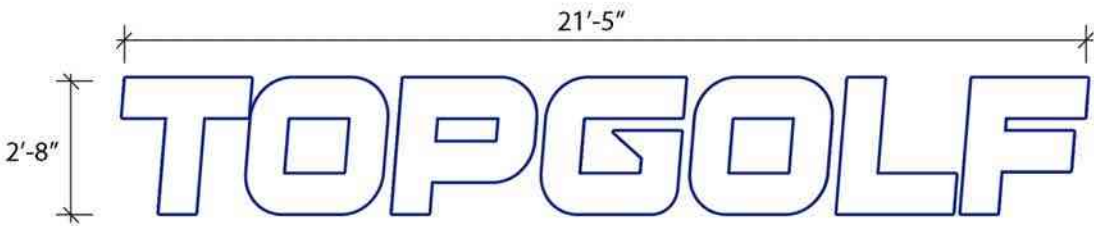
Exterior Signage - Front Elevation



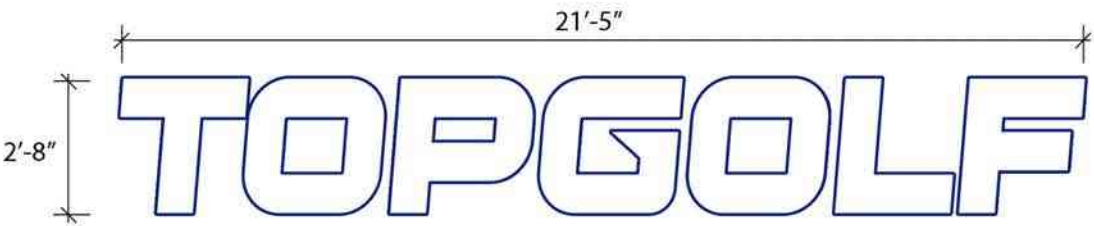
LEFT ELEVATION: 4,585 SF. TOTAL



RIGHT ELEVATION: 4,204 SF. TOTAL



EXTERIOR SIGN: 56.9 SF. TOTAL = 1.2% OF ELEVATION



EXTERIOR SIGN: 56.9 SF. TOTAL = 1.4% OF ELEVATION

EXTERIOR SIGN:
FRONT LIT CHANNEL LETTERS MOUNTED TO BUILDING

FONT: TOPGOLF APPROVED TYPEFACE

FACE: 3/16" 7328 WHITE POLYCARBONATE FACE W/ ARLON 2114 TRANS. BLUE VINYL SKIN 1" WEEDED OUTLINE

RETURNS: 6" .063 3003 H14 ALUM. RETURNS

TRIM CAPS: 2" SILVER JEWELITE TRIM CAPS

BACKS: .063 WHITE ALUMINUM PAINTED SILVER

EXTERNAL GUSSETS: 1/8" 5052 ALUMINUM W/ 2" FLANGES ON ALL SIDES

INTERNAL GUSSETS: 1/8" 5052 ALUMINUM CUT TO LETTER SHAPE AT BOTTOM

ANCHORS: 3/8" DIA X 5" GALVANIZED LAG BOLTS

ILLUMINATION: WHITE LEDS-G0Q3 6-7000K

MOUNTING: MOUNTED TO BUILDING W/ NON-CORROSIVE
HARDWARE AND CUSTOM GUSSETS AS REQUIRED. ALL PENETRATIONS
SEALED W/ CLEAR SILICONE. DRILL POWER HOLES AND ATTACH GUSSETS
IN THE FIELD, PROVIDE SS BOLTS



Exterior Signage - Side Elevations