



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
☐ Archaeological Certificate (Form P3)	☐ Site Plan – EPC including any Variances – EPC (Form P1)	☐ Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
☐ Historic Certificate of Appropriateness – Minor (Form L)	☐ Master Development Plan (Form P1)	☐ Adoption or Amendment of Historic Designation (Form L)
☐ Alternative Signage Plan (Form P3)	☐ Historic Certificate of Appropriateness – Major (Form L)	☐ Amendment of IDO Text (Form Z)
☒ Minor Amendment to Site Plan (Form P3)	☐ Demolition Outside of HPO (Form L)	☐ Annexation of Land (Form Z)
☐ WTF Approval (Form W1)	☐ Historic Design Standards and Guidelines (Form L)	☐ Amendment to Zoning Map – EPC (Form Z)
	☐ Wireless Telecommunications Facility Waiver (Form W2)	☐ Amendment to Zoning Map – Council (Form Z)
		Appeals
		☐ Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: MATT CRAGUN		Phone: 214.235.0367
Address: 2080 North Highway 360 Suite #240		Email: matt@cumulusdesign.net
City: Grand Prairie	State: Texas	Zip: 75050
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

The current plan is to redevelop the site into a Financial Center with Drive-up atms.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TRACT C-3A	Block:	Unit:
Subdivision/Addition: FIRST REPLAT OF TOWNE PARK PLAZA CONT	MRGCD Map No.:	UPC Code: 102105701619930125
Zone Atlas Page(s): K-21	Existing Zoning: MX-L MIXED USE	Proposed Zoning: MX-L MIXED USE
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 0.650

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 340 EUBANK BLVD NE	Between: CHICO RD NE	and: COOPER AVE NE
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-90-21-1

Signature:	Date: 9/16/20
Printed Name: CARLOS IGLESIAS	☒ Applicant or ☐ Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-01033	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2020-004485

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ☐ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ Three (3) copies of the proposed Site Plan, with changes circled and noted
- ☐ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

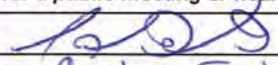
- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- ☒ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☒ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- ☐ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)(6)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - ☐ Sign Posting Agreement

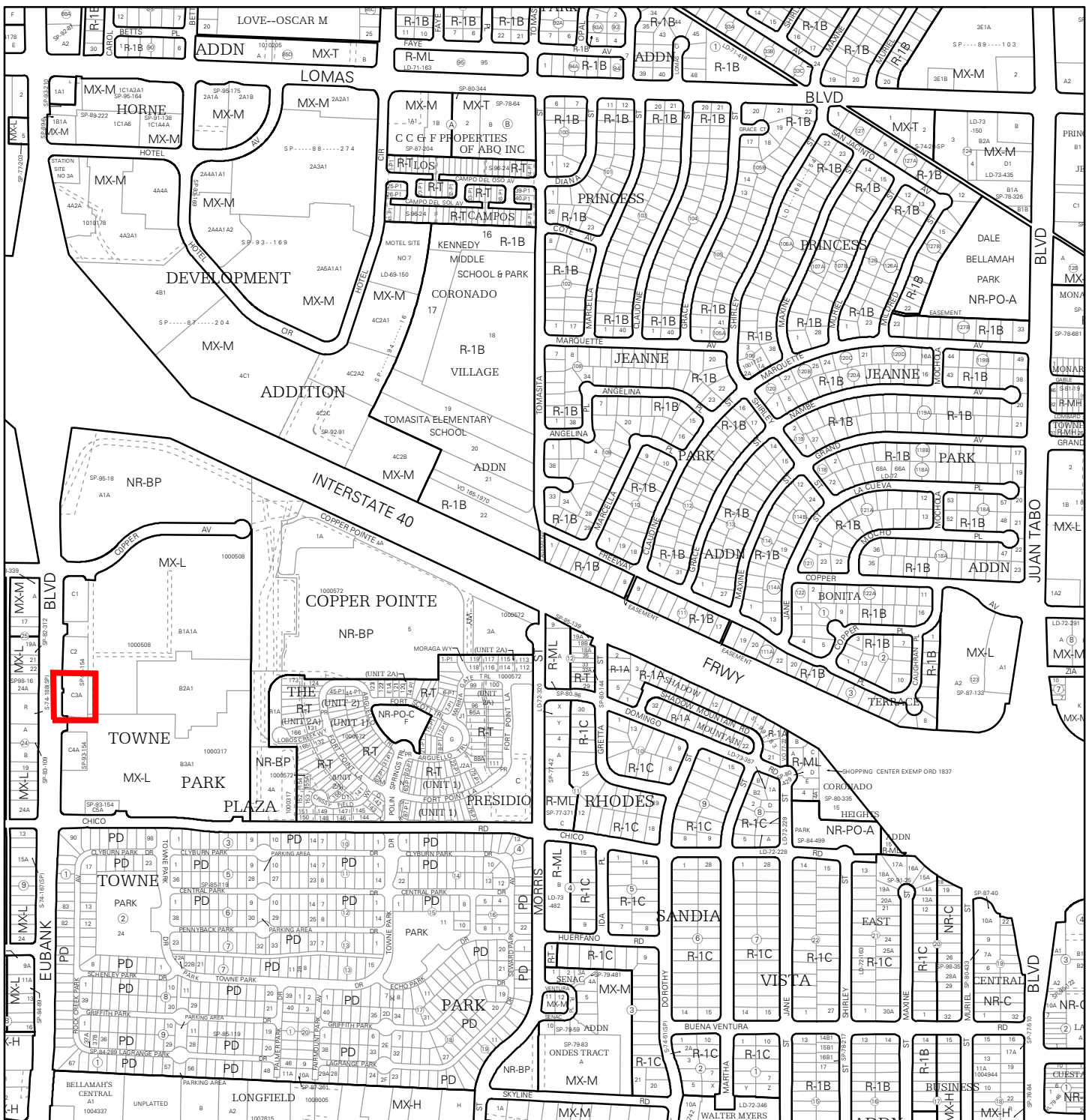
I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 
Printed Name: Carlos Iglesias

Date: 9/16/20
☒ Applicant or ☐ Agent

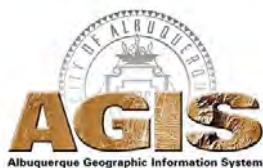
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Project Number:	Case Numbers	
PR-2020-004485	SI-2020-01033	
	-	
	-	
Staff Signature:		
Date:		

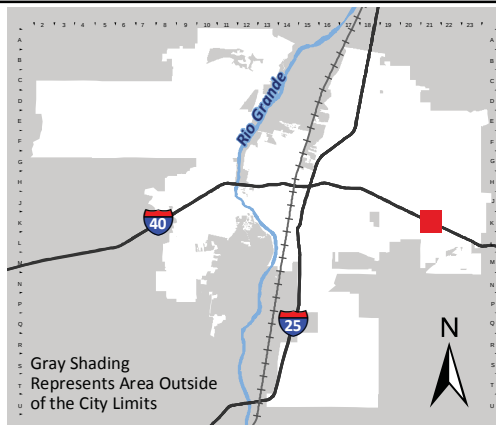


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-21-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet



September 16, 2020

Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque NM 87102

RE: 340 Eubank Boulevard NE
Albuquerque, NM 87123
Justification Letter

Dear Sir or Madam,

Please accept this justification letter as a response to the request to provide a written narrative describing, explaining and justifying the request.

The intent is to redevelop the existing abandon restaurant into a Financial Center with two drive-up ATMs. The existing 0.65-acre site is fully developed and has a 3,416 S.F. one-story building, one drive thru window and 15 parking spaces to include one ADA accessible parking space.

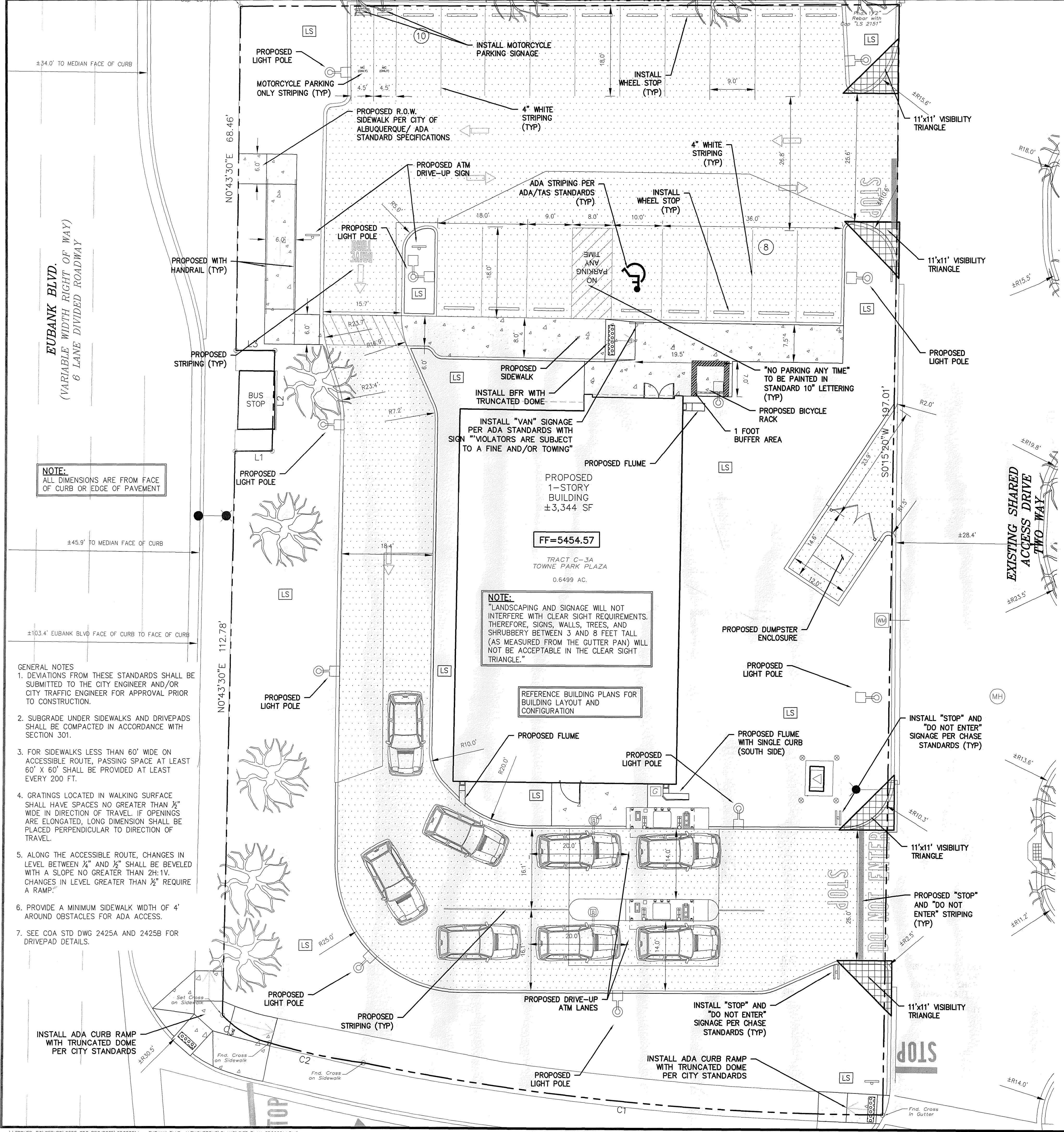
The client intends to renovate the existing structure, to repair the major vandalism that occur to the building since it closed in July 2019 and convert it into a 3,344 S.F. one-story Financial Center with two ATM drive-thru lanes. The site will be modified to meet current codes for parking, ADA accessibility, lighting, etc. When completed the site will provide 18 parking spaces with one ADA accessible space, two-motorcycle parking spaces and a bicycle rack that can accommodate 5 bicycles. The client is also adding ADA access ramp to the right of way located to the west adjacent to the bus stop.

Please feel free to contact me if you have any questions or concerns.

Sincerely,

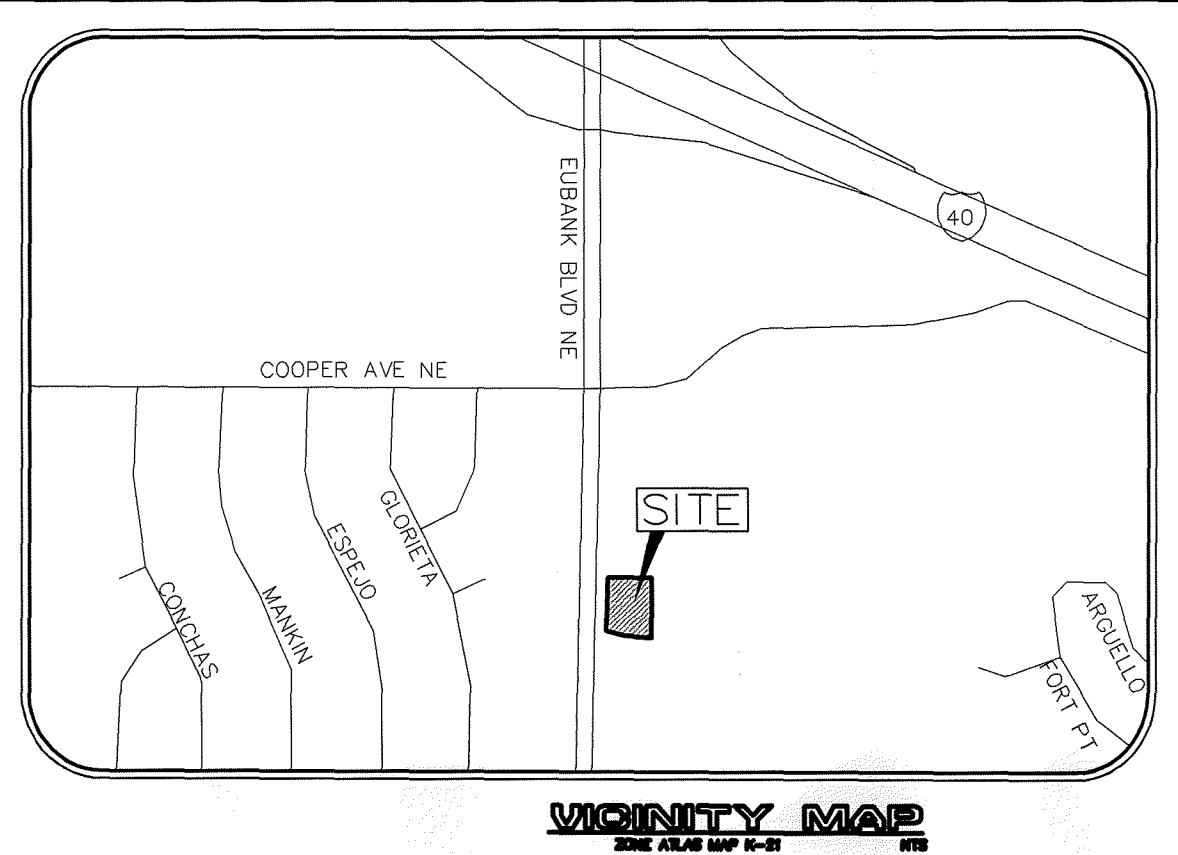
Carlos Iglesias

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written authorization of Cumulus Design is prohibited.



NOTE:
ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT

- GENERAL NOTES**
1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
 3. FOR SIDEWALKS LESS THAN 60' WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60' X 60' SHALL BE PROVIDED AT LEAST EVERY 200 FT.
 4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
 5. ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
 6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
 7. SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.



NOTE:
LIGHT POLES SHOULD NOT BE INSTALLED IN PARKING SPACES AND DRIVEWAYS. CONTRACTOR MUST MAKE SURE THE LIGHT POLES ARE INSTALLED AWAY FROM EXISTING AND PROPOSED UNDERGROUND UTILITIES.

- CONSTRUCTION NOTES**
- A. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
 - B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
 - C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
 - D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
 - E. WALKWAY VARIABLE (4' MINIMUM).
 - F. PROPERTY LINE.
 - G. 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
 - H. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
 - I. CONTRACTION JOINTS.
 - J. FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
 - K. CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
 - L. RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
 - M. ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

PROPERTY LINE CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	104.74	574.46	52.52	104.60	N84° 18' 39"W	10°26'49"
C2	19.72	574.46	9.86	19.72	N78° 06' 15"W	1°58'01"
C3	11.28	20.50	5.79	11.14	N61° 09' 34"W	31°32'05"

SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
LEASE ACREAGE:	0.650 ACRES (28,294 SF)
BUILDING FOOT PRINT (TOTAL):	±3,344 SQUARE FEET
OPEN SPACE REQUIRED (25% OF LOT ACREAGE):	±7,073 SQUARE FEET
OPEN SPACE PROVIDED:	±10,283 SQUARE FEET (36.3%)
BUILDING COVERAGE:	3,344/28,294: 11.82%
APPROX EX. IMPERVIOUS AREA:	±18,636 SQUARE FEET (65.9%)
APPROX PROPOSED IMPERVIOUS AREA::	±18,011 SQUARE FEET (63.7%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	11 SPACES
PARKING PROVIDED:	18 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	1 SPACES
PARKING PROVIDED (ACCESSIBLE):	1 SPACES
REQUIRED STACKING SPACES:	4 SPACES PER ATM (8 TOTAL SPACES)
PROVIDED STACKING SPACES:	4 SPACES PER ATM (8 TOTAL SPACES)
BICYCLE SPACE: REQUIRED/PROVIDED	3/5 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES



THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK
BENCHMARK - ALBUQUERQUE CONTROL SURVEY BENCHMARK 5-K20 IS LOCATED IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF MOON STREET AND CENTRAL AVENUE NE. THE STATION IS 39.1 FEET EAST OF THE CENTERLINE OF MOON STREET AND 43.5 FEET NORTH OF THE CENTERLINE OF CENTRAL AVENUE. THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL DISC SET IN TOP OF THE CURB AND STAMPED 5-K20 ACS. PUBLISHED ELEVATION: 5429.995' (NAVD 1988).

ALBUQUERQUE MONUMENT "4-L22" N=1480509.445 E=1563610.492 CF=0.999643379 Delta alpha = - 00°08'50.94" NMSP, Central Zone, NAD 27 Elevation=5586.425 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

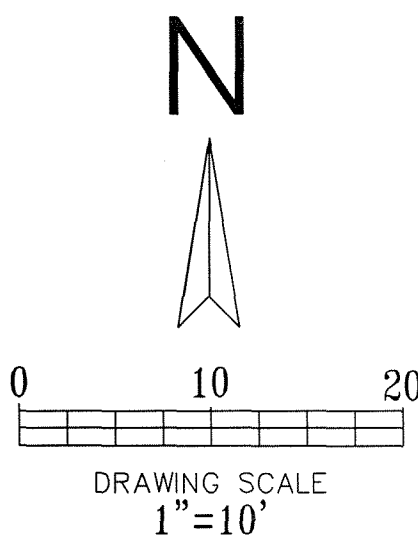
!!! CAUTION !!!

UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

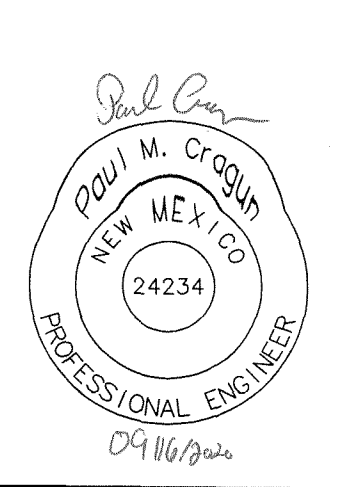
CALL: NEW MEXICO ONE CALL © NM 811 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

PROPERTY LINE TABLE	
LINE	BEARING LENGTH
L1	S89°16'30"E 8.00'
L2	N0°43'30"E 20.00'
L3	N89°16'30"W 8.00'



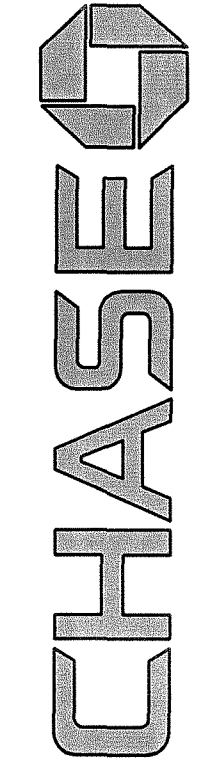
- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - PARKING COUNT
 - PROPOSED PAVEMENT
 - PROPOSED SIDEWALK
 - PROPOSED LIGHT POLE
 - PROPOSED VISIBILITY TRIANGLE
 - PROPOSED LANDSCAPE AREA

Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367



SITE PLAN

340 EUBANK BOULEVARD NE
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY



PLOT DATE	09/16/20
DRAWING SCALE	1" = 10'
PROJECT NUMBER	CDC20014
SHEET NUMBER	C1.01

EUBANK BLVD.
(VARIABLE WIDTH RIGHT OF WAY)
6 LANE DIVIDED ROADWAY

EX. 16" DIP WATER LINE

N0°43'30"E 68.46'

N0°43'30"E 112.78'

S89°45'50"E 131.55'

BUS STOP

EXISTING
1-STORY
BUILDING
±3,416 S.F.

TRACT C-3A
TOWNE PARK PLAZA
0.6499 AC.

20' FIRE HYDRANT
EASEMENT
Filed 11-13-91, Vol.
91C, Folio 254

10' PNM EASEMENT
Filed 9-16-93,
Vol. 93C, Folio 267

20' PRIVATE STORM
SEWER EASEMENT
Filed 9-16-93,
Vol. 93C, Folio 267

EXISTING SHARED
ACCESS DRIVE
TWO WAY

LEGEND

- EXISTING CURB
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING ELECTRIC TRANSFORMER
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHT
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR

NOTE:

THE SURVEY INFORMATION SHOWN WAS PREPARED BY SURV-TEK INC., DATED JULY 2020. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR DISCREPANCIES RESULTING FROM SURVEY AND BOUNDARY DATA. CONTRACTOR IS RESPONSIBLE FOR SITE VERIFICATION (EXISTING FEATURES AND GRADE) PRIOR TO COMMENCING CONSTRUCTION.



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

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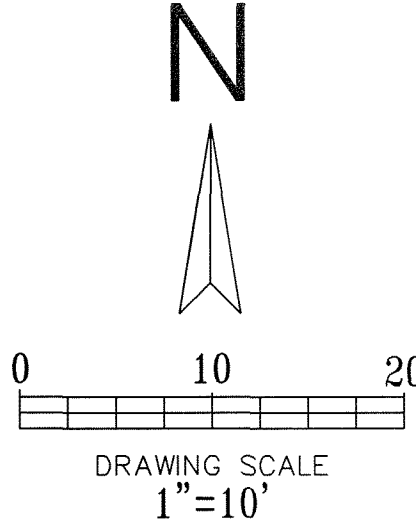
CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

!!! CAUTION !!!

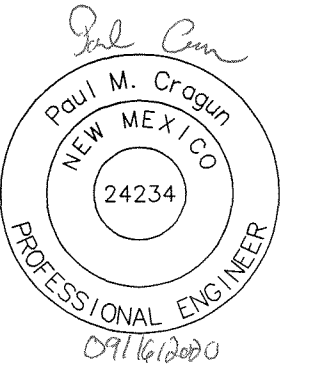
UNDERGROUND UTILITIES

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CALL: NEW MEXICO ONE CALL © NM 811 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

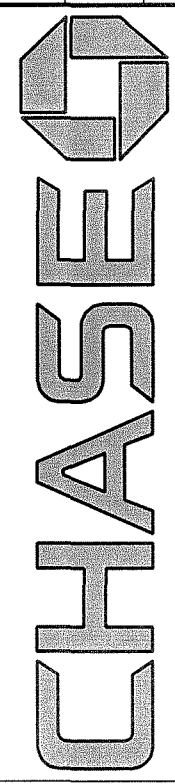


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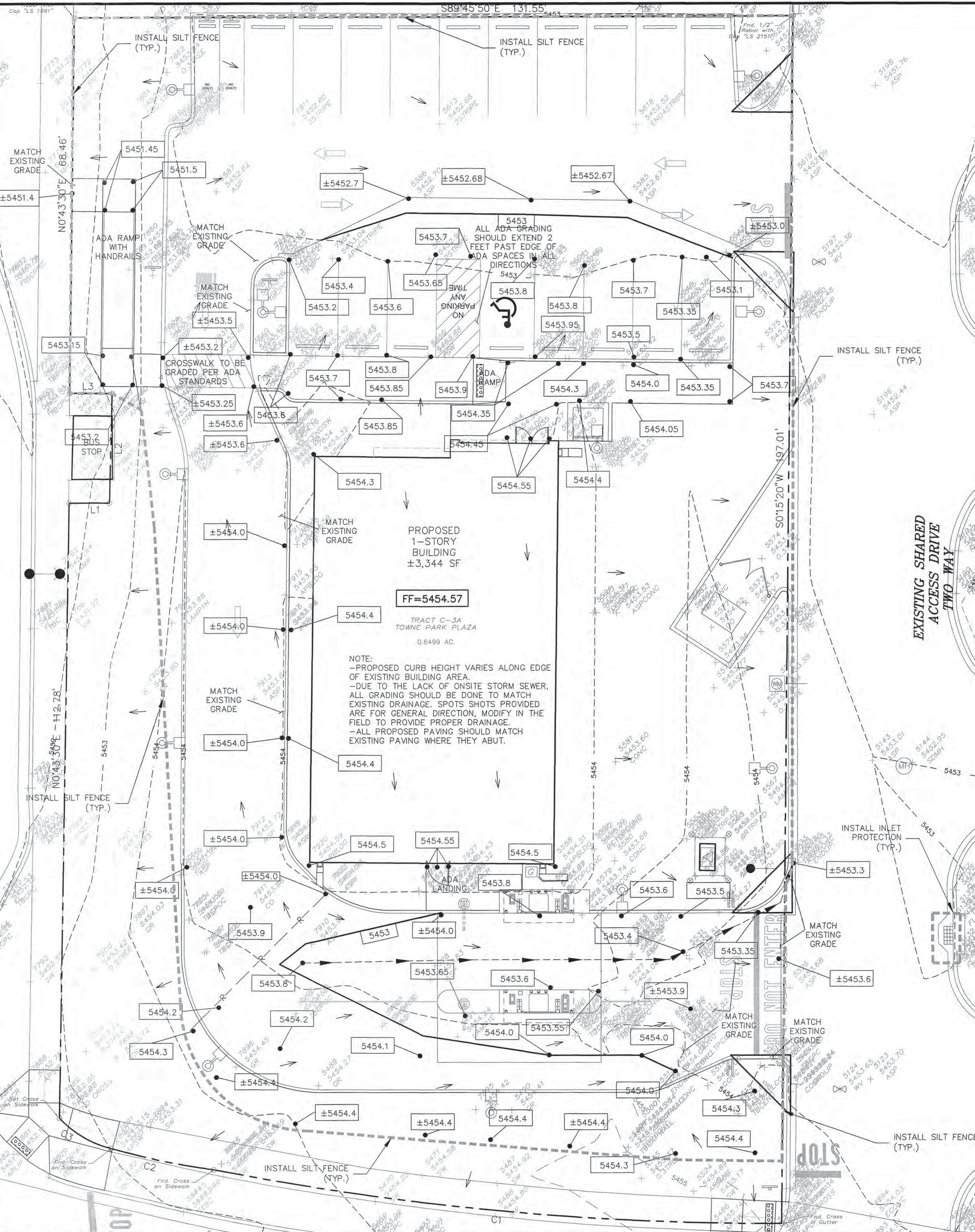
EXISTING CONDITIONS

340 EUBANK BOULEVARD NE
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY



PLOT DATE
09/16/20
DRAWING SCALE
1" = 10'
PROJECT NUMBER
CDC20014
SHEET NUMBER
C2.01

EUBANK BLVD.
(VARIABLE WIDTH RIGHT OF WAY)
6 LANE DIVIDED ROADWAY



GRADING NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS, CITY STANDARDS, SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL RESPONSIBLE PARTIES OF THE PERMITTING AUTHORITIES.
3. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION RULES AND SPECIFICATIONS.
4. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
5. CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. IF CONFLICTS EXIST, THE CONTRACTOR IS TO CONTACT ENGINEER.
6. BENCHMARKS HAVE BEEN PROVIDED AS A REFERENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, VERIFY, AND/OR ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SURVEY STAKES AND MARKERS FOR THE DURATION OF THE PROJECT. IF ANY CONSTRUCTION STAKES OR MARKS ARE LOST OR DISTURBED AND NEED OR BE REPLACED, SUCH REPLACEMENT SHALL BE BY THE SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
7. EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEW MEXICO STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
9. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.
10. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
11. ALL SIDEWALKS AND ACCESSIBLE ROUTE (INCLUDING HATCHED AREA ACROSS DRIVES) SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A MAXIMUM 5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
12. SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
13. PROVIDE "FLAT" LANDINGS AT TOP AND BOTTOM OF ALL RAMP. THESE "FLAT" AREAS SHALL BE 5' LONG AND THE SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND PARKING AT ALL TIMES.
15. SITE GRADING SHALL BE PERFORMED IN A MANNER TO DIRECT WATER AS INDICATED. SURFACE WATER SHALL NOT BE RELEASED ONTO ADJACENT PRIVATE PROPERTY.

THE EXISTING SITE TOPOGRAPHY WITHIN THE PROPERTY HAS A VERY GENTLE SLOPE. THE SLOPE INCREASES TOWARDS THE WEST OF THE PROPERTY AS THE GROUND ELEVATION DECREASES BY APPROXIMATELY THREE FEET TO MATCH THE EXISTING ELEVATION ON EUBANK BOULEVARD. TOWARDS THE NORTH, SOUTH AND EAST REMAIN VERY GENTLE AS IT EXPANDS PAST THE PROPERTY LINE. 100 FEET WEST OF THE PROPERTY ALONG EUBANK BOULEVARD THE EXISTING GROUND SLOPES TOWARDS TO THE NORTH. THE EXISTING PROPERTY TO THE NORTH HAS VERY SIMILAR ELEVATIONS AS THE PROPOSED CHASE BANK SITE. TO THE EAST AND SOUTH THE EXISTING GROUND SLOPES TO THE WEST. THE PROPOSED CHASE BANK WILL NOT MAKE CHANGES TO THE EXISTING GENERAL TOPOGRAPHY.

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK

BENCHMARK - ALBUQUERQUE CONTROL SURVEY BENCHMARK 5-K20 IS LOCATED IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF MOON STREET AND CENTRAL AVENUE NE. THE STATION IS 39.1 FEET EAST OF THE CENTERLINE OF MOON STREET AND 43.5 FEET NORTH OF THE CENTERLINE OF CENTRAL AVENUE. THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL DISC SET IN TOP OF THE CURB AND STAMPED 5-K20 ACS. PUBLISHED ELEVATION: 5429.995' (NAVD 1988).

ALBUQUERQUE MONUMENT "4-L22" N=1480509.445 E=1563610.492 CF=0.999643379 Delta alpha = -00°08'50.94" NMSP, Central Zone, NAD 27 Elevation=5586.425 NAVD88

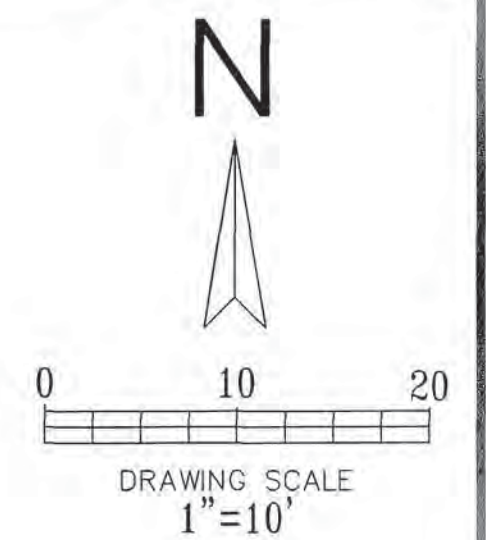
CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

!!! CAUTION !!!

UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.



LEGEND

- EXISTING CURB
- PROPOSED CURB
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED VALLEY
- SILT FENCE, TRIANGULAR SEDIMENT DIKE, OR EROSION CONTROL LOG
- INLET PROTECTION



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367

FOR REVIEW, NOT
FOR CONSTRUCTION



GRADING PLAN
340 EUBANK BOULEVARD NE
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

CHASE

PLOT DATE

09/16/20

DRAWING SCALE

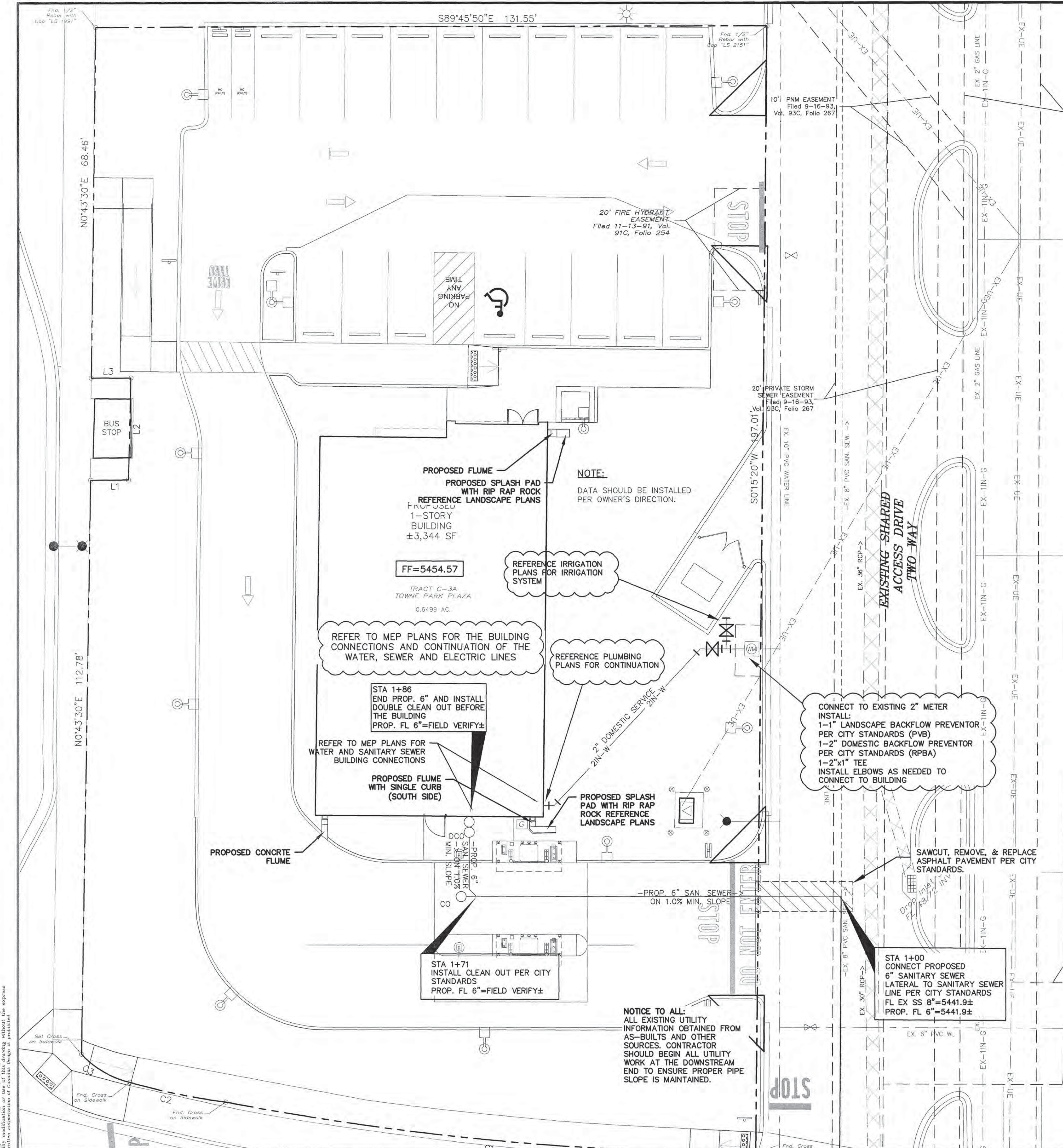
1" = 10'

PROJECT NUMBER

CDC20014

SHEET NUMBER

C5.01



- GENERAL NOTES:**
1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, EXCEPT AS NOTED HEREIN AND APPROVED BY THE CITY.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEW MEXICO STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
 3. THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
 4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF FINAL GRADE AND/OR PAVEMENT. ANY REMOVAL OR DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT THEIR SOLE EXPENSE AND SHALL BE APPROVED BY THE CITY. SAID EXISTING IMPROVEMENTS INCLUDE BERMS, DITCHES, FENCES, VEGETATION, ETC.
 5. ANY UTILITY INSTALLED OUTSIDE OF AN EASEMENT SHALL BE INSTALLED BY A PLUMBER AND INSPECTED BY CODE ENFORCEMENT.
 6. BACKFILL FOR UTILITY LINES SHOULD BE CAREFULLY PLACED SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT AND/OR DRIVEWAY, THE TOP 8" SHOULD BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT OR DRIVE. UTILITY DITCHES SHOULD BE VISUALLY INSPECTED AND ENSURED THAT UNDESIRABLE FILL IS NOT USED.
 7. IF ROCK IS ENCOUNTERED IN THE TRENCH, ROCK SPOIL SHALL NOT BE USED IN THE UPPER 1.5 FEET OF THE TRENCH. THE UPPER 1.5 FEET OF THE TRENCH IS TO BE BACKFILLED ONLY WITH APPROVED SOIL.
 8. ALL WATER LINES 4" AND LARGER SHALL BE C-900 PVC DR 18, CLASS 150. LINES GREATER THAN 2" BUT SMALLER THAN 4" SHALL BE SCHEDULE 40 PVC. LINES SMALLER THAN 2" SHALL BE SCHEDULE 80 PVC. SERVICES ARE TO BE INSTALLED PER CITY STANDARDS.
 9. ALL DUCTILE IRON FITTINGS SHALL BE OF THE MECHANICAL JOINT TYPE OR SLIP JOINT AND SHALL BE CLASS D, OR CLASS 250 ON SIZES 12" AND SMALLER IN ACCORDANCE WITH A.W.W.A. SPECIFICATION C11/A21.1.
 10. ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 48", OR SUFFICIENT COVER TO CLEAR OTHER UTILITIES AS MEASURED FROM TOP OF PIPE TO EXISTING GROUND LEVEL OR FINISHED GRADE, WHICHEVER IS GREATER.
 11. ALL WATER AND SANITARY MAINS AND SERVICES SHALL HAVE A 10' MINIMUM LATERAL SEPARATION.
 12. ALL WATER METERS TO BE PLACED IN A NON-TRAFFIC AREA WITHIN AN EASEMENT OR THE PUBLIC RIGHT OF WAY.
 13. REFER TO MECHANICAL PLANS FOR EXACT WATER AND SEWER SERVICE LOCATIONS AND ELEVATIONS AT CONNECTIONS.
 14. IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATION AT CONTRACTOR'S EXPENSE.
 15. WATER LINES, FIRE HYDRANTS, AND SERVICE LINES, UP TO AND INCLUDING WATER METERS, SHALL BE LOCATED IN EASILY ACCESSIBLE AND PROTECTED AREAS OUTSIDE OF TRAFFIC.
 16. THE CONTRACTOR SHALL USE O.S.H.A. APPROVED CONFINED SPACE ENTRY PROCEDURES WHEN ENTERING ANY CONFINED SPACE, INCLUDING SANITARY SEWER MANHOLES. THE SAFETY EQUIPMENT SHALL BE FURNISHED BY THE CONTRACTOR AND SHALL BE O.S.H.A. CERTIFIED. PERSONS WORKING IN THESE AREAS SHALL BE TRAINED IN THE PROPER USE OF THE SAFETY EQUIPMENT.

LEGEND

- EXISTING CURB
- PROPOSED CONCRETE CURB
- PROPOSED SANITARY SEWER PIPE
- EXISTING SANITARY SEWER PIPE
- EXISTING WATER PIPE
- PROPOSED WATER PIPE
- PROPOSED STORM SEWER PIPE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED MANHOLE

NOTE: CONTRACTOR MUST VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES TO BE AFFECTED BEFORE WORK IS TO BEGIN. CONTRACTOR MUST BRACE AND PROTECT ANY UTILITIES, ABOVE AND BELOW GROUND, PRIOR AND DURING THE DURATION OF THE PROJECT. IF THERE ARE ANY CONFLICTS, THE CONTRACTOR MUST NOTIFY THE ENGINEER AND DEVELOPER IMMEDIATELY.

NOTE: CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FROM THE PARISH PRIOR TO COMMENCING CONSTRUCTION OF ANY IMPROVEMENTS WITHIN PARISH RIGHT OF WAYS. PROVIDE COPIES OF REQUIRED PERMITS.

NOTE: CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL UTILITIES AND THEIR LOCATION PRIOR TO CONSTRUCTION

811

CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

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FOR REVIEW, NOT FOR CONSTRUCTION

Paul M. Cragin

NEW MEXICO
24234
PROFESSIONAL ENGINEER

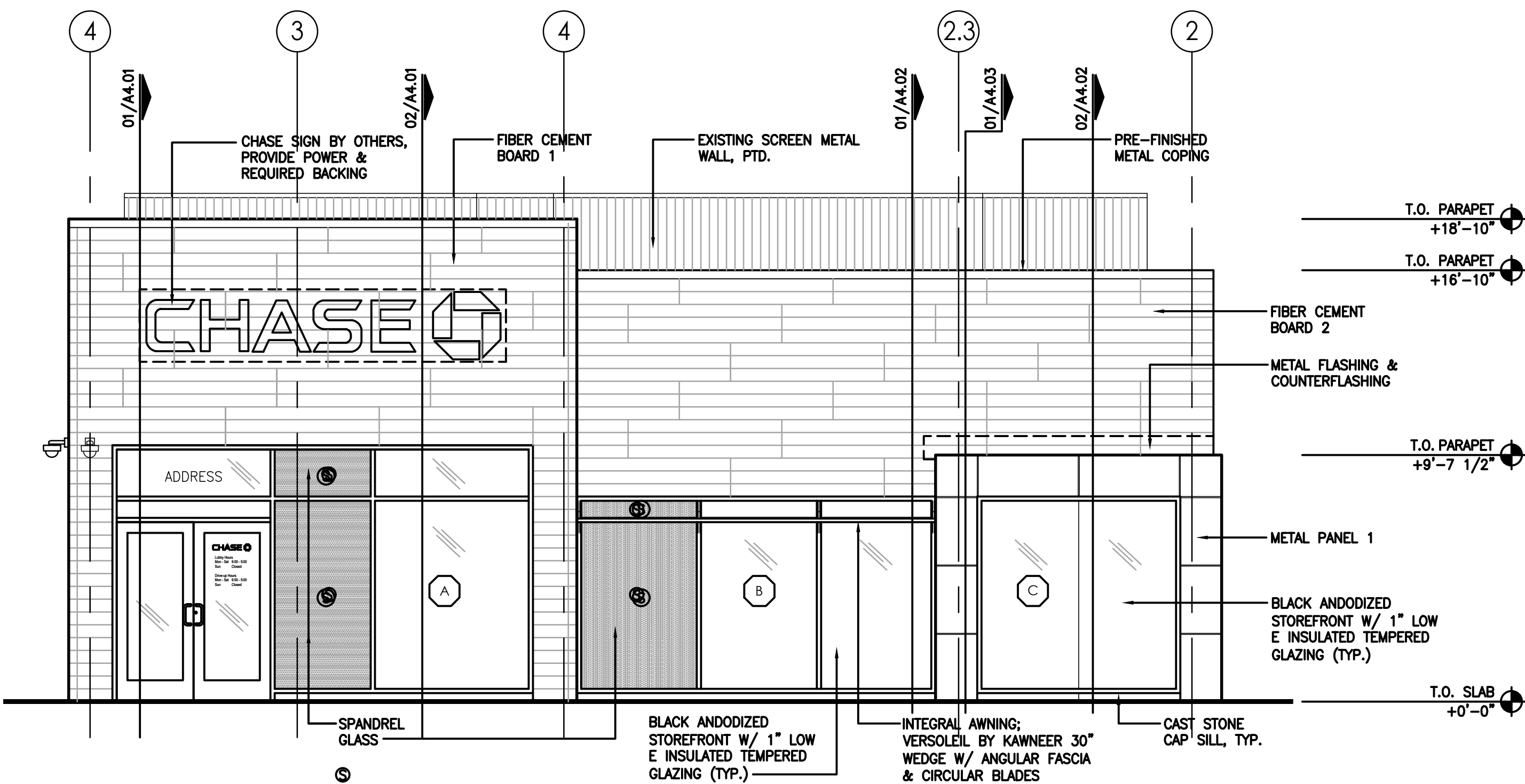
UTILITY PLAN

340 EUBANK BOULEVARD NE
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

CHASE

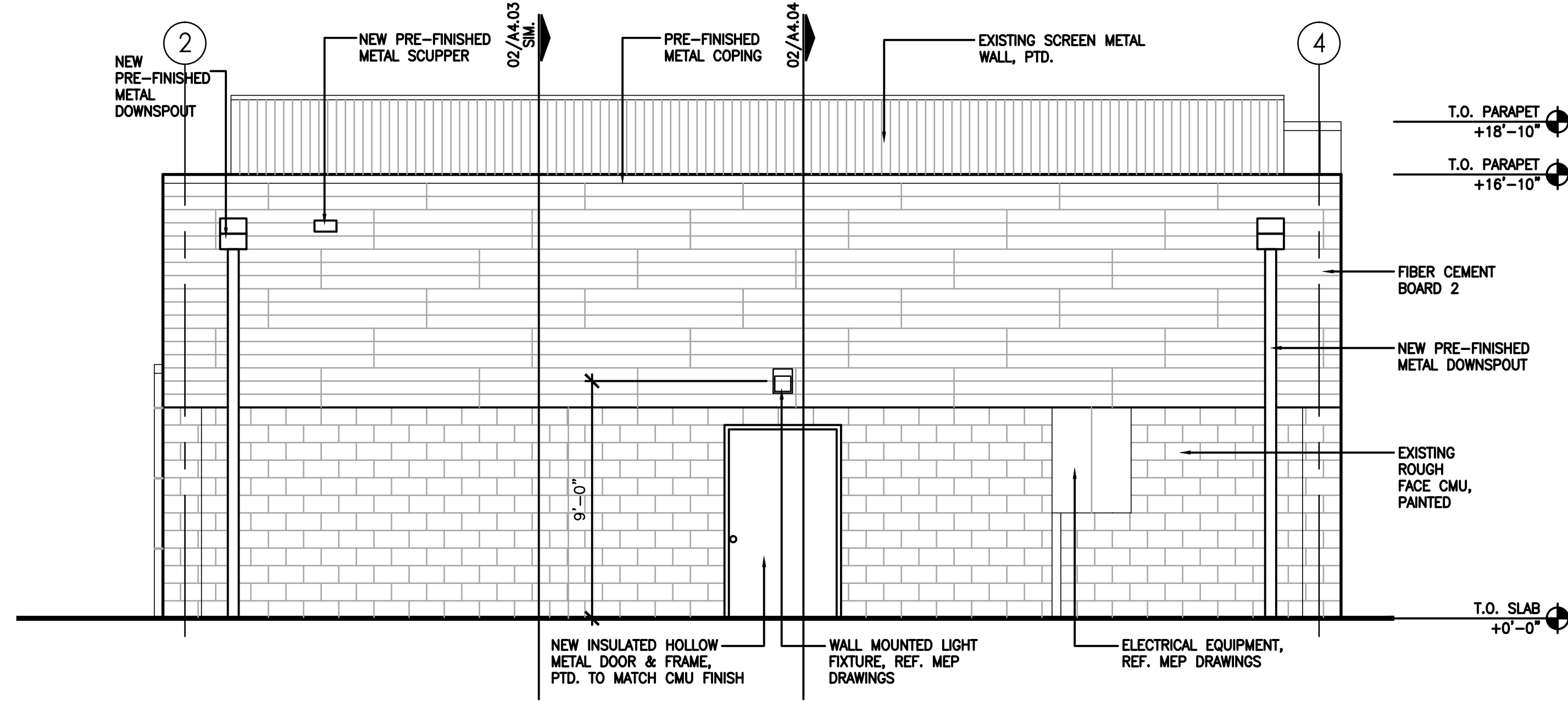
PLOT DATE
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DRAWING SCALE
1" = 10'
PROJECT NUMBER
CDC20014
SHEET NUMBER
C14.01





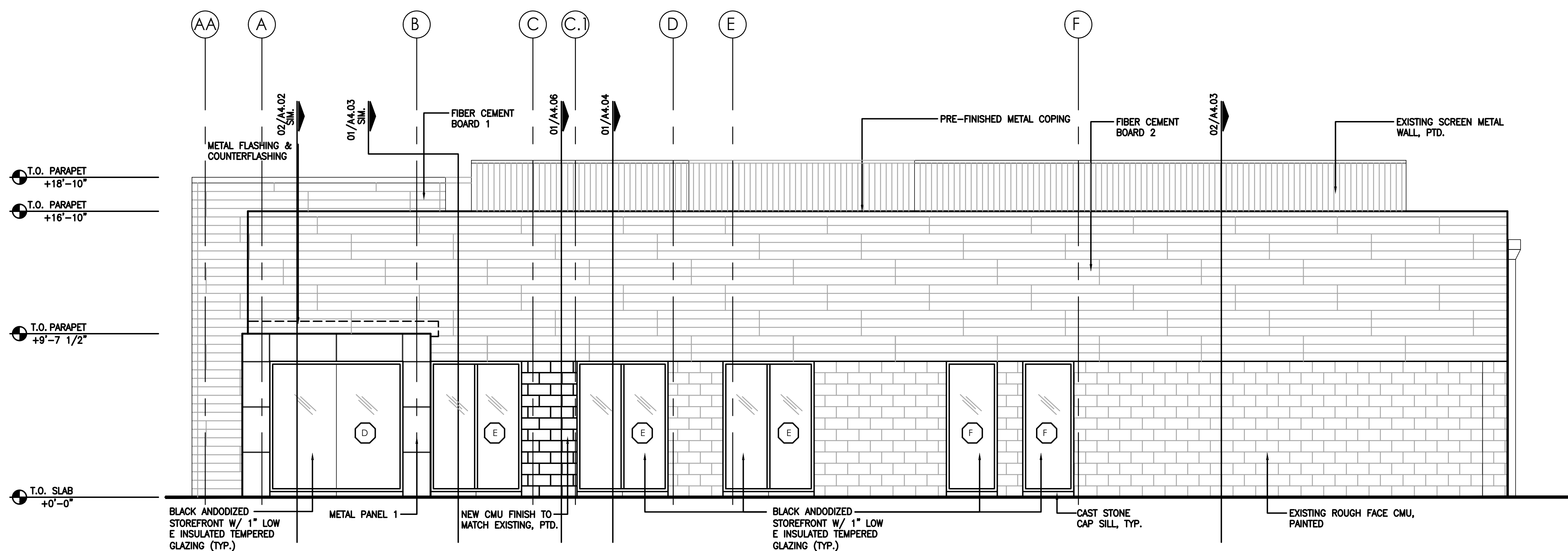
03 NORTH ELEVATION

SCALE: 1/4"=1'-0"



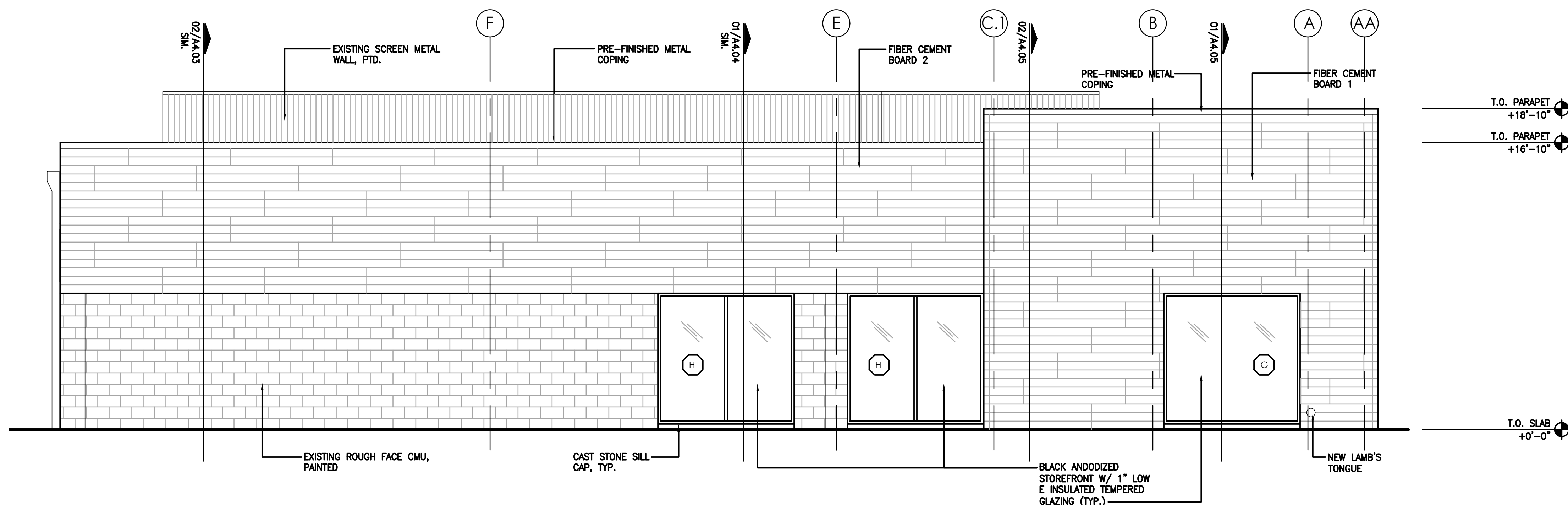
04 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



02 WEST ELEVATION

SCALE: 1/4"=1'-0"



01 EAST ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR MATERIAL LEGEND		
METAL PANEL 1	MANUF.	ALCOA ARCH PRODUCTS
	PRODUCT	RETROBOND
FIBER CEMENT BOARD 1	MANUF.	NICHHA
	PRODUCT	VINTAGE WOOD AWP 1818
FIBER CEMENT BOARD 2	MANUF.	NICHHA
	PRODUCT	VINTAGE WOOD AWP 3030
CMU PAINT	MANUF.	NICHHA
	PRODUCT	VINTAGE WOOD AWP 3030
ROOF COPING	MANUF.	PAC-CLAD
	PRODUCT	PAC-CONTINUOUS
STOREFRONT	MANUF.	KAWNEER
	COLOR	ANODIZED BLACK
CAST STONE	MANUF.	ADVANCE CAST STONE
	COLOR	CLASSIC WHITE

NOTE:

- GENERAL CONTRACTOR TO PROVIDE 4'-0" X 4'-0" MOCK-UP FOR ARCHITECT & DEVELOPER EXTERIOR FINISH APPROVAL.
- INSTALL WALL MOUNTED SENSORS ON PARAPET SIDE OF PARAPET.