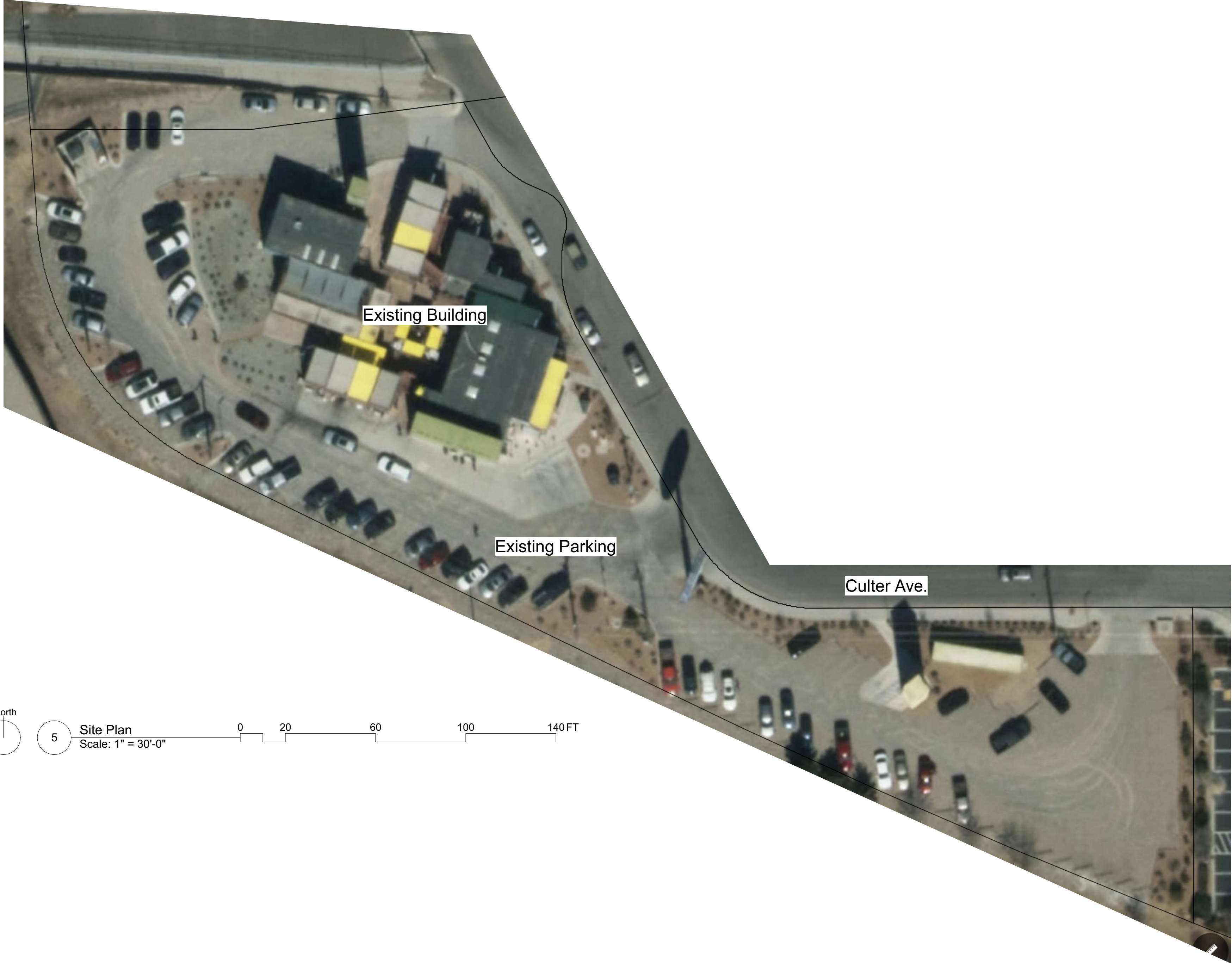


ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE



CODE DATA
2015 International Building Code
2015 Uniform Plumbing Code
2018 Uniform Mechanical Code
2017 National Electrical Code
2009 International Energy Conservation Code
2015 International FIRE Code

City of Albuquerque
Location: 3600 Cutler Ave. NE
Albuquerque, New Mexico 87110

Zoning: MX-H

Zoning Atlas Page: H-17

Setbacks: Existing No Change

Height: Existing No Change

Parking: 5/1,000 UC-MS-PT GSF
Food Hall @7,656 = 39
AC-UC-MS-PT 0 Patio = 0

Total Spaces required = 39
Total Spaces provided = 74

Bld. Area: Existing Ground Floor = 5,031 sq.ft.
Addition Ground Level = 243 sq.ft.
Second Floor = 2,499 sq.ft.

Total = 7,682 sq.ft.

Ground Level Patio = 685 sq.ft.
Addition Ground Level Patio = 956 sq.ft.
Second Level Patio = 2,663 sq.ft.

Total = 1,719 sq.ft.

Occupancy: A-2 (Food Court)@15 / 3,044 sq.ft. = 202.9
A-2 (Kitchen)@300/ 2,060 sq.ft. = 6.8
M (Mercantile)@60 / 1,832 sq.ft. = 30.5
Restrooms / Corridors = na
A-2 (Patio)@15 / 5,958 = 397.2

Total Interior = 240
Total = 637

Plumbing: A-2 (most restrictive)
Total Occupants 319 (each gender)
WC- Male 1:75 @ 319 = 4.2 9 Provided
WC- Female 1:75 @ 319 = 4.2 9 Provided
LAV- Male 1:200 @ 319 = 1.6 8 Provided
LAV- Female 1:200 @ 319 = 1.6 8 Provided

Construction Type: Type Vb

Seismic: C

Sprinkler: Existing Sprinkler

216 Sq.Ft. addition to existing restaurant space, new patio space on the eastern side of the existing building. Two new second level bridges to connect existing second level patios.

CURRENT SQ.FT. Vs. PROPOSED

per Administrative Approval 10% max (696 sq.ft.)

Original facility	6,960 sq.ft.
480 sq.ft. Addition 1/21/15	7,440 sq.ft.
216 sq.ft. Proposed addition	216 sq.ft.

SHEET INDEX

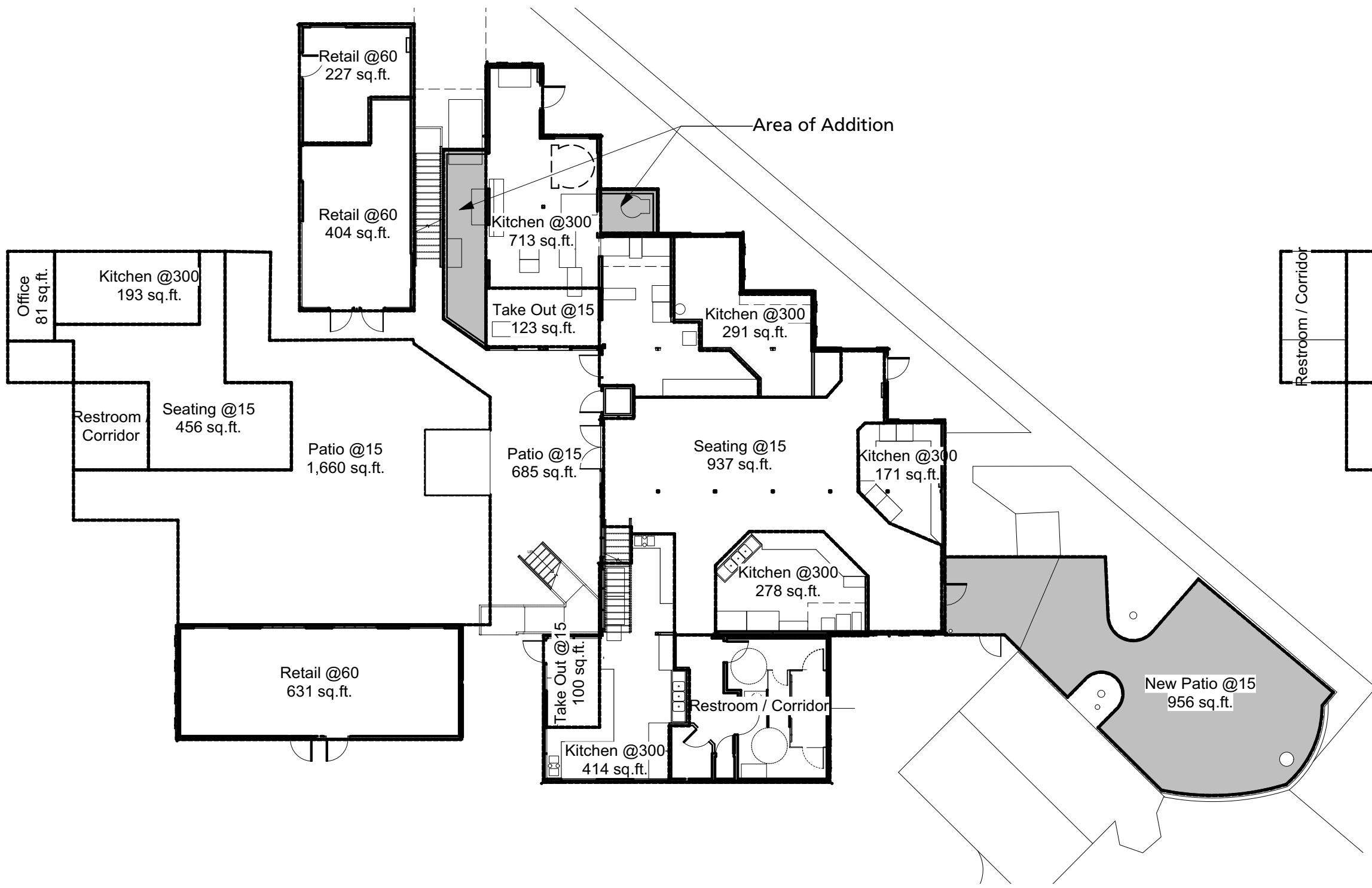
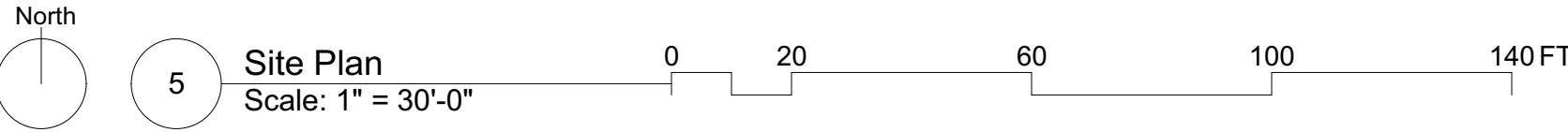
#	Title
A-081	Site Plan
A-101	General Info
A-101	Ground Level Floor Plan
A-101	Wall Sections
A-101	Enlarge Plans
A-102	Second Level Floor Plan

Scale

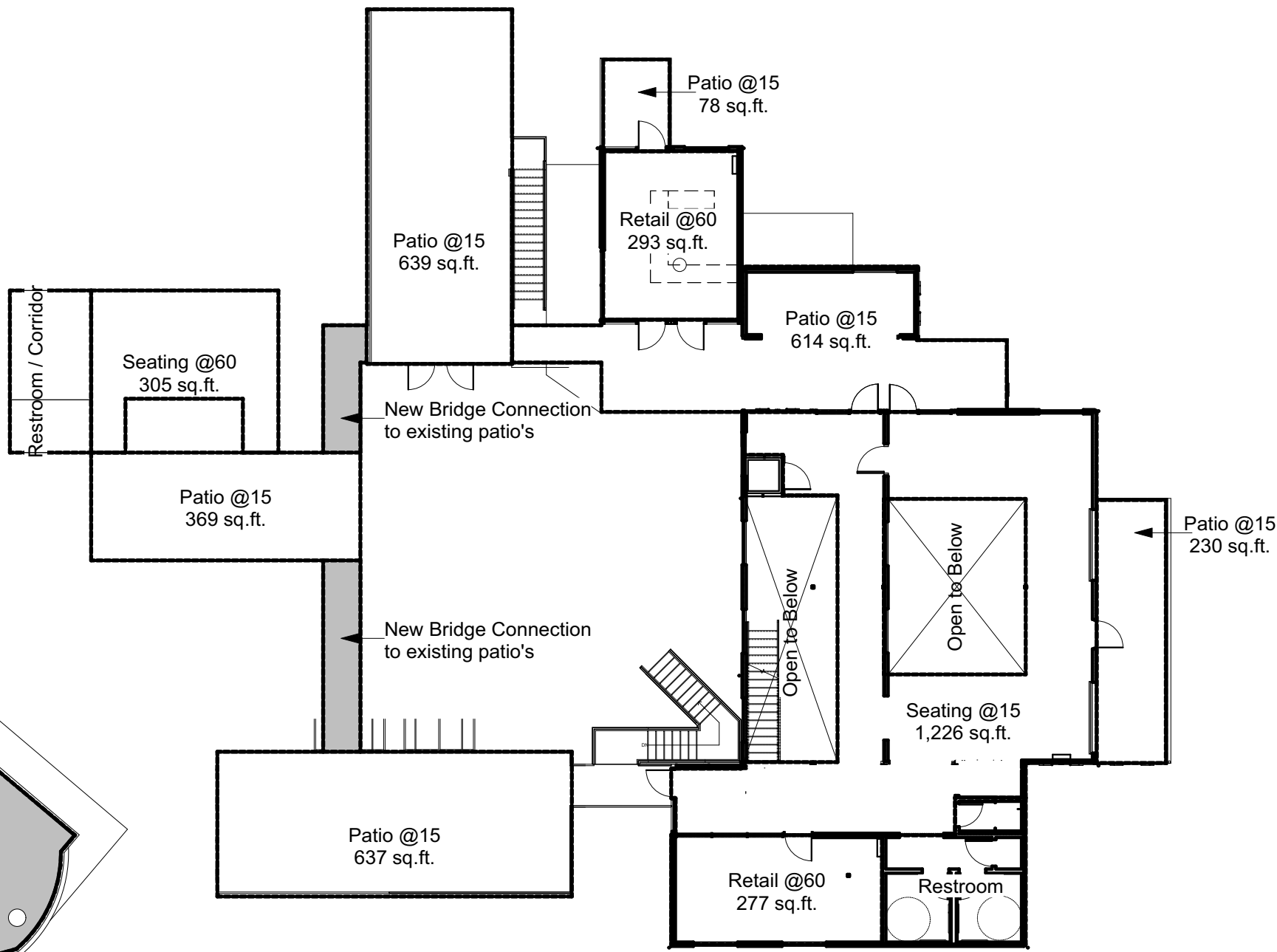
1" = 30'-0"

1/8" = 1'-0"

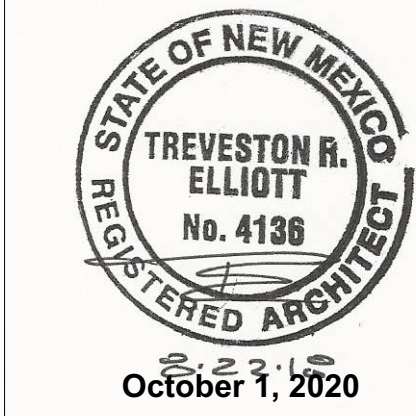
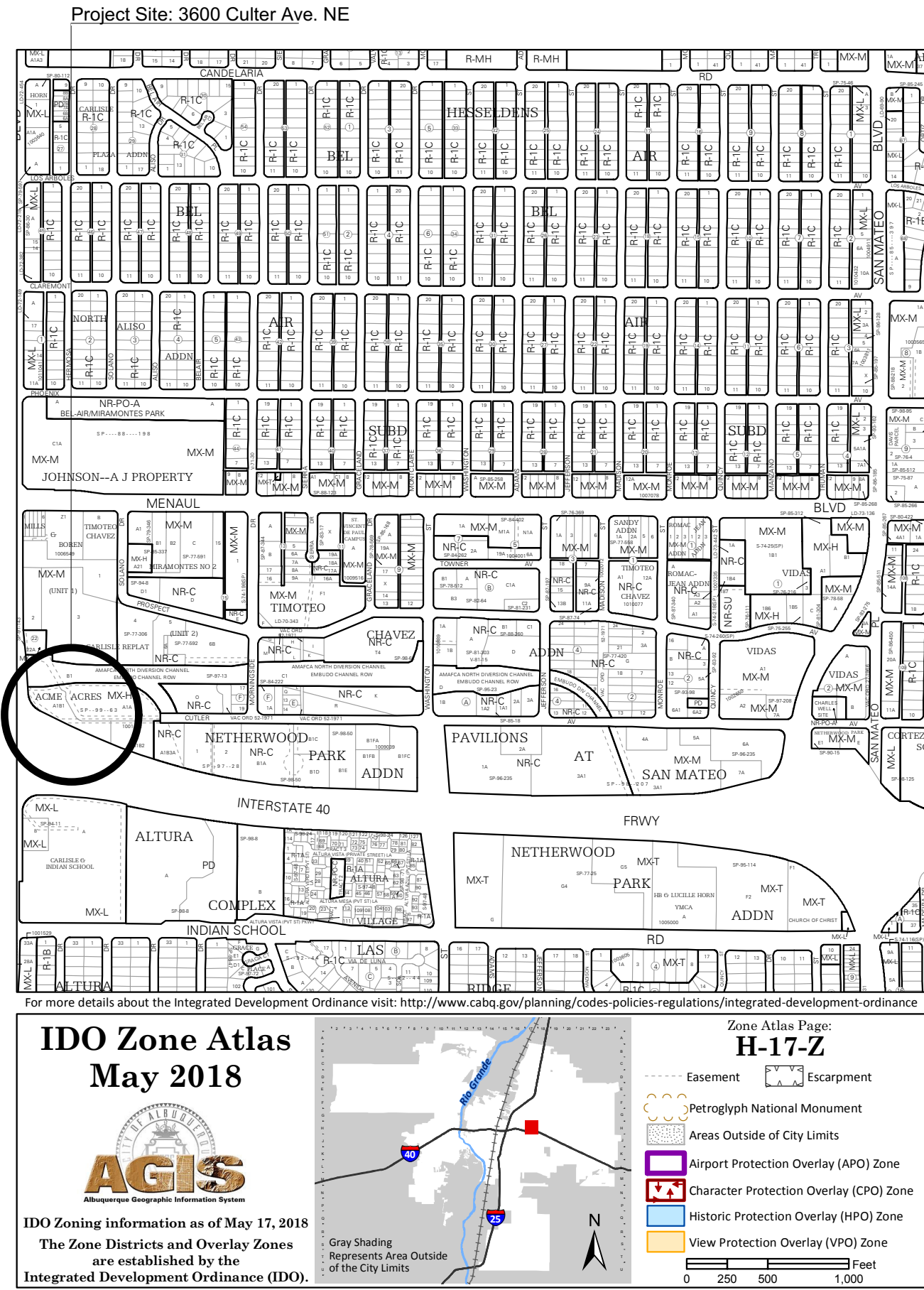
1/8" = 1'-0"



7 Ground Level Area Plan
Scale: 1/16" = 1'-0"



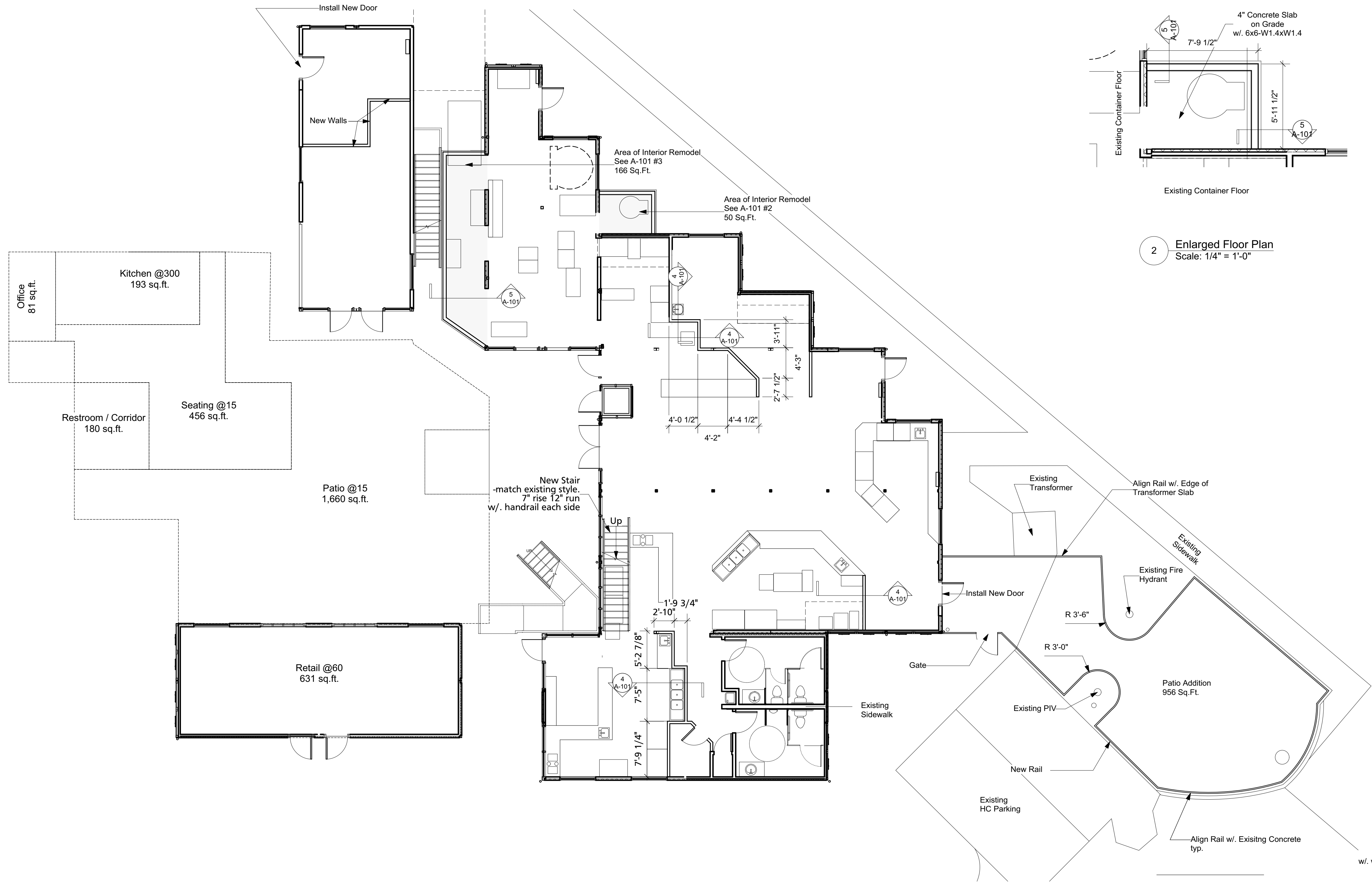
8 Second Level Area Plan
Scale: 1/16" = 1'-0"



Date: October 1, 2020

Sheet: Site Plan

A-081



1 Ground Level Plan
Scale: 1/8" = 1'-0"

GENERAL NOTE:

All equipment is existing and / or relocated only.
No new cooking equipment per this permit.
All drains / water supply is existing.
All electrical is existing and / or relocated only.

DOOR SPECIFICATION

A. EXTERIOR DOORS

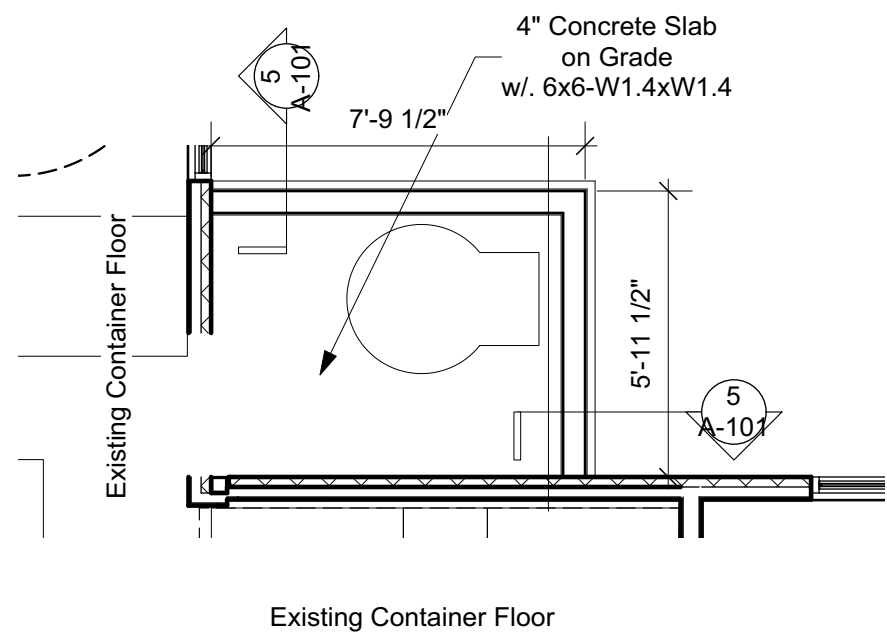
1. General requirements: Except where specified otherwise for specific locations, doors shall be provided and shall be minimum 84" tall by 1-3/4" thick, flush, Metal insulated cores. Other specifications may be submitted to the contracting officer for approval. Unless otherwise specified, single doors shall be 36" wide.

B. TYPICAL DOOR FRAMES

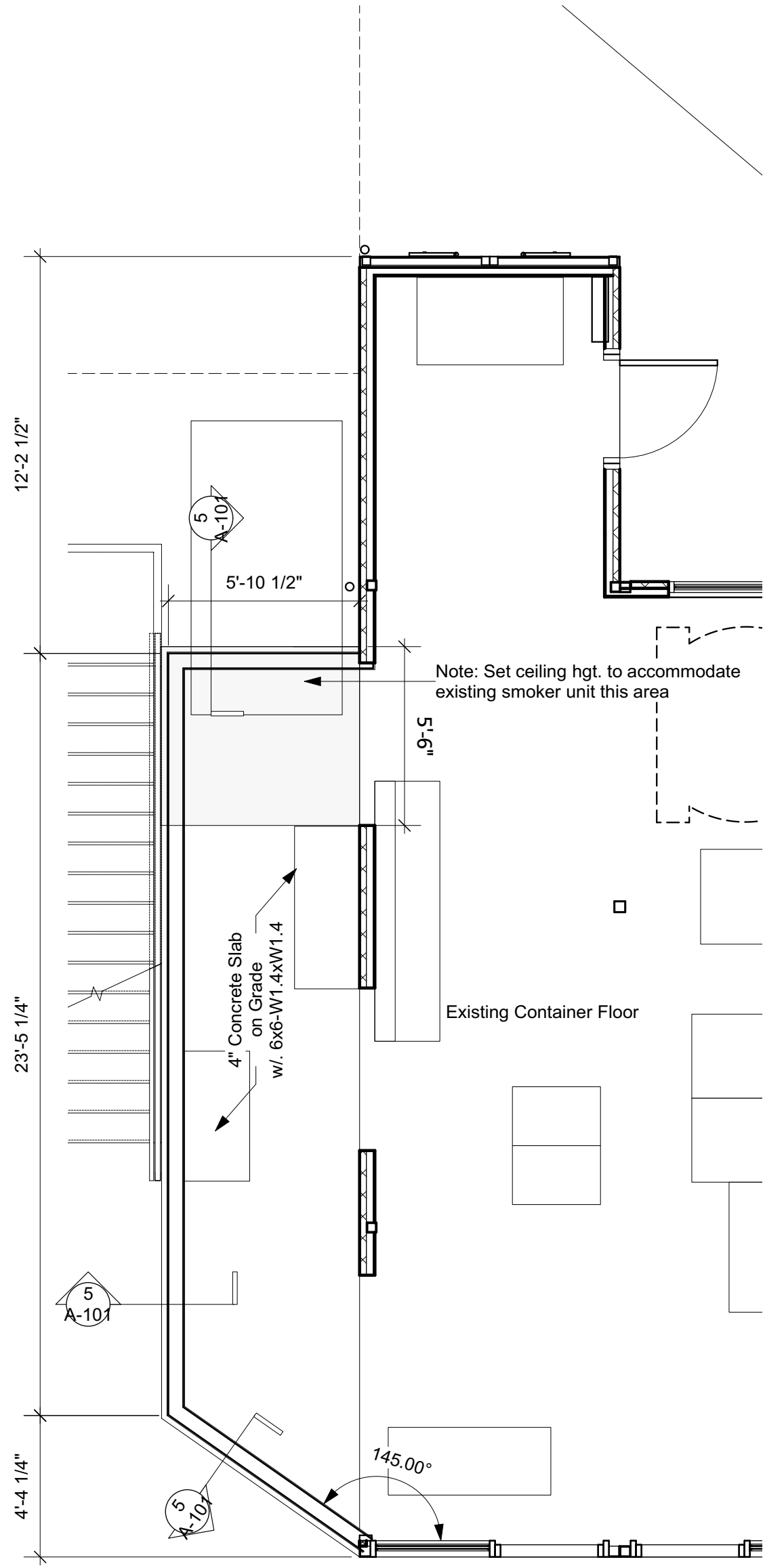
1. Door frames for perimeter doors shall be fully welded 16 gauge hollow metal.

C. ADDITIONAL DOOR HARDWARE REQUIREMENTS

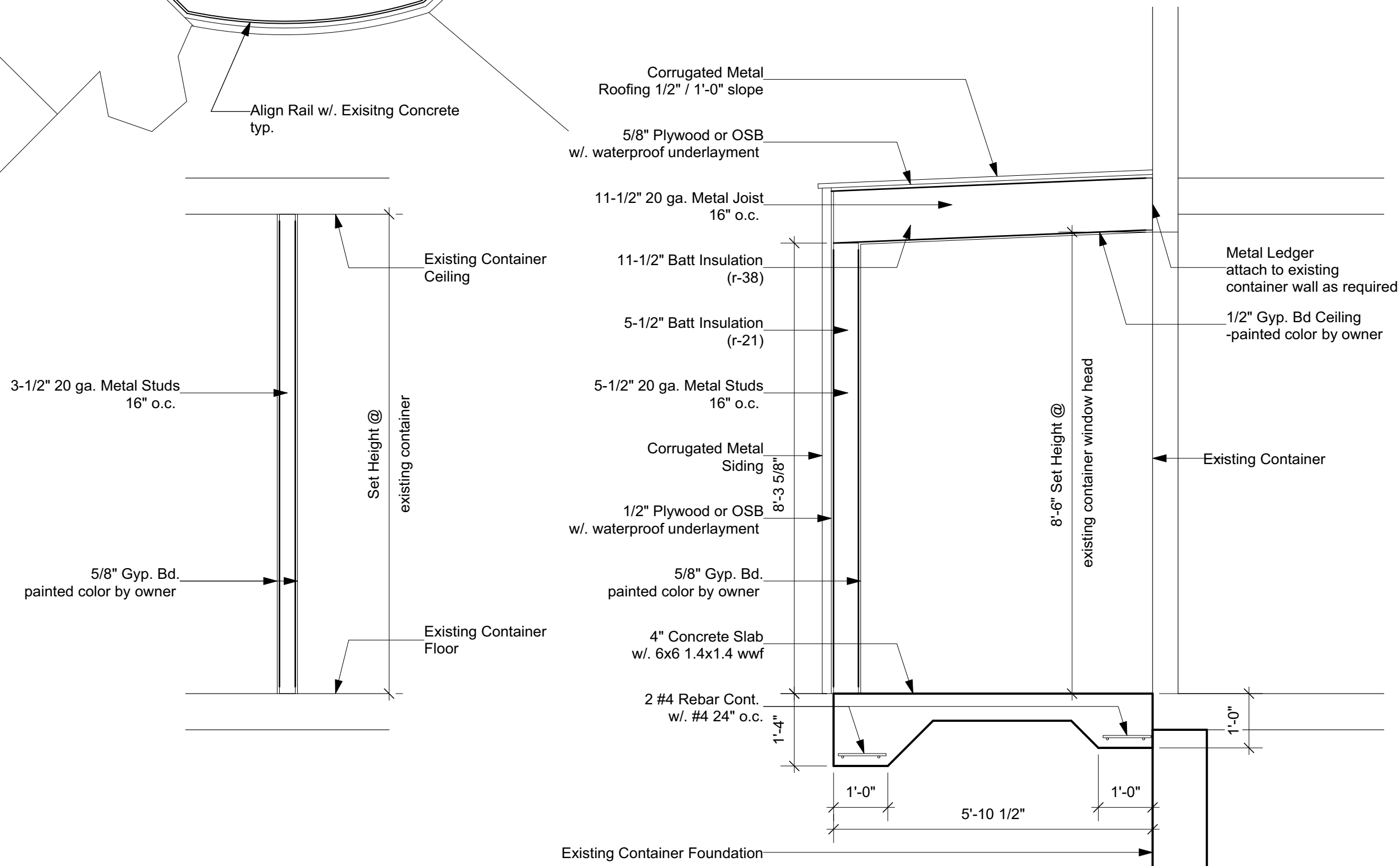
1. Lock compatibility: All locks shall be compatible with existing.
2. Provide automatic closer and panic device where required.



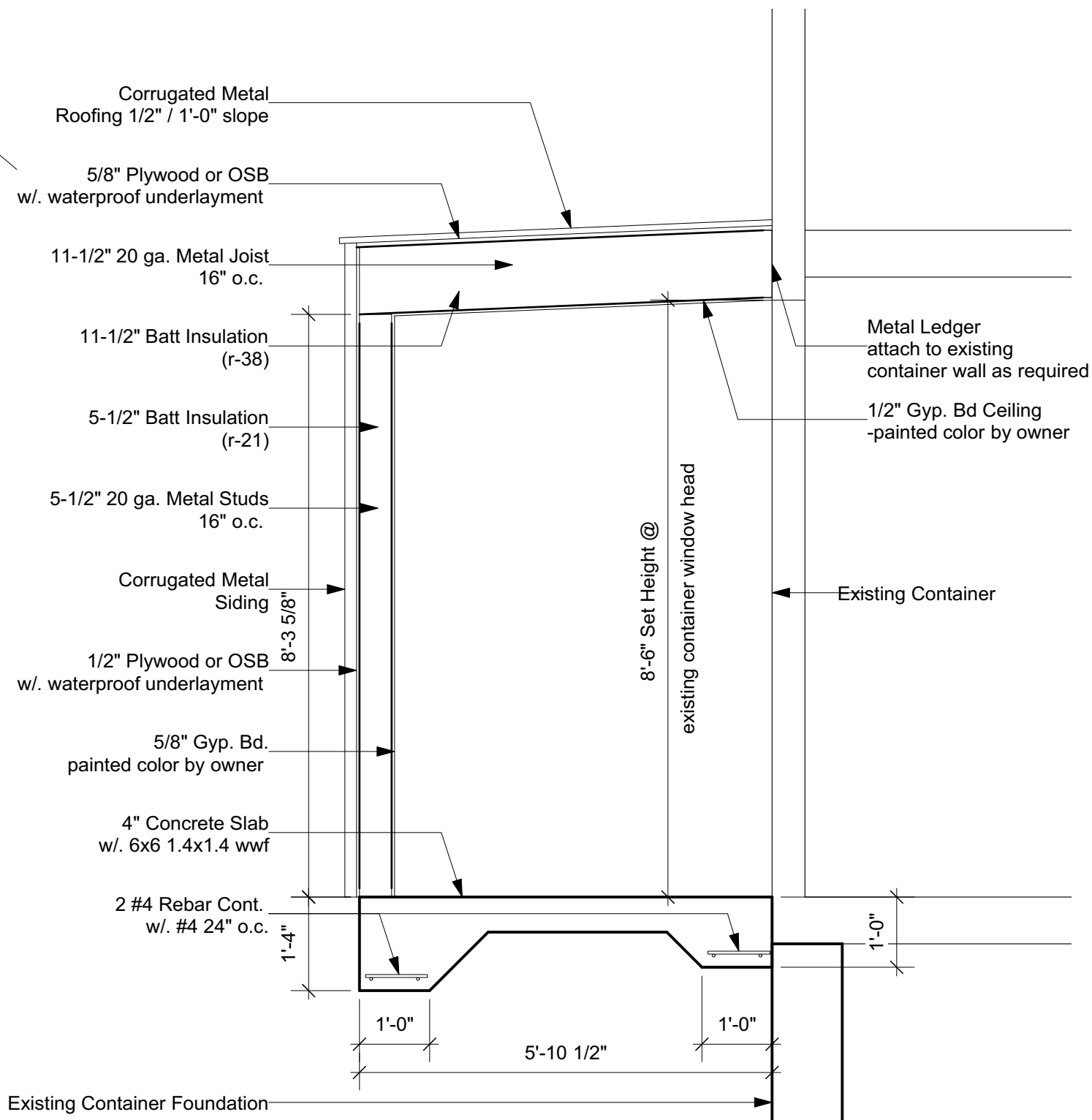
2 Enlarged Floor Plan
Scale: 1/4" = 1'-0"



3 Enlarged Floor Plan
Scale: 1/4" = 1'-0"



4 Wall Section
Scale: 1/2" = 1'-0"



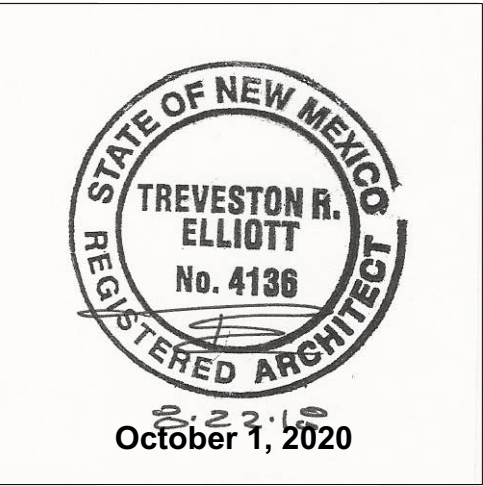
5 Wall Section
Scale: 1/2" = 1'-0"

TREVESTON ELLIOTT
ARCHITECT

811 12TH ST. NW
ALBUQUERQUE, NEW MEXICO
87102
C 505.259.4617
treveston@earthlink.com
www.earthlink.com

Green Jeans

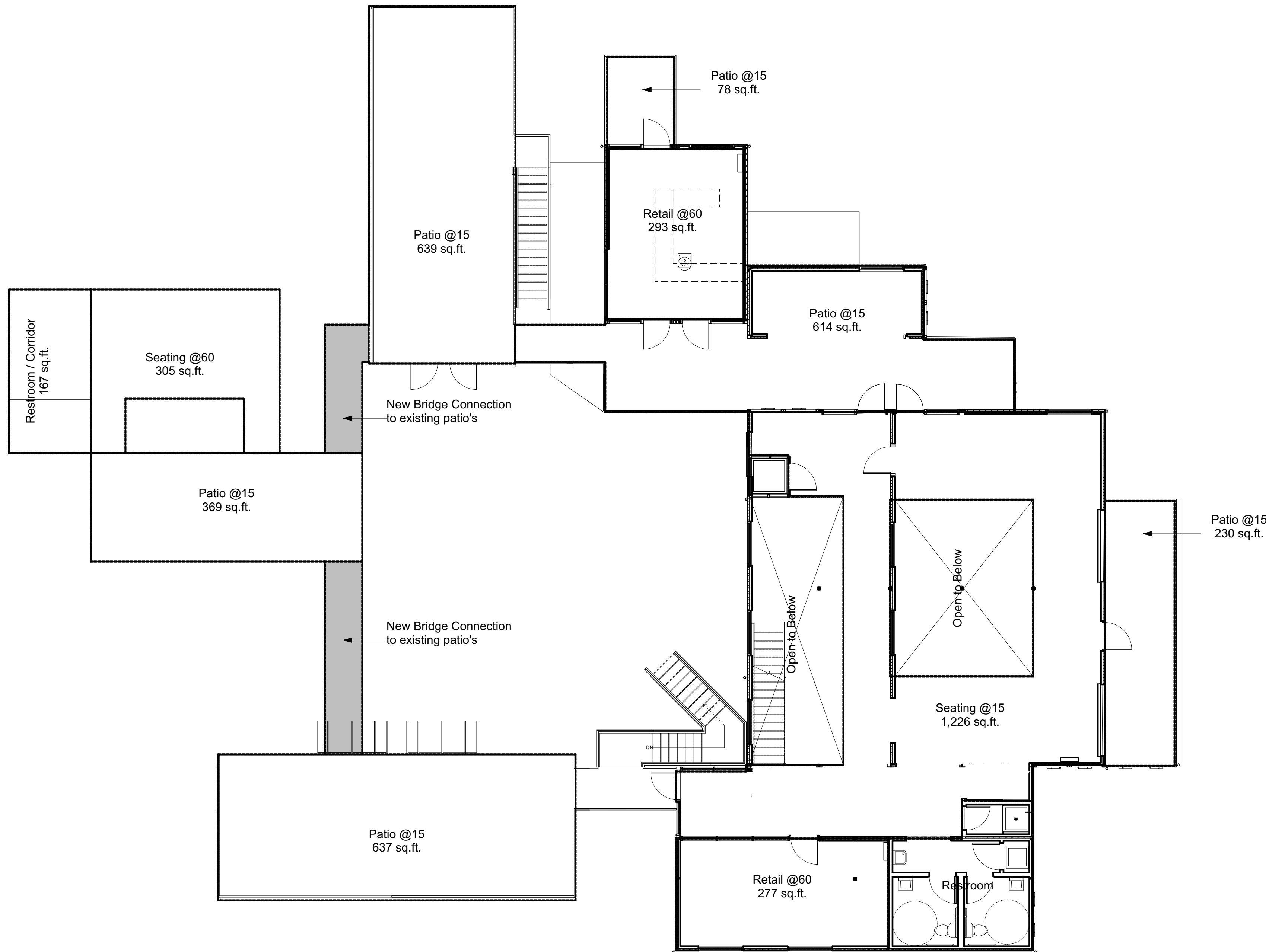
3600 Cutler Ave. NE
ALBUQUERQUE, NEW MEXICO 87110



Date: October 1, 2020

Sheet: Ground Level Plan
Wall Section

A-101



1 Second Level Plan
Scale: 1/8" = 1'-0"

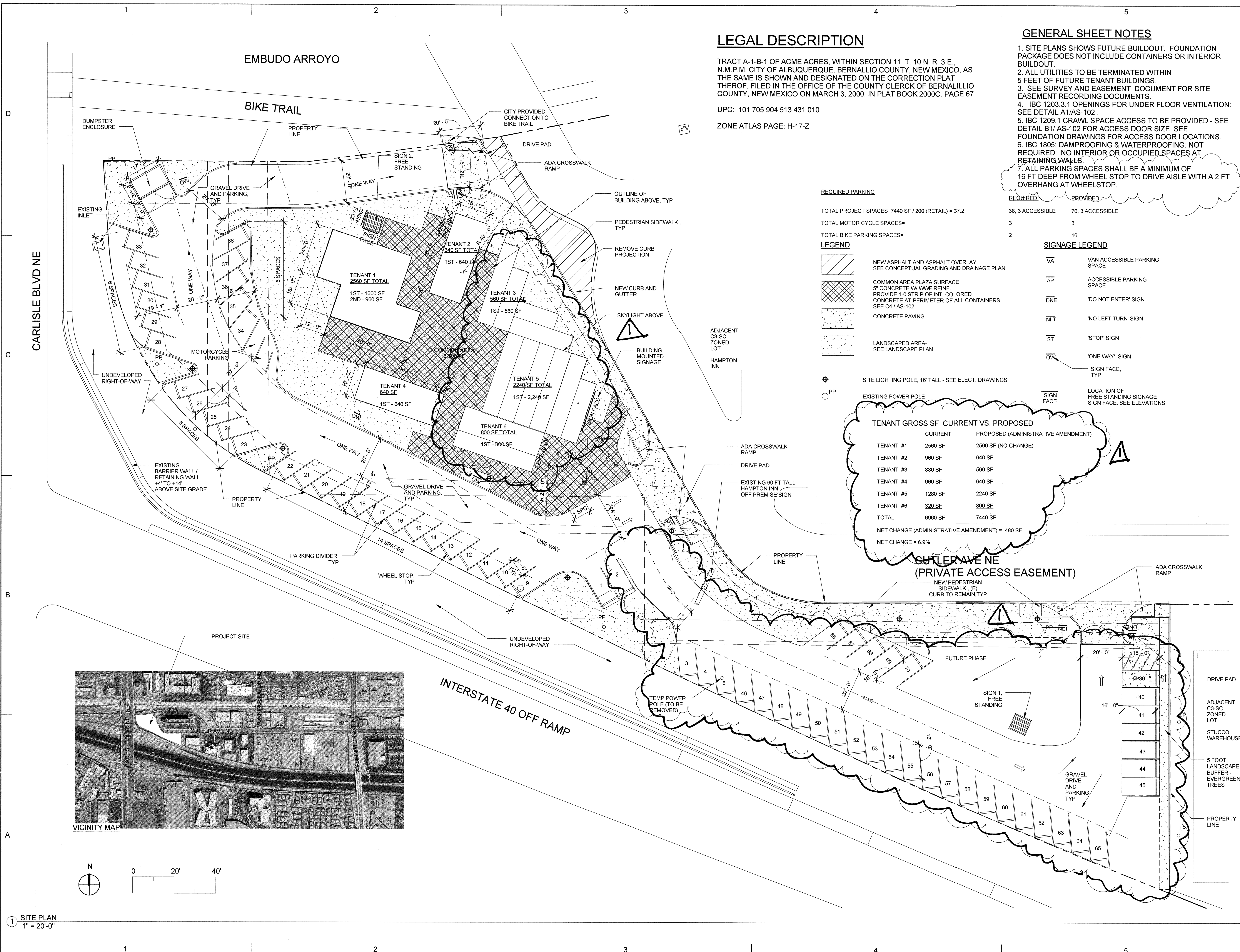
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Green Jeans
3600 Cutler Ave. NE
ALBUQUERQUE, NEW MEXICO 87110



Date: October 1, 2020

Sheet: Second Level Plan



LEGAL DESCRIPTION

TRACT A-1-B-1 OF ACME ACRES, WITHIN SECTION 11, T. 10 N. R. 3 E., N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE CORRECTION PLAT THEROF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 3, 2000, IN PLAT BOOK 2000C, PAGE 67

UPC: 101 705 904 513 431 010

ZONE ATLAS PAGE: H-17-Z

GENERAL SHEET NOTES

1. SITE PLANS SHOWS FUTURE BUILDOUT. FOUNDATION PACKAGE DOES NOT INCLUDE CONTAINERS OR INTERIOR BUILDOUT.
2. ALL UTILITIES TO BE TERMINATED WITHIN 5 FEET OF FUTURE TENANT BUILDINGS.
3. SEE SURVEY AND EASEMENT DOCUMENT FOR SITE EASEMENT RECORDING DOCUMENTS.
4. IBC 1203.3.1 OPENINGS FOR UNDER FLOOR VENTILATION: SEE DETAIL A1/AS-102.
5. IBC 1209.1 CRAWL SPACE ACCESS TO BE PROVIDED - SEE DETAIL B1/ AS-102 FOR ACCESS DOOR SIZE. SEE FOUNDATION DRAWINGS FOR ACCESS DOOR LOCATIONS.
6. IBC 1805: DAMPROOFING & WATERPROOFING: NOT REQUIRED: NO INTERIOR OR OCCUPIED SPACES AT RETAINING WALLS.
7. ALL PARKING SPACES SHALL BE A MINIMUM OF 16 FT DEEP FROM WHEEL STOP TO DRIVE AISLE WITH A 2 FT OVERHANG AT WHEELSTOP.

REQUIRED PARKING

TOTAL PROJECT SPACES 7440 SF / 200 (RETAIL) = 37.2

TOTAL MOTOR CYCLE SPACES=

TOTAL BIKE PARKING SPACES=

LEGEND

- NEW ASPHALT AND ASPHALT OVERLAY, SEE CONCEPTUAL GRADING AND DRAINAGE PLAN
- COMMON AREA PLAZA SURFACE 5" CONCRETE W/ W/F REINF. PROVIDE 1-0 STRIP OF INT. COLORED CONCRETE AT PERIMETER OF ALL CONTAINERS SEE C4 / AS-102
- CONCRETE PAVING
- LANDSCAPED AREA- SEE LANDSCAPE PLAN

SIGNAGE LEGEND

- VAN ACCESSIBLE PARKING SPACE
- ACCESSIBLE PARKING SPACE
- 'DO NOT ENTER' SIGN
- 'NO LEFT TURN' SIGN
- 'STOP' SIGN
- 'ONE WAY' SIGN
- LOCATION OF FREE STANDING SIGNAGE SIGN FACE, SEE ELEVATIONS

SITE LIGHTING POLE, 16' TALL - SEE ELECT. DRAWINGS

EXISTING POWER POLE

TENANT GROSS SF CURRENT VS. PROPOSED

	CURRENT	PROPOSED (ADMINISTRATIVE AMENDMENT)
TENANT #1	2560 SF	2560 SF (NO CHANGE)
TENANT #2	960 SF	640 SF
TENANT #3	880 SF	560 SF
TENANT #4	960 SF	640 SF
TENANT #5	1280 SF	2240 SF
TENANT #6	320 SF	800 SF
TOTAL	6960 SF	7440 SF

NET CHANGE (ADMINISTRATIVE AMENDMENT) = 480 SF

NET CHANGE = 6.9%

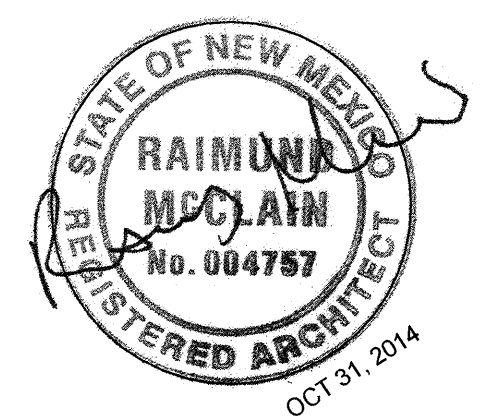
CUTLER AVE NE (PRIVATE ACCESS EASEMENT)

McCLAIN
ARCHITECTURE &
DESIGN SERVICES

mccclain-arch.com

McClain Architecture & Design Services LLC
2009 Ridgecrest Dr SE
Albuquerque, NM 87108
505.217.8317
info@mccclain-arch.com
www.mccclain-arch.com

CONSULTANTS



PROJECT

GREEN JEANS CO.

GREEN JEANS FARMERY

ADDRESS

3600 CUTLER NE
ADMINISTRATIVE AMENDMENT
FILE # 10035 PROJECT # 100178
AMEND EPC SITE PLAN TO RECONFIGURE +
ADD 480 SF (410% OF CONTAINERS)
ADD 33 PARKING SPACES + ADD LANDSCAPING +
EAST R.
APPROVED BY DATE

FOUNDATION PERMIT SET

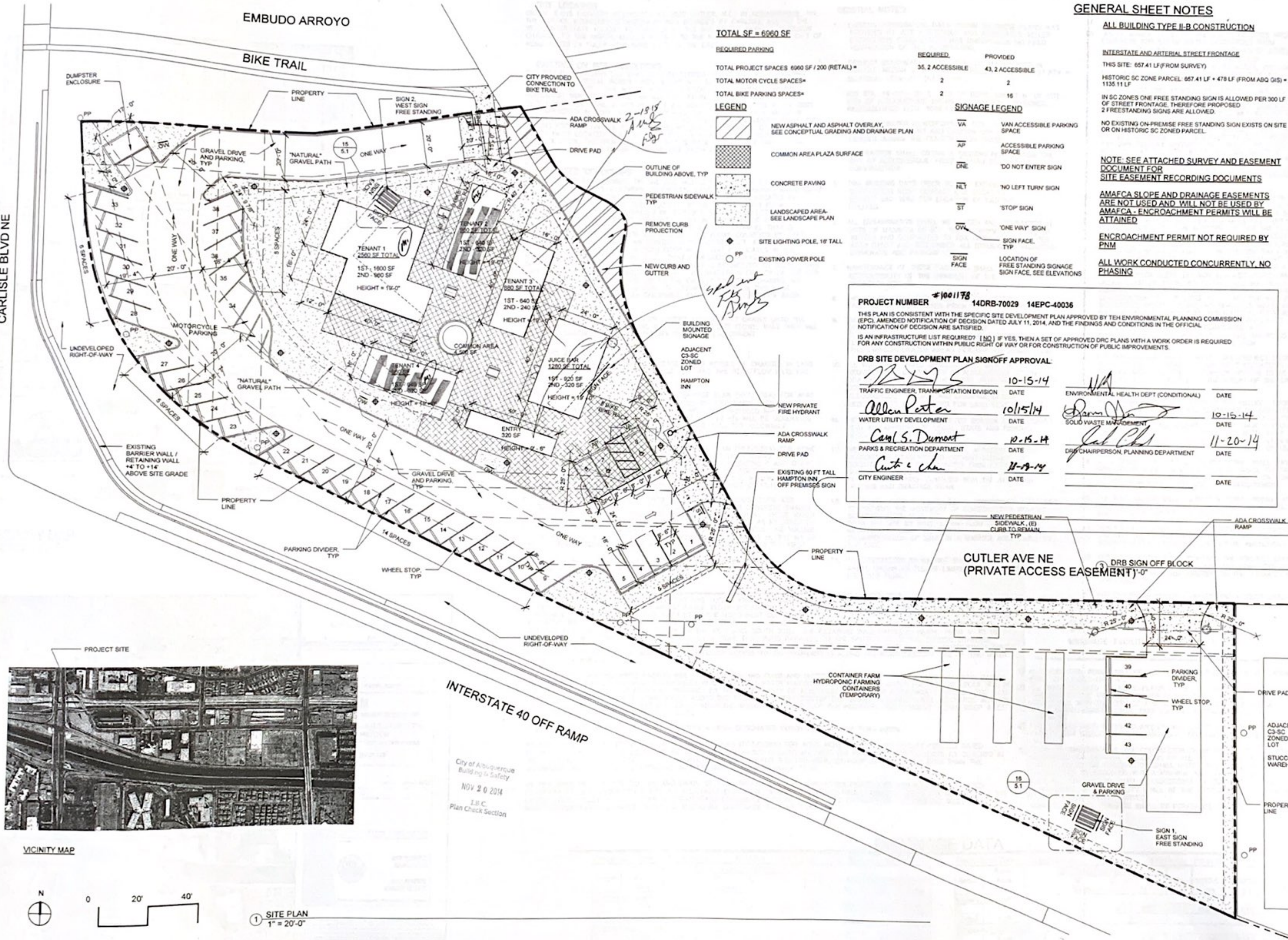
REV 1 01-21-15 REVISIONS FOR BUILDING PERMIT.			
No.	Date	Revision	Description
1	12-18-14	1	EPC ADMINISTRATIVE AMENDMENT REQ.
Date 10/31/2014			
Project Number GRN-JN			
Project File			
Drawn By DL			
Checked By RM			
Copyright © MCCLAIR ARCHITECTURE AND DESIGN SERVICES LLC			
SHEET TITLE			

SITE PLAN

AS-101
OF

Admin. Amendment - Approved 3.11.15

must save *



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mcclain-arch.com

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info@mcclain-arch.com
www.mcclain-arch.com

CONSULTANTS

PROJECT

ADDRESS

DATE

PROJECT NUMBER

PROJECT FILE

DRAWN BY

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SITE PLAN

City of Albuquerque Building & Safety

NOV 4 2014

I.B.C. Plan Check Section

1 OF