

Bricklight Courtyards-DRB Submittal

PROJECT DATA

LEGAL DESCRIPTION:
LOTS 6,7,8,9,10,16,17,18,19,20,21, BLOCK 1, UNIVERSITY HEIGHTS

ACREAGE:

LOT 6 = .16 ACRES
LOT 7 = .16 ACRES
LOT 8 = .16 ACRES
LOT 9 = .16 ACRES
LOT 10 = .16 ACRES
LOT 16 = .16 ACRES
LOT 17 = .16 ACRES
LOT 18 = .16 ACRES
LOT 19 = .16 ACRES
LOT 20 = .16 ACRES
LOT 21 = .16 ACRES
TOTAL = 1.76 ACRES

PROPOSED BUILDING AREAS:

BUILDING A:
FIRST FLOOR: 1,200 SF. RETAIL
SECOND FLOOR: 2,050 SF. RESIDENTIAL
TOTAL: 4,450 SF.

BUILDING B:
FIRST FLOOR: 2,400 SF. RETAIL
SECOND FLOOR: 3,800 SF. RESIDENTIAL
THIRD FLOOR: 5,600 SF. RESIDENTIAL
TOTAL: 16,500 SF.

BUILDING C:
FIRST FLOOR: 2,400 SF. RETAIL
SECOND FLOOR: 3,800 SF. RESIDENTIAL
THIRD FLOOR: 5,600 SF. RESIDENTIAL
TOTAL: 16,500 SF.

BUILDING D:
FIRST FLOOR: 1,200 SF. RETAIL
SECOND FLOOR: 2,050 SF. RESIDENTIAL
TOTAL: 4,450 SF.

TOTAL DEVELOPMENT: 44,300 SF. (INCLUDING STAIRS)

PARKING CALCULATIONS:

PARKING REQUIRED:
7,200 SF. RETAIL
1 PER 300 SF. PER UC ZONE
7,200/300 = 24 SPACES REQUIRED

34,700 SF. RESIDENTIAL UNITS
1 PER 600 SF. PER R3C ZONE
33,400/600 = 56 SPACES REQUIRED

80 TOTAL SPACES REQUIRED
LESS 10% REDUCTION AS PROJECT IS WITHIN 300' OF TRANSIT ROUTE = 72 SPACES REQUIRED

PARKING PROVIDED:
26 SPACES ARE PROVIDED OFF OF ALLEY.
LOTS 17,18,19,20.

46 SPACES PROVIDED AND DESIGNATED IN ADJACENT PARKING LOT. LOTS 6,7,8,9,10.
72 TOTAL SPACES PROVIDED

ADDITIONAL REQUIREMENTS:
4 HC ACCESSIBLE SPACES AND 3 MOTORCYCLE SPACES REQUIRED PER C.O.A. REQUIREMENTS.

4 HC ACCESSIBLE SPACES PROVIDED OFF OF ALLEY.
7 MOTORCYCLE SPACES PROVIDED IN ADJACENT LOT.

BICYCLE PARKING CALCULATIONS:

BICYCLE PARKING REQUIRED:
RETAIL = 4 SPACES REQUIRED
RESIDENTIAL = 23 SPACES REQUIRED
TOTAL = 28 SPACES REQUIRED

BICYCLE PARKING PROVIDED:
RETAIL = 18 SPACES PROVIDED (3 RACK)
RESIDENTIAL = 24 SPACES PROVIDED (4 RACKS)
TOTAL = 42 SPACES PROVIDED

OPEN SPACE CALCULATIONS:

200 SF. PER EFFICIENCY OR 1 BEDROOM PER SU-1 ZONING REGULATIONS.

46 RESIDENTIAL UNITS x 200 = 9200 SF. OPEN SPACE REQUIRED

COURTYARDS = 8900 SF.
BALCONIES = 2160 SF.
TOTAL = 11060 SF. OPEN SPACE PROVIDED

SHEET LIST

G101 TITLE SHEET
A001 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
L001 CONCEPTUAL LANDSCAPE PLAN
C001 NOTES AND DRAINAGE INFORMATION
C002 EXISTING GRADING AND DRAINAGE PLAN
C003 GRADING AND DRAINAGE PLAN
C004 SITE UTILITY PLAN
A401 OVERALL EXTERIOR ELEVATIONS
A402 ENLARGED EXTERIOR ELEVATIONS

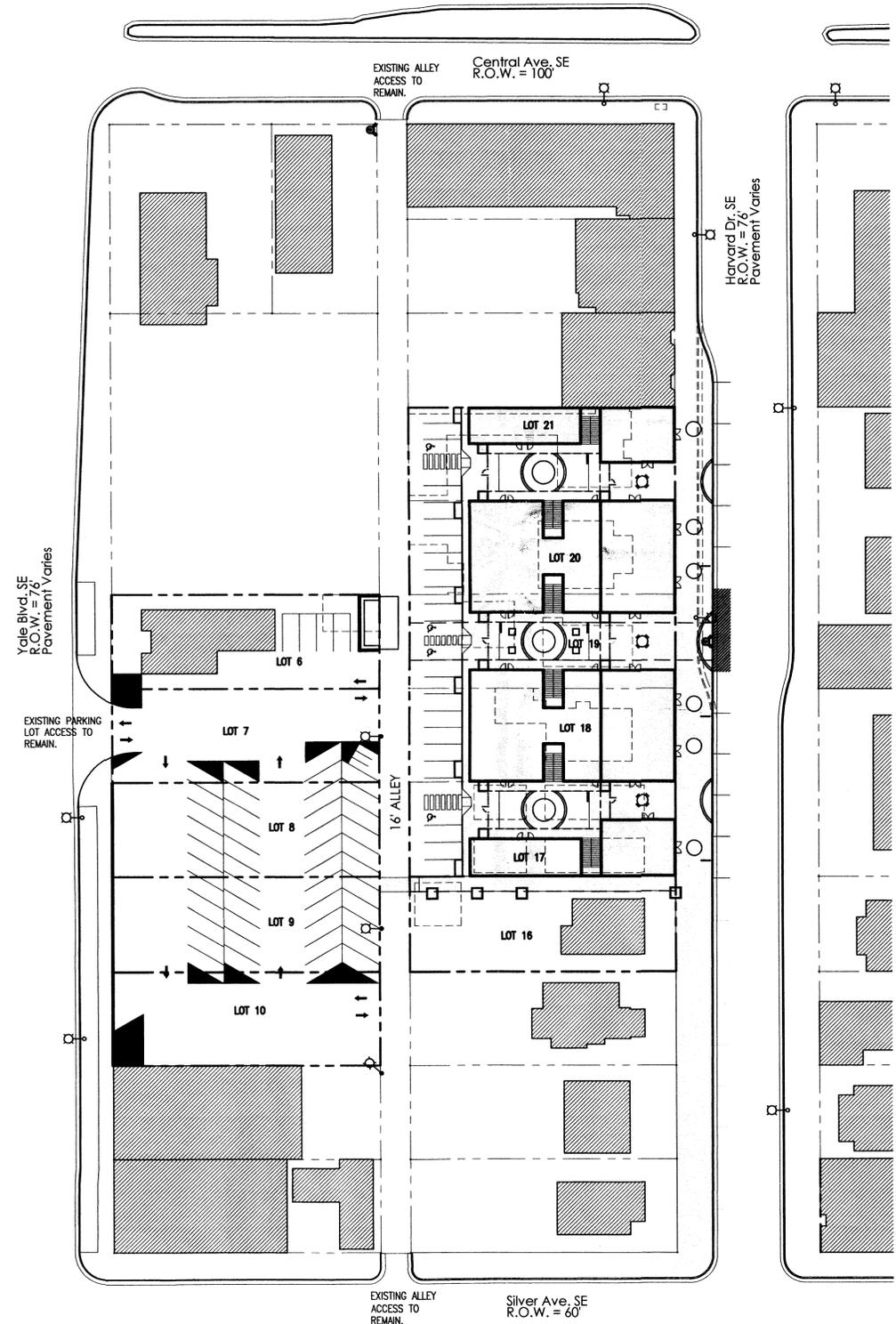
REQUESTED ZONING

ZONE CHANGE FROM SU-2/UC AND SU-2/R-3-C TO SU-2/SU-1 FOR A MIXED USE PROJECT INCLUDING A 46 DWELLING UNIT COURTYARD DEVELOPMENT AND 7,200 SQUARE FEET FOR COMMERCIAL USE, AND A SECTOR PLAN AMENDMENT TO THE ZONING MAP FROM UC AND R3C TO SU-1 FOR MIXED USE.

PERMISSIVE COMMERCIAL USES INCLUDE:

- MULTIPLE-FAMILY DWELLINGS, NOT TO EXCEED A TOTAL OF 46 DWELLING UNITS.
- CHURCH OR OTHER PLACE OF WORSHIP, INCLUDING INCIDENTAL RECREATIONAL AND EDUCATIONAL FACILITIES.
- LIBRARY.
- OFFICE.
- OFFICE MACHINES AND EQUIPMENT SALES AND REPAIR.
- RETAIL SALES OF THE FOLLOWING GOODS, PLUS INCIDENTAL RETAILING OF RELATED GOODS AND INCIDENTAL SERVICE OR REPAIR:
 - ARTS AND CRAFTS OBJECTS, SUPPLIES, PLUS THEIR INCIDENTAL CREATION PROVIDED THERE IS LITTLE OR NO REPRODUCTION OF SUBSTANTIALLY IDENTICAL OBJECTS.
 - BOOKS, MAGAZINES, NEWSPAPERS, STATIONERY, PROVIDED THAT NO SUCH MATERIAL IS ADVERTISED TO BE FORBIDDEN TO BE SOLD TO MINORS.
 - CLOTHING, SHOES, DRY GOODS.
 - COSMETICS, NOTIONS, HOBBY SUPPLIES.
 - DRUGS, MEDICAL SUPPLIES.
 - FLOWERS AND PLANTS, INCLUDING MINOR AND INCIDENTAL OUTDOOR SALES.
 - RESTAURANTS, WITH OR WITHOUT BEER AND WINE PROVIDED:
 - THERE SHALL BE NO DRIVE-IN RESTAURANT OR DRIVE-UP WINDOW; AND,
 - THE RETAILING OF ALCOHOLIC DRINKS, INCLUDING BEER AND WINE, FOR ON OR OFF PREMISE CONSUMPTION, WITHIN 500 FEET OF A COMMUNITY RESIDENTIAL PROGRAM OR HOSPITAL FOR TREATMENT OF SUBSTANCE ABUSERS, IS PROHIBITED.
 - FURNITURE, HOUSEHOLD FURNISHINGS, AND APPLIANCES.
 - JEWELRY.
 - BICYCLE SALES. REPAIR IS ALLOWED AS AN ACCESSORY USE TO SALES PROVIDED ALL REPAIR ACTIVITIES, INCLUDING TEMPORARY STORAGE, ARE DONE WITHIN A COMPLETELY ENCLOSED BUILDING.
 - GAMES, INCLUDING COMPUTER AND VIDEO GAMES. (RETAIL SALES ONLY, NO ARCADES)
 - MUSICAL INSTRUMENTS AND SUPPLIES.
 - PHOTOGRAPH EQUIPMENT.
 - SPORTING GOODS.
- SERVICES:
 - WALK-UP AUTOMATIC TELLER MACHINES (ATM'S).
 - BARBER, BEAUTY.
 - DAY CARE CENTER.
 - DRY CLEANING STATION (NO PROCESSING), SELF SERVICE LAUNDRY.
 - HEALTH GYMNASIUMS.
 - INSTRUCTION IN MUSIC, DANCE, FINE ARTS, CRAFTS, MODELING.
 - INTERIOR DECORATING.
 - PET GROOMING.
 - PHOTOGRAPHY, PHOTOCOPY, EXCEPT ADULT PHOTO STUDIO.
 - REPAIR OF SHOES, HOUSEHOLD EQUIPMENT.
 - TAILORING, DRESSMAKING.
 - PARKING LOT.

THERE ARE NO CONDITIONAL COMMERCIAL USES PERMITTED WITH THIS REQUEST.



Overall Site Plan for Building Permit
Scale: 1"= 40'-0"

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Architecture P.C.

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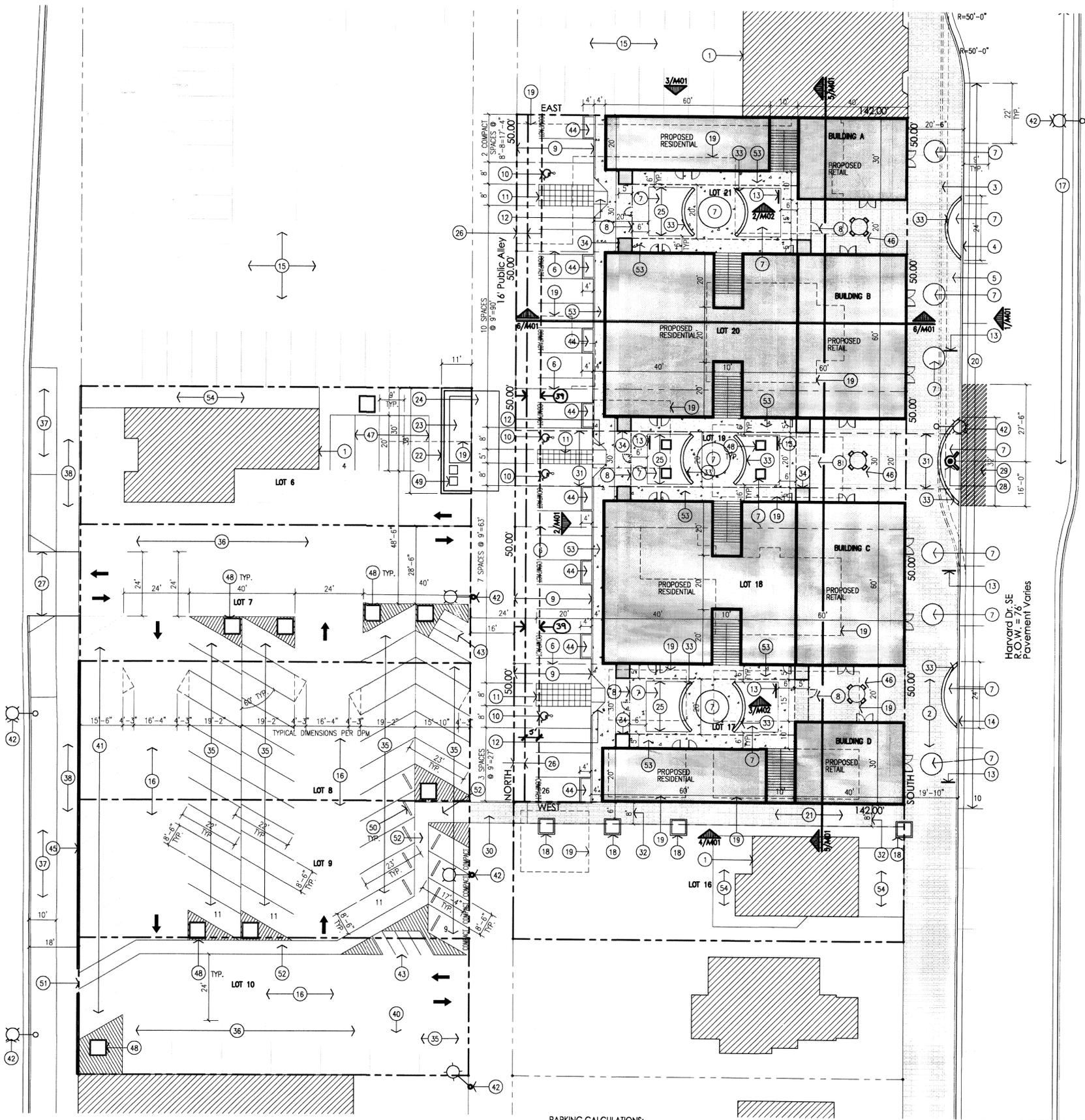
job number	06-13
drawn by	MAG
project manager	Douglas Heller, AIA
date	11/14/06

Bricklight Courtyards
Lots 6-10, 17-21, Block 1, University Heights
Albuquerque, New Mexico

sheet title
Title Sheet

sheet
G101

#1004987



1 Site Plan for Building Permit
Scale: 1" = 20'-0"



PARKING CALCULATIONS:

PARKING REQUIRED:	PARKING PROVIDED:
7,200 SF. RETAIL 1 PER 300 SF. PER UC ZONE 7,200/300 = 24 SPACES REQUIRED	26 SPACES ARE PROVIDED OFF OF ALLEY. LOTS 17,18,19,20.
34,700 SF. RESIDENTIAL UNITS 1 PER 600 SF. PER R3C ZONE 33,400/600 = 56 SPACES REQUIRED	46 SPACES PROVIDED AND DESIGNATED IN ADJACENT PARKING LOT. LOTS 6,7,8,9,10.
80 TOTAL SPACES REQUIRED LESS 10% REDUCTION AS PROJECT IS WITHIN 300' OF TRANSIT ROUTE = 72 SPACES REQUIRED	72 TOTAL SPACES PROVIDED
	ADDITIONAL REQUIREMENTS:
	4 HC ACCESSIBLE SPACES AND 3 MOTORCYCLE SPACES REQUIRED PER C.O.A. REQUIREMENTS.
	4 HC ACCESSIBLE SPACES PROVIDED OFF OF ALLEY.
	7 MOTORCYCLE SPACES PROVIDED IN ADJACENT LOT.

COMPREHENSIVE PLAN WATER MANAGEMENT
THIS PROJECT WILL INCLUDE THE FOLLOWING TECHNIQUES THAT WILL ENFORCE THE COMPREHENSIVE PLAN:

- WATER HARVESTING THAT CHANNELS STORM WATER FROM HARD SURFACES TO LANDSCAPE AREAS,
- LOW WATER USE LANDSCAPING,
- COMPLY WITH STORM WATER RUN-OFF PLAN, AND
- LOW-FLOW WATER CLOSETS AND SHOWER HEADS IN ALL RESIDENTIAL UNITS.

COMPREHENSIVE PLAN ENERGY MANAGEMENT
THIS PROJECT WILL INCLUDE THE FOLLOWING TECHNIQUES THAT WILL ENFORCE THE COMPREHENSIVE PLAN:

- INSULATED WINDOWS IN ALL RETAIL SPACES AND RESIDENTIAL UNITS,
- MINIMIZE GLAZING ON THE WEST ELEVATIONS,
- UTILIZE LANDSCAPING AND OVERHANGS TO PROVIDE BUILDING SHADING,
- PROVIDE SINGLE METERING OF UTILITIES FOR ALL RESIDENTIAL UNITS,
- CERTIFY COMPLIANCE WITH THE SOLAR ACCESS PROVISION, AND
- PROMOTE MASS TRANSIT AND PEDESTRIAN IMPROVEMENTS BY PROVIDING THE EXACT NUMBER OF PARKING SPACES REQUIRED.

GENERAL NOTES:

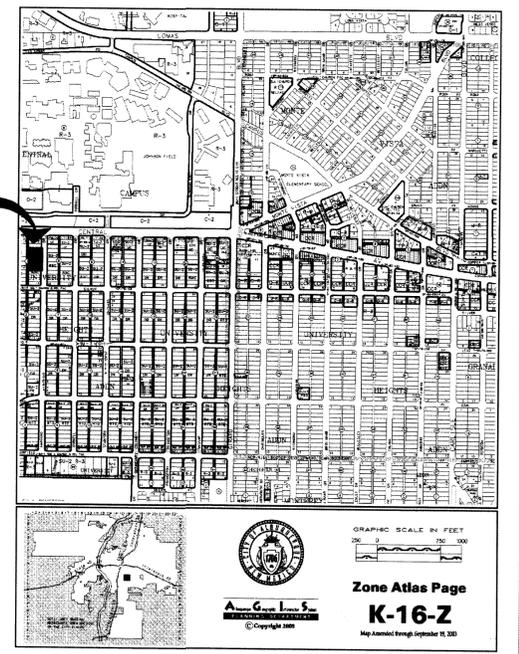
A. SITE LIGHTING WILL BE PROVIDED BY THE FOLLOWING:

- RECESSED HID FLUORESCENT DOWN LIGHTS ALONG RETAIL FRONTAGE.
- SHIELDED HID METAL HALIDE WALL PACKS AT WEST SIDE OF PROJECT AND AT PEDESTRIAN WALKWAY.
- COMPACT FLUORESCENT STEP LIGHTS AT RAISED PLANTERS AT COURTYARDS AND AT PEDESTRIAN WALKWAY.
- LOW WATTAGE LANDSCAPE LIGHTING IN THE COURTYARDS.
- DECORATIVE FIXTURE ADJACENT TO EACH RESIDENCE DOOR.

B. CURRENT PARKING IN LOTS 6,7,8,9,10 ARE COMPRISED OF 63 PAID PARKING SPACES AND 19 REQUIRED SPACES FOR ADJACENT BUSINESSES. 46 OF THE 63 PAID PARKING SPACES WILL BE DESIGNATED FOR REQUIRED OFF STREET PARKING FOR THE PROPOSED DEVELOPMENT. 7 MOTORCYCLE SPACES WILL BE ADDED. ANY FUTURE DEVELOPMENT OF THESE LOTS WILL REQUIRE THESE 48 DESIGNATED SPACES TO BE ACCOMMODATED ELSEWHERE AS REQUIRED BY THE CITY OF ALBUQUERQUE.

C. THE RESIDENTIAL SQUARE FOOTAGE SHALL BE LIMITED TO 33,400 NET SQUARE FEET AND THE NUMBER OF DWELLING UNITS IS LIMITED TO A TOTAL OF 46.

- KEYED NOTES:**
- EXISTING BUILDING TO REMAIN.
 - EXISTING BRICK SIDEWALK TO REMAIN.
 - EXISTING CURB AND GUTTER TO BE REMOVED PER CITY WORK ORDER.
 - PROPOSED CITY STANROAD CURB AND GUTTER PER CITY WORK ORDER.
 - PROPOSED BRICK SIDEWALK TO MATCH EXISTING. EXISTING PROPERTY LINE TO BE DELETED BY REPLAT.
 - PROPOSED LANDSCAPED AREA.
 - PROPOSED WROUGHT IRON GATE.
 - NEW ASPHALT PAVING TO BE LEVEL WITH ALLEY PAVING. SEE GRADING AND DRAINAGE PLAN.
 - PROPOSED HANDICAP ACCESSIBLE PARKING.
 - PROPOSED SCORED CONCRETE HANDICAP ACCESSIBLE ACCESS AISLE.
 - PROPOSED HANDICAP ACCESSIBLE RAMP.
 - PROPOSED BIKE RACK LOCATION. 6 SPACES PER RACK.
 - EXISTING CITY CURB TO REMAIN.
 - EXISTING PARKING LOT TO REMAIN. NOT A PART OF THIS PROJECT.
 - EXISTING PARKING LOT. 46 DESIGNATED FOR PROPOSED PROJECT.
 - EXISTING PARALLEL AND METERED PARKING TO REMAIN.
 - PROPOSED 6"x6"x2" HIGH RAISED BRICK LANDSCAPE PLANTER WITH RECESSED FLUORESCENT STEP LIGHTING TYPICAL OF 3 EACH.
 - EXISTING BUILDING TO BE REMOVED.
 - NEW PARALLEL AND CITY METERED PARKING SPACES. PARKING METERS TO BE RELOCATED PER CITY WORK ORDER.
 - NEW 8" WIDE BRICK PEDESTRIAN CONNECTION FROM EXISTING PARKING LOT TO HARVARD DRIVE.
 - 8" HIGH CMU COMPACTOR ENCLOSURE. STUCCO TO MATCH PROPOSED BUILDINGS. SEE 4/A02.
 - SELF-CONTAINED REFUSE COMPACTOR ON WHEEL GUIDES. PROVIDED BY OWNER.
 - 10' WIDE x 6" THICK CONCRETE APRON. LINE OF PROPOSED WALKWAY ABOVE.
 - ADDITIONAL 4" RIGHT-OF-WAY DEDICATED TO ALLEY BY REPLAT.
 - EXISTING CURB CUT, DRIVEWAY AND HANDICAP RAMPS TO REMAIN.
 - NEW FIRE HYDRANT FED BY 6" LINE IN PUBLIC ALLEY.
 - NEW FIRE LANE ACCESS. 4" STRIPING TO BE RED. ADJACENT CURB TO BE PAINTED RED WITH WHITE LETTERING TO READ "FIRE LANE NO PARKING".
 - RAISED 8" WIDE PEDESTRIAN CONNECTION ACROSS ALLEY PER CITY WORK ORDER.
 - NEW 20" WATER UTILITY EASEMENT.
 - NEW 8" PEDESTRIAN ACCESS EASEMENT.
 - 16" HIGH BRICK SEATWALL WITH RECESSED FLUORESCENT STEP LIGHTING. TYPICAL OF 3 AT EACH SEATWALL.
 - BRICK PLASTER AT GATE LOCATIONS, TYPICAL.
 - EXISTING PAID PARKING SPACES TO BE DESIGNATED TO THE PROPOSED PROJECT. TOTAL OF 42.
 - EXISTING SPACES REQUIRED BY EXISTING BUSINESSES TO REMAIN.
 - EXISTING LANDSCAPE AREA.
 - EXISTING CITY SIDEWALK.
 - NEW 5" PUBLIC WATERLINE AND SEWERLINE EASEMENT.
 - EXISTING DUMPSTER ENCLOSURE.
 - PAID PARKING SPACES TO REMAIN.
 - EXISTING LITE POLE TO REMAIN.
 - NEW 4"x10" MOTORCYCLE PARKING-7 TOTAL.
 - CONCRETE PLANTER BOXES LEVEL WITH SIDEWALK.
 - NEW 36" HIGH STUCCO SCREEN WALL SEE 6/A02
 - 36" DIAMETER OUTDOOR TABLE WITH UMBRELLA AND SEATING.
 - NEW PAID PARKING SPACES TO BE DESIGNATED TO THE PROPOSED PROJECT. TOTAL OF 4.
 - 36 SQUARE FOOT PLANTER. SEE LANDSCAPE PLAN.
 - RECYCLING BINS (2) WITHIN COMPACTOR ENCLOSURE.
 - PARKING BUMPER, TYPICAL ALONG PEDESTRIAN WALKWAY.
 - 9" WIDE OPENING IN YARD WALL WITH ADA COMPLIANT ACCESS TO EXISTING SIDEWALK.
 - STRIPPED PEDESTRIAN WALKWAY.
 - COLORLED CONCRETE SIDEWALK TO MATCH BRICK PAVING.
 - EXISTING LANDSCAPING TO REMAIN.



2 Vicinity Map



3 Aerial Photograph

PROJECT NUMBER: 1004927 APPLICATION NUMBER: 06DRB-01632

THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: AUGUST 17, 2006 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Sh. Se</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	5-9-07 Date
<i>Ronald Neen</i> UTILITIES DEVELOPMENT	5/9/07 Date
<i>Christine Samsoral</i> PARKS AND RECREATION DEPARTMENT	5/9/07 Date
<i>Bradley L. Bylan</i> CITY ENGINEER	8/30/07 Date
N/A	
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	
<i>Joe White (alley car)</i> SOLID WASTE MANAGEMENT	5-21-07 Date
<i>Don Wilson</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	8/24/07 Date

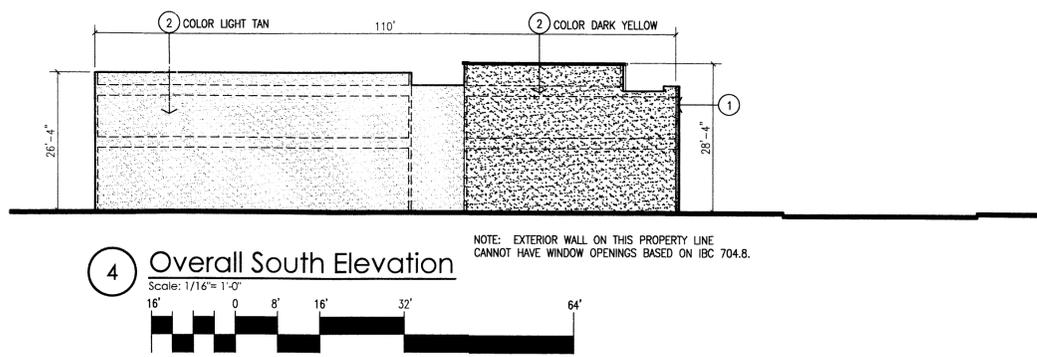
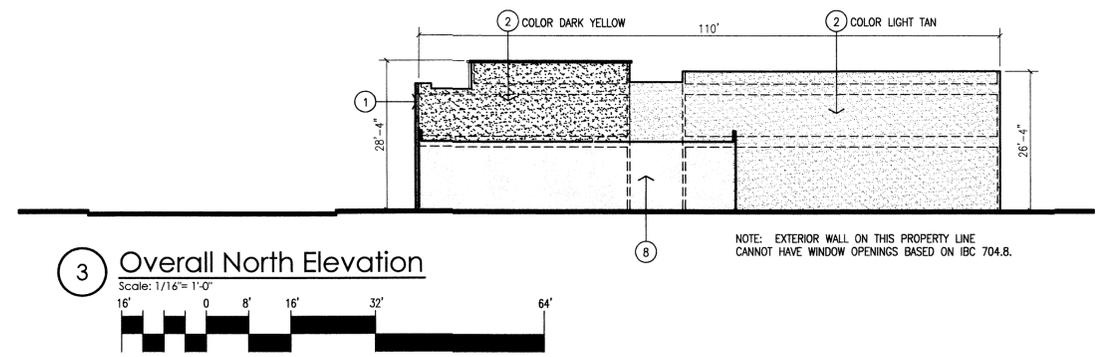
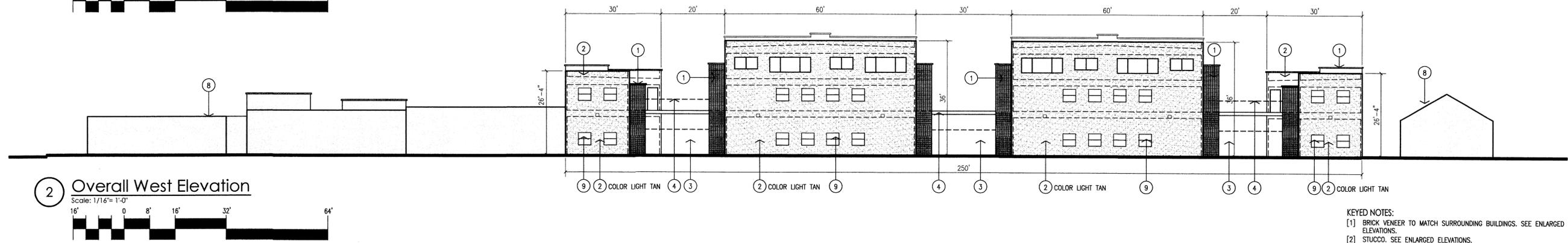
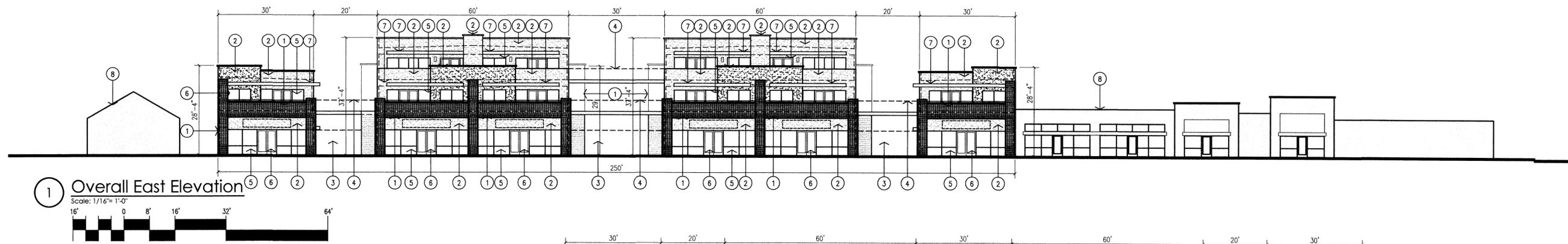
Stephanie L. Shively, Planner 5/18/07

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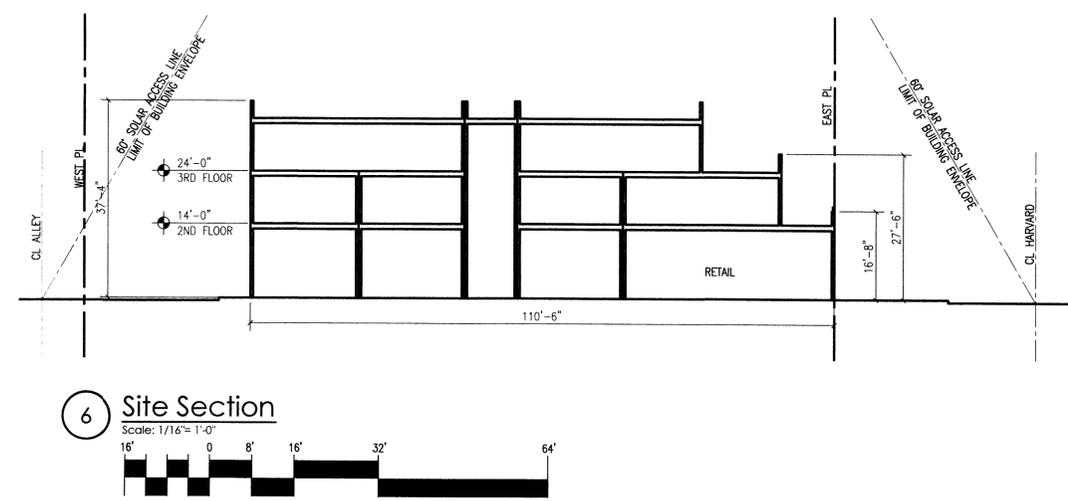
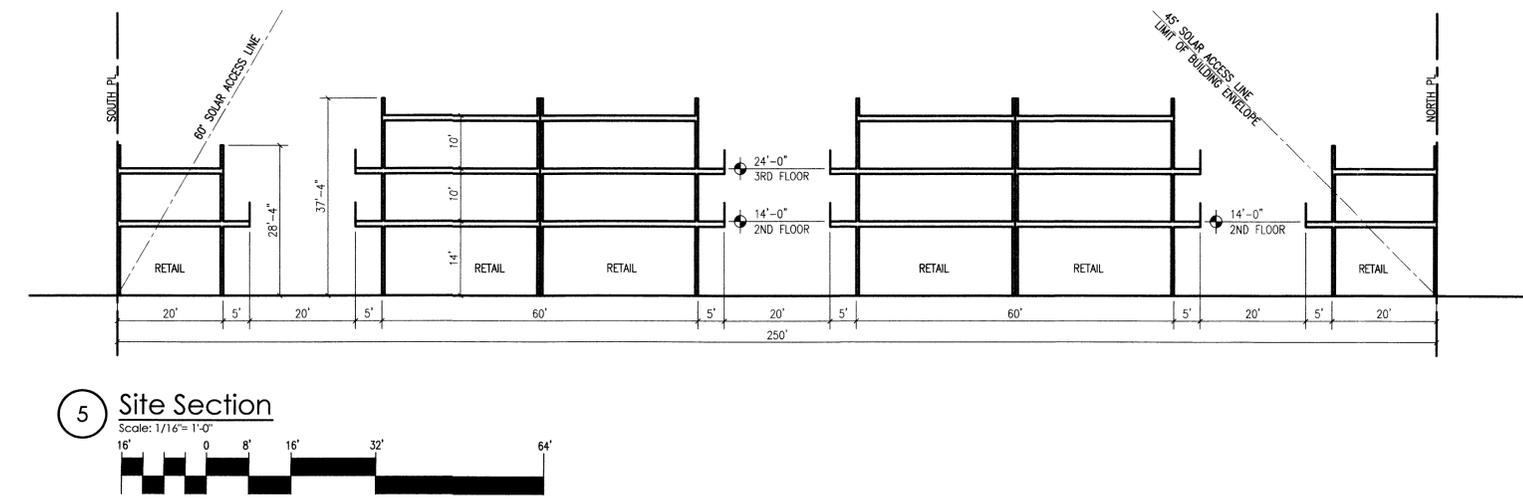
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job number	06-01
drawn by	JDH
project manager	JDH
date	11/14/06

project file
Bricklight Courtyards
Lots 6-10,17-21, Block 1, University Heights
Albuquerque, New Mexico
sheet file
Site Development Plan for Building Permit



- KEYED NOTES:**
- [1] BRICK VENEER TO MATCH SURROUNDING BUILDINGS. SEE ENLARGED ELEVATIONS.
 - [2] STUCCO. SEE ENLARGED ELEVATIONS.
 - [3] WROUGHT IRON FENCE AND GATE. SEE ENLARGED ELEVATIONS.
 - [4] WROUGHT IRON GUARD RAIL. SEE ENLARGED ELEVATIONS.
 - [5] STOREFRONT WINDOW SYSTEM. SEE ENLARGED ELEVATIONS.
 - [6] STOREFRONT DOORS. SEE ENLARGED ELEVATIONS.
 - [7] STEEL CANOPY. SEE ENLARGED ELEVATIONS.
 - [8] EXISTING BUILDINGS TO REMAIN.
 - [9] CLAD WINDOWS. COLOR TO MATCH STOREFRONT.

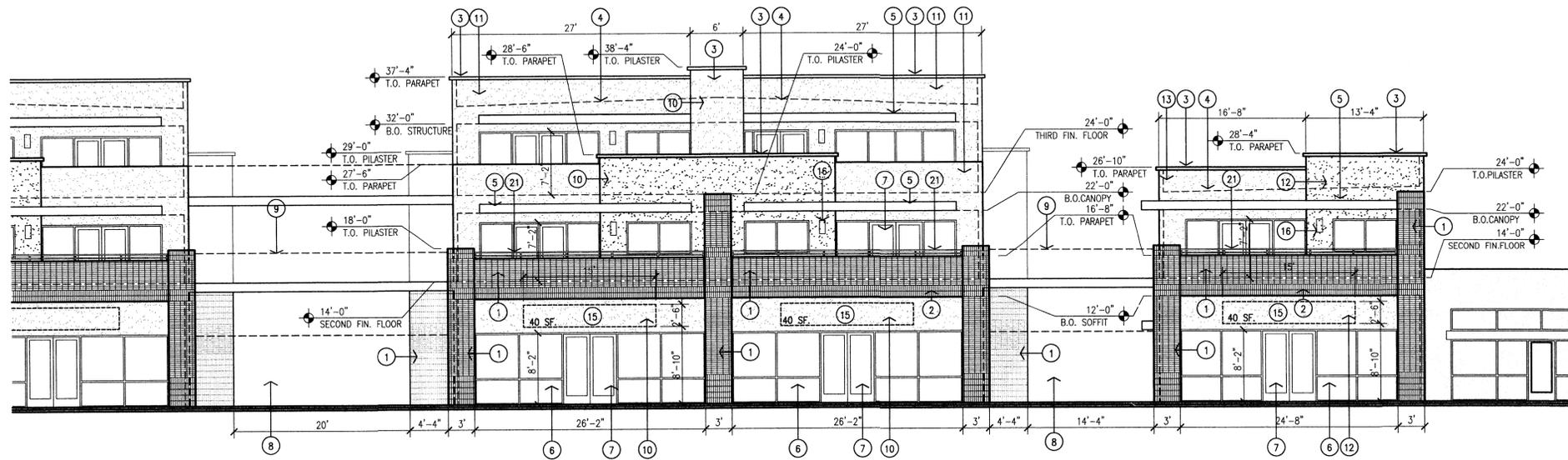


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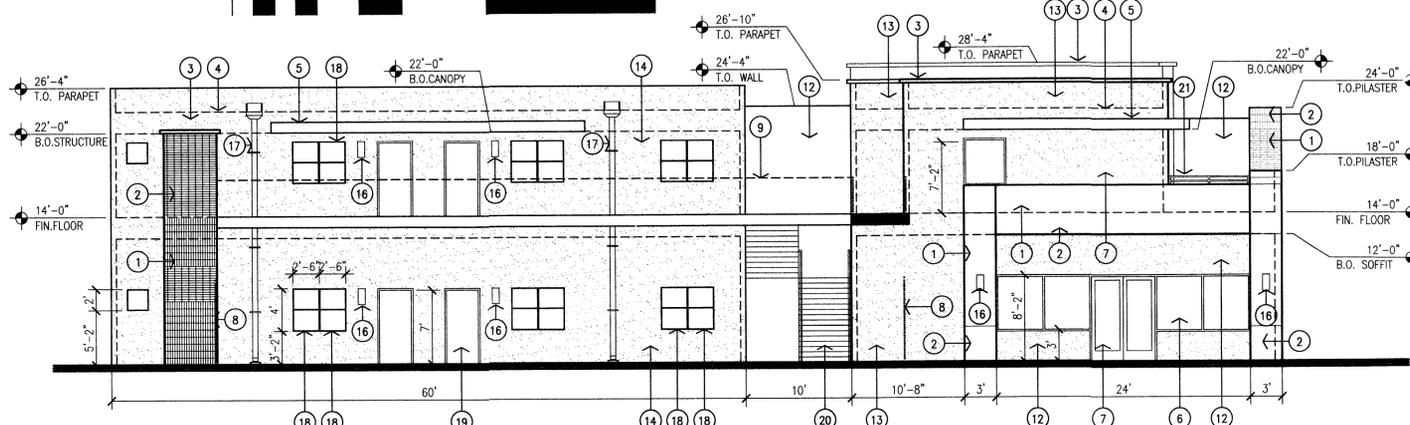
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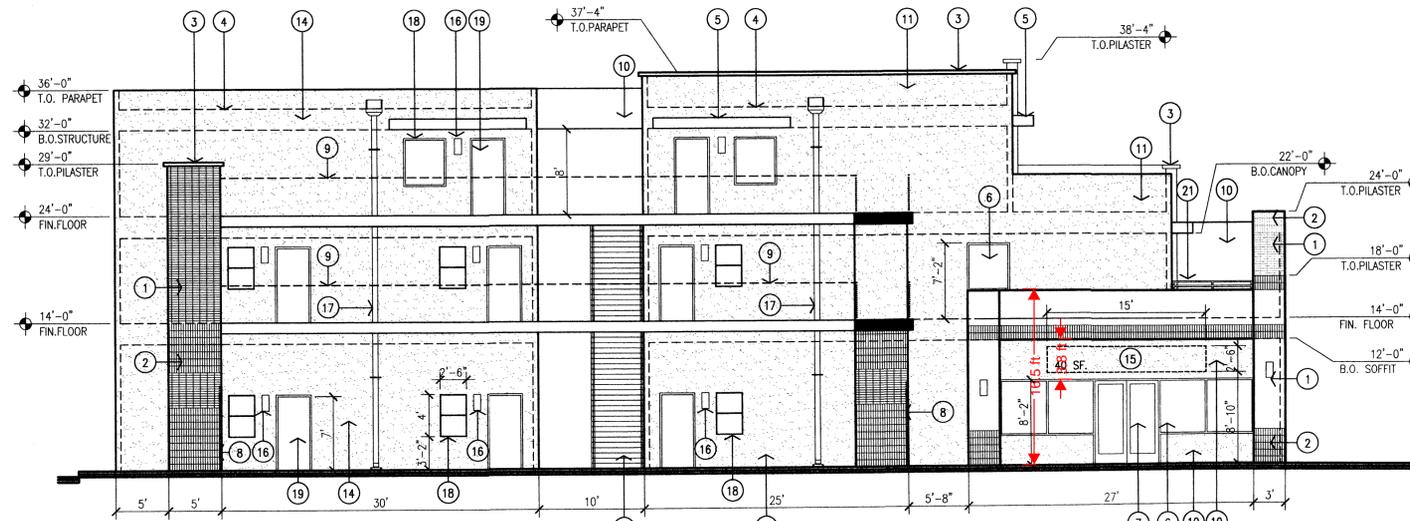
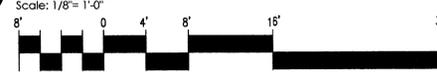
project title
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Albuquerque, New Mexico
sheet title
Overall Exterior Elevations



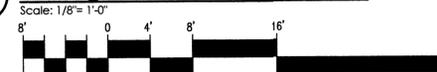
1 Enlarged Partial East Elevation



2 Enlarged Interior Elevation

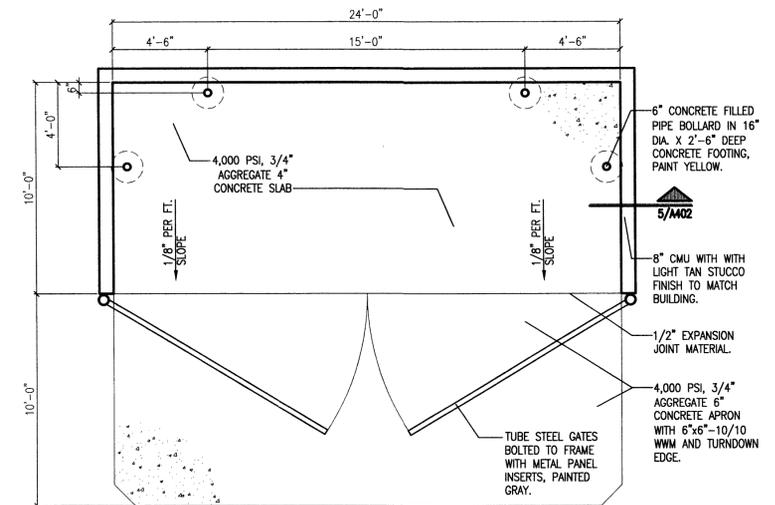


3 Enlarged Interior Elevation



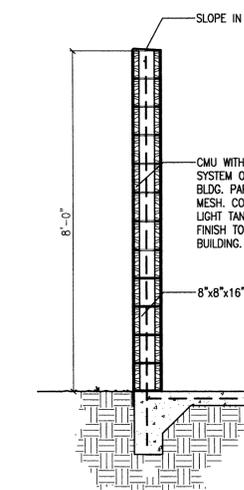
KEYED NOTES:

- [1] MEDIUM RED BRICK VENEER.
- [2] BLACK ACCENT BRICK.
- [3] PARAPET CAP.
- [4] LINE OF STRUCTURE BEYOND.
- [5] STEEL CANOPY, PAINTED GRAY.
- [6] CLEAR ANODIZED STOREFRONT WINDOW SYSTEM WITH BLUE AND GREEN TINTED GLAZING.
- [7] CLEAR ANODIZED STOREFRONT DOOR SYSTEM WITH BLUE AND GREEN TINTED GLAZING.
- [8] WROUGHT IRON FENCE AND GATE. TOP OF FENCE ELEVATION VARIES FROM 6'-0" TO 9'-0".
- [9] WROUGHT IRON GUARD RAILING. ELEVATIONS FROM TOP OF WALKWAY VARIES FROM 3'-6" TO 5'-0".
- [10] STUCCO. COLOR DARK RED.
- [11] STUCCO. COLOR LIGHT BLUE.
- [12] STUCCO. COLOR DARK YELLOW.
- [13] STUCCO. COLOR LIGHT GREEN.
- [14] STUCCO. COLOR LIGHT TAN.
- [15] LOCATION FOR FUTURE RETAIL SIGNAGE. ALL SIGNAGE FOR COMMERCIAL USES TO BE BUILDING MOUNTED, INTERNALLY LIT CHANNEL LETTERS OR "BOX SIGNS" TO BE NO LARGER THAN THE SIZES INDICATED ON THESE ELEVATIONS.
- [16] DECORATIVE WALL MOUNTED DARK SKY COMPLIANT HID LIGHT FIXTURE.
- [17] PREFINISHED COLLECTOR BOX AND DOWNSPOUT. COLOR GRAY.
- [18] METAL CLAD DOUBLE HUNG WINDOWS.
- [19] SOLID CORE WOOD DOOR WITH PEEP HOLE, TYPICAL.
- [20] EXPOSED STEEL STAIR AND RAILING, COLOR GRAY.
- [21] PAINTED STEEL GUARDRAIL, COLOR GRAY.



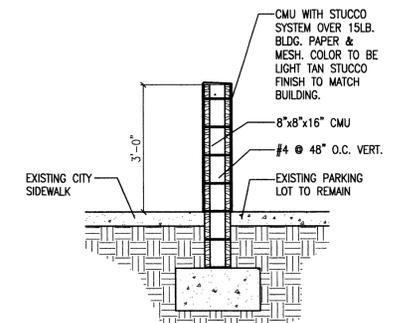
4 Compactor Enclosure Plan

Scale: 1"=20'-0"



5 Enclosure Wall Section

Scale: 1/2"=1'-0"



6 Screen Wall Section

Scale: 1/2"=1'-0"

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