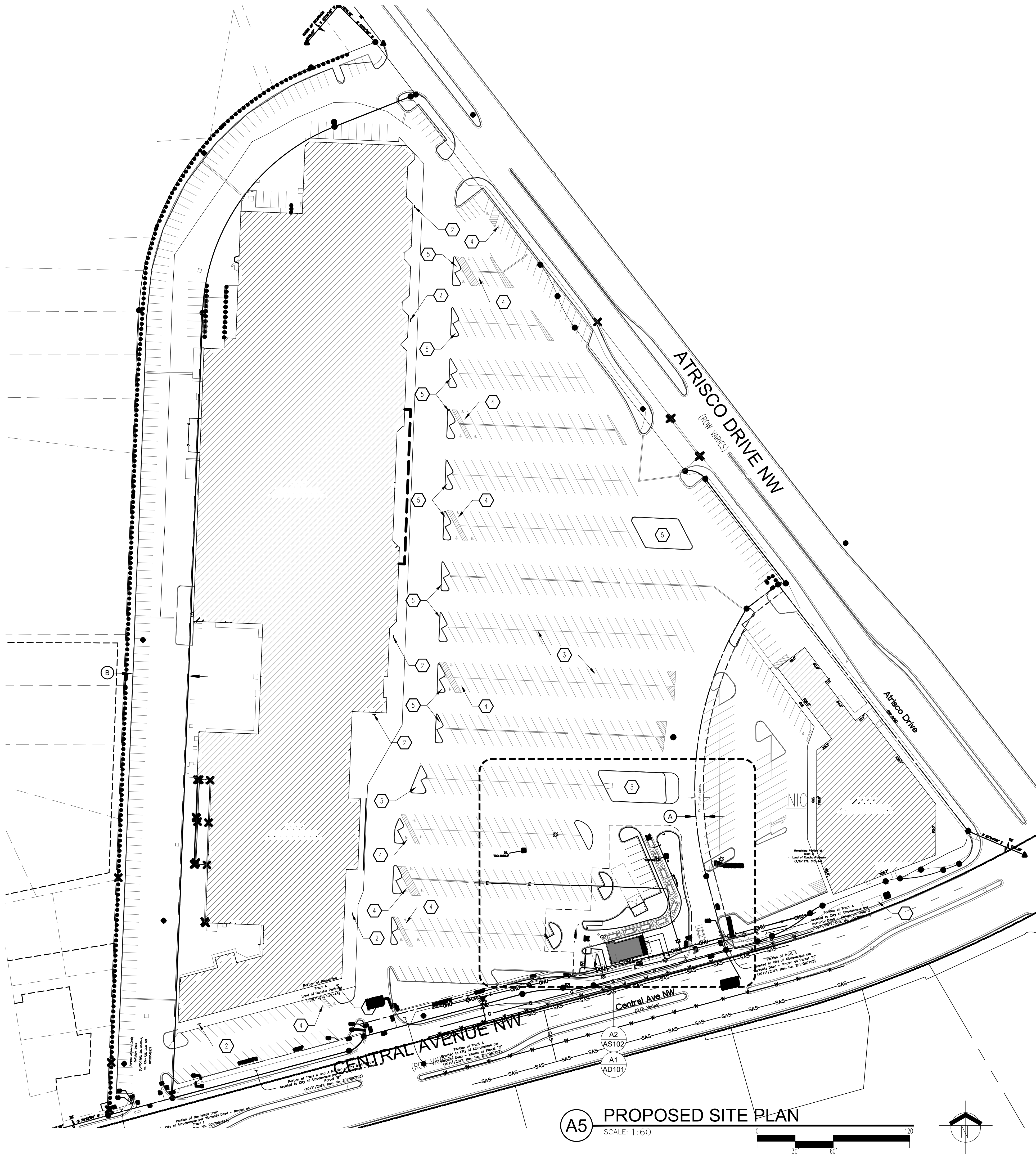


ADMINISTRATIVE AMENDMENT

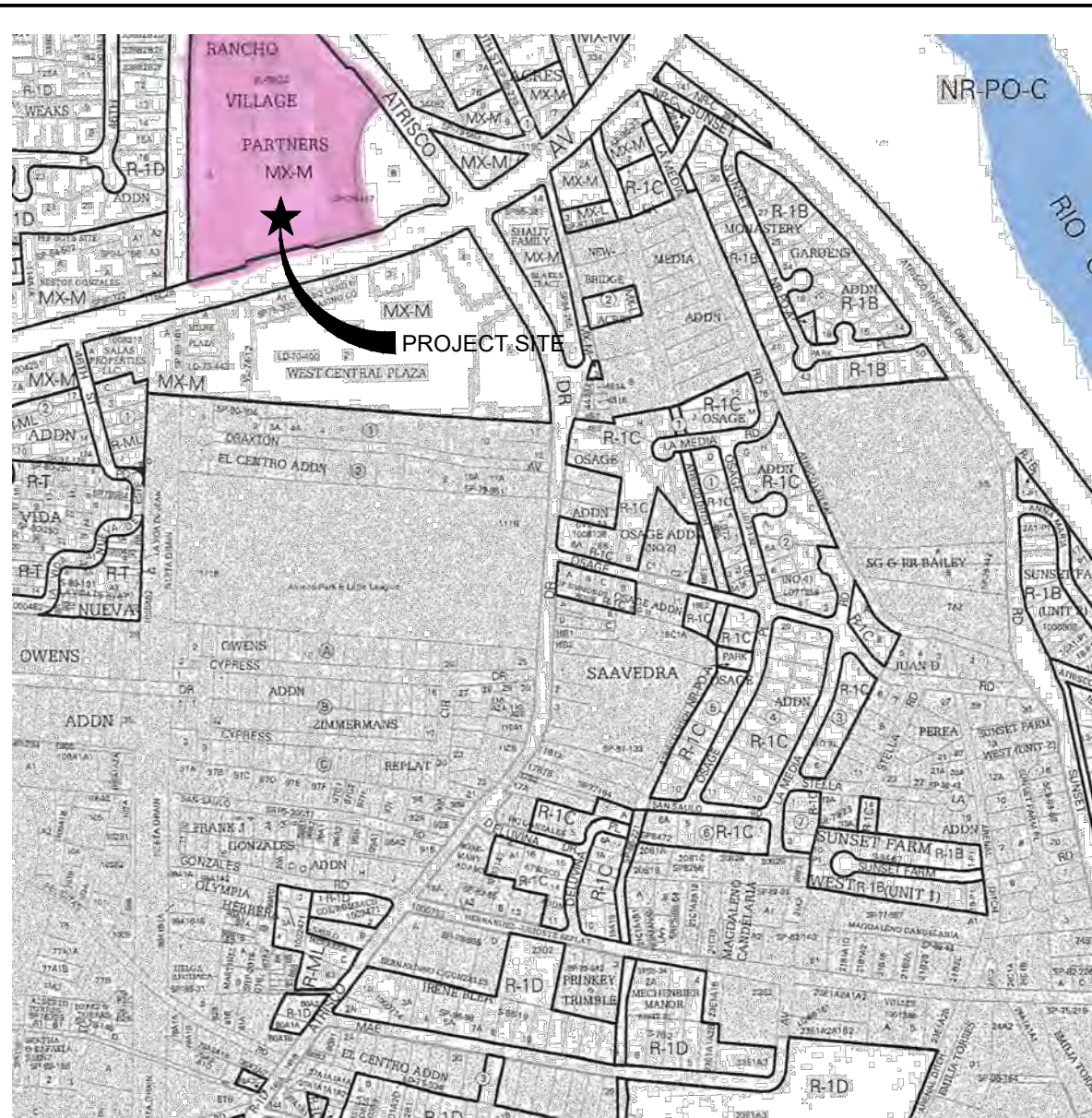
FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



A5 PROPOSED SITE PLAN
SCALE: 1"=60'



VICINITY MAP
Zone Atlas Map K-12-Z

LEGAL DESCRIPTION: TRACTS LETTERED "A" AND "B", A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 9, 1979, IN PLAT BOOK C15, FOLIO 44, TOGETHER WITH THE ADJACENT LAND AREA FORMERLY KNOWN AS A PORTION OF THE ISLETA DRAIN, MORE PARTICULARLY DESCRIBED BY SURVEY OF ELDER COMPANY IN NOVEMBER, 1979, AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER, WHICH IS THE SOUTHWEST CORNER OF THE LAND OF RANCHO VILLAGE PARTNERS ABOVE MENTIONED AND RUNNING:
THENCE S 74°52'10" W, ALONG THE NORTHERLY LINE OF CENTRAL AVENUE WEST, 78.50 FEET TO THE SOUTHWEST CORNER;
THENCE N 02°02'40" E, ALONG THE WESTERLY LINE OF THE FORMER RIGHT-OF-WAY OF THE ISLETA DRAIN, 950.77 FEET TO A POINT OF CURVE;
THENCE NORTHEASTERLY AND TO THE RIGHT, FOLLOWING A CURVE IN SAID FORMER RIGHT-OF-WAY HAVING A RADIUS OF 321.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING 35°09'50" E, 351.30 FEET) A DISTANCE ALONG THE ARC 371.66 FEET TO A POINT OF TANGENCY;
THENCE N 68°17' E, 81.46 FEET TO THE NORTHERMOST CORNER, A POINT ON THE WESTERLY LINE OF ATRISCO DRIVE SW;
THENCE S 37°46'30" E, ALONG SAID ATRISCO DRIVE LINE, 78.05 FEET;
THENCE S 68°17' W, LEAVING SAID LINE, 103.05 FEET TO A POINT OF CURVE;
THENCE SOUTHWESTERLY AND TO THE LEFT, FOLLOWING A CURVE HAVING A RADIUS OF 246.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING S 35°09'50" W, 269.35 FEET) A DISTANCE ALONG THE ARC OF 265.07 FEET TO A POINT OF TANGENCY;
THENCE S 02°02'40" W, 927.59 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES

- "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

KEYED NOTES

- EXISTING COVERED BUS STOP.
- EXISTING BIKE RACK TO REMAIN.
- EXISTING PARKING TO REMAIN.
- EXISTING ACCESSIBLE PARKING STALL TO REMAIN, TYPICAL.
- PARKING ISLAND TO REMAIN.

EASEMENTS

- EXISTING 10' UTILITY EASEMENT (07/09, 1979, C15-44).
- SUBJECT TO EASEMENT OF RECORD RESERVED BY M.R.G.C.D. IN INSTRUMENT NO. 82-4297 (01/27/1982, BK. D-156-A, PGS. 724-725).

GRAPHIC LEGEND

--- PROPERTY LINE

PARKING CALCULATION

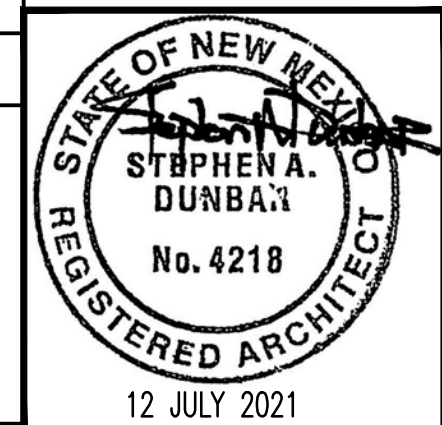
BUILDING AREA	EXISTING	AREA (GROSS SQUARE FEET)
EXISTING MAIN MASS AREA	189,210 SF	189,210 SF
EXISTING CORNER BUILDING	24,999 SF	24,999 SF
PROPOSED PAD	3,000 SF	1,052 SF
TOTAL		215,117 SF
PARKING REQUIREMENTS		REQUIRED
60,000-217,000 SF @ 1/300		524 SPACES
15,000-60,000 SF		180 SPACES
RESTAURANT = 5/1,000 SF		4 SPACES
TOTAL REQUIRED # PARKING SPACES		708 SPACES
LESS 15% (BUS STOP W/ SHELTER)		(-107 SPACES)
TOTAL # PARKING SPACES REQUIRED		601 SPACES
TOTAL # PARKING SPACES PROVIDED		835 SPACES

	REQUIRED	PROVIDED
ACCESSIBLE PARKING SPACE	16 SPACES	26 SPACES
BIKE PARKING SPACE (1 BIKE RACK PER 20 SPACES)	6 RACKS *	6 RACK *

* 5 BIKE SPACE PER 1 BIKE RACK

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



STARBUCKS
4201 CENTRAL AVE. NW
ALBUQUERQUE, NEW MEXICO 87105

PROJECT TITLE: **OVERALL SITE PLAN**

PROJECT MANAGER: **DEVIN NGUYEN**

DRAWN BY: **DIN**

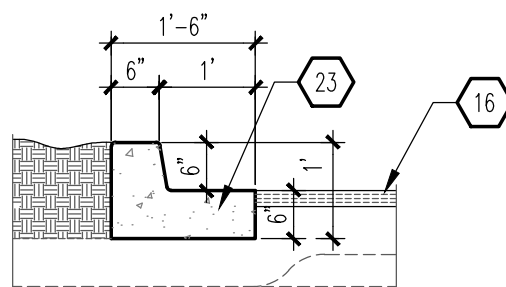
DATE: **16 FEB 2021**

SCALE: **AS NOTED**

SHEET: **AS101**



NOTE:
RE: SITEPLAN FOR LOCATIONS OF PAVEMENT SECTION
DESIGN PER THE GEOTECHNICAL INVESTIGATION
FOLLOW COA STANDARD DRAWING #2415B



CURB & GUTTER

NOTE:
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION
DESIGN PER THE GEOTECHNICAL INVESTIGATION
FOLLOW COA STANDARD DRAWING #2415B

NOTE:
INSTALL 1" TOOLED RADIUS
ALL EXPOSED EDGES

NOTE:
H.C RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM
W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S.

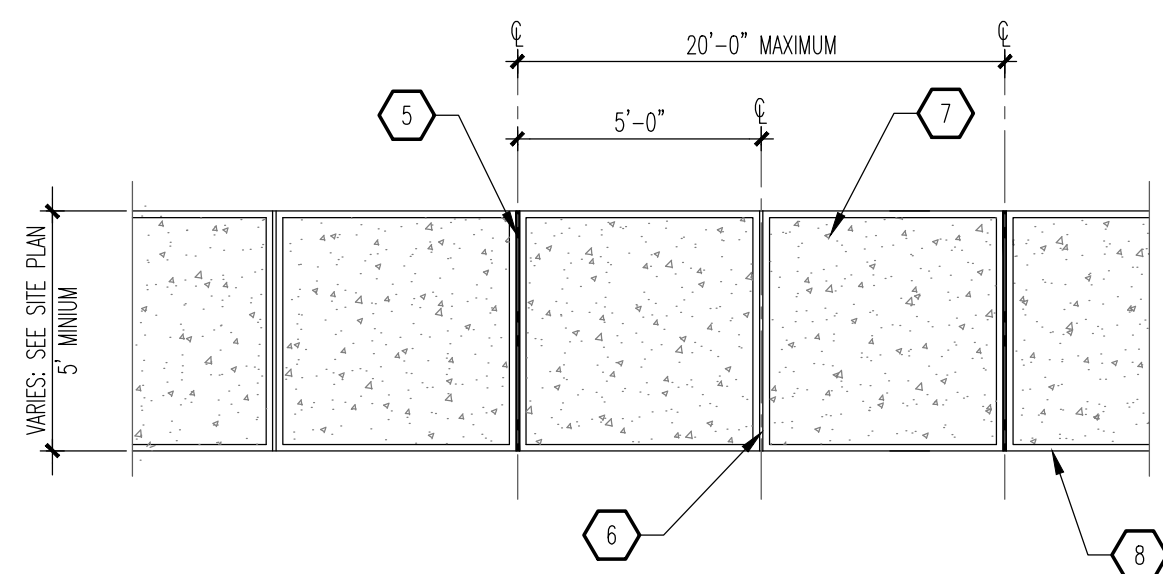
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NOTE

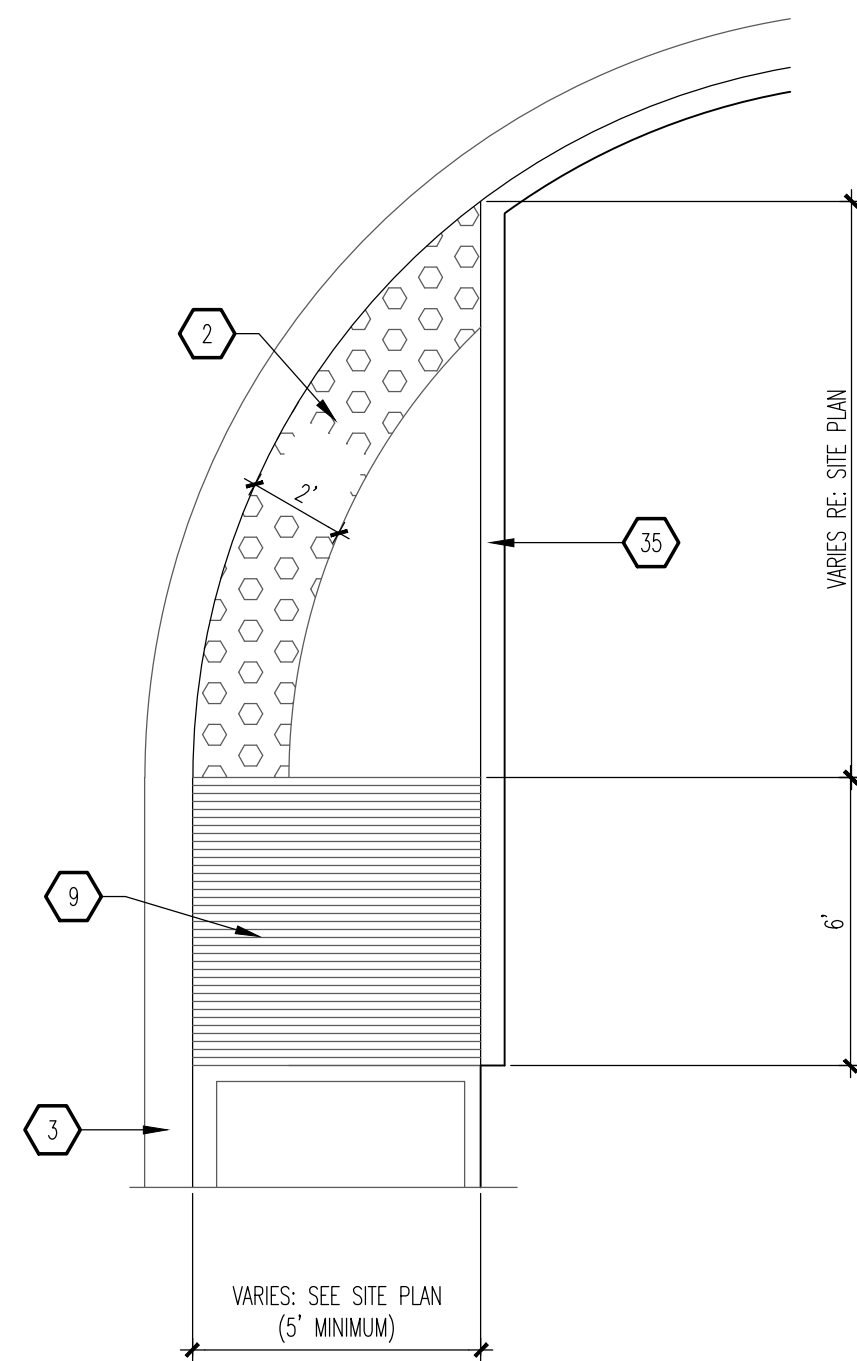
HANDICAP RAMPS SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM WITH ALL APPLICABLE ANSI REQUIREMENTS. GC SHALL VERIFY CONFORMANCE WITH ALL APPLICABLE ANSI REQUIREMENT.

Plan view of the landscape island. The island is 9'-0" wide and 40'-0" long. It features a central rectangular area with rounded corners, labeled "LANDSCAPE ISLAND". The island is divided into sections by a horizontal line and a vertical line. The horizontal line is labeled "NOTE: HALF ISLAND WHERE OCCURS RE: SITE PLAN FOR LOCATION". The vertical line is labeled "SEE B1/1.1". The island is surrounded by a 20'-0" wide area. The island is divided into sections by a horizontal line and a vertical line. The horizontal line is labeled "NOTE: HALF ISLAND WHERE OCCURS RE: SITE PLAN FOR LOCATION". The vertical line is labeled "SEE B1/1.1". The island is surrounded by a 20'-0" wide area. The island is divided into sections by a horizontal line and a vertical line. The horizontal line is labeled "NOTE: HALF ISLAND WHERE OCCURS RE: SITE PLAN FOR LOCATION". The vertical line is labeled "SEE B1/1.1". The island is surrounded by a 20'-0" wide area.

SCALE: 1/4" = 1'-0"



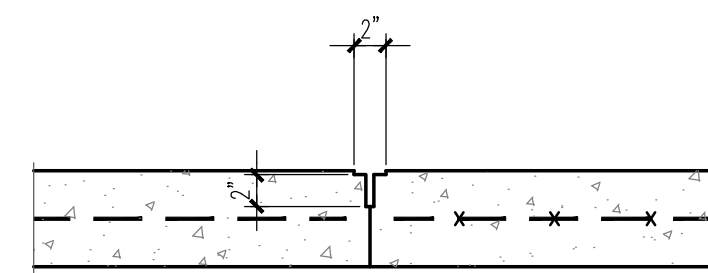
SCALE: $3/4" = 1'-0"$



NOTE:

FOLLOW COA STANDARD DRAWING #2443

EXPANSION JOINT



CONTROL JOINT

NOTE:

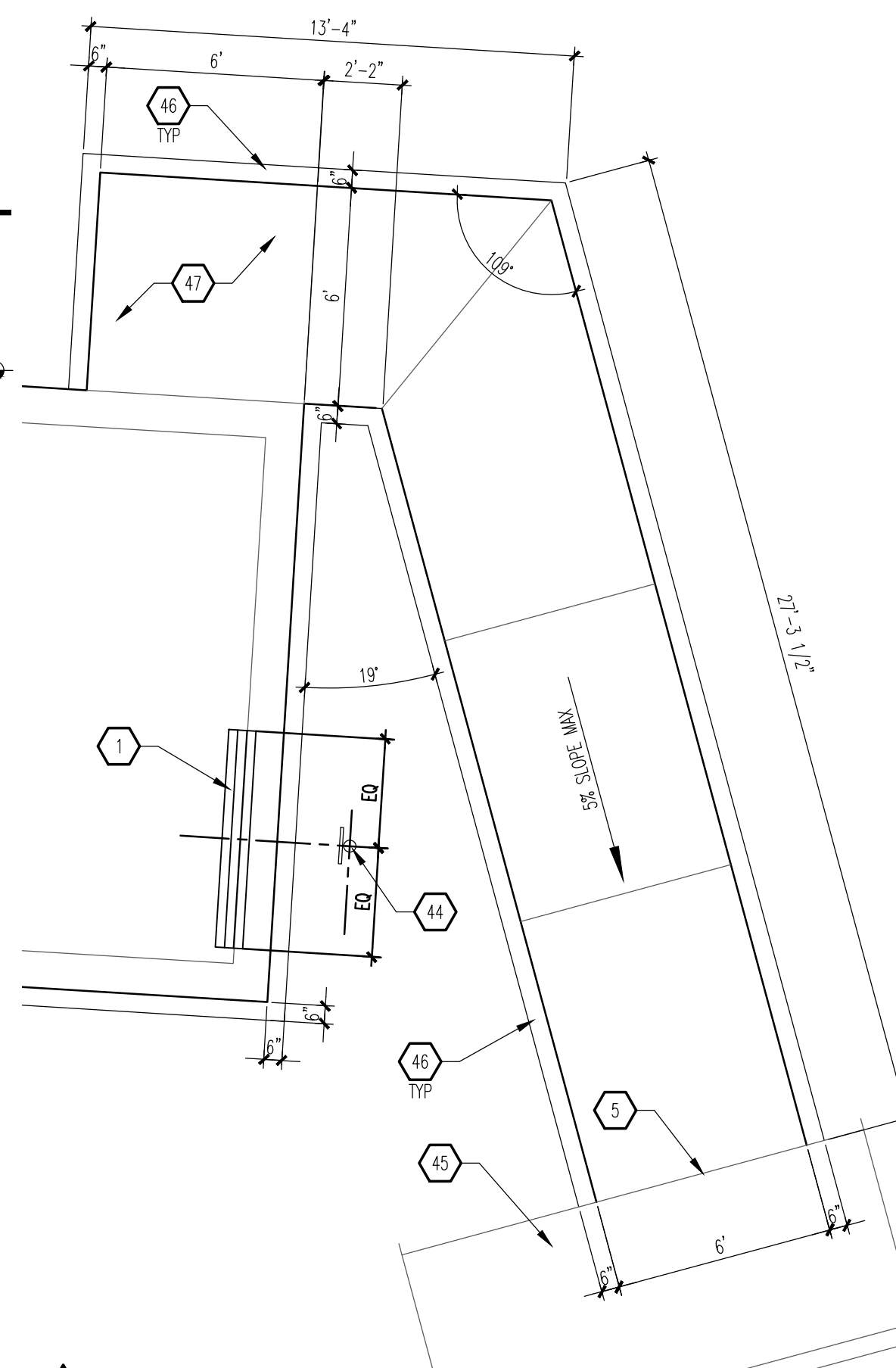
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY FIXTURES, POLE, BASE, SHALL WITHSTAND MINIMUM 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY HAVING JURISDICTION; HOWEVER IS MORE RESTRICTIVE.
2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODES REQUIREMENTS.
3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22'. GENERAL CONTRACTOR SHALL VERIFY WITH ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL.

GENERAL NOTES

A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

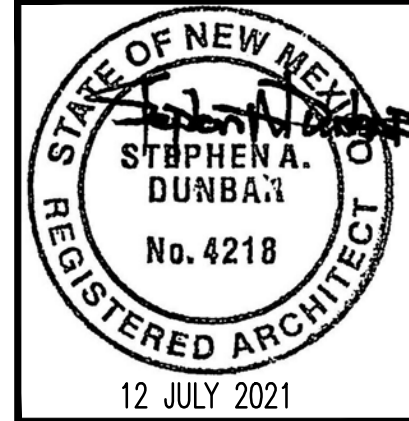
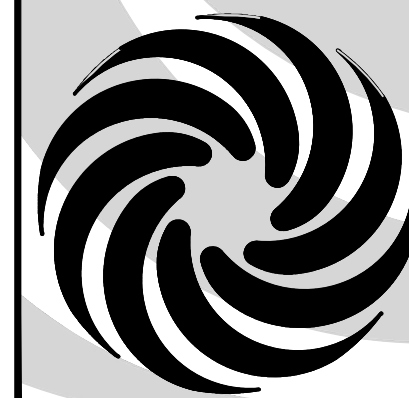
KEYED NOTES

1. WHEEL STOP: SEE B5/A1.2.
2. 2" ~~thick~~ ^{thick} ~~thick~~ ^{thick} APPROVED INDICATED DOME STRIP.
3. CURB AND GUTTER: SEE B1/A1.1.
4. CONCRETE SIDEWALK: SEE B3/A1.1.
5. CONCRETE EXPANSION JOINT: SEE B5/A1.1.
6. CONCRETE CONTROL JOINT: SEE B5/A1.1.
7. BROOM FINISH CONCRETE SURFACE AREA INSIDE OF TOOLED EDGE TO CREATE PICTURE FRAME EFFECT.
8. SMOOTH TOOLED FINISH AROUND EDGES, TYPICAL.
9. MONOLITHIC CONCRETE HANDICAP RAMP INTEGRALLY COLORED DAVIS COLORS #160 "BRICK RED", SMOOTH TEXTURE FINISH WITH $\frac{1}{2}$ " DEEP $\times \frac{1}{2}$ " WIDE GROOVES AT 2' OC.
10. CONCRETE FLUSH WITH PAVEMENT.
11. CURB, BEYOND.
12. 2% CROSS SLOPE, MAXIMUM.
13. RAMP, BEYOND.
14. RETAINING CURB.
15. SUBGRADE: COMPACTED AS SPECIFIED.
16. PAVEMENT AS SPECIFIED.
17. CONCRETE TURNDOWN CURB.
18. 4" THICK CONCRETE SIDEWALK.
19. SIDEWALK ELEVATIONS VARY - HOLD FLUSH WITH FINISHED FLOOR AT ENTRANCE WAYS. PLANTING AREAS MAY EXIST BETWEEN THE BUILDING AND THE BACK-OF-SIDEWALK (SEE SITE PLAN). EXPANSION JOINTS DO NOT APPLY TO SIDEWALK SECTION ADJACENT TO PLANTING AREAS.
20. $\frac{1}{2}$ " EXPANSION JOINT MATERIAL.
21. STABILIZED AGGREGATE, BASE COARSE, AS SPECIFIED.
22. STRUCTURAL FOUNDATION SYSTEM: SEE STRUCTURAL FOUNDATION PLAN.
23. CONCRETE CURB AND GUTTER.
24. SQUARE, STRAIGHT, STEEL ANCHOR BASE POLE. POLE & BRACKETS SHALL BE FACTORY FINISHED, PAINTED SEMI GLOSS BLACK WRAP POLES FOR SHIPPING. PROVIDE 1 QT. MATCHING PAINT TO TOUCH ANY SCRATCHES ON POLES ON JOB. SEE LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.
25. CONNECT GROUND WIRE TO REINFORCING BARS.
26. ~~1" #4 BARS AT 12" OC~~ ^{1" #4 BARS AT 12" OC} ~~1" #4 BARS AT 12" OC~~ ^{1" #4 BARS AT 12" OC}
27. ~~1" #4 BARS AT 12" OC~~ ^{1" #4 BARS AT 12" OC} ~~1" #4 BARS AT 12" OC~~ ^{1" #4 BARS AT 12" OC}
28. CONDUIT AS INDICATED ON ELECTRICAL PLAN.
29. (6) #6 BARS VERTICAL.
30. 8'-0" COPPER WELD GROUND ROD BY ELECTRICAL CONTRACTOR.
31. NON-SHRINK GROUT.
32. 2" CHAMFER.
33. FINISHED GRADE.
34. #3 TIES @ 12" OC.
35. 6" RETAINING CURB.
36. MONOLITHIC INTEGRALLY COLORED CONCRETE HANDICAP RAMP (4,000 PSI): PROVIDE ARCHITECT WITH SAMPLE COLOR FOR APPROVAL.
37. PROVIDE $\frac{1}{2}$ " DEEP BY $\frac{1}{2}$ " WIDE GROOVES @ 2' OC. EXTEND THE PULL WIDTH AND DEPTH OF THE RAMP.
38. 6" STANDUP CURB OR CURB AND GUTTER AS APPLICABLE (SEE SITE PLAN).
39. PROVIDE ADA APPROVED TRUNCATED STRIP AT 2' WIDTH.
40. EXPANSION JOINT.
41. WIDTH VARIES (6" MINIMUM): SEE SITE PLAN.
42. PROVIDE A 5' SLAND AT TOP OF RAMP FOR CHANGE IN DIRECTION.
43. ~~1" #4 BARS AT 12" OC~~ ^{1" #4 BARS AT 12" OC} ~~1" #4 BARS AT 12" OC~~ ^{1" #4 BARS AT 12" OC}
44. EXISTING PUBLIC SIDEWALK TO REMAIN.
45. 6" HIGH CONCRETE CURB.
46. CONCRETE LANDING.



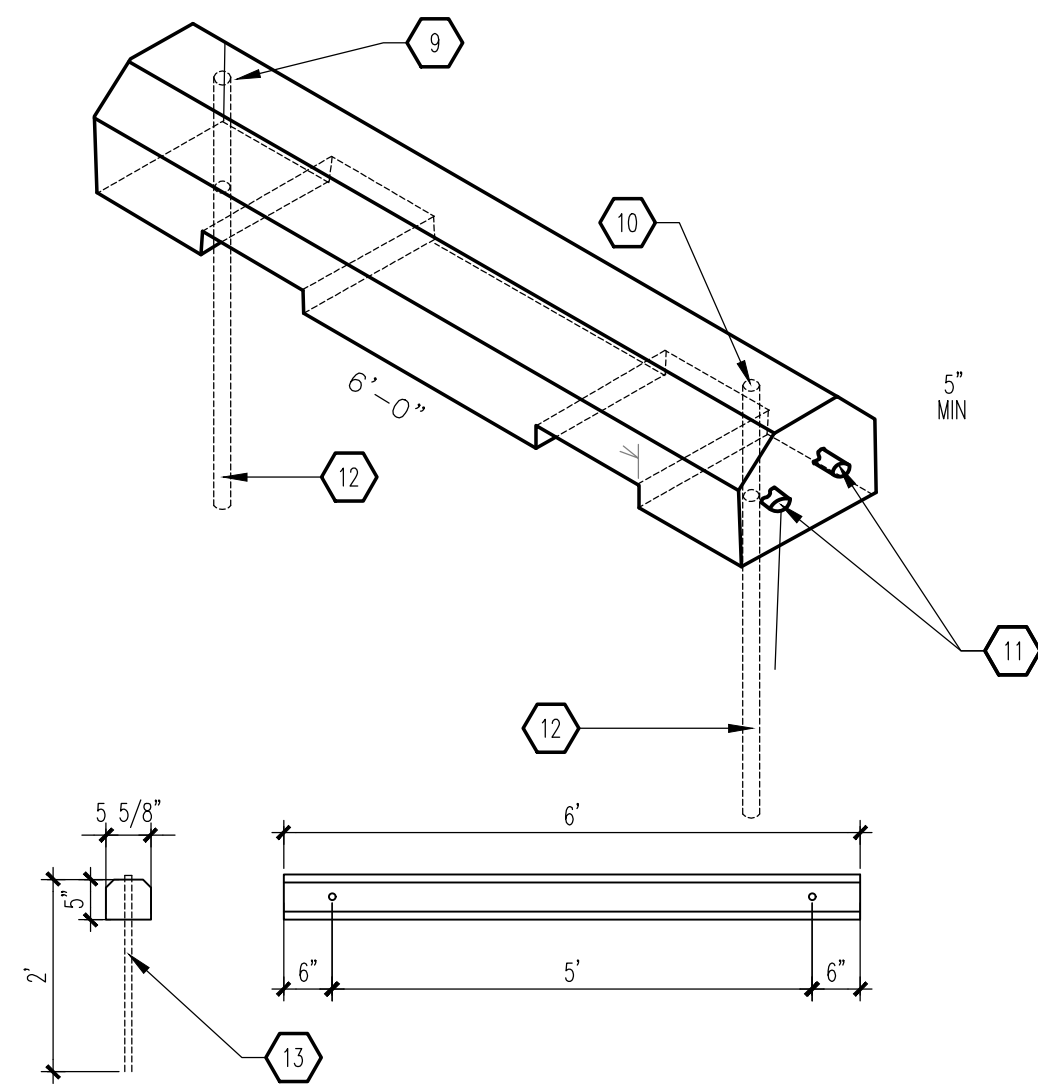
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2	10 OCT 2021	DTN	COA COMMENTS
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MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

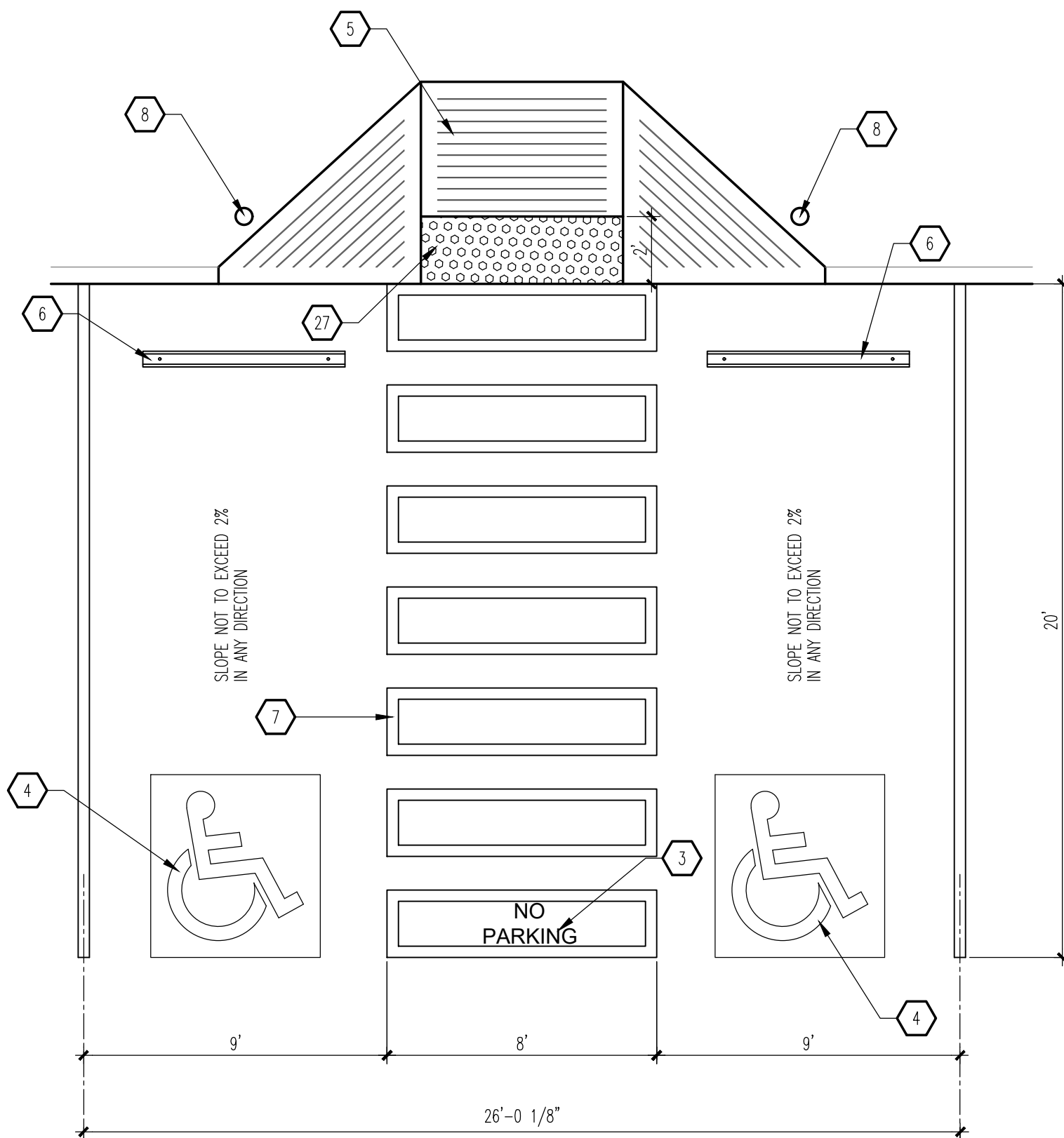


PROJECT TITLE	STARBUCKS		
	4201 CENTRAL AVE NW ALBUQUERQUE, NEW MEXICO 87105		
PROJECT MANAGER	DEWIN NGUYEN	JOB NO. #80	DRAWN BY: DTN
SHEET TITLE		SITE DETAILS	

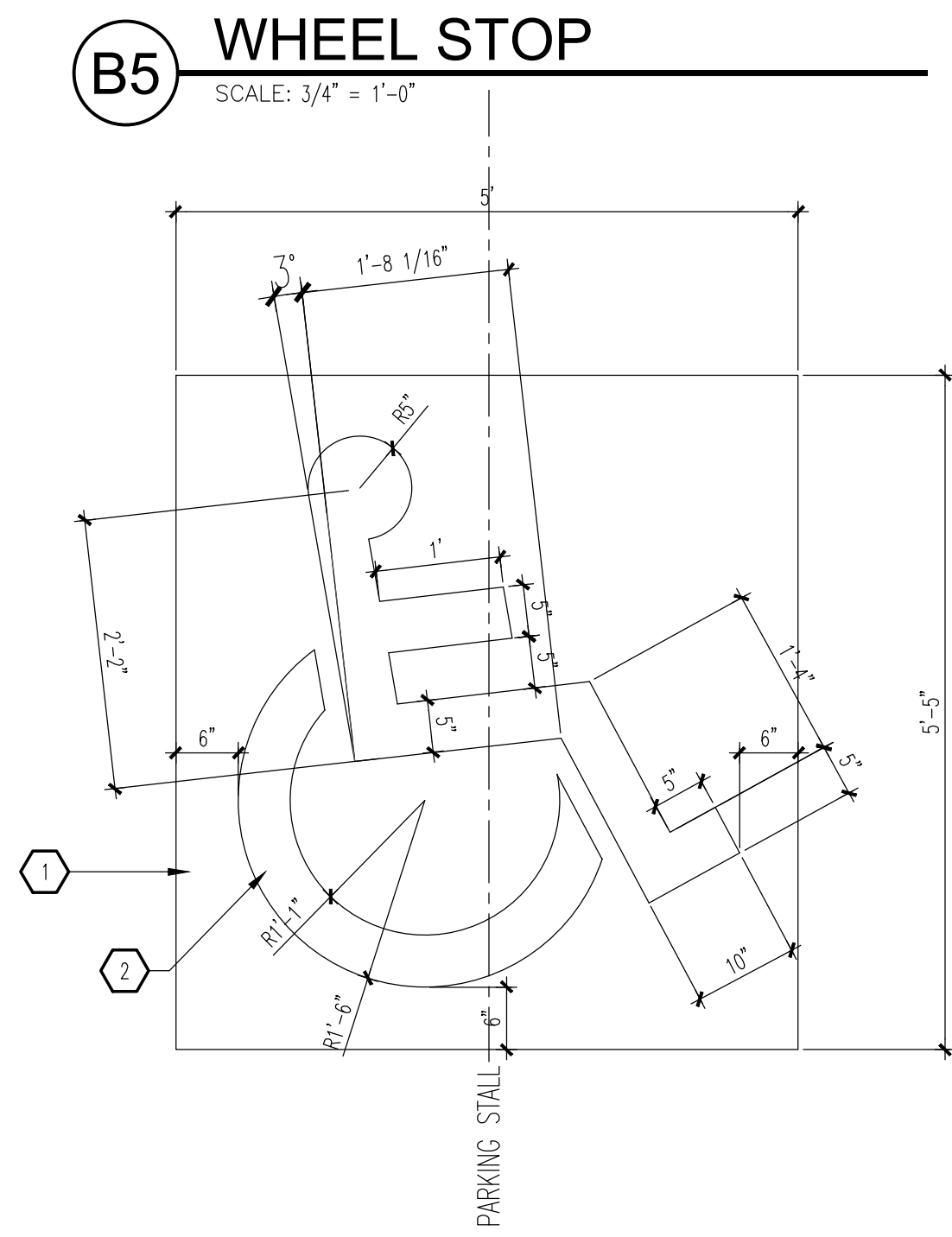
DATE:	sheet-
16 FEB 2021	A1.1
SCALE:	of-
AS NOTED	



B4 MISC. SIGNAGE
SCALE: 3/4" = 1'-0"
NOTE:



A3 HC PARKING PLAN (VAN ACCESIBLE)
SCALE: 1/4" = 1'-0"



A5 HANDICAP SIGNAGE

A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

1. PAINT WHITE.
2. PAINT WHITE.
3. 12" HIGH BY 4" WIDE "NO PARKING" MARKING - WHITE PAINT.
4. HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
5. WHEEL STOP: SEE A3/A1.1.
6. FLARED RAMP: SEE B5/1.2.
7. WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
8. HANDICAP POST SIGNAGE: SEE B4/A1.2.
9. TOP OF REINFORCING BAR FLUSH WITH TOP OF CONCRETE.
10. 3/4" DIAMETER HOLE.
11. (2) #4 BARS CONTINUOUS.
12. 3/4" REINFORCING BAR EMBEDDED 24" INTO SUBGRADE.
13. #5 REINFORCING BAR.
14. NOT USED.
15. 3,500 PSI CONCRETE FOUNDATION.
16. FINISHED SURFACE.
17. BITUMINOUS JOINT FILLER (CONCRETE PAVEMENT ONLY).
18. 6" DIAMETER STEEL PIPE FILLED WITH CONCRETE.
19. ROUND CONCRETE TOP.
20. PAINT SAFETY YELLOW.
21. 2" OD GALVANIZED STEEL SIGN POST.
22. "VAN ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN.
23. 1/8" STEEL PLATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.
24. CONCRETE FOUNDATION.
25. PRIME AND PAINT STEEL MEMBER FLAT BLACK.
26. 2 3/4" STANDARD DUTY PIPE CENTER SUPPORT.
27. ADA APPROVED TRUNCATED CONE STRIP.

REV	DATE	BY	REVISION
A			
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F			

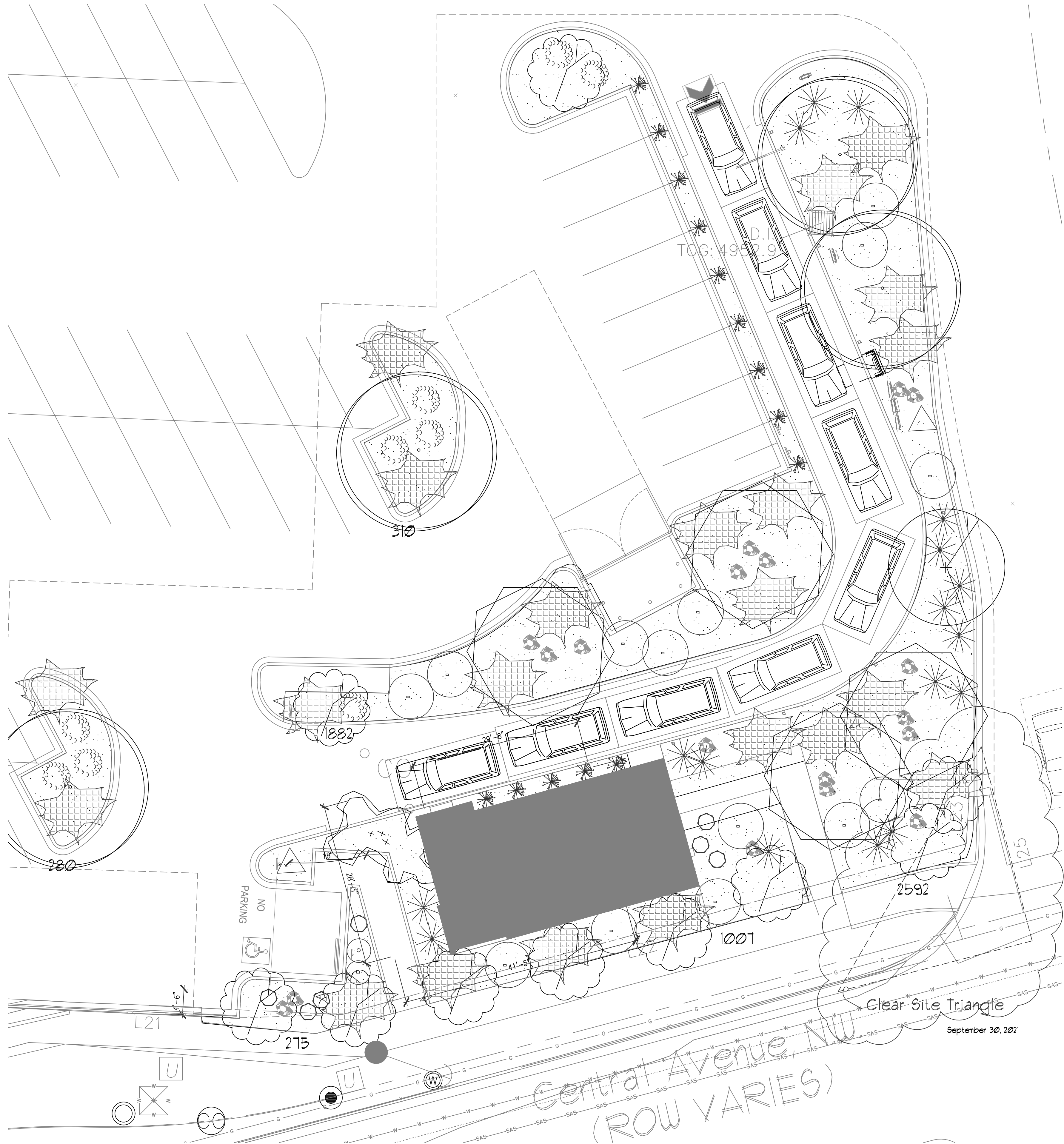


MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



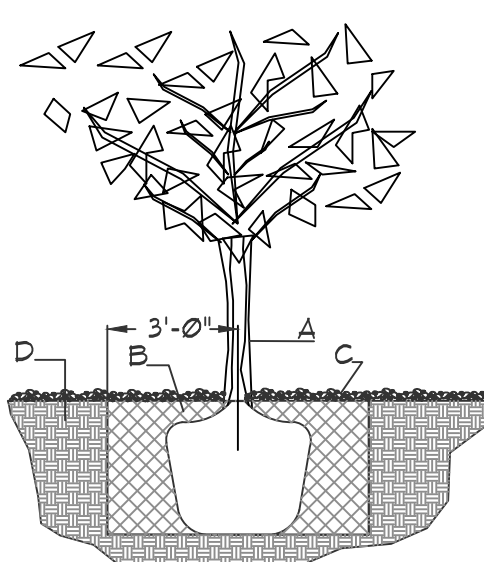
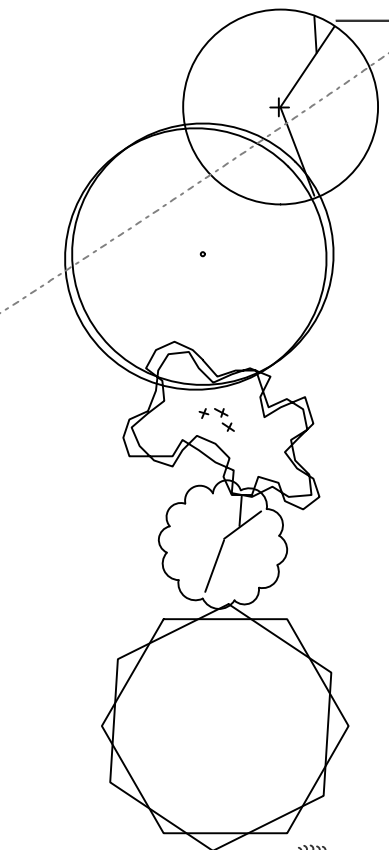
PROJECT TITLE STARBUCKS 4201 CENTRAL AVE. NW ALBUQUERQUE, NEW MEXICO 87105	PROJECT MANAGER DEVIN NGUYEN	JOB NO. 460	DRAWN BY: DTN
	SHEET TITLE SITE DETAILS		

DATE: 16 FEB 2021	sheet- A1.2
SCALE: AS NOTED	of-



LANDSCAPE LEGEND

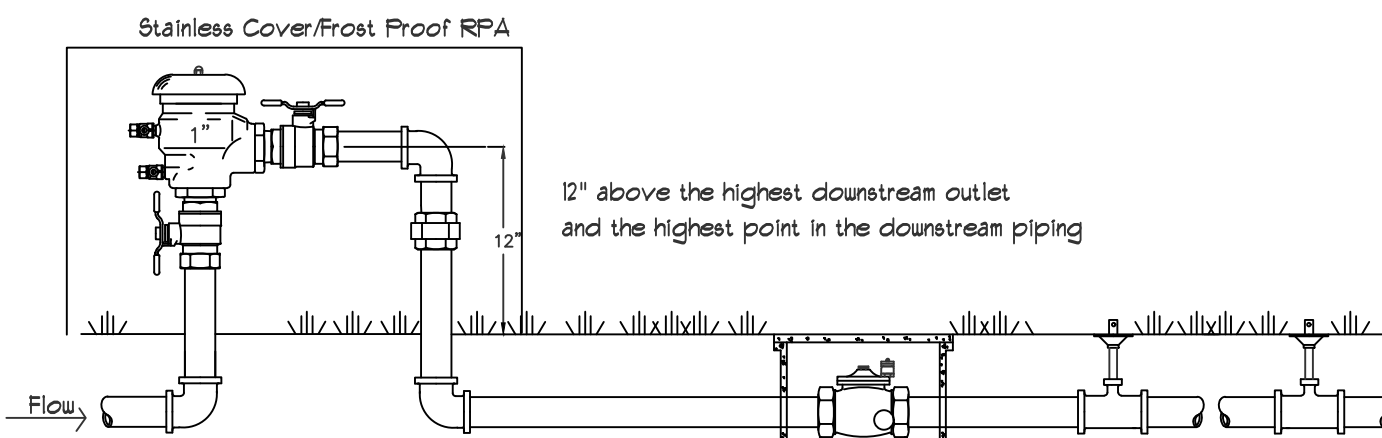
QTY	SIZE	COMMON/BOTANICAL	HXS	H2O USE
Trees				
1	2" cal	Washington Hawthorne	20x20 400	400 M+
		Crataegus phoenopyrum		
		Multi-Stem Box or B&B		
4	2" cal	Frontier Elm	40x30 900	3600 M
		Ulmus "Frontier"		
1	15 Gal	Crape Myrtle	20x15 225	225 M
		Lagerstroemia indica Muskogee		
10	2" Cal	Oklahoma Redbud	15x12 144	1440 M
		Cercis canadensis, var. texensis		
4	15 Gal	Desert Willow	20x25 625	2500 M
		Chilopsis linearis Tree Coverage 8165		
Shrubs & Groundcovers				
9	5 Gal	Raphiolepis indica	36	324 M
2	5 Gal	Butterfly Bush	5x1 49	98 M
		Buddleia davidii		
14	5 Gal	Karl Foerster Grass	25x3 9	126 M
		Calamagrostis acutiflora "Karl Foerster"		
2	5 Gal	Blue Mist	3x5 25	50 M
		Coryopteris x clandonensis		
1	5 Gal	Autumn Sage	2x3 9	63 M
		Salvia greggii		
11	5 Gal	Red Yucca	3x6 36	612 L
		Hesperaloe parviflora		
14	5 Gal	Gro-Low Sumac	3x8 64	896 L
		Rhus aromatica "Gro-Low"		
22	5 Gal	Buffalo Juniper	1x12 144	968 M
		Juniperus sabina "Buffalo"		
18	2-3cf	Boulders		
		To be placed at contractor discretion		
6426	3" Min Depth	Landscape Gravel / No Fabric		
		Brown Fines		
		Landscape Beds shall be graded so that rain water does not run off of Beds to parking. Depress beds slightly in center and grade up to back of curb.		
		Do not vary grades as shown on grading plan.		



TREE PLANTING DETAIL

NTS

- GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.



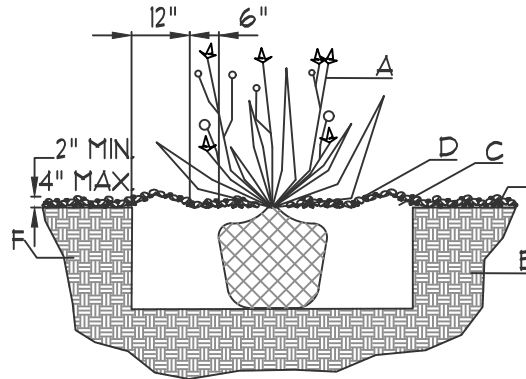
FEBCO MODEL 765

Pressure Vacuum Breaker
Outside Installation

SHRUB PLANTING DETAIL

NTS

- GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- A. SHRUB.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. EARTH BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.



LANDSCAPE NOTES:

Landscape Contractor is responsible for their own takeoff of quantities and materials. The quantities shown in the legend are for permitting only and shall not be considered for bidding purposes. Any discrepancy between quantities shown on the plan and in the legend shall be ruled by quantities and areas as shown on the plan.

All Nursery stock shall meet the standards of the American Standard for Nursery Stock, April 14, 2014 Edition, ANSI Z601-2014. Only plant material meeting the standards of this publication will be accepted. Only Grade A, number one plant material shall be used. Any trees, shrubs, or groundcover not meeting this requirement shall be removed from the project at the contractors expense, and replaced with material meeting the American Standard requirements. It is the discretion of the Landscape Architect to reject any and all plants not meeting this standard and require replacement at the Contractors expense.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel to a minimum depth of 3" shall be placed in all landscape areas as indicated on the plan. Any area that is less than 3" shall be rejected and repaired at the Contractors expense.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (100' length) with 3 loops at a final radius of 6' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 1 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.

Trees and shrubs shall be on separate valves, no exceptions. Trees and shrubs zoned together shall be removed and replaced at the Contractors expense.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

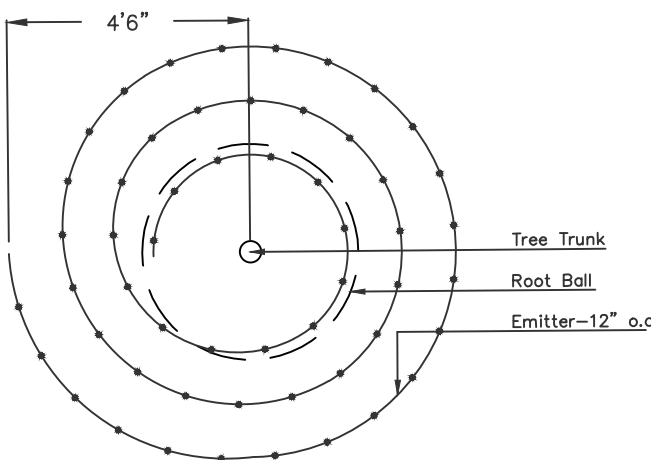
Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

Total Site Area	20091
Total Building Area	-929
Net Lot Area	19162
Landscape Requirement	15%
Total Landscape Required	2875
Total Landscape Provided	6426
TOTAL LIVE GROUNDCOVER REQUIRED	1928
TOTAL LIVE GROUNDCOVER PROVIDED	3131
TOTAL LIVE PLANTS REQUIRED	4820
TOTAL LIVE PLANTS PROVIDED	1302



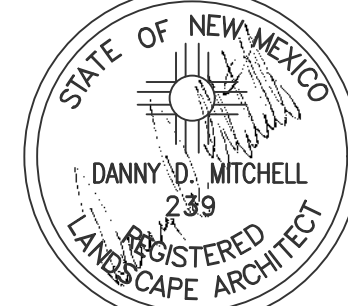
Netafim Spiral Detail



danny@mitchellassociatesllc.com

505.639.9583

Landscape Architect



July 12, 2021

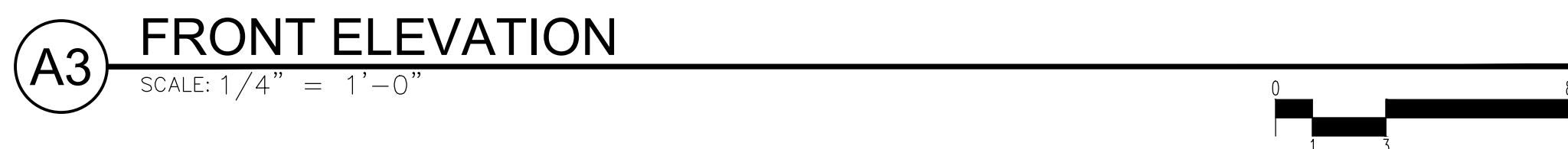
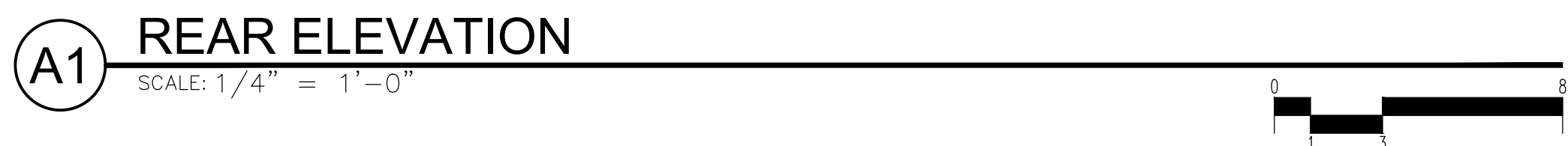
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MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

31 JULY 2020

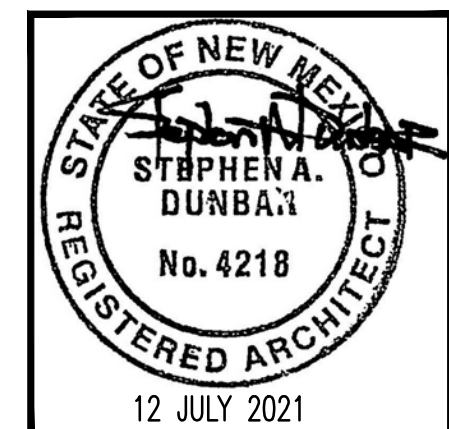
PROJECT: STARBUCKS CENTRAL & ATRISCO ALBUQUERQUE, NEW MEXICO 87XXX	JOB NO.: A80	DRAWN BY: DTN
PROJECT MANAGER: DEVIN NGUYEN	SHEET TITLE: LANDSCAPE PLAN	

DATE: 13 AUG 2020	SHEET: LS101
SCALE: AS NOTED	



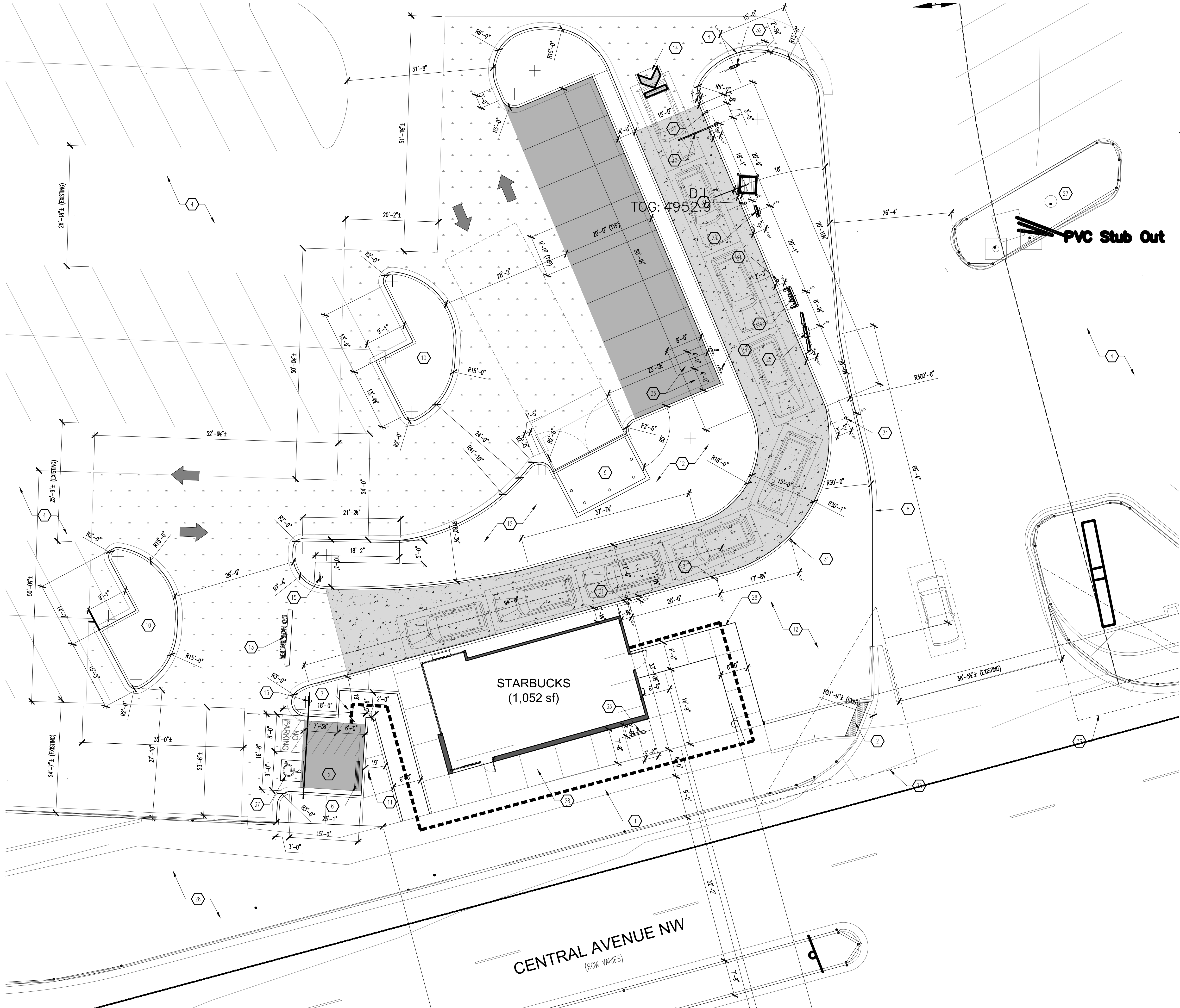
STUCCO-1	2-COAT STUCCO SYSTEM COLOR = SHERWIN WILLIAMS SW#7636 ORIGAMI WHITE
STUCCO-2	2-COAT STUCCO SYSTEM COLOR = SHERWIN WILLIAMS SW#7605 GALE FORCE
PAINT-1	PAINt FINISH COLOR = SHERWIN WILLIAMS SW#2936 BLACK EMERALD
PAINT-2	PAINt FINISH COLOR = SHERWIN WILLIAMS SW#6882 DAREDEVIL
PAINT-3	PAINt FINISH COLOR = SHERWIN WILLIAMS SW#7636 ORIGAMI WHITE
WOOD-1	WOOD VENEER LONGBOARD PRODUCTS - LIGHT CHERRY.
GLAZ-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LOW-E COLOR: ANODIZED BRONZE
SHADE-1	STEEL SHADE STRUCTURE COLOR: SHERWIN WILLIAMS SW#6006 BLACK BEAN

REV	DATE	BY	REVISION
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PROJECT TITLE	STARBUCKS 4201 CENTRAL AVE. NW ALBUQUERQUE, NEW MEXICO 87105		
JOB NO.	480 DRAIN BY: DYN		
PROJECT MANAGER	DEWIN NGUDEN		
SHEET TITLE	EXTERIOR ELEVATIONS		

DATE: 16 FEB 2021	sheet- A201
SCALE: AS NOTED	of-



A2 ENLARGED SITE PLAN
SCALE: 1:20

GENERAL NOTES

- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3.7.2.
- C. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

KEYED NOTES

- 1. EXISTING SIDEWALK TO REMAIN.
- 2. INSTALL A 2'-0" WIDE TRUNCATED DOME STRIP.
- 3. EXISTING CURB AND GUTTER TO REMAIN.
- 4. EXISTING ASPHALT TO REMAIN.
- 5. ACCESSIBLE PARKING: SEE A1&A3/A1.2.
- 6. WHEEL STOP: SEE B5/A1.2.
- 7. CURBED RAMP: SEE A6/A1.2.
- 8. CURB & GUTTER: SEE B1/A1.1.
- 9. AREA OF REFUSE: SEE D2/A1.3.
- 10. PARKING ISLAND.
- 11. HANDICAP PARKING SIGNAGE: SEE B4/A1.2.
- 12. LANDSCAPING: SEE LANDSCAPE PLAN ON SHEET LS101.
- 13. 'DO NOT ENTER' PAVEMENT MARKING: SEE A1/A1.3.
- 14. 'DRIVE-THRU' PAVEMENT MARKING: SEE B1/A1.3.
- 15. 'DO NOT ENTER' SIGNAGE: SEE B3/A1.2.
- 16. 10" COMPACTED SUBGRADE @ 95%.
- 17. 2" ASPHALT CONCRETE PAVEMENT.
- 18. 4" BASE COURSE.
- 19. 6" BASE COURSE.
- 20. 3" ASPHALT CONCRETE PAVEMENT.
- 21. CLEARANCE BAR: SEE B3/A601.
- 22. SPEAKER POST: SEE B1/A601.
- 23. DRIVE-THRU PRE-MENU BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE C1/A501.
- 24. ORDER STATION BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE A3/A501.
- 25. DRIVE-THRU MENU BOARD UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE A4/A501.
- 26. DRIVE-THRU ARROW SIGN: SEE B2/A601.
- 27. EXISTING PARKING ISLAND TO REMAIN.
- 28. NEW SIDEWALK: SEE B3/A1.1.
- 29. EXISTING LANDSCAPE TO REMAIN (INC).
- 30. CLEARANCE HEIGHT BAR BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE FOUNDATION - SEE B3/A501.
- 31. NON-ILLUMINATED BOLLARD BY TENANT: CONTRACTOR TO PROVIDE CONCRETE FOUNDATION - SEE B1/A501.
- 32. DRIVE-THRU ARROW SIGNAGE BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE B2/A501.
- 33. BIKE RACK: SEE B1/A1.2.
- 34. MOTOR CYCLE PARKING SIGN: SEE B2/A1.2.
- 35. MOTOR CYCLE PARKING.
- 36. DASHED LINE INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF SIGNS, WALLS, TRESS, AND SHRUBS BETWEEN 3' AND 8' AS MEASURED VERTICALLY FROM ADJACENT GUTTER PAN.
- 37. ADA PAVEMENT MARKING: SEE A5/A1.2.

GRAPHIC LEGEND

- HEAVY DUTY ASPHALT: SEE A3/A1.3.
- LIGHT DUTY ASPHALT: SEE A5/A1.3.
- 6" THICK NORMAL WEIGHT REINFORCED CONCRETE PAVING.

6'-0" WIDE ADA PATHWAY TO/FROM BUILDING TO ADA PARKING SPACE.

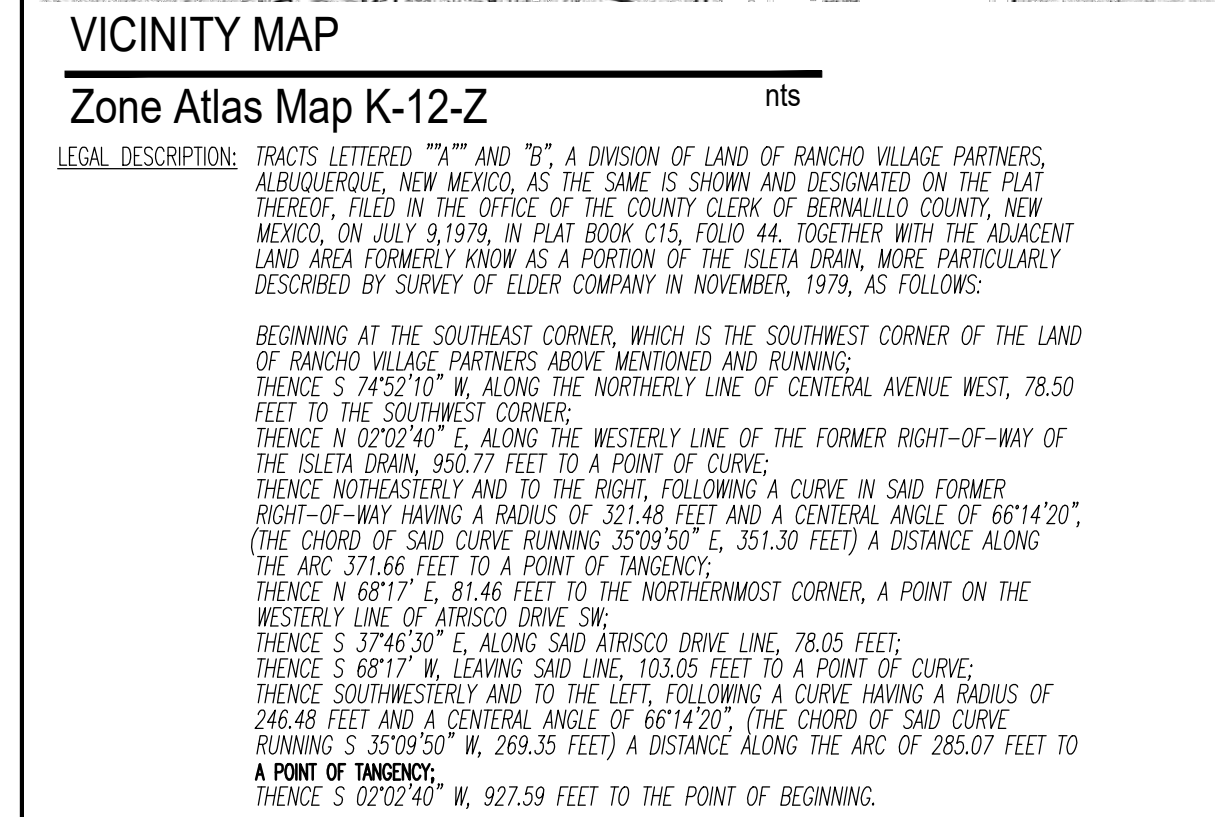
REV	DATE	BY	REVISION
1	10 OCT 2021	DTN	COA COMMENTS

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
REGISTERED ARCHITECT
STEPHEN A. DUNBAR
No. 4218
12 JULY 2021

PROJECT TITLE STARBUCKS 4201 CENTRAL AVE NW ALBUQUERQUE, NEW MEXICO 87105	DRAWN BY: DTN
PROJECT MANAGER DEVIN NGUYEN	JOB NO. ABO
SHEET TITLE ENLARGED SITE PLAN	sheet-
DATE: 16 FEB 2021	AS102
SCALE: AS NOTED	et.

Herman Gallegos



A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
B. PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.
C. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

1. EXISTING COVERED BUS STOP.
2. EXISTING BIKE RACK TO REMAIN.
3. EXISTING PARKING TO REMAIN.
4. EXISTING ACCESSIBLE PARKING STALL TO REMAIN, TYPICAL.
5. PARKING ISLAND TO REMAIN.

B. SUBJECT TO EASEMENT OF RECORD RESERVED BY M.R.G.C.D. IN INSTRUMENT NO. 82-4297 (01/27/1982; BK. D-156-A, PGS. 724-725).

--- PROPERTY LINE

BUILDING AREA	EXISTING	AREA (GROSS SQUARE FEET)
EXISTING MAIN MASS AREA	189,210 SF	189,210 SF
EXISTING CORNER BUILDING	24,999 SF	24,999 SF
PROPOSED PAD	3,000 SF	1,052 SF
TOTAL		215,117 SF
PARKING REQUIREMENTS	REQUIRED	
60,000–217,000 SF @ 1/300	524 SPACES	
15,000–60,000 SF	180 SPACES	
RESTAURANT = 5/1,000 SF	4 SPACES	
TOTAL REQUIRED # PARKING SPACES	708 SPACES	
LESS 15% (BUS STOP w/ SHELTER)	(–107 SPACES)	
TOTAL # PARKING SPACES REQUIRED	601 SPACES	
TOTAL # PARKING SPACES PROVIDED	835 SPACES	

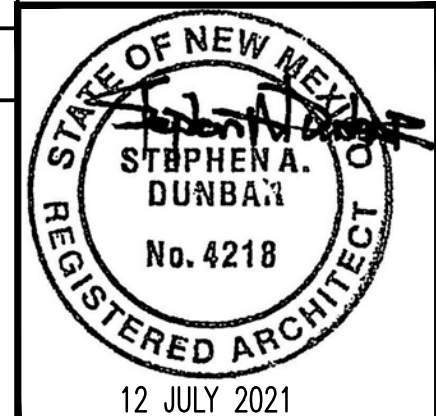
		REQUIRED	PROVIDED
ACCESSIBLE PARKING SPACE		16 SPACES	26 SPACES
BIKE PARKING SPACE (1 BIKE RACK PER 20 SPACES)	---	6 RACKS *	6 RACK *

* 5 BIKE SPACE PER 1 BIKE RACK

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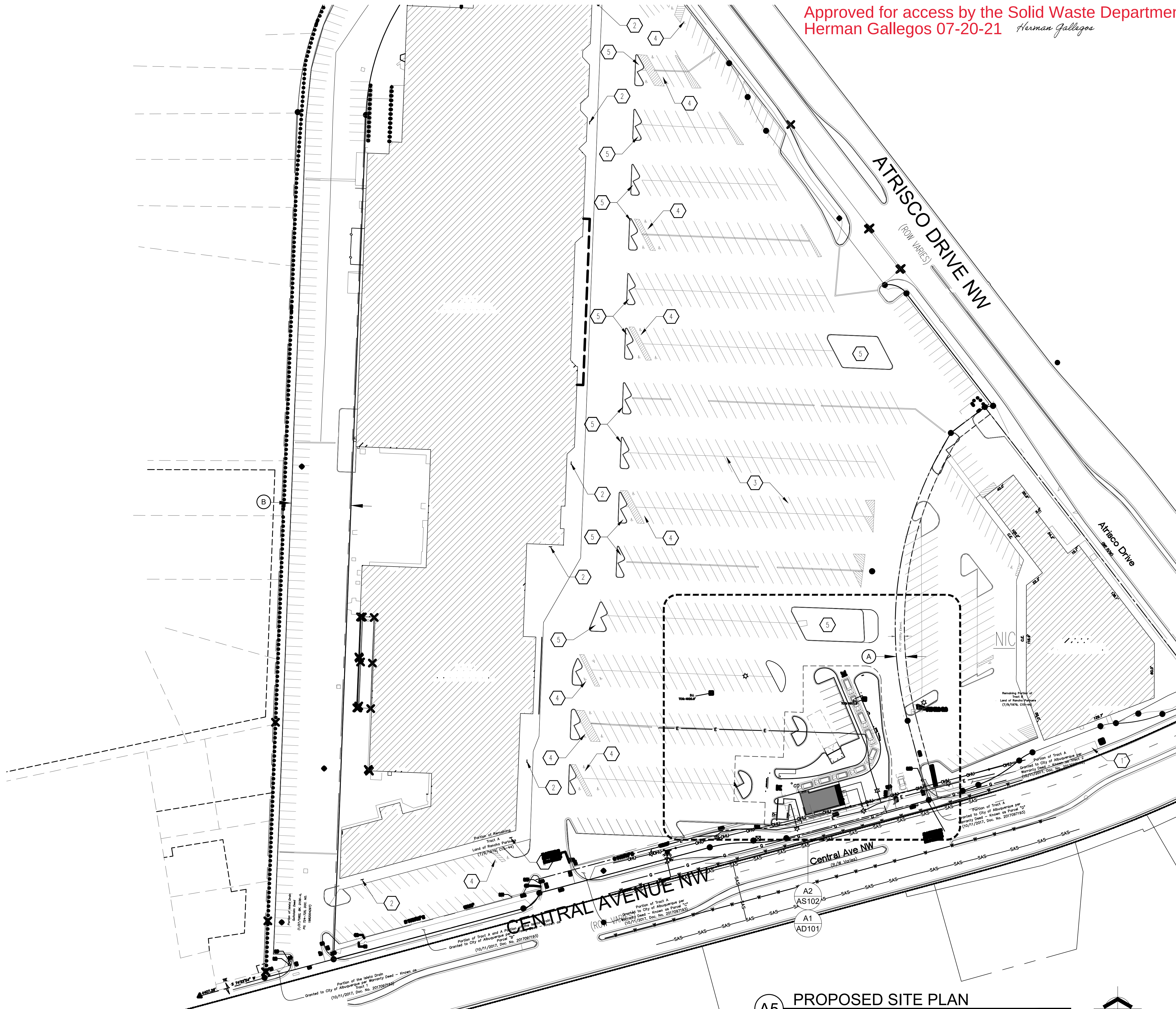
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X (505) 338-1498



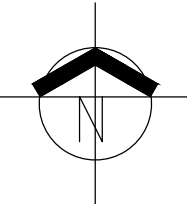
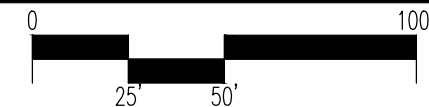
PROJECT TITLE	STARBUCKS	JOB NO.	490	DRAWN BY:	DTN
	4201 CENTRAL AVE. NW				
	ALBUQUERQUE, NEW MEXICO 87105				
PROJECT MANAGER	DEVIN NGUYEN				
NET TITLE	OVERALL SITE PLAN				

DATE:	16 FEB 2021	sheet-
SCALE:	AS NOTED	AS101



A5 SCALE: 1:50 0 100'

SCALE: 1:50





City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: Drive Through QSR

Building Permit #: _____ Hydrology File #: _____

Zone Atlas Page: K-12-Z DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT A A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS CONT 13.1683 AC

Development Street Address: 4201 CENTRAL AVE NW ALBUQUERQUE 87105 1630

Applicant: Modulus Architects Contact: Regina Okoye

Address: 100 Sun Ave Suite 600, Albuquerque NM 87109

Phone#: 505-338-1499 Fax#: _____

E-mail: rokoye@modulusarchitects.com

Development Information

Build out/Implementation Year: 2020 Current/Proposed Zoning: MX-M

Project Type: New: ☒ Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: () Office: () Retail: () Mixed-Use: () **Restaurant**

Describe development and Uses:

Develop pad site from an existing Site Plan for Subdivision approved by the EPC to construct a 908 sq. ft. Drive Through QSR.

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): 908 sq. ft.

Number of Residential Units: N/A

Number of Commercial Units: 1

Traffic Considerations

ITE Trip Generation Land Use Code #937 Coffee/Donut Shop with Drive-Through Window

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* AM 80 vph, PM 40 vph

Driveway(s) Located on: Street Name Central Ave W, Atrisco Dr W

Adjacent Roadway(s) Posted Speed: Street Name Central Ave W Posted Speed 35 MPH
Street Name Atrisco Dr W Posted Speed 35 MPH

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Atrisco Dr W - Urban Major Collector
Central Ave W - Urban Principal Arterial
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Activity Center
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 21300 (2018) Volume-to-Capacity Ratio (v/c): 0.75-1.0
(if applicable)

Adjacent Transit Service(s): Bus Route 66, 766, 92, 94 Nearest Transit Stop(s): Rapid Ride 766 Stop, Bus Route 66, 766

Is site within 660 feet of Premium Transit?: Yes

Current/Proposed Bicycle Infrastructure: Bike lanes on Central
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Has sidewalks

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [☐] No [☒]

Thresholds Met? Yes [☐] No [☒]

Mitigating Reasons for Not Requiring TIS: Previously Studied: [☐]

Notes:

M. P. E.

918/2020

TRAFFIC ENGINEER

DATE

Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.