

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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APPROVED BY

\_\_\_\_\_  
DATE



# COTTONWOOD COMMONS

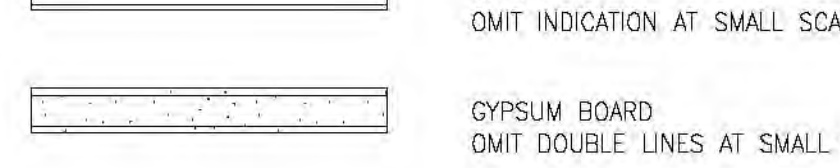
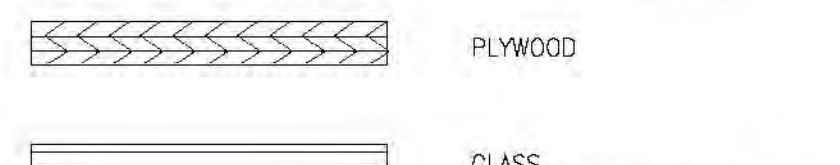
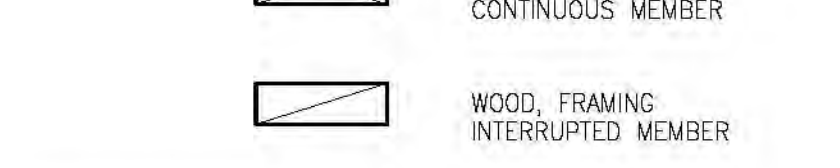
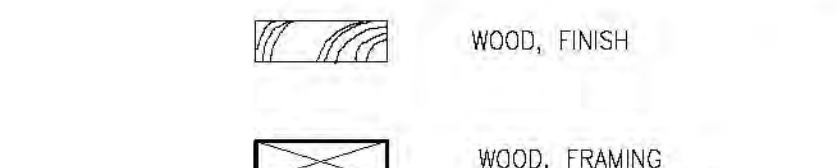
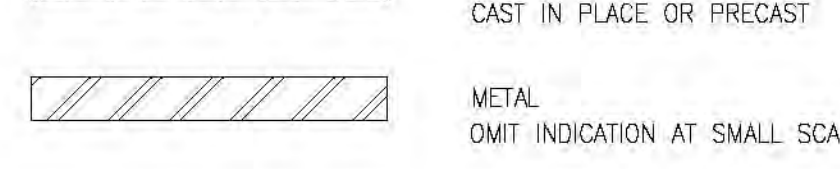
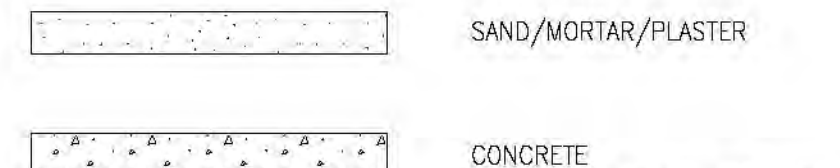
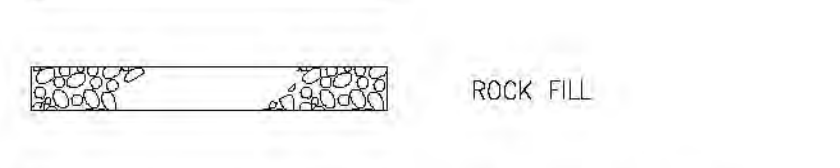
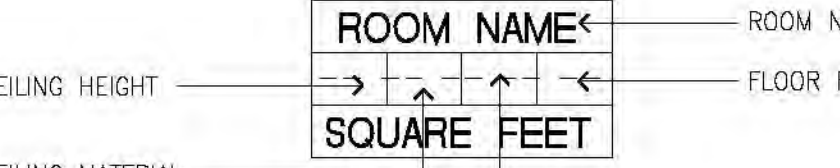
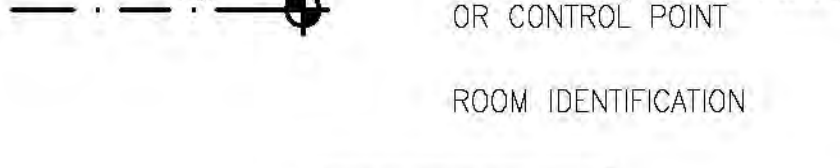
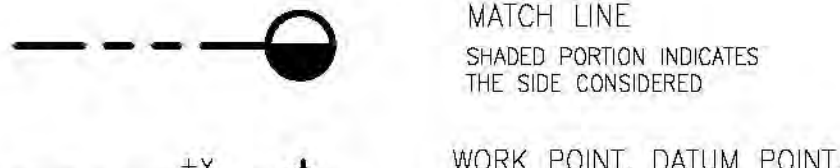
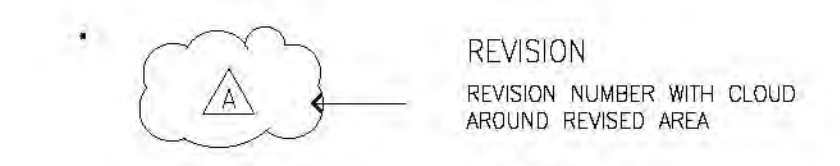
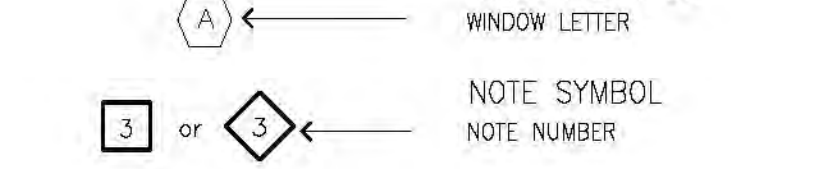
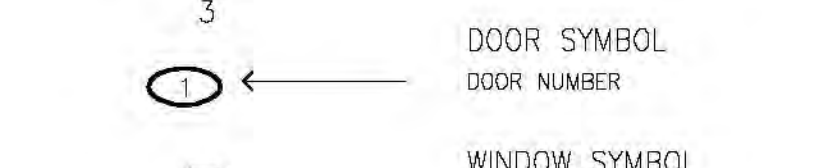
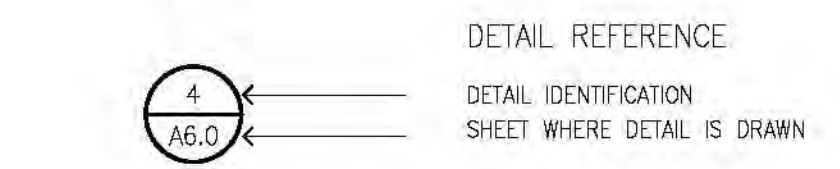
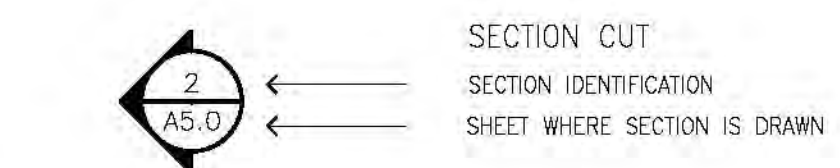
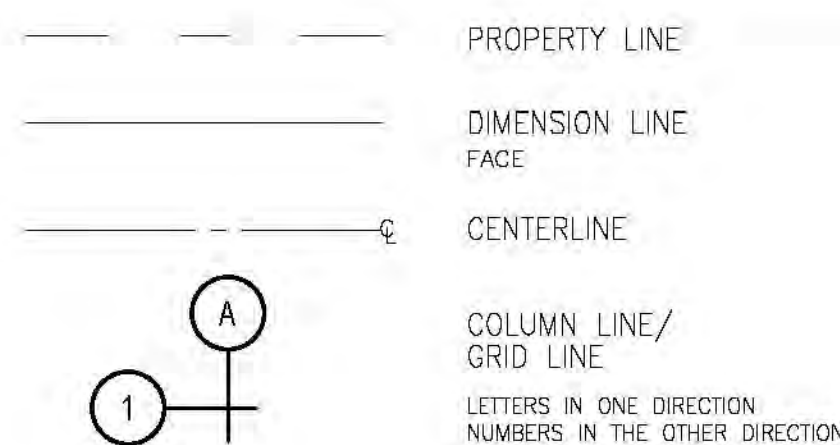
## BUILDING SHELL IMPROVMENTS

3550 NM-528  
ALBUQUERQUE, NM 87114

AO PROJECT 2020-007

- WHEN FIRE PROTECTION SYSTEMS ARE INSTALLED OR MODIFIED, A STATE-LICENSED CONTRACTOR MUST SUBMIT PLANS TO THE FIRE DEPARTMENT. PLANS MUST BE SENT WITH A COMPLETED PERMIT APPLICATION AND PERMIT FEE. UPON APPROVAL OF PLANS, A PERMIT WILL BE ISSUED AND WORK CAN THEN COMMENCE. WORK BEING DONE WITHOUT A PERMIT WILL RESULT IN A FINE.
- PROVIDE PORTABLE FIRE EXTINGUISHERS PER NFPA 10. CONSULT WITH A FIRE INSPECTOR REGARDING THIS PRIOR TO OR AT THE TIME OF YOUR FIRE FINAL INSPECTION (FDDO).
- EXIT DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY.
- PROVIDE BUILDING/SUITE ADDRESS NUMBER/LETTER ON THE FRONT AND REAR OF THE PREMISES AND ON UTILITY DISCONNECTS. ADDITIONAL ADDRESSING MAY BE REQUIRED PER THE FIRE INSPECTOR AT THE TIME OF FIRE FINAL.
- VERIFY EXIT AND EMERGENCY LIGHTING ARE OPERATIONAL AND WILL SUPPLY 90 MINUTES OF BACKUP ILLUMINATION. ADDITIONAL EMERGENCY LIGHTING MAY BE REQUIRED AND IS SUBJECT TO FIELD VERIFICATION. EMERGENCY LIGHTING IS REQUIRED IN ALL RESTROOMS PER CITY OF ALLEN REQUIREMENT.
- VERIFY THAT ANY FIRE ALARM, FIRE SPRINKLER SYSTEMS, FIRE EXTINGUISHERS HAVE CURRENT INSPECTIONS AND TAGS AFFIXED AT THE TIME OF FINAL FIRE INSPECTION.
- A FIRE DEPARTMENT FINAL INSPECTION IS REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ALL INSPECTIONS SHALL BE SCHEDULED AT LEAST 48 HOURS IN ADVANCE.
- PROVIDE PREMISE KEYS TO BE PLACED IN THE KNOX BOX ALREADY PRESENT ON THE BUILDING.

### FIRE DEPT. NOTES



### ABBREVIATIONS

ALL WORK SHALL BE IN CONFORMANCE WITH THE CODES IDENTIFIED IN THE GOVERNING CODES SECTION LISTED BELOW.

2015 NEW MEXICO COMMERCIAL BUILDING CODE  
2015 NEW MEXICO EARTHEN BUILDING MATERIALS CODE  
2017 NEW MEXICO ELECTRICAL CODE  
2009 NEW MEXICO ENERGY CONSERVATION CODE  
2015 NEW MEXICO EXISTING BUILDING CODE  
2015 NEW MEXICO HISTORIC EARTHEN BUILDINGS CODE  
2015 NEW MEXICO MECHANICAL CODE  
2015 NEW MEXICO PLUMBING CODE  
2015 NEW MEXICO RESIDENTIAL BUILDING CODE

ACCESSIBILITY REQUIREMENTS PER THE FEDERAL ADA, ANSI 117.1-2009 AND 2010 CBC OR AS AMENDED BY STATE OR LOCAL REGULATIONS, WHICHEVER IS MOST RESTRICTIVE

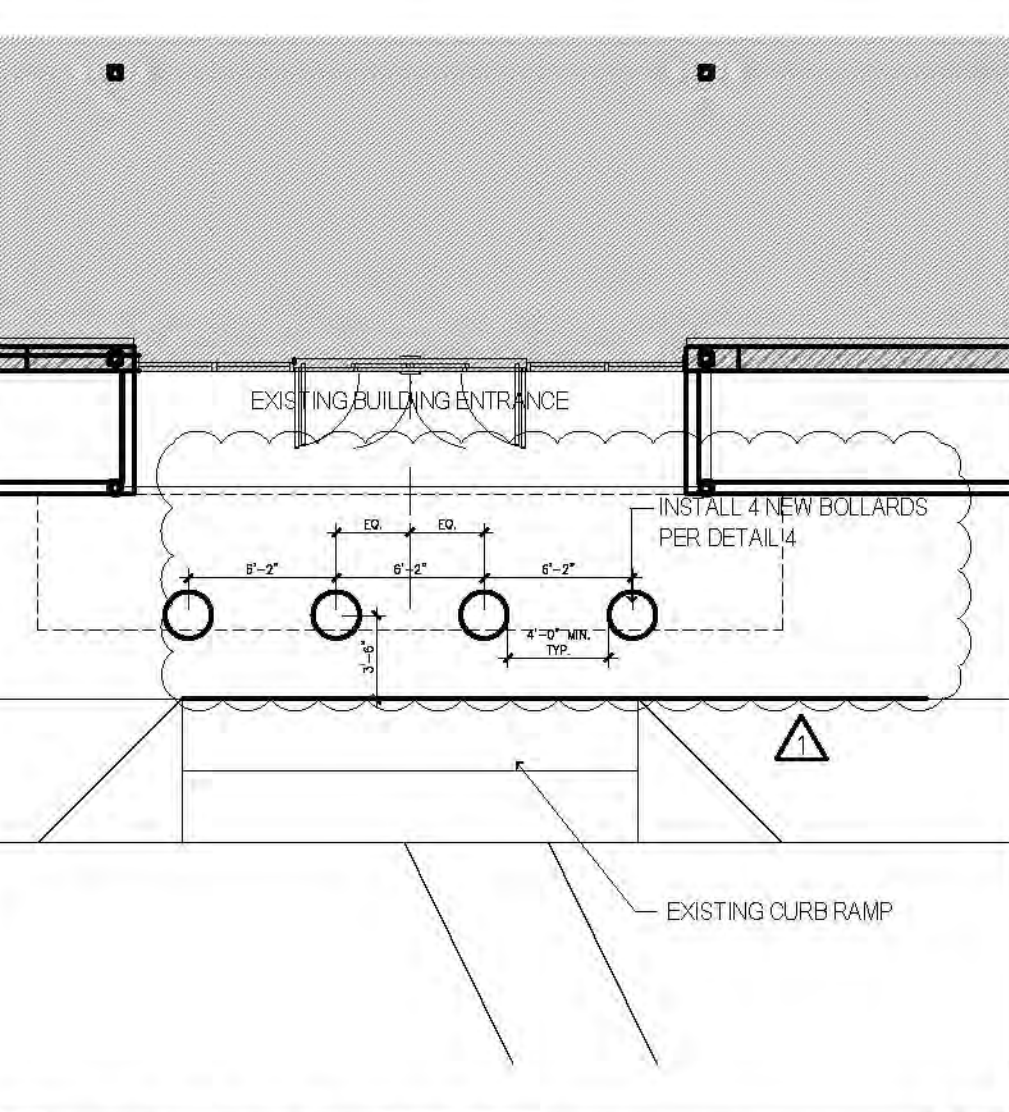
### GOVERNING CODES

1. FIRE SPRINKLER:  
A. FIRE SPRINKLER SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATIONS TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM OR ANY OTHER FIRE RELATED SYSTEM.  
B. THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2015 INTERNATIONAL FIRE CODE.
2. SEPARATE PLAN CHECK & PERMIT REQUIRED FOR MISCELLANEOUS STRUCTURES:  
\* CONSTRUCTION BARRIERS FOR PEDESTRIAN ACCESS  
\* EXTERIOR SIGNAGE  
\* TENANT PROVIDED FENCING

AO ARCHITECTS, THE REGISTERED DESIGN PROFESSIONAL IN CHARGE, SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.

### DEFERRED/ SEPARATE SUBMITTALS



### ENLARGED SITE DETAIL 1

- THESE DRAWINGS ARE THE PROPERTY OF ARCHITECTS ORANGE AND ARE NOT TO BE USED FOR ANY OTHER THAN THE LOCATION SHOWN HEREON.
- NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT/ ENGINEER WHOSE SIGNATURE APPEARS HEREON.
- DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
- NO FRAMING OF ANY TYPE IS TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- REFERENCES TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
- DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS, DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND TO THE OWNER. CORRECTED DRAWINGS OR INSTRUCTION SHALL BE ISSUED BY THE OWNER PRIOR TO THE INSTALLATION OF ANY WORK. ALL DIMENSIONS ARE TO BE ROUGH UNLESS OTHERWISE NOTED. ARCHITECT'S DRAWINGS SHALL GOVERN OVER STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE DRAWINGS.
- ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF THE CONSTRUCTION. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS. THE APPLICABLE CODES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO 2019 CALIFORNIA BUILDING CODE.
- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- PROVIDE SAFETY GLAZING IN LOCATIONS INDICATED IN SECTION 2406.3 OF THE IBC.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE CONSTRUCTION SAFETY ORDERS ENFORCED BY THE STATE OF TEXAS.
- CONSTRUCT NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
- EXACT LOCATION AND NUMBER OF EXIT SIGNS SHALL BE DETERMINED BY FIELD INSPECTOR AFTER THE INSTALLATION OF ALL MAJOR EQUIPMENT. CONTRACTOR SHALL CONDUCT SUCH FIELD INSPECTION PRIOR TO INSTALLATION OF ANY EXIT SIGNAGE.
- PRIOR TO BID, THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW EXISTING CONDITIONS. THE PRICE QUOTED SHALL INCLUDE ALL NECESSARY LABOR AND MATERIALS REQUIRED TO COMPLETE THE CONSTRUCTION DUE TO EXISTING CONDITIONS NOT SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL VISIT THE SITE AND COORDINATE ALL CONSTRUCTION WITH EXISTING PHASES AND THE OWNER PRIOR TO BID. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE EXISTING CONDITION SHALL BE VERIFIED PRIOR TO BID AND CONSTRUCTION.

### GENERAL NOTES

### PROJECT TITLE

#### DEVELOPER/OWNER MANAGER

CIM Group  
2398 East Camelback Rd.  
4th Floor  
Phoenix, AZ 85016  
(602) 778-6301  
Mark Kroeger  
MKroeger@cimgroup.com

#### ARCHITECT:

AO ARCHITECTS  
144 North Orange Street  
Orange, CA 92666  
(714) 639-9860  
(714) 639-5286 Fax  
Darrel Hebenstreit - Partner  
Linda Laurenzi - PM  
Email: linda@aoarchitects.com

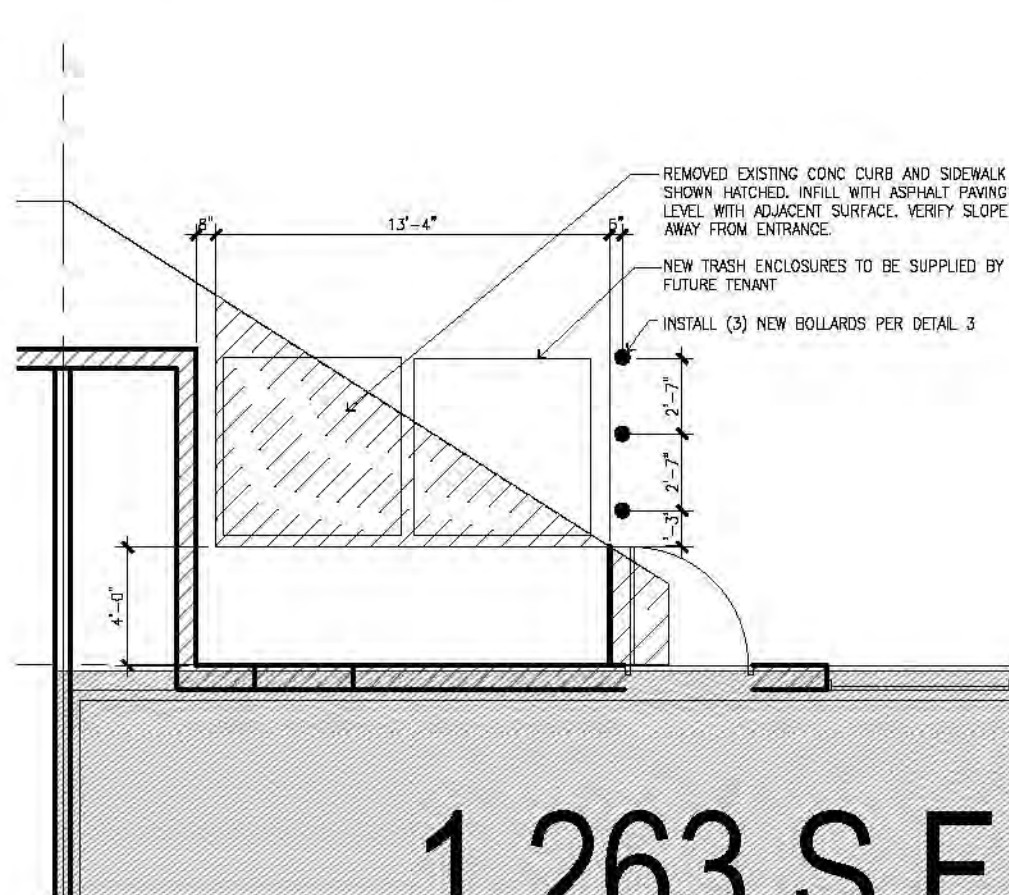
#### MEP:

DIALECTIC ENGINEERING  
310 W. 20TH ST., STE. 200  
Kansas City, MO 64108  
(951) 371-1860  
David Coburn  
Email: david.coburn@dialecticeng.com

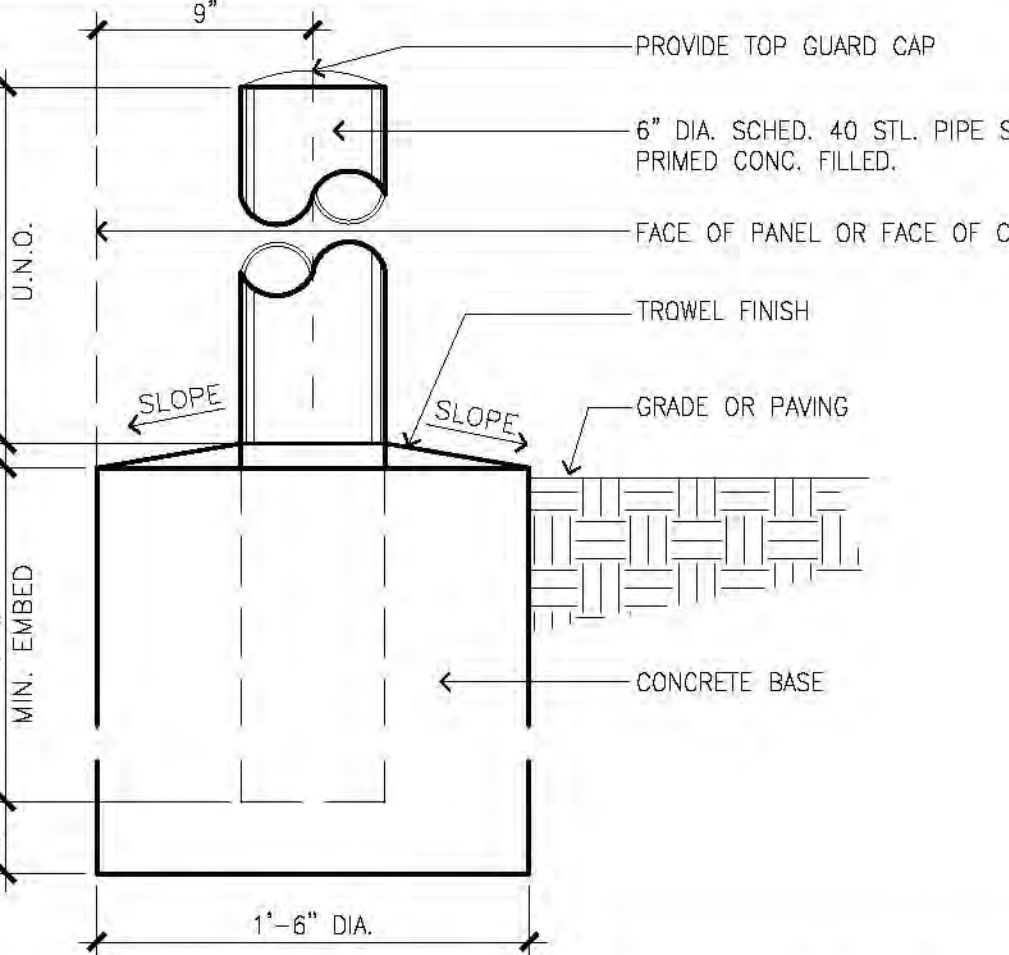
#### STRUCTURAL:

CHAVEZ-GRIEVE CONSULTING ENGINEERS, INC.  
4700 Lincoln Rd NE, Suite 102  
Albuquerque, NM 87109  
(505) 344-4080  
Chris Romero  
Email: c.romero@cge-eng.com

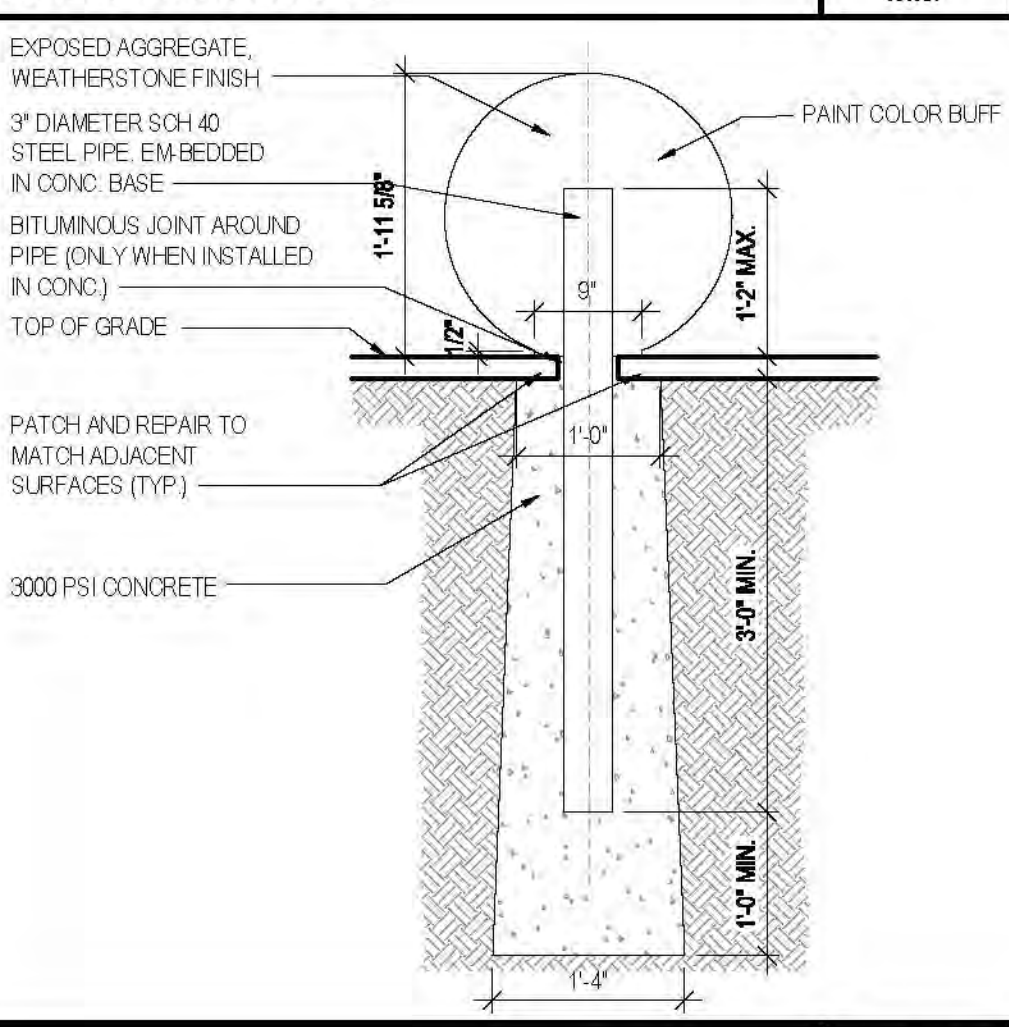
### PROJECT TEAM



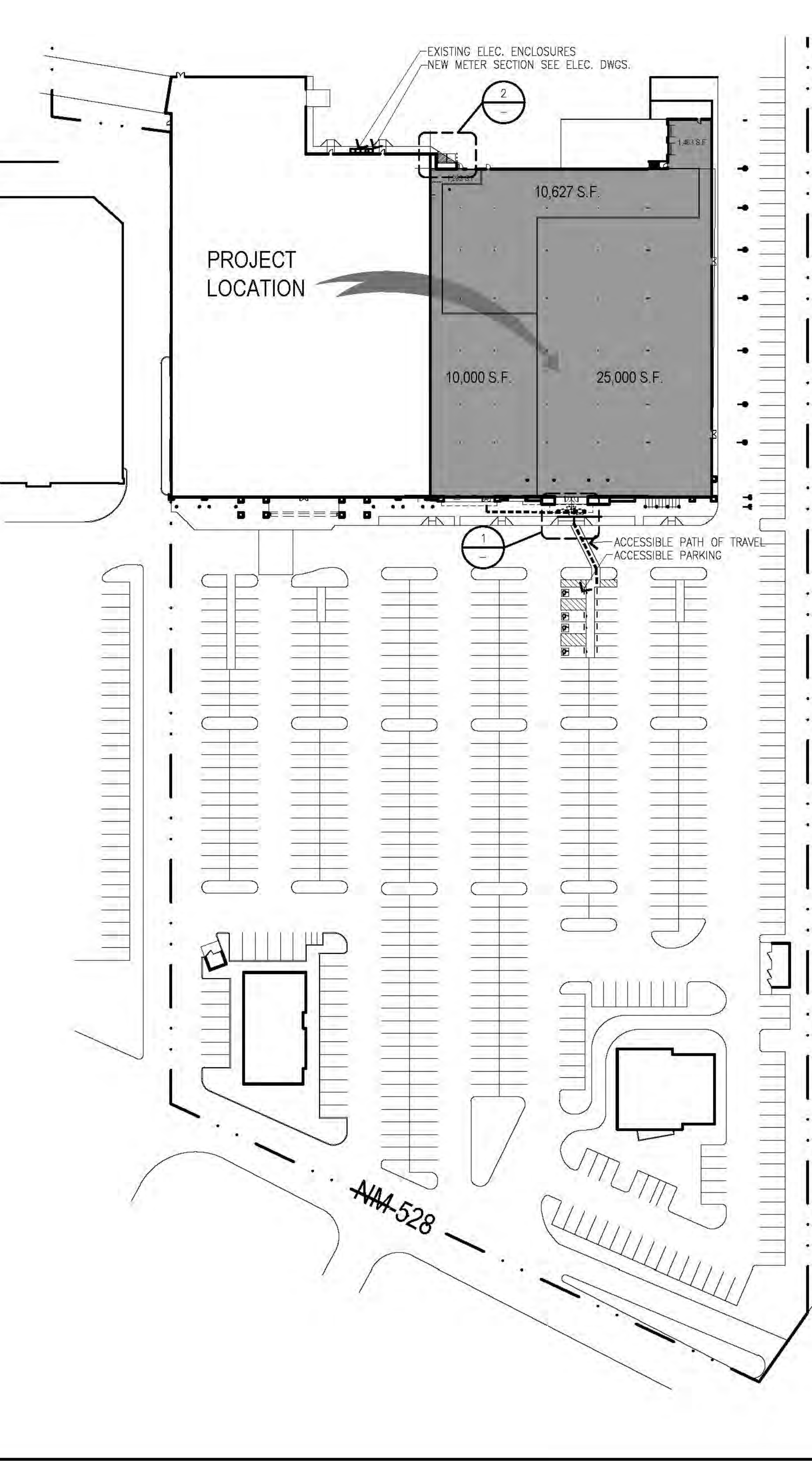
### ENLARGED SITE DETAIL 2



### BOLLARD WITH CAP



### BURLINGTON BOLLARD



### SITE PLAN

REDWISSE EXISTING 48,510 RETAIL SUITE INTO 3 SPACES, CONSISTING OF:  
RETAIL SPACE = 11,297 S.F.  
LANDLORD SPACE (STORAGE) = 10,471 S.F.  
EXISTING UTILITIES ARE TO BE SPLIT AND SEPARATE ELEC., SEWER, WATER AND GAS TO BE SUPPLIED TO EACH SUITE. A NEW EXTERIOR FACADE AND STOREFRONT IS ADDED FOR NEW FUTURE TENANT.

THIS WORK IS LANDLORD BUILDING SHELL IMPROVEMENTS ONLY AND NOT FOR OCCUPANCY. THE INDIVIDUAL TENANTS WILL BE SUBMITTING THEIR OWN TENANT IMPROVEMENT DRAWINGS FOR PERMIT.

TYPE OF CONSTRUCTION: IA  
OCCUPANCY: M  
FULLY SPRINKLED: YES  
FIRE ALARM SYSTEM: YES

### PROJECT DESCRIPTION / CODE ANALYSIS

#### ARCHITECTURAL

A0.0 TITLE SHEET, SHEET INDEX, GENERAL NOTES  
A0.1 ADA NOTES  
A1.0 DEMOLITION FLOOR PLAN  
A2.0 DEMOLITION REFLECTED CEILING PLAN  
A3.0 FLOOR PLAN  
A4.0 ELEVATIONS AND ROOF PLAN  
A5.0 WALL SECTIONS  
A6.0 DOOR SCHEDULE AND DETAILS  
A7.0 DETAILS  
F2 FIRE 2 SHEET

#### STRUCTURAL

S-001 ABBREVIATIONS AND LEGENDS  
S-002 GENERAL STRUCTURAL NOTES  
S-003 SPECIAL INSPECTION TABLES  
S-001 OVERALL PLAN  
S-101 FOUNDATION AND FRAMING PLANS  
S-301 SECTIONS AND DETAILS

#### ELECTRICAL

E1.0 ELECTRICAL DEMOLITION  
E2.0 ELECTRICAL ELECTRICAL PLAN  
E3.0 ELECTRICAL SYMBOLS PANELS SCHEDULES AND ONE-LINE DIAGRAMS  
E4.0 ELECTRICAL SPECIFICATIONS

#### MECHANICAL

M1.0 MECHANICAL PLAN  
M1.1 MECHANICAL

#### PLUMBING

P1.0 PLUMBING PLAN

### SHEET INDEX

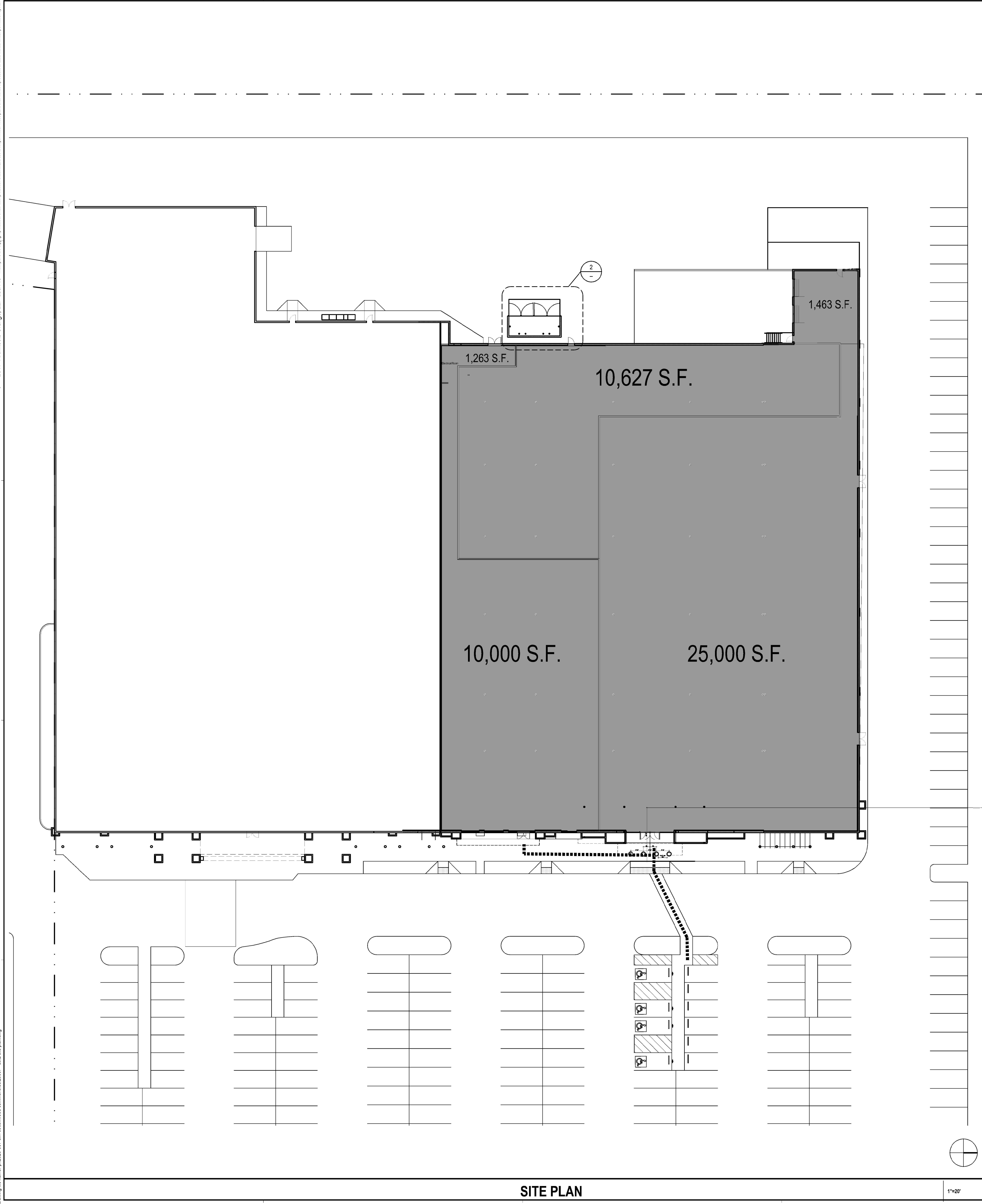


### VICINITY MAP



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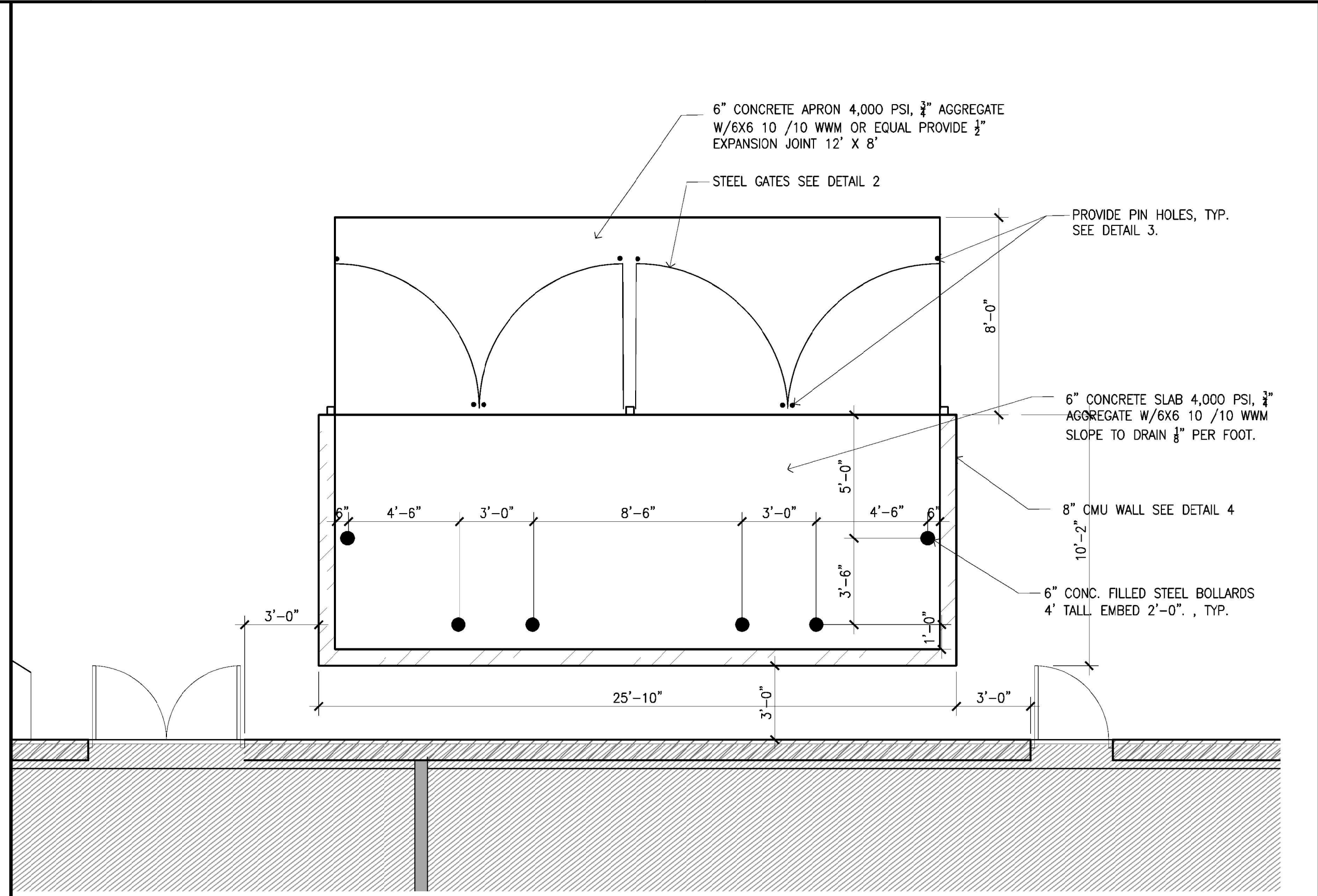
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SITE PLAN

1"=20'

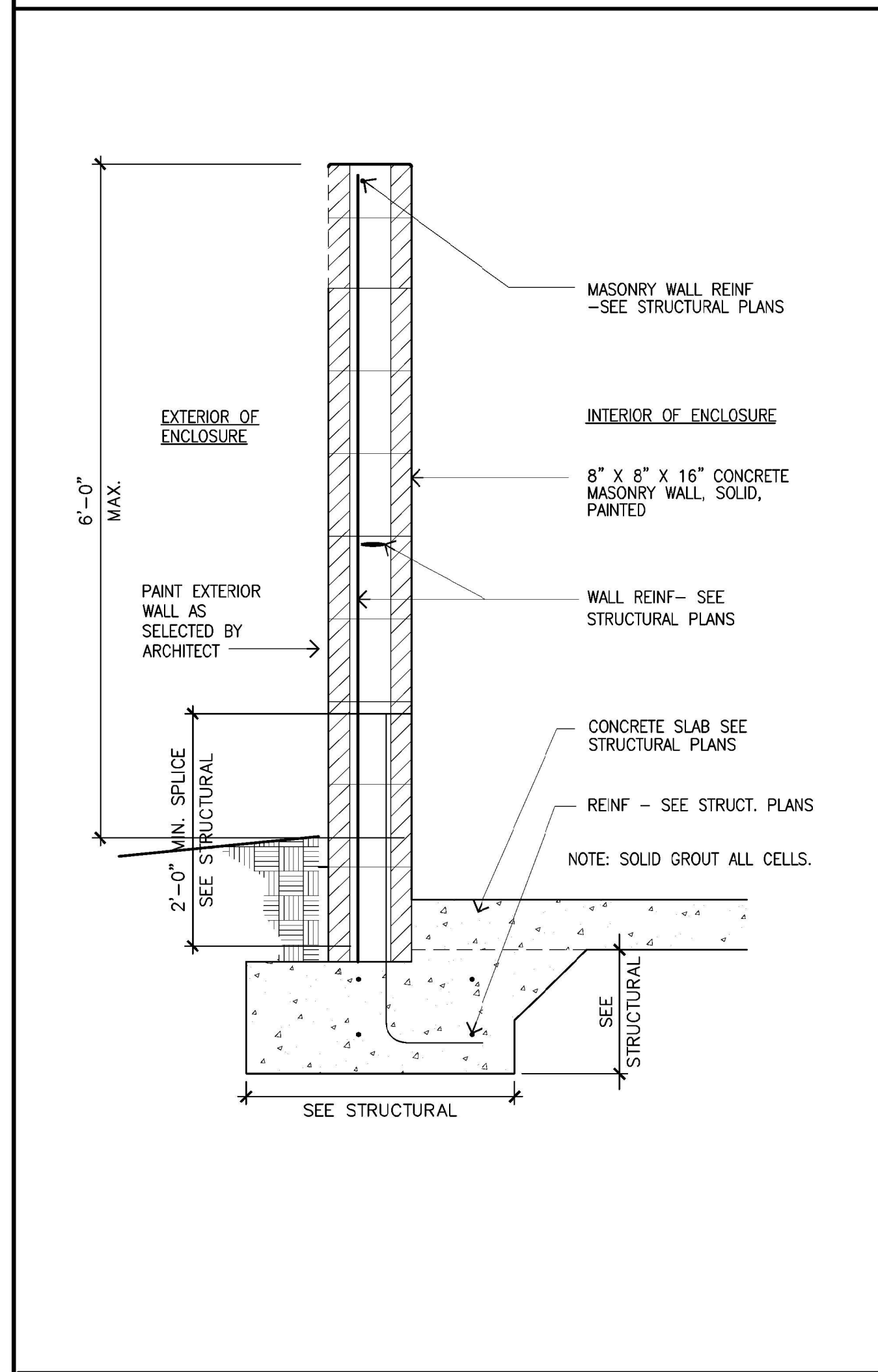
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TRASH ENCLOSURE PLAN

1/4"=1'-0"

1



WALL SECTION

1/4"=1'-0"

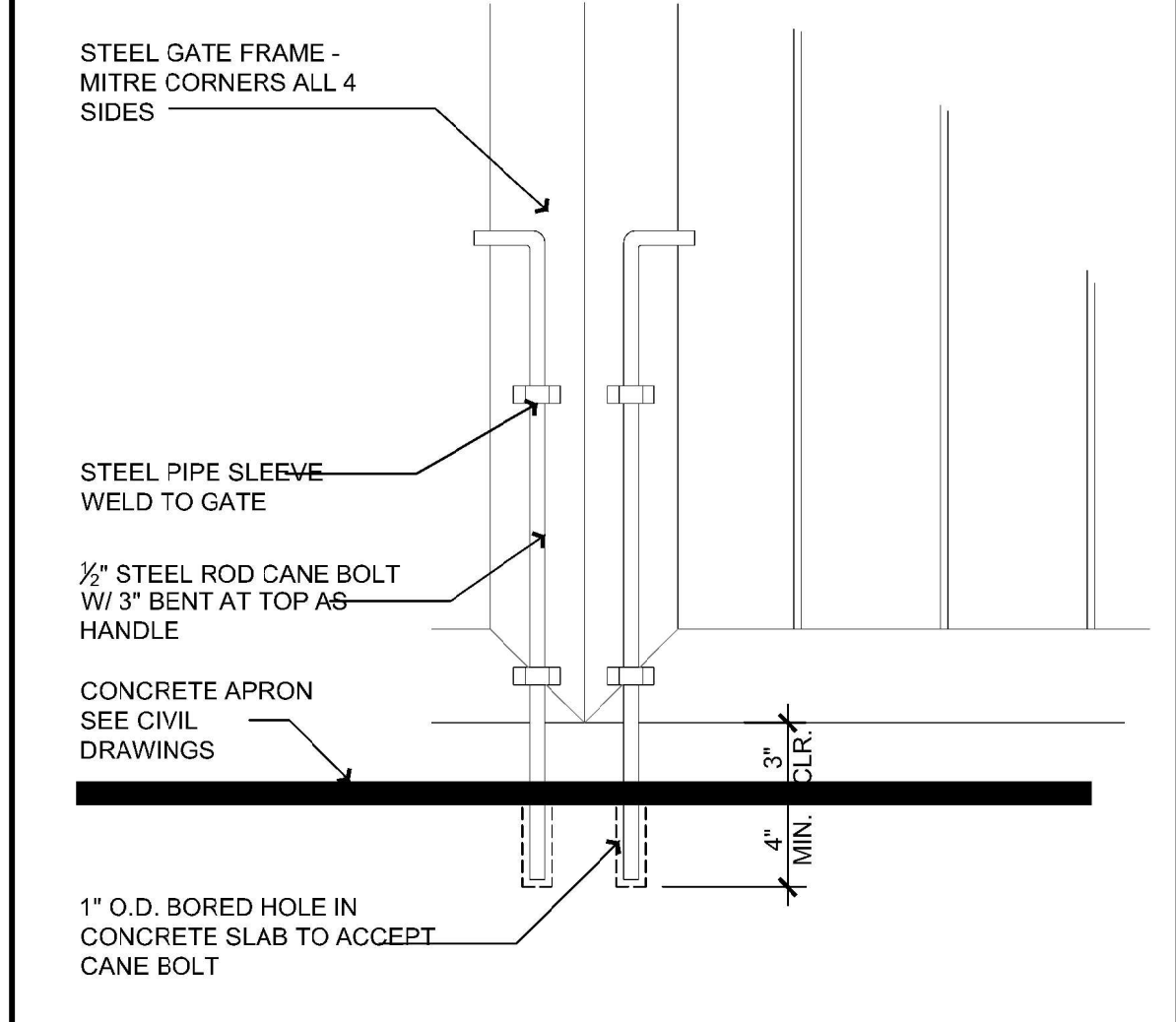
4

SECTION THRU GATE

3'-10"

XX-XX

2



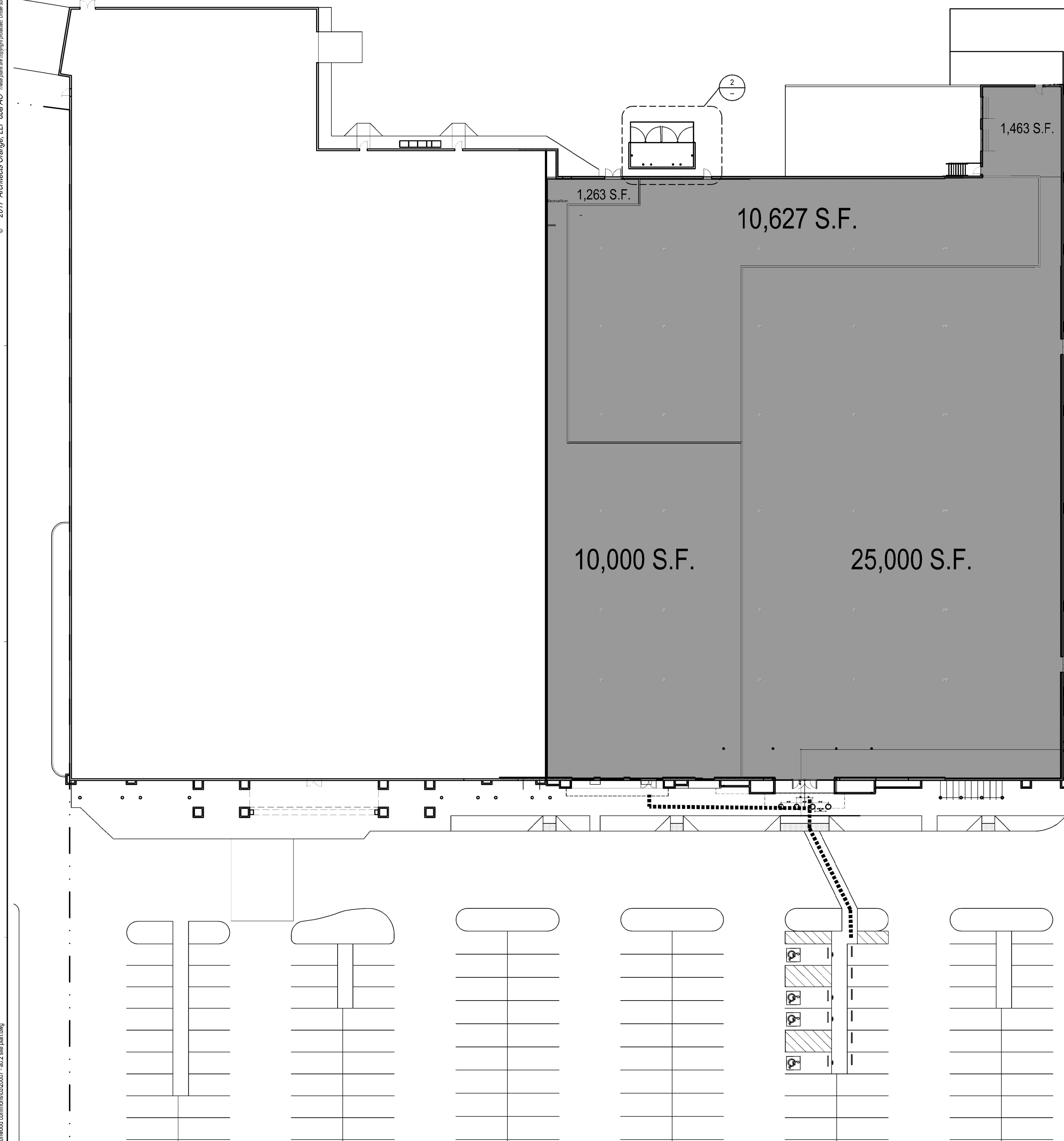
CANE BOLT AT GATE

1 1/2" = 1'-0"

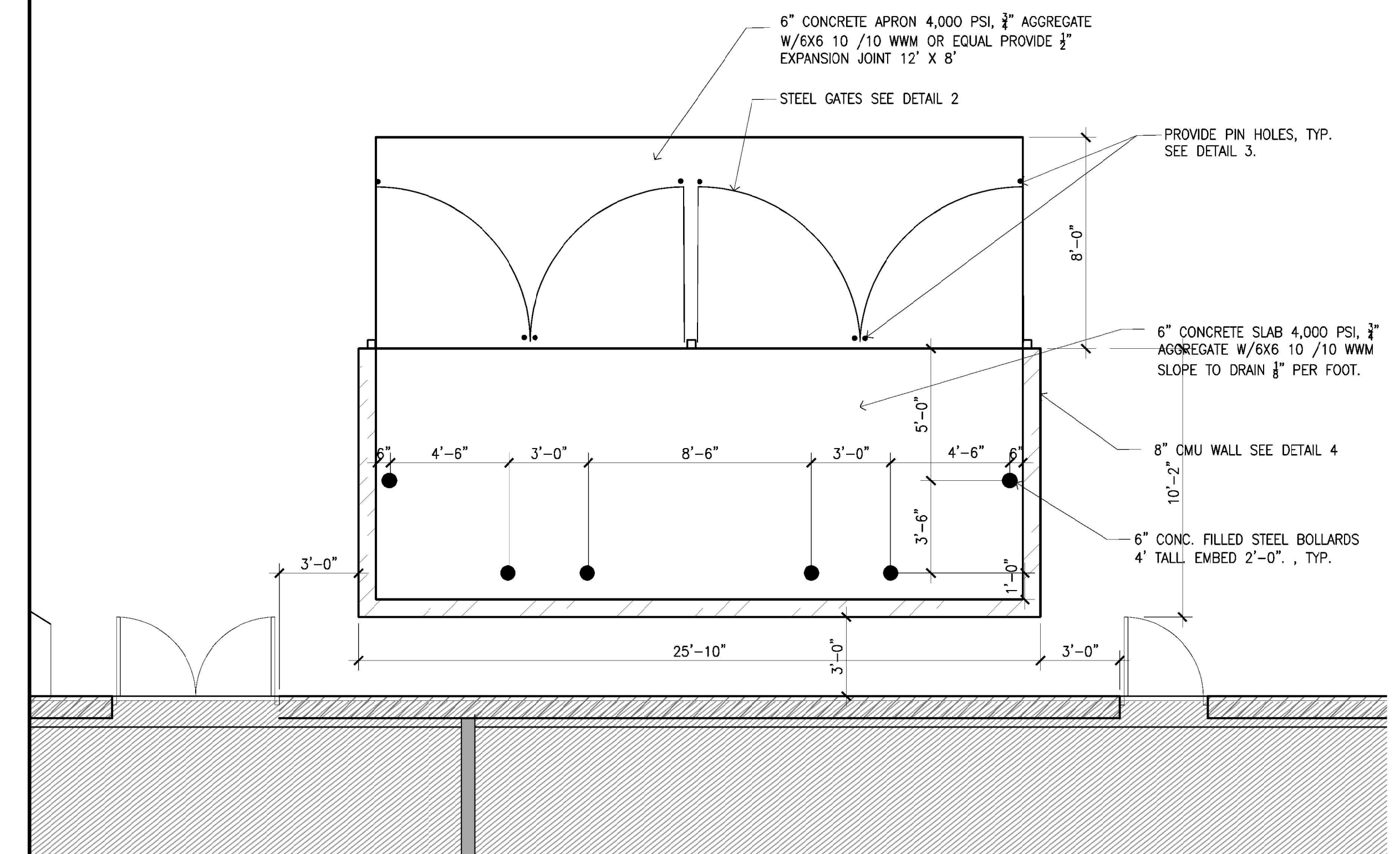
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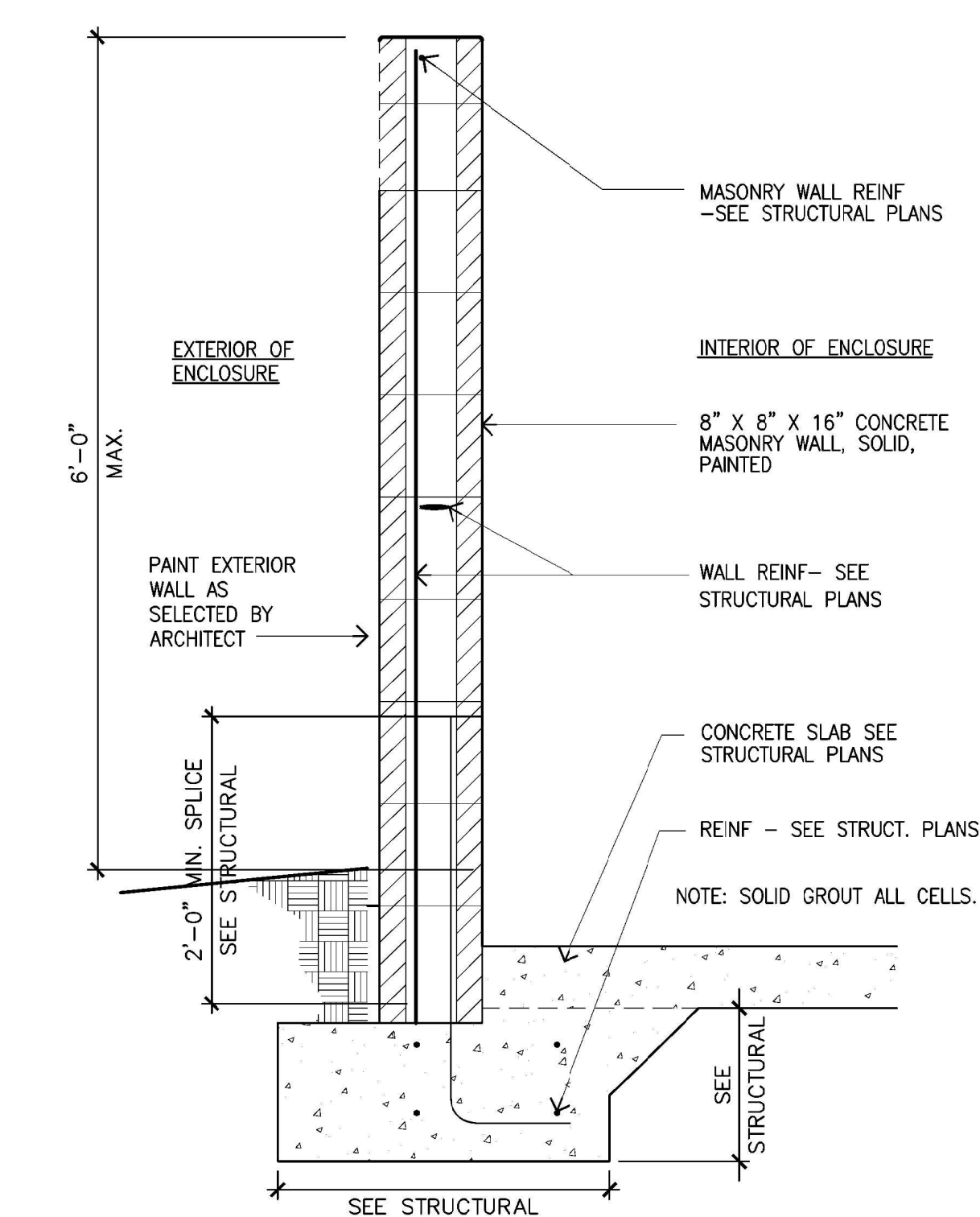
DJ Laskowski



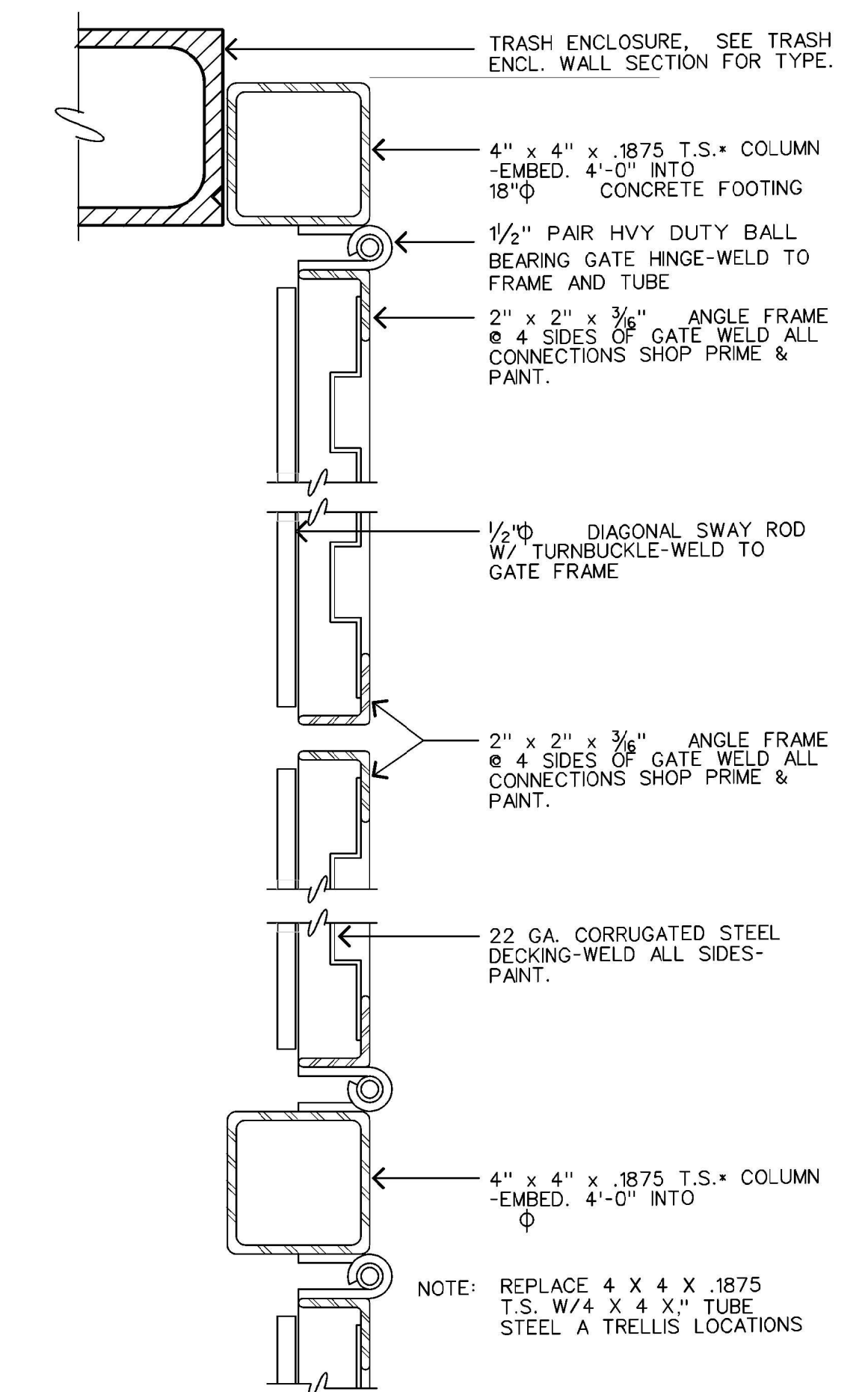
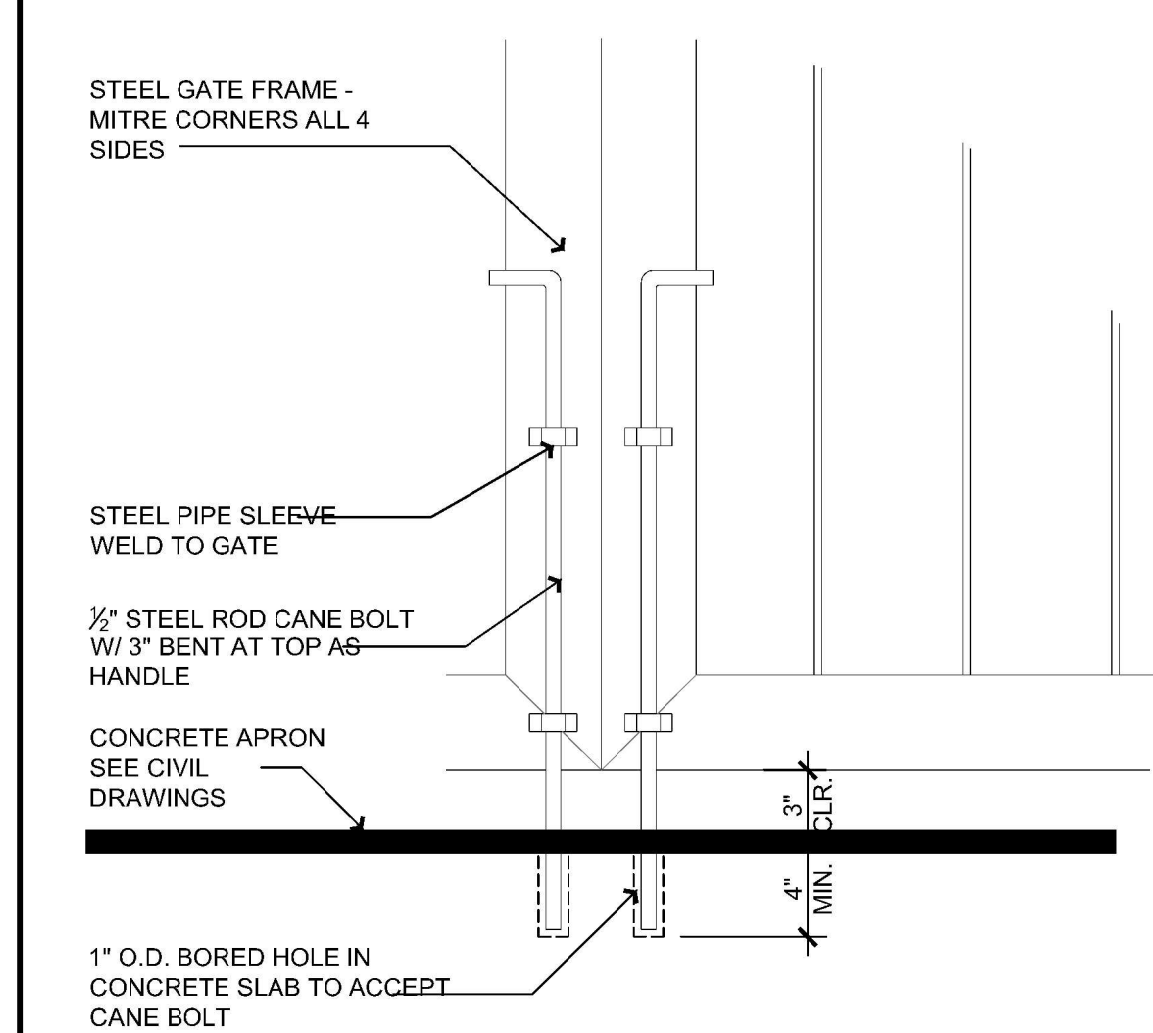
1"=20'



1/4"=1'-0"



164


$$3^0 = 1 \cdot 0^0$$


1 1/2"



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Plan Check Number: 2000

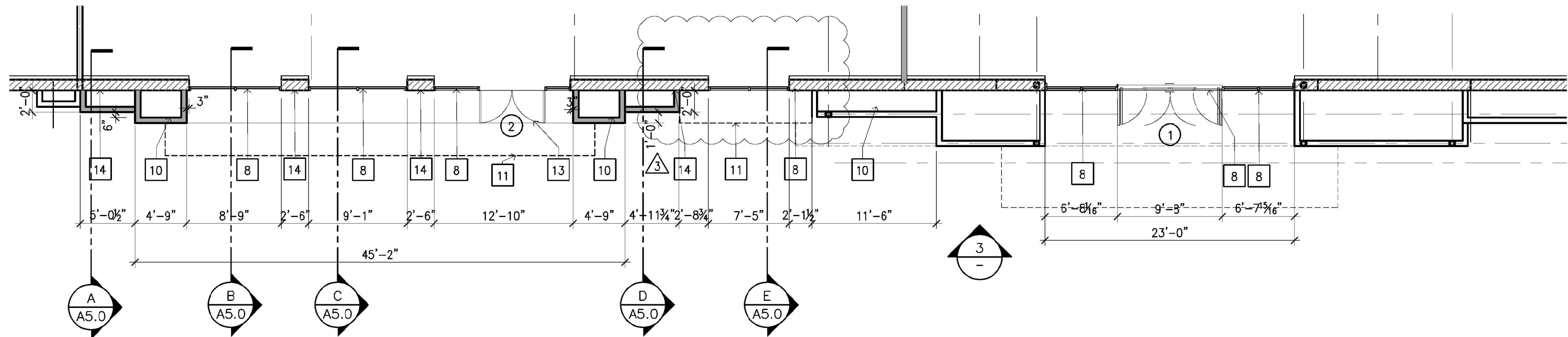
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5-5-21

PLAN CHECK  
COORDINATION

SHEET

A3.0

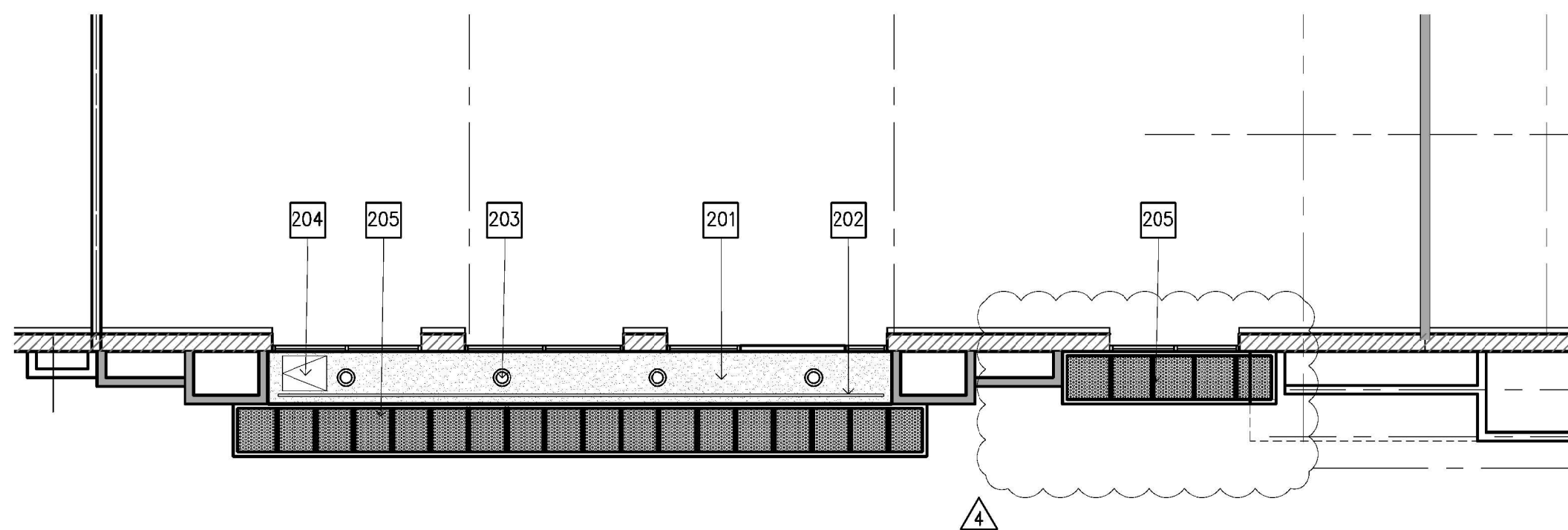
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ENLARGED FLOOR PLAN

1/8"=1'-0"

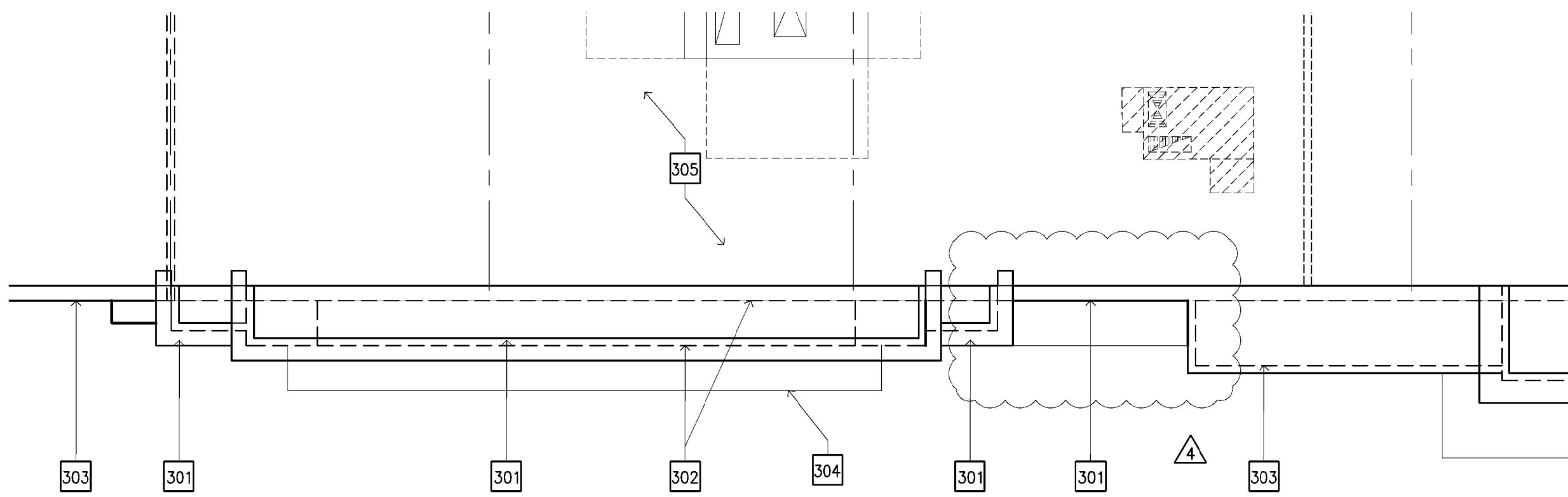
2



ENLARGED REFLECTED CEILING PLAN

1/8"=1'-0"

3



ENLARGED ROOF PLAN

1/8"=1'-0"

4

- 1 PATCH & REPAIR SLAB AS REQUIRED TO PROVIDE CLEAN & LEVEL SLAB FOR FUTURE TENANT.
- 2 (E) TENANT DEMISING WALL TO REMAIN PATCH AND REPAIR AS NECESSARY FOR TENANT FINISHES
- 3 (E) STEEL COLUMN
- 4 (E) EXIT DOOR TO REMAIN.
- 5 NEW REAR DOOR(S) - SEE DOOR HARDWARE SCHEDULE FOR ADDITIONAL INFO.
- 6 ADJACENT SUITE NO WORK
- 7 EXISTING EXTERIOR WALL
- 8 NEW ALUMINUM STOREFRONT WITH CLEAR GLAZING
- 9 NEW AUTOMATIC DOORS SEE DOOR SCHEDULE FOR MORE INFO.
- 10 NEW EXTERIOR FACADE WALL- EIFS OVER GYP SHEATHING OVER STEEL STUD FRAMING
- 11 LINE OF NEW CANOPY ABOVE
- 12 NEW DEMISING WALL SEE DETAIL 9/A7.0
- 13 ONE PAIR OF STOREFRONT DOORS SEE DOOR SCHEDULE FOR MORE INFO.

- 14 ELASOMARIC PAINT O/SKIM COAT PLASTER O/ EXIST. CMU
- 15 FLASHING OVER CORNICE PAINTED TO MATCH ADJACENT WALL
- 16 NEW CORNICE SEE DETAIL 6/A7.0
- 17 NEW SIGNAGE LOCATION SEE ELEC. FOR MORE INFO.
- 18 NOT USED
- 19 SIDE TO BE FRAMED AND FINISHED TO MATCH EXIST. ADJACENT WALL.
- 20 EXISTING WALL TO BE PAINTED
- 21 NEW TENANT SIGNAGE SEE ELEC. FOR MORE INFO.
- 22 NEW ELEC PANEL COORDINATE WITH TENANT PLANS FOR EXACT LOCATION
- 23 PROVIDE WATER AND SEWER STUB OUT. COORDINATE EXACT LOCATION WITH TENANT PLANS.
- 24 PROVIDE ELEC. PANEL SEE ELEC. FOR MORE INFO
- 25 PROVIDE GAS TO SUITE PER TENANTS REQUIREMENTS.

LEGEND

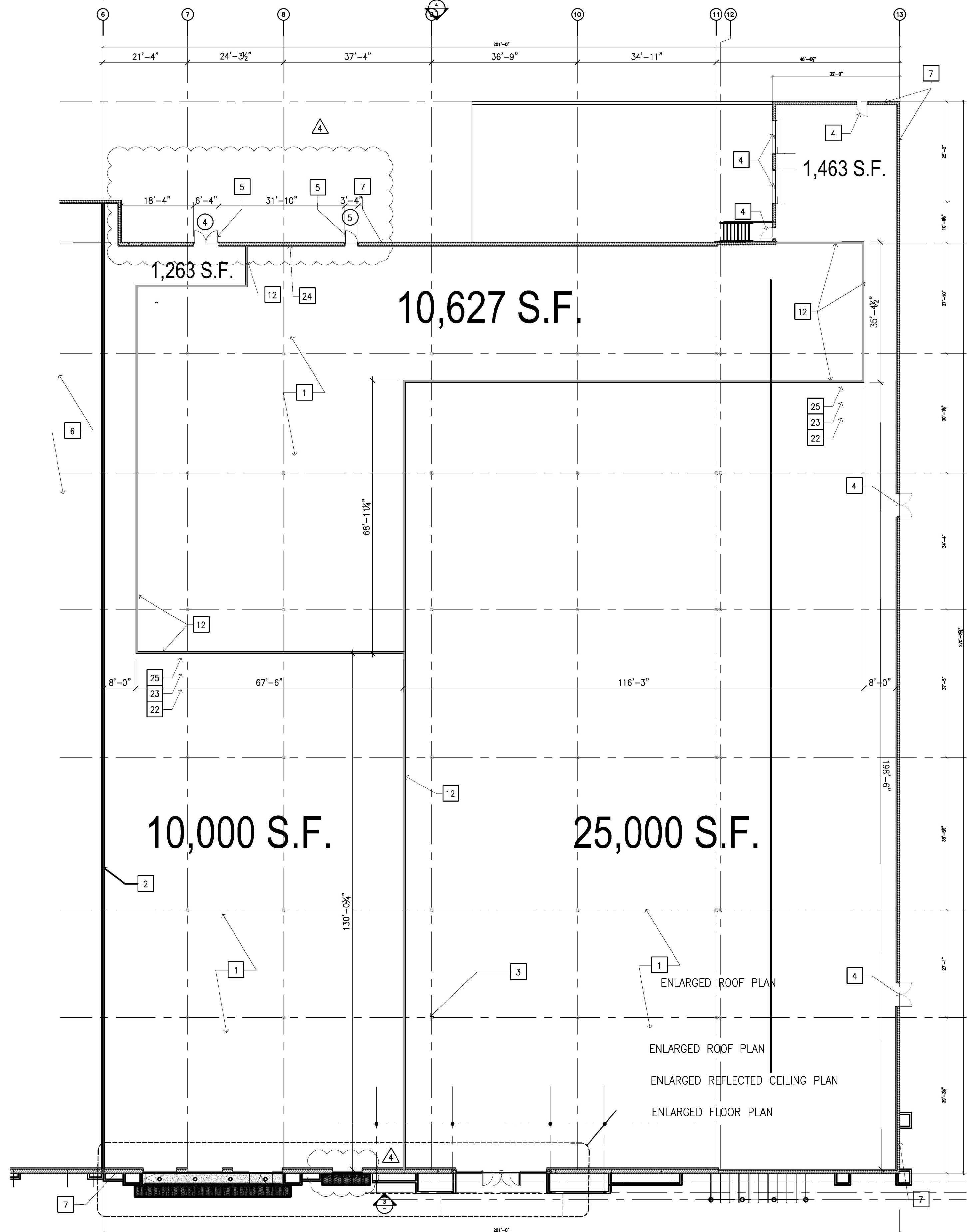
- NEW RECESSED LIGHT

- 201 SOFFIT-EXTERIOR PLASTER SYSTEM O/GYP SHEATHING O/MTL. FRAMING
- 202 SOFFIT VENT SEE DETAIL
- 203 RECESSED LIGHTS SEE ELEC FOR MORE INFO.
- 204 PROVIDE ACCESS HATCH PAINT TO MATCH ADJACENT WALL
- 205 STEEL CANOPY SEE DETAILS 1/A7.0

- 301 NEW PARAPET WALL PROVIDE G.I. FLASHING CAP OVER WATERPROOF MEMBRANE PAINT TO MATCH ADJACENT WALL. SEE STRUCT FOR MORE INFO.
- 302 LINE OF EXTERIOR WALL BELOW
- 303 EXISTING PARAPET WALL
- 304 NEW STEEL CANOPY BELOW
- 305 EXIST. ROOF PATCH AND REPAIR AS NECESSARY

- EXISTING TO REMAIN. PATCH & REPAIR AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND TO MAKE READY FOR FINAL TENANT FINISHES
- EXISTING EXTERIOR CMU WALL
- NEW WALL SEE DETAILS. AND STRUCT. FOR MORE INFO.

1. EXIST. SPRINKLER & FP SYSTEM TO REMAIN COMPLETELY OPERATIONAL DURING DEMO & ALL PHASES OF WORK. G.C. TO COORD. W/LL APPROVED FP CONTRACTOR & LOCAL FIRE MARSHALL FOR ALL FP WORK DURING CONSTRUCTION TYP.
2. EXIST. FIRE ALARM SYSTEM TO REMAIN COMPLETELY OPERATIONAL DURING DEMO & ALL PHASES OF WORK. G.C. TO COORD. W/LL APPROVED FA CONTRACTOR & LOCAL FIRE MARSHAL FOR ALL FA WORK DURING CONSTRUCTION TYP.
3. G.C. MUST MAINTAIN A SECOND MEANS OF EGRESS AT ALL TIMES DURING CONSTRUCTION. MINIMUM EGRESS WIDTH SHALL BE NO LESS THAN 3'-8"
4. All new utilities (ductwork, piping, conduit, etc.) installed under the Landlord's scope of work must be installed tight to structure, where this is not feasible, the minimum height allowed is 13'-6" to the bottom of the new utility above the finished floor.
5. The installation of all new equipment (RTU) and utility connections for the tenant must be free and clear of all obstructions whether new or existing. If existing, the GC must relocate these utilities to a location that is not obstructive.
6. The installation of all new equipment by the GC shall provide for all clearances whether required by code or by the manufacturer's installation requirements.
7. All leaks in the space caused by the existing plumbing system or HVAC system must be fixed by GC.
8. Fire sprinkler system to be installed 14' AFF min cir.



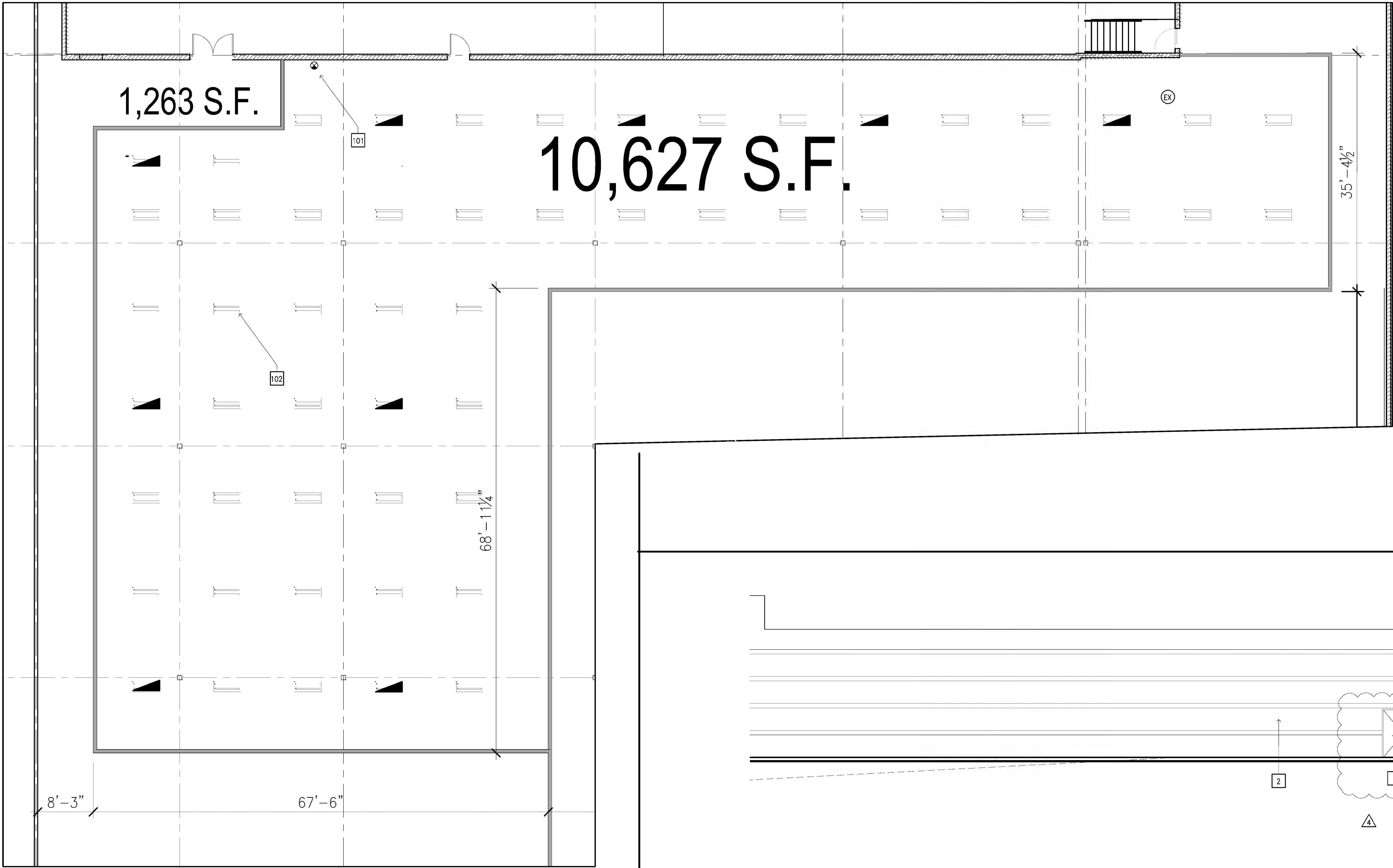
FLOOR PLAN

1/16"=1'-0"

1



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LANDLORD AREA REFLECTED CEILING PLAN

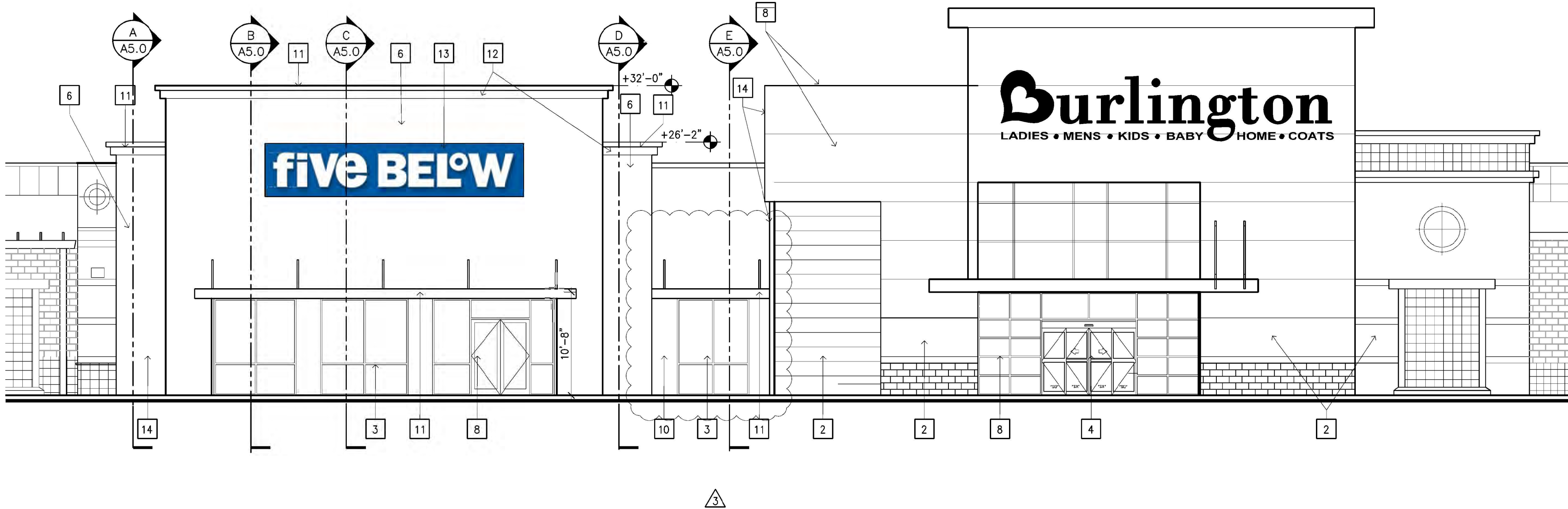
1/8"=1'-0"

4

REAR ELEVATION

1/8"=1'-0"

2



FRONT ELEVATION

1/8"=1'-0"

1

- 101 RELOCATED EXIT SIGN  
102 RELOCATED LIGHT FIXTURES  
SEE ELEC. FOR MORE INFO.

RCP KEYNOTES

- 1 NEW REAR DOOR(S) — SEE DOOR HARDWARE SCHEDULE FOR ADDITIONAL INFO.  
2 EXISTING EXTERIOR WALL  
3 NEW ALUMINUM STOREFRONT WITH CLEAR GLAZING  
4 NEW AUTOMATIC DOORS SEE DOOR SCHEDULE FOR MORE INFO.  
6 NEW EXTERIOR FACADE WALL— ELASTOMERIC PAINT OVER EXTERIOR PLASTER OVER GYP SHEATHING OVER STEEL STUD FRAMING  
7 PAINTED STEEL CANOPY SEE DETAILS  
8 ONE PAIR OF STOREFRONT DOORS SEE DOOR SCHEDULE FOR MORE INFO.  
9 NEW TRASH ENCLOSURE SEE SHEET  
10 NEW ELASTOMERIC PAINT OVER SKIM COAT PLASTER OVER EXIST. CMU  
11 FLASHING OVER CORNICE PAINTED TO MATCH ADJACENT WALL  
12 NEW CORNICE SEE DETAIL 6/A7.0  
13 PROVIDE J—BOX FOR NEW SIGNAGE LOCATION SEE ELEC. FOR MORE INFO. SIGNAGE TO SUBMITTED AND APPROVED SEPARATELY  
14 NEW WALL END CAP FINISH TO MATCH EXISTING WALL  
15 RELOCATE EXISTING ROOF GUTTER DOWNSPOUTS FROM BACK OF TRASH ENCLOSURE  
16 NEW TRASH ENCLOSURE SEE SHEET A0.2 FOR PLANS AND DETAILS. PAINT WITH COLOR AS SELECTED BY ARCHITECT. RELOCATE EXISTING ROOF GUTTER DOWNSPOUTS FROM BACK OF TRASH ENCLOSURE

ELEVATION KEYNOTES