

ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

COTTONWOOD COMMONS

BUILDING SHELL IMPROVEMENTS

3550 NM-528
ALBUQUERQUE, NM 87114

AO PROJECT 2020-007

- WHEN FIRE PROTECTION SYSTEMS ARE INSTALLED OR MODIFIED, A STATE-LICENSED CONTRACTOR MUST SUBMIT PLANS TO THE FIRE DEPARTMENT. PLANS MUST BE SENT WITH A COMPLETED PERMIT APPLICATION AND PERMIT FEE. UPON APPROVAL OF PLANS, A PERMIT WILL BE ISSUED AND WORK CAN THEN COMMENCE. WORK BEING DONE WITHOUT A PERMIT WILL RESULT IN A FINE.
- PROVIDE PORTABLE FIRE EXTINGUISHERS PER NFPA 10. CONSULT WITH A FIRE INSPECTOR REGARDING THIS PRIOR TO OR AT THE TIME OF YOUR FIRE FINAL INSPECTION (FDCO).
- EXIT DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY.
- PROVIDE BUILDING/SUITE ADDRESS NUMBER/LETTER ON THE FRONT AND REAR OF THE PREMISES AND ON UTILITY DISCONNECTS. ADDITIONAL ADDRESSING MAY BE REQUIRED PER THE FIRE INSPECTOR AT THE TIME OF FIRE FINAL.
- VERIFY EXIT AND EMERGENCY LIGHTING ARE OPERATIONAL AND WILL SUPPLY 90 MINUTES OF BACKUP ILLUMINATION. ADDITIONAL EMERGENCY LIGHTING MAY BE REQUIRED AND IS SUBJECT TO FIELD VERIFICATION. EMERGENCY LIGHTING IS REQUIRED IN ALL RESTROOMS PER CITY OF ALLEN REQUIREMENT.
- VERIFY THAT ANY FIRE ALARM, FIRE SPRINKLER SYSTEMS, FIRE EXTINGUISHERS HAVE CURRENT INSPECTIONS AND TAGS AFFIXED AT THE TIME OF FINAL FIRE INSPECTION.
- A FIRE DEPARTMENT FINAL INSPECTION IS REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ALL INSPECTIONS SHALL BE SCHEDULED AT LEAST 48 HOURS IN ADVANCE.
- PROVIDE PREMISE KEYS TO BE PLACED IN THE KNOX BOX ALREADY PRESENT ON THE BUILDING.

ALL WORK SHALL BE IN CONFORMANCE WITH THE CODES IDENTIFIED IN THE GOVERNING CODES SECTION LISTED BELOW.

2015 NEW MEXICO COMMERCIAL BUILDING CODE
2015 NEW MEXICO EARTHEN BUILDING MATERIALS CODE
2017 NEW MEXICO ELECTRICAL CODE
2006 NEW MEXICO ENERGY CONSERVATION CODE
2015 NEW MEXICO EXISTING BUILDING CODE
2015 NEW MEXICO HISTORIC EARTHEN BUILDINGS CODE
2015 NEW MEXICO MECHANICAL CODE
2015 NEW MEXICO PLUMBING CODE
2015 NEW MEXICO RESIDENTIAL BUILDING CODE

ACCESSIBILITY REQUIREMENTS PER THE FEDERAL ADA, ANSII 117.1-2009 AND 2016 CBC OR AS AMENDED BY STATE OR LOCAL REGULATIONS, WHICHEVER IS MOST RESTRICTIVE

GOVERNING CODES

- FIRE SPRINKLER:
 - FIRE SPRINKLER SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATIONS TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM OR ANY OTHER FIRE RELATED SYSTEM
 - THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2015 INTERNATIONAL FIRE CODE.
- SEPARATE PLAN CHECK & PERMIT REQUIRED FOR MISCELLANEOUS STRUCTURES:
 - CONSTRUCTION BARRIERS FOR PEDESTRIAN ACCESS
 - EXTERIOR SIGNAGE
 - TENANT PROVIDED FENCING

AO ARCHITECTS, THE REGISTERED DESIGN PROFESSIONAL IN CHARGE, SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.

PROJECT TITLE

DEVELOPER/OWNER MANAGER

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STRUCTURAL

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REDMISE EXISTING 48,510 RETAIL SUITE INTO 3 SPACES, CONSISTING OF
RETAIL SPACE = 11,297 S.F.
RETAIL SPACE = 26,472 S.F.
LANDLORD SPACE (STORAGE) = 10,471 S.F.

EXISTING UTILITIES ARE TO BE SPLIT AND SEPARATE ELEC., SEWER, WATER AND GAS TO BE SUPPLIED TO EACH SUITE. A NEW EXTERIOR FACADE AND STOREFRONT IS ADDED FOR NEW FUTURE TENANT.

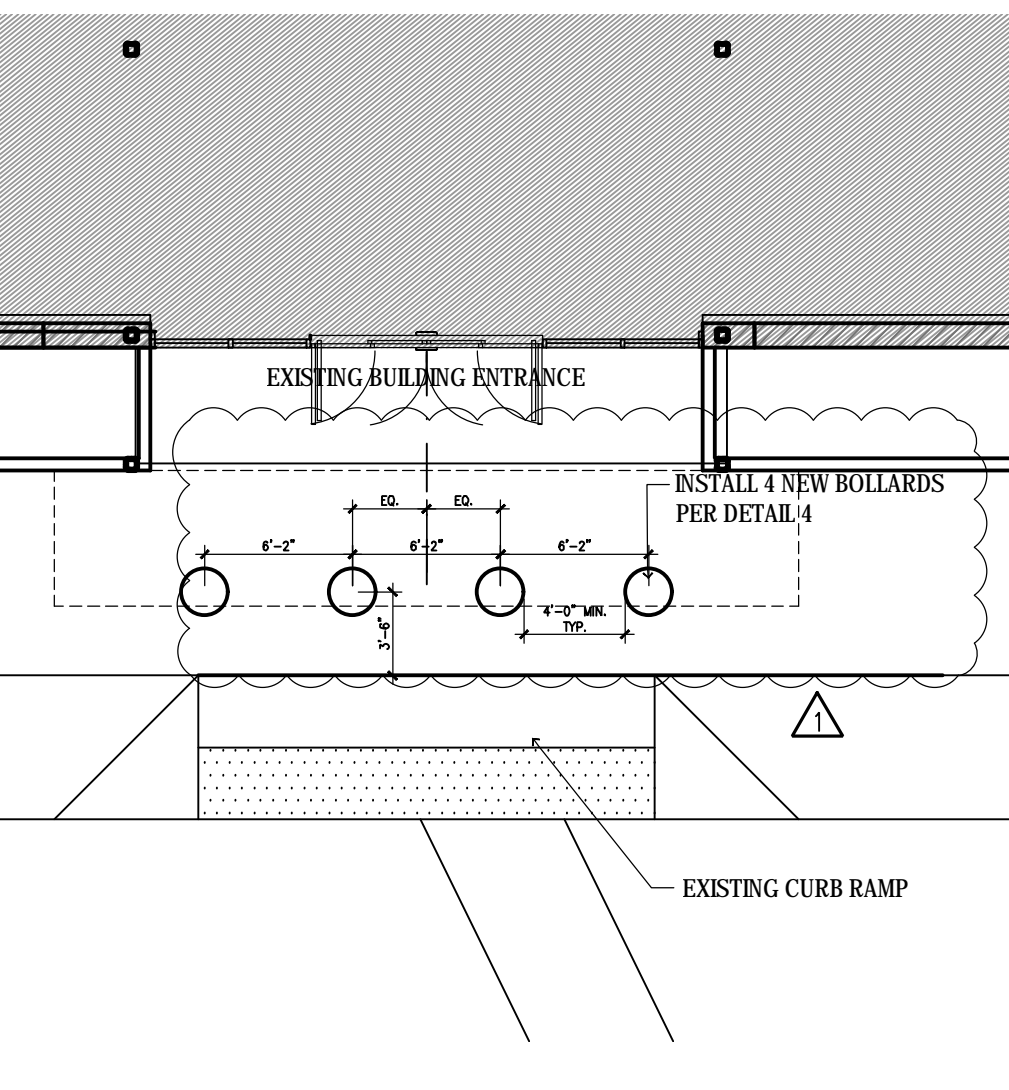
THIS WORK IS LANDLORD BUILDING SHELL IMPROVEMENTS ONLY AND NOT FOR OCCUPANCY. THE INDIVIDUAL TENANTS WILL BE SUBMITTING THEIR OWN TENANT IMPROVEMENT DRAWINGS FOR PERMIT.

TYPE OF CONSTRUCTION: IIA
OCCUPANCY: M
FULLY SPRINKLED: YES
FIRE ALARM SYSTEM: YES

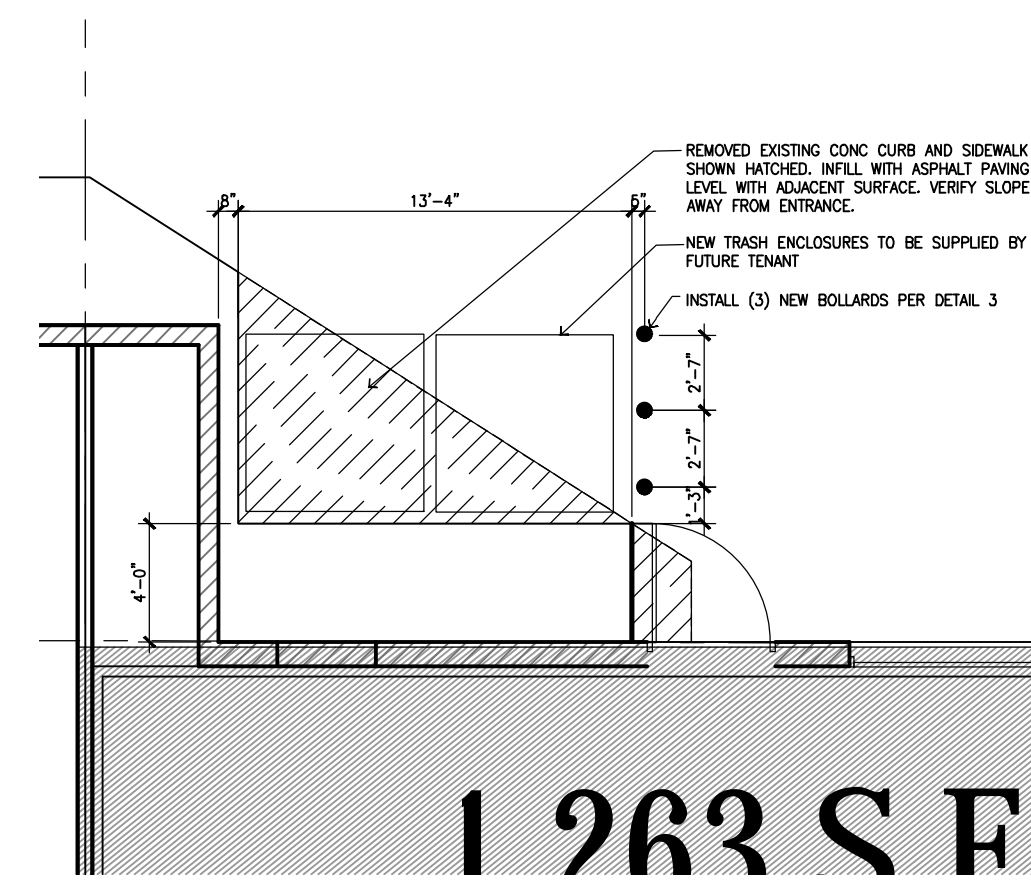
FIRE DEPT. NOTES

- PROPERTY LINE
- DIMENSION LINE
- CENTERLINE
- COLUMN LINE/ GRID LINE
- LETTERS IN ONE DIRECTION
- NUMBERS IN THE OTHER DIRECTION
- SECTION CUT
- SECTION IDENTIFICATION
- SHEET WHERE SECTION IS DRAWN
- DETAIL REFERENCE
- DETAIL IDENTIFICATION
- SHEET WHERE DETAIL IS DRAWN
- INTERIOR ELEVATION REFERENCE
- ELEVATION IDENTIFICATION
- DOOR SYMBOL
- DOOR NUMBER
- WINDOW SYMBOL
- WINDOW LETTER
- NOTE SYMBOL
- NOTE NUMBER
- REVISION
- REVISION NUMBER WITH CLOUD
- AROUND REVISED AREA
- MATCH LINE
- SHADED PORTION INDICATES THE SIDE CONSIDERED
- WORK POINT, DATUM POINT, OR CONTROL POINT
- ROOM IDENTIFICATION

DEFERRED/ SEPARATE SUBMITTALS



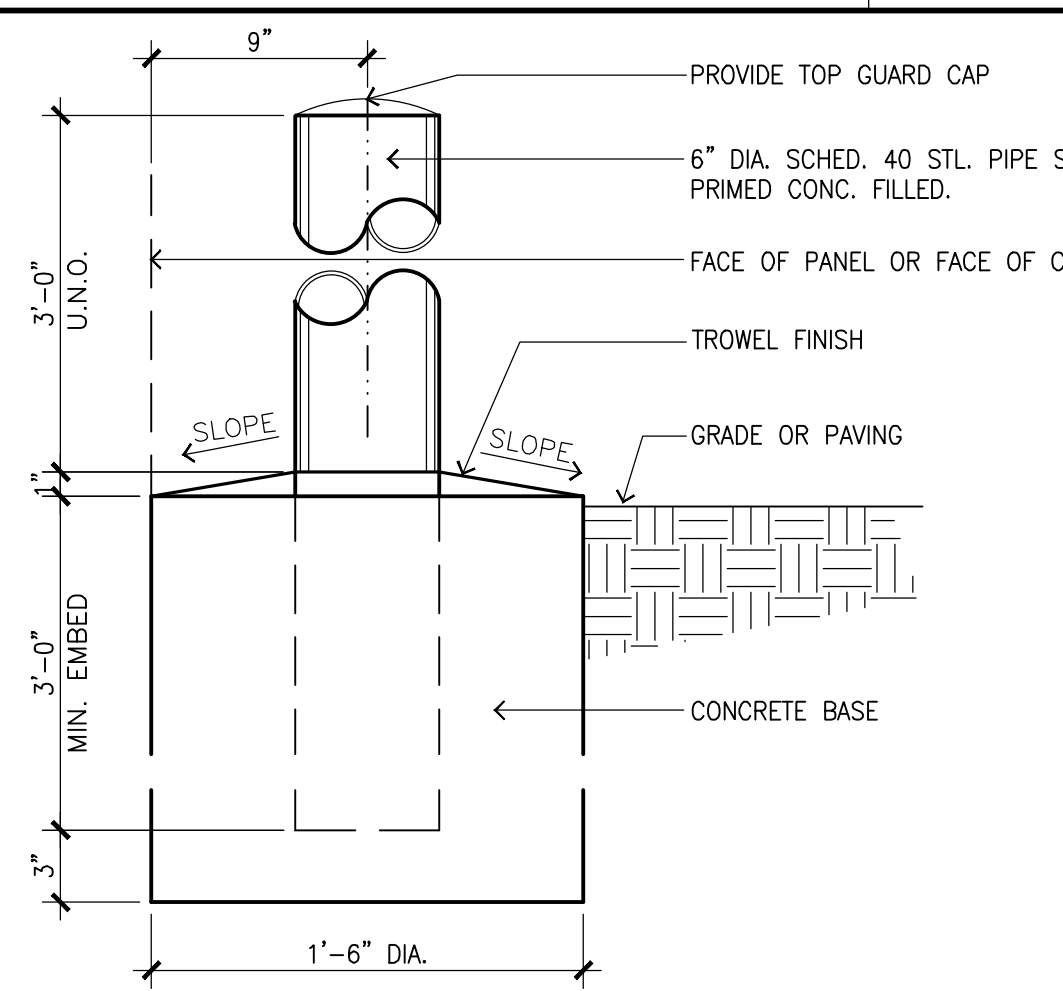
PROJECT TEAM



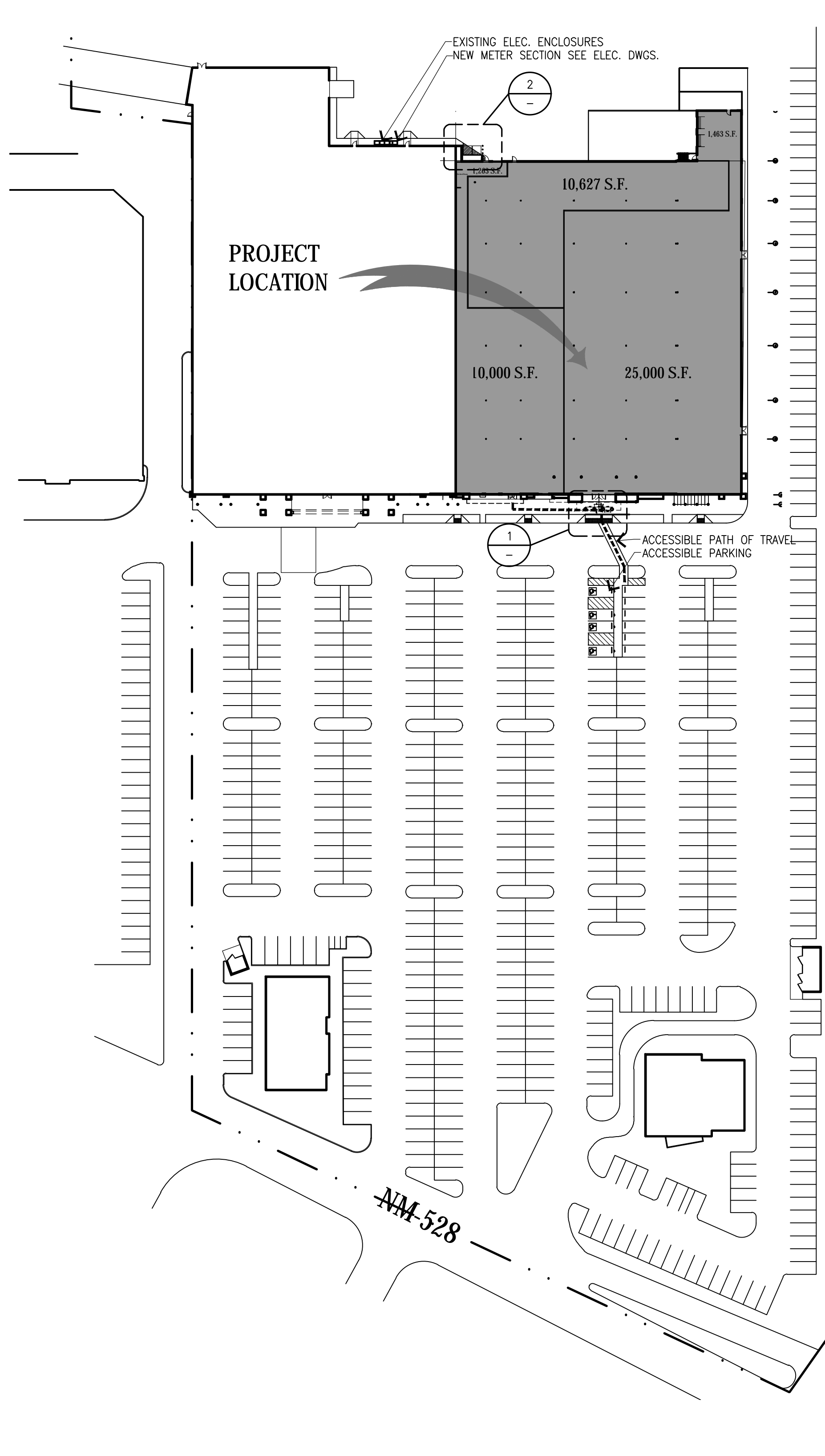
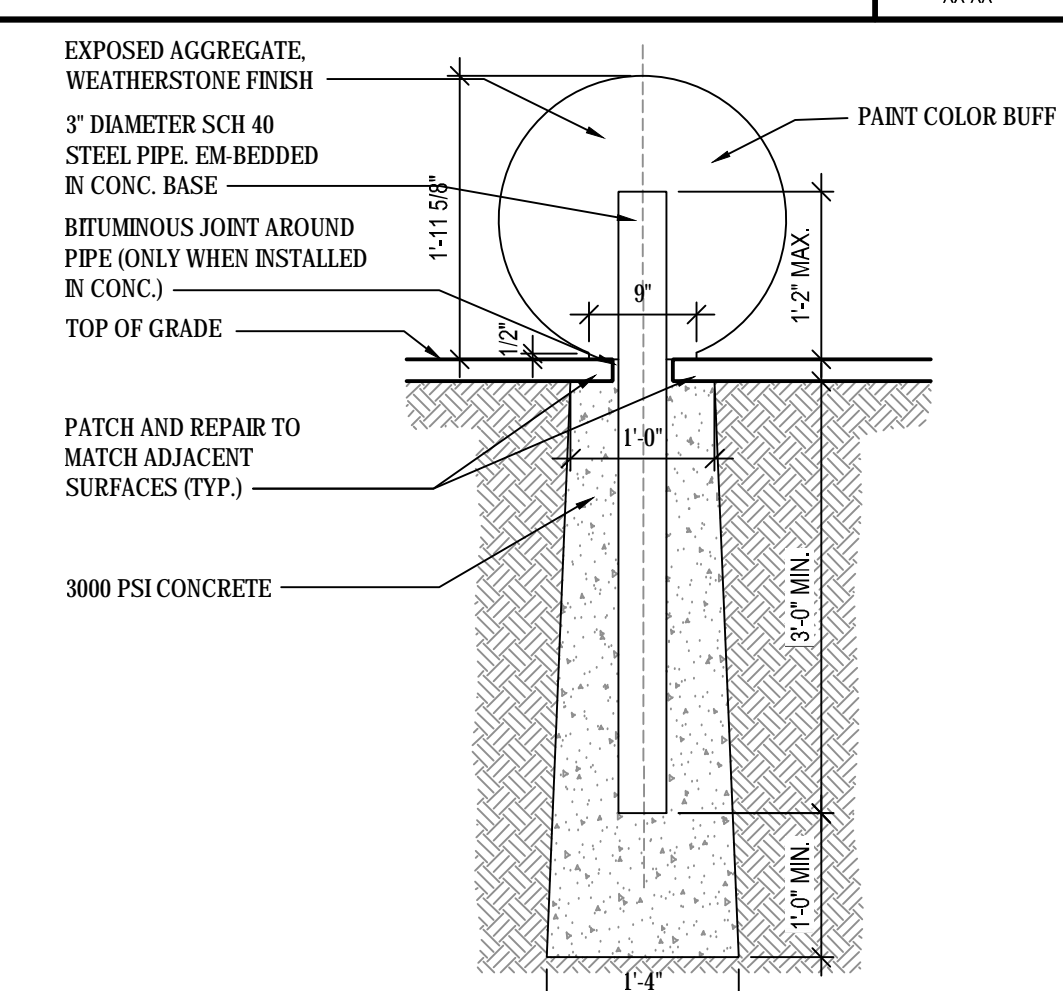
ENLARGED SITE DETAIL 1

- THESE DRAWINGS ARE THE PROPERTY OF ARCHITECTS ORANGE AND ARE NOT TO BE USED FOR ANY OTHER THAN THE LOCATION SHOWN HEREON.
- NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT/ ENGINEER WHOSE SIGNATURE APPEARS HEREON.
- DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
- NO FRAMING OF ANY TYPE IS TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- REFERENCES TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
- DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND TO THE OWNER. CORRECTED DRAWINGS OR INSTRUCTION SHALL BE ISSUED BY THE OWNER PRIOR TO THE INSTALLATION OF ANY WORK. ALL DIMENSIONS ARE TO BE ROUGH UNLESS OTHERWISE NOTED. ARCHITECT'S DRAWINGS SHALL GOVERN OVER STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE DRAWINGS.
- ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF THE CONSTRUCTION. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS. THE APPLICABLE CODES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO 2019 CALIFORNIA BUILDING CODE.
- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- PROVIDE SAFETY GLAZING IN LOCATIONS INDICATED IN SECTION 2406.3 OF THE IBC.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE CONSTRUCTION SAFETY ORDERS ENFORCED BY THE STATE OF TEXAS.
- CONSTRUCT NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
- EXACT LOCATION AND NUMBER OF EXIT SIGNS SHALL BE DETERMINED BY FIELD INSPECTOR AFTER THE INSTALLATION OF ALL MAJOR EQUIPMENT. CONTRACTOR SHALL CONDUCT SUCH FIELD INSPECTION PRIOR TO INSTALLATION OF ANY EXIT SIGNAGE.
- PRIOR TO BID, THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW EXISTING CONDITIONS. THE PRICE QUOTED SHALL INCLUDE ALL NECESSARY LABOR AND MATERIALS REQUIRED TO COMPLETE THE CONSTRUCTION DUE TO EXISTING CONDITIONS NOT SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL VISIT THE SITE AND COORDINATE ALL CONSTRUCTION WITH EXISTING PHASES AND THE OWNER PRIOR TO BID. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE EXISTING CONDITION SHALL BE VERIFIED PRIOR TO BID AND CONSTRUCTION.

ENLARGED SITE DETAIL 2



BOLLARD WITH CAP



PROJECT DESCRIPTION / CODE ANALYSIS

ARCHITECTURAL

- A0.0 TITLE SHEET, SHEET INDEX, GENERAL NOTES
- A1.0 ADA NOTES
- A1.0 DEMOLITION FLOOR PLAN
- A2.0 DEMOLITION REFLECTED CEILING PLAN
- A3.0 FLOOR PLAN
- A4.0 ELEVATIONS AND ROOF PLAN
- A5.0 WALL SECTIONS
- A6.0 DOOR SCHEDULE AND DETAILS
- A7.0 DETAILS
- F2 FIRE 2 SHEET

STRUCTURAL

- S-001 ABBREVIATIONS AND LEGENDS
- S-002 GENERAL STRUCTURAL NOTES
- S-003 SPECIAL INSPECTION TABLES
- S-001 OVERALL PLAN
- S-101 FOUNDATION AND FRAMING PLANS
- S-301 SECTIONS AND DETAILS

ELECTRICAL

- E1.0 ELECTRICAL DEMOLITION
- E2.0 ELECTRICAL ELECTRICAL PLAN
- E3.0 ELECTRICAL SYMBOLS PANELS SCHEDULES AND ONE-LINE DIAGRAMS
- E4.0 ELECTRICAL SPECIFICATIONS

MECHANICAL

- M1.0 MECHANICAL PLAN
- M1.1 MECHANICAL

PLUMBING

- P1.0 PLUMBING PLAN

SHEET INDEX



ABBREVIATIONS

- ROOM NAME
- FLOOR FINISH
- CEILING HEIGHT
- SQUARE FEET
- CEILING MATERIAL
- WALL FINISH
- EARTH
- ROCK FILL
- SAND/MORTAR/PLASTER
- CONCRETE CAST IN PLACE OR PRECAST
- METAL OMIT INDICATION AT SMALL SCALE
- WOOD, FINISH
- WOOD, FRAMING CONTINUOUS MEMBER
- WOOD, FRAMING INTERRUPTED MEMBER
- PLYWOOD
- GLASS OMIT INDICATION AT SMALL SCALE
- GYPSON BOARD OMIT DOUBLE LINES AT SMALL SCALE
- INSULATION, BATT
- INSULATION, RIGID

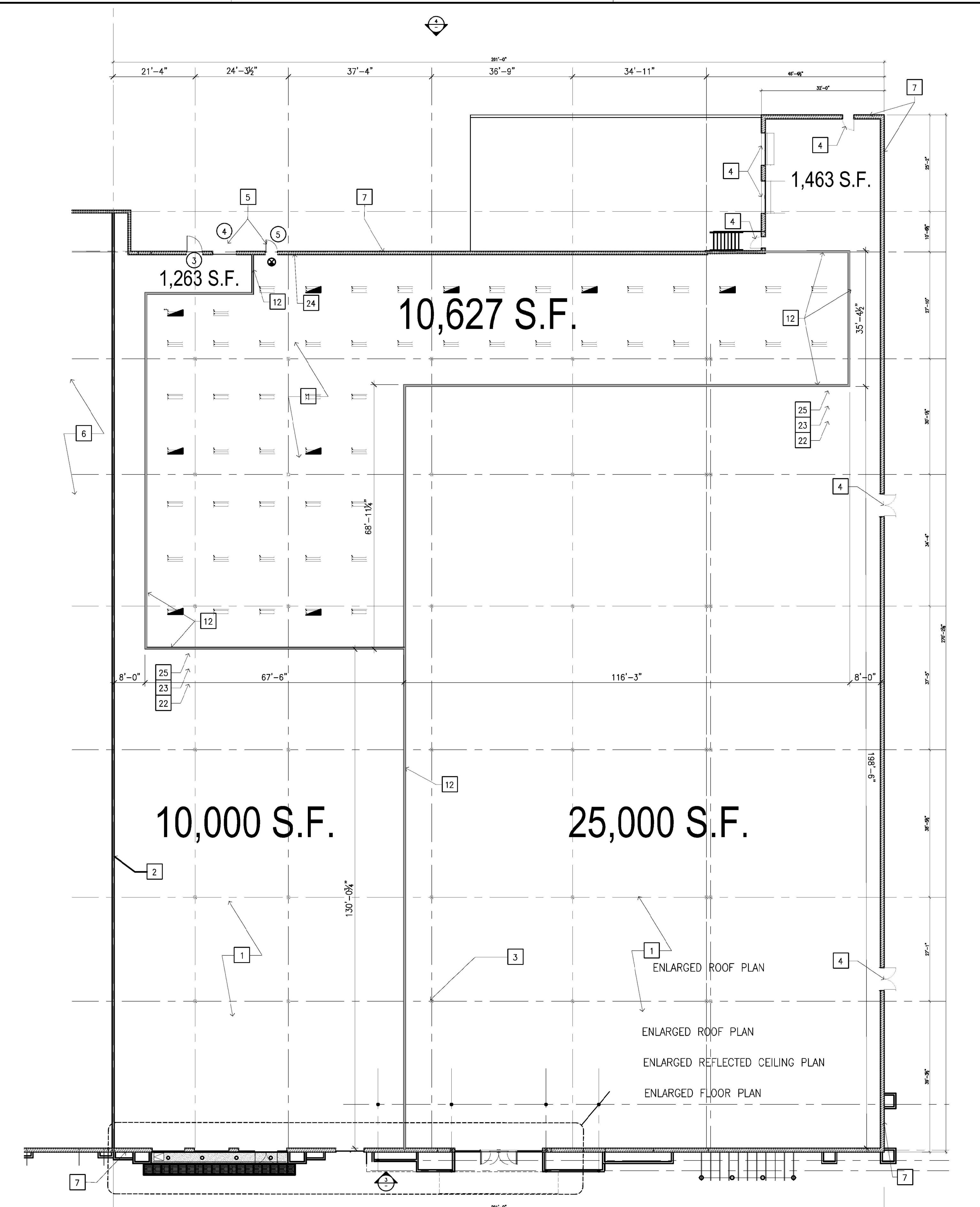
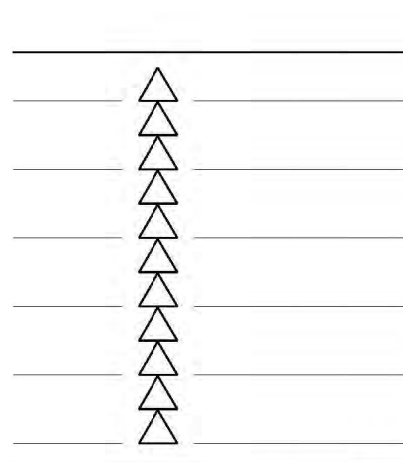
GENERAL NOTES

BURLINGTON BOLLARD

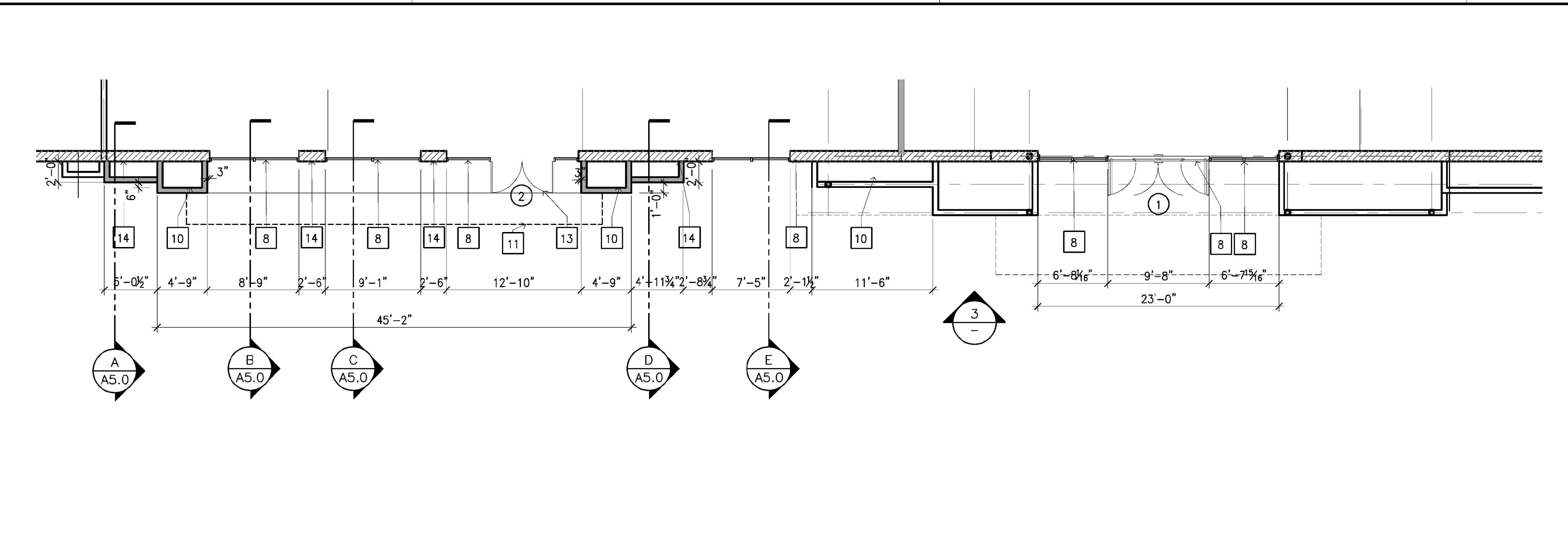
SITE PLAN

VICINITY MAP

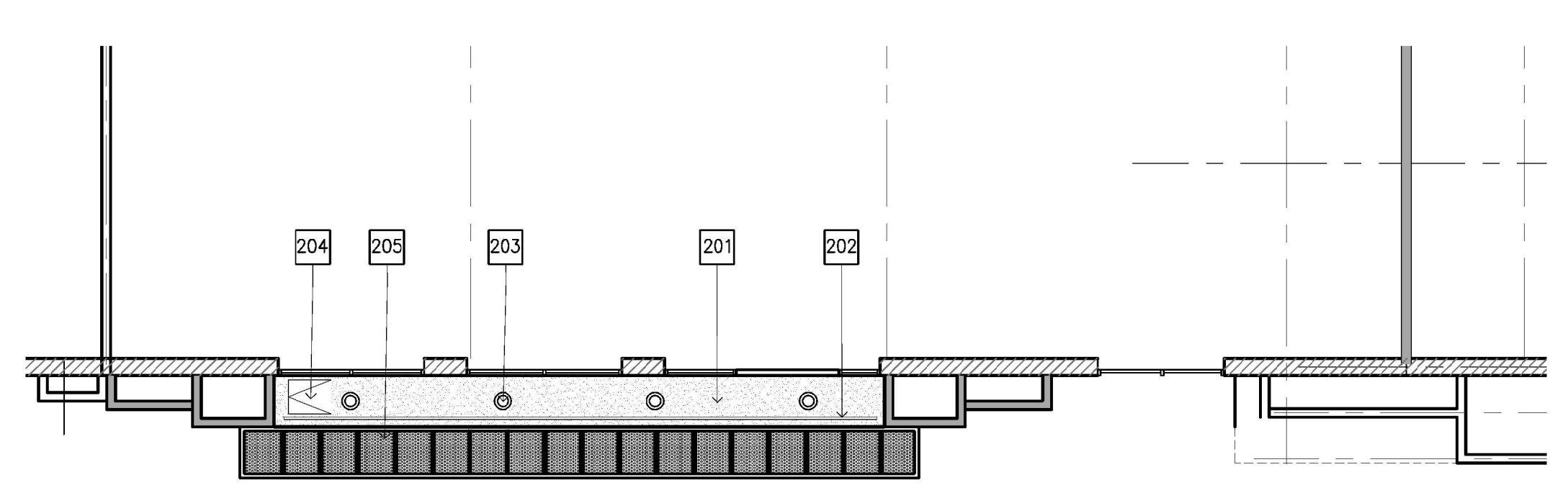
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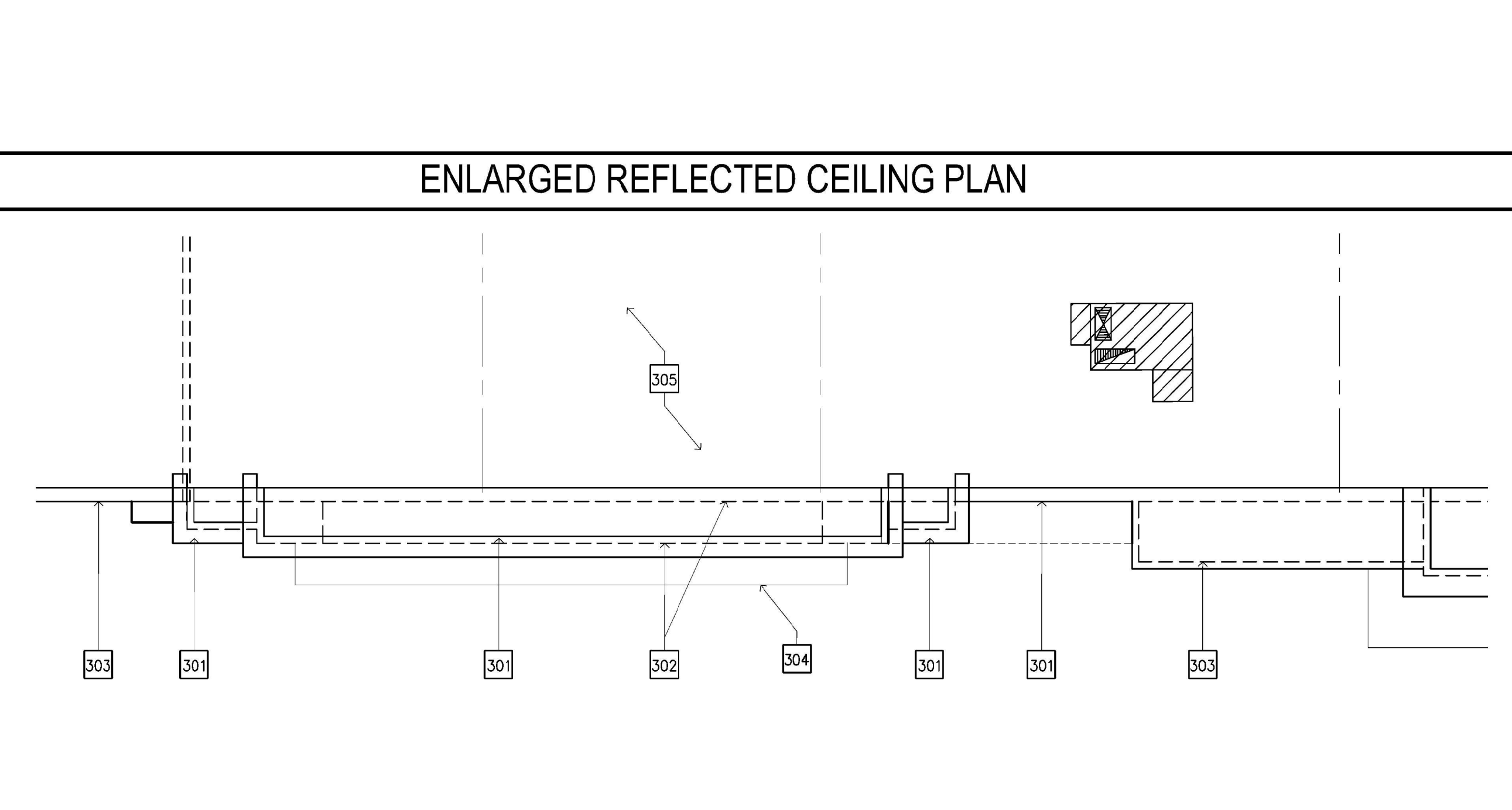
FLOOR PLAN 1/16"=1'-0" ①



ENLARGED FLOOR PLAN 1/8"=1'-0" ②



ENLARGED REFLECTED CEILING PLAN 1/8"=1'-0" ③



ENLARGED ROOF PLAN 1/8"=1'-0" ④

- | | |
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| <ul style="list-style-type: none"> ① PATCH & REPAIR SLAB AS REQUIRED TO PROVIDE CLEAN & LEVEL SLAB FOR FUTURE TENANT. ② (E) TENANT DEMISING WALL TO REMAIN PATCH AND REPAIR AS NECESSARY FOR TENANT FINISHES ③ (E) STEEL COLUMN ④ (E) EXIT DOOR TO REMAIN. ⑤ NEW REAR DOOR(S) - SEE DOOR HARDWARE SCHEDULE FOR ADDITIONAL INFO. ⑥ ADJACENT SUITE NO WORK ⑦ EXISTING EXTERIOR WALL ⑧ NEW ALUMINUM STOREFRONT WITH CLEAR GLAZING ⑨ NEW AUTOMATIC DOORS SEE DOOR SCHEDULE FOR MORE INFO. ⑩ NEW EXTERIOR FACADE WALL- EIFS OVER GYP SHEATHING OVER STEEL STUD FRAMING ⑪ LINE OF NEW CANOPY ABOVE ⑫ NEW DEMISING WALL SEE DETAIL 9/A7.0 ⑬ ONE PAIR OF STOREFRONT DOORS SEE DOOR SCHEDULE FOR MORE INFO. | <ul style="list-style-type: none"> ⑭ ELASOMARIC PAINT O/SKIM COAT PLASTER O/ EXIST. CMU ⑮ FLASHING OVER CORNICE PAINTED TO MATCH ADJACENT WALL ⑯ NEW CORNICE SEE DETAIL XXX/XXX ⑰ NEW SIGNAGE LOCATION SEE ELEC. FOR MORE INFO. ⑱ NOT USED ⑲ SIDE TO BE FRAMED AND FINISHED TO MATCH EXIST. ADJACENT WALL. ⑳ EXISTING WALL TO BE PAINTED ㉑ NEW TENANT SIGNAGE SEE ELEC. FOR MORE INFO. ㉒ NEW ELEC PANEL COORDINATE WITH TENANT PLANS FOR EXACT LOCATION ㉓ PROVIDE WATER AND SEWER STUB OUT. COORDINATE EXACT LOCATION WITH TENANT PLANS. ㉔ PROVIDE ELEC. PANEL SEE ELEC. FOR MORE INFO ㉕ PROVIDE GAS TO SUITE PER TENANTS REQUIREMENTS. |
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- LEGEND**
- ① SOFFIT-EXTERIOR PLASTER SYSTEM O/GYPSHEATHING O/MTL. FRAMING
 - ② SOFFIT VENT SEE DETAIL
 - ③ RECESSED LIGHTS SEE ELEC FOR MORE INFO.
 - ④ PROVIDE ACCESS HATCH PAINT TO MATCH ADJACENT WALL
 - ⑤ STEEL CANOPY SEE DETAILS XXXX
 - ⑥ NEW PARAPET WALL PROVIDE G.I. FLASHING CAP OVER WATERPROOF MEMBRANE PAINT TO MATCH ADJACENT WALL. SEE STRUCT FOR MORE INFO.
 - ⑦ LINE OF EXTERIOR WALL BELOW
 - ⑧ EXISTING PARAPET WALL
 - ⑨ NEW STEEL CANOPY BELOW
 - ⑩ EXIST. ROOF PATCH AND REPAIR AS NECESSARY
 - ⑪ NEW RECESSED LIGHT

- ① EXISTING TO REMAIN. PATCH & REPAIR AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND TO MAKE READY FOR FINAL TENANT FINISHES
- ② EXISTING EXTERIOR CMU WALL
- ③ NEW WALL SEE DETAILS AND STRUCT. FOR MORE INFO.

1. EXIST. SPRINKLER & FP SYSTEM TO REMAIN COMPLETELY OPERATIONAL DURING DEMO & ALL PHASES OF WORK. G.C. TO COORD. W/LL APPROVED FP CONTRACTOR & LOCAL FIRE MARSHALL FOR ALL FP WORK DURING CONSTRUCTION TYP.
2. EXIST. FIRE ALARM SYSTEM TO REMAIN COMPLETELY OPERATIONAL DURING DEMO & ALL PHASES OF WORK. G.C. TO COORD. W/LL A PPROVED FA CONTRACTOR & LOCAL FIRE MARSHAL FOR ALL FA WORK DURING CONSTRUCTION TYP.
3. G.C. MUST MAINTAIN A SECOND MEANS OF EGRESS AT ALL TIMES DURING CONSTRUCTION. MINIMUM EGRESS WIDTH SHALL BE NO LESS THAN 3'-8"
4. All new utilities (ductwork, piping, conduit, etc.) installed under the Landlord's scope of work must be installed tight to structure, where this is not feasible, the minimum height allowed is 13'-6" to the bottom of the new utility above the finished floor.
5. The installation of all new equipment (RTU) and utility connections for the tenant must be free and clear of all obstructions whether new or existing. If existing, the GC must relocate these utilities to a location that is not obstructive.
6. The installation of all new equipment by the GC shall provide for all clearances whether required by code or by the manufacturer's installation requirements.
7. All leaks in the space caused by the existing plumbing system or HVAC system must be fixed by GC.
8. All existing utilities located below 12'-6" shall be raised.

FLOOR PLAN KEYNOTES

REFLECTED CEILING PLAN KEYNOTES

ROOF PLAN KEYNOTES

LEGEND

GENERAL NOTES

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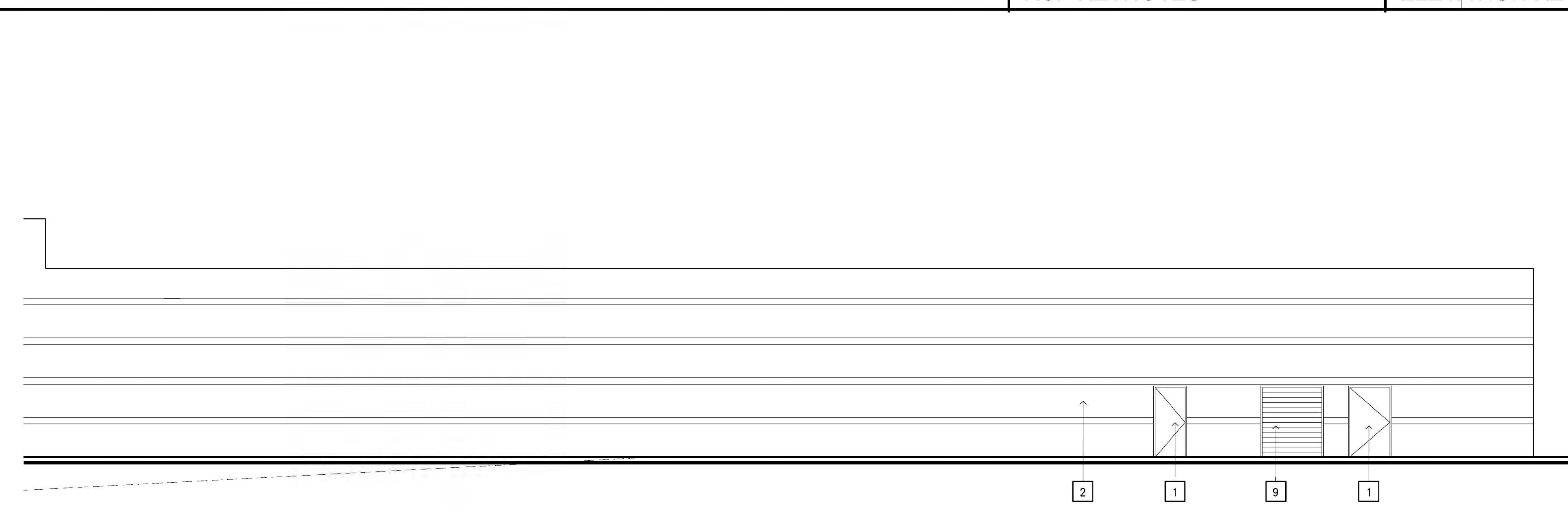
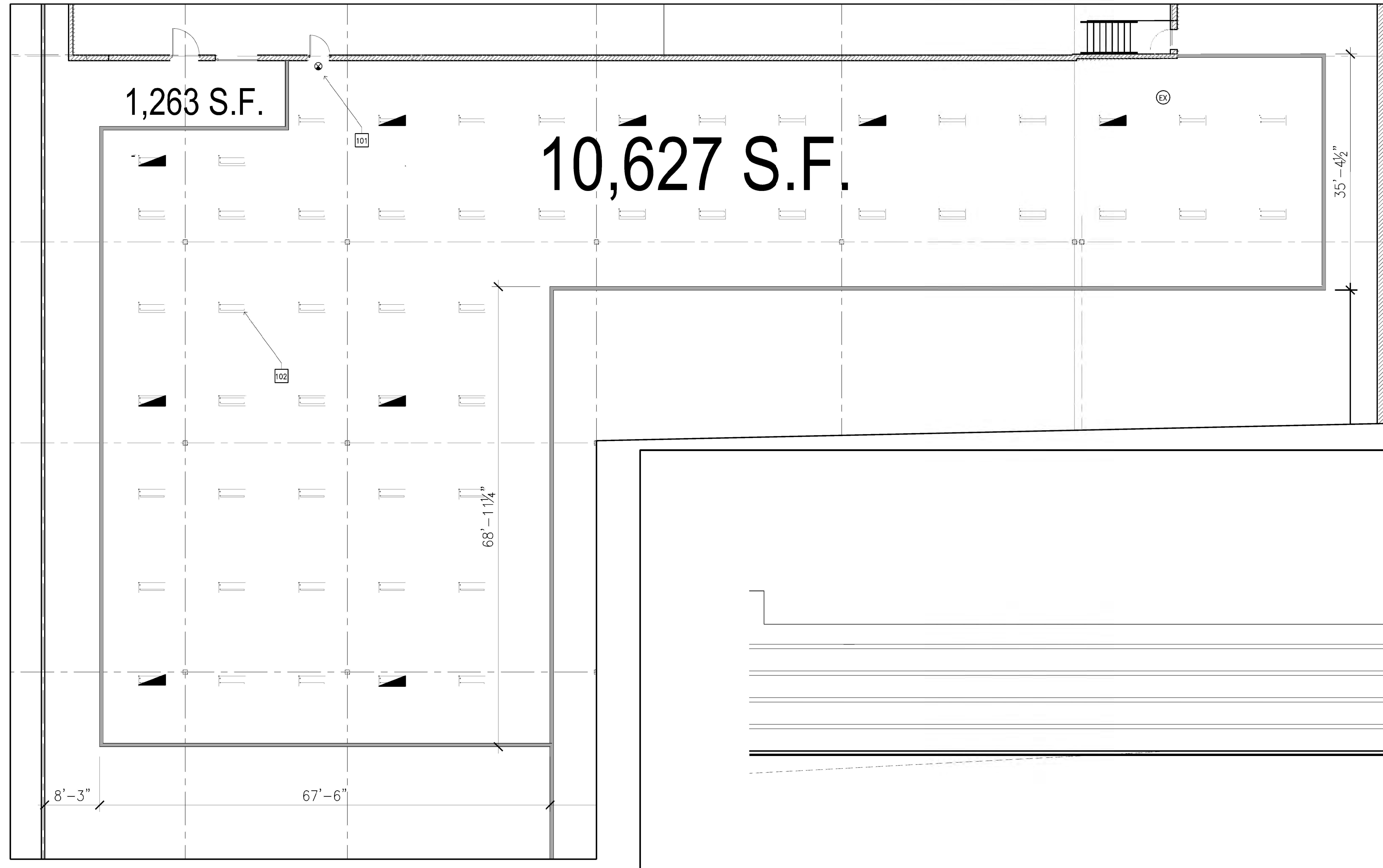
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log last saved: Dec 22 2020 11:07 AM by: Linda

- 101 RELOCATED EXIT SIGN
- 102 RELOCATED LIGHT FIXTURES SEE ELEC. FOR MORE INFO.

- 1 NEW REAR DOOR(S) — SEE DOOR HARDWARE SCHEDULE FOR ADDITIONAL INFO.
- 2 EXISTING EXTERIOR WALL
- 3 NEW ALUMINUM STOREFRONT WITH CLEAR GLAZING
- 4 NEW AUTOMATIC DOORS SEE DOOR SCHEDULE FOR MORE INFO.
- 6 NEW EXTERIOR FACADE WALL— ELASTOMERIC PAINT OVER EXTERIOR PLASTER OVER GYP SHEATHING OVER STEEL STUD FRAMING
- 7 PAINTED STEEL CANOPY SEE DETAILS
- 8 ONE PAIR OF STOREFRONT DOORS SEE DOOR SCHEDULE FOR MORE INFO.
- 9 NEW ROLL UP DOOR PAINTED TO MATCH ADJACENT EXTERIOR WALL
- 10 NEW ELASTOMERIC PAINT OVER SKIM COAT PLASTER OVER EXIST. CMU
- 11 FLASHING OVER CORNICE PAINTED TO MATCH ADJACENT WALL
- 12 NEW CORNICE SEE DETAIL XXX/XXX
- 13 NEW SIGNAGE LOCATION SEE ELEC. FOR MORE INFO.
- 14 NEW WALL END CAP FINISH TO MATCH EXISTING WALL

RCP KEYNOTES

ELEVATION KEYNOTES

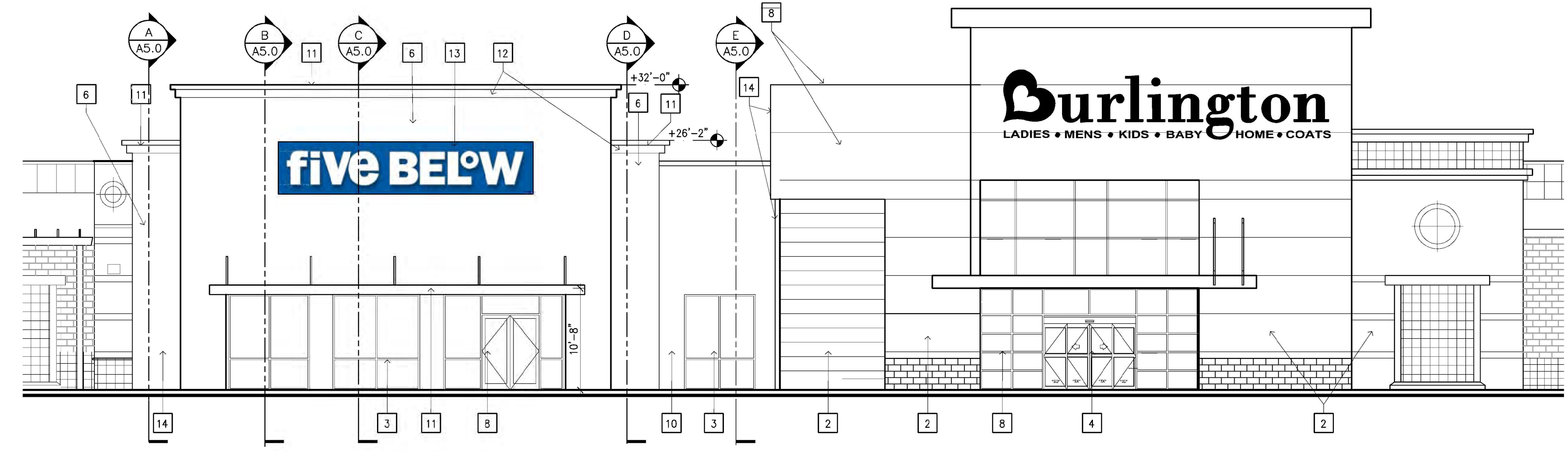


LANDLORD AREA REFLECTED CEILING PLAN

1/8"=1'-0" 4

REAR ELEVATION

1/8"=1'-0" 2



KEYNOTES

FRONT ELEVATION

1/8"=1'-0" 1

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