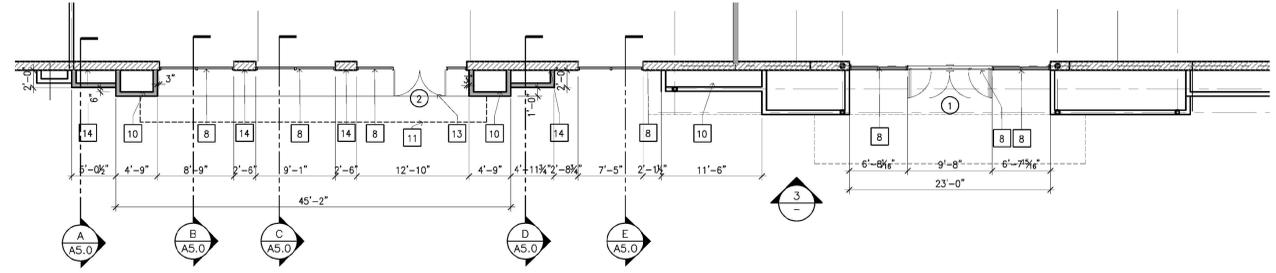
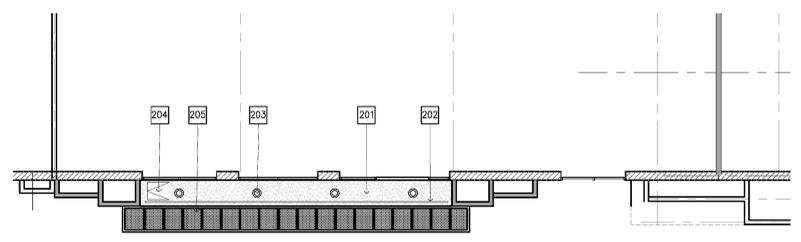


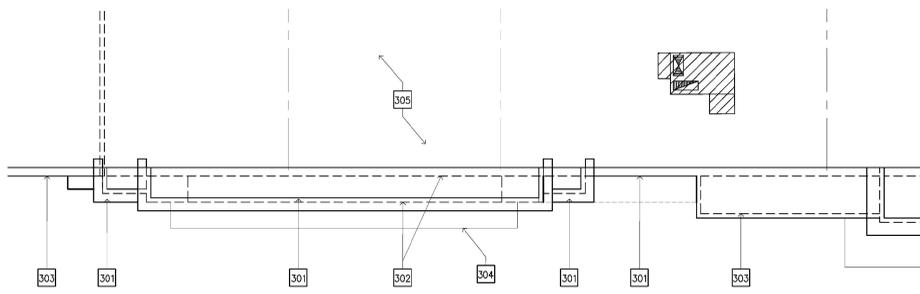
FLOOR PLAN 1/16"=1'-0" ①



ENLARGED FLOOR PLAN 1/8"=1'-0" ②



ENLARGED REFLECTED CEILING PLAN 1/8"=1'-0" ③



ENLARGED ROOF PLAN 1/8"=1'-0" ④

- FLOOR PLAN KEYNOTES**
- 1 PATCH & REPAIR SLAB AS REQUIRED TO PROVIDE CLEAN & LEVEL SLAB FOR FUTURE TENANT.
 - 2 (E) TENANT DEMISING WALL TO REMAIN PATCH AND REPAIR AS NECESSARY FOR TENANT FINISHES
 - 3 (E) STEEL COLUMN
 - 4 (E) EXIT DOOR TO REMAIN.
 - 5 NEW REAR DOOR(S) - SEE DOOR HARDWARE SCHEDULE FOR ADDITIONAL INFO.
 - 6 ADJACENT SUITE NO WORK
 - 7 EXISTING EXTERIOR WALL
 - 8 NEW ALUMINUM STOREFRONT WITH CLEAR GLAZING
 - 9 NEW AUTOMATIC DOORS SEE DOOR SCHEDULE FOR MORE INFO.
 - 10 NEW EXTERIOR FACADE WALL- EIFS OVER GYP SHEATHING OVER STEEL STUD FRAMING
 - 11 LINE OF NEW CANOPY ABOVE
 - 12 NEW DEMISING WALL SEE DETAIL 9/A7.0
 - 13 ONE PAIR OF STOREFRONT DOORS SEE DOOR SCHEDULE FOR MORE INFO.
 - 14 ELASOMARIC PAINT O/SKIM COAT PLASTER O/ EXIST. CMU
 - 15 FLASHING OVER CORNICE PAINTED TO MATCH ADJACENT WALL
 - 16 NEW CORNICE SEE DETAIL XXX/XXX
 - 17 NEW SIGNAGE LOCATION SEE ELEC. FOR MORE INFO.
 - 18 NOT USED
 - 19 SIDE TO BE FRAMED AND FINISHED TO MATCH EXIST. ADJACENT WALL.
 - 20 EXISTING WALL TO BE PAINTED
 - 21 NEW TENANT SIGNAGE SEE ELEC. FOR MORE INFO.
 - 22 NEW ELEC PANEL COORDINATE WITH TENANT PLANS FOR EXACT LOCATION
 - 23 PROVIDE WATER AND SEWER STUB OUT. COORDINATE EXACT LOCATION WITH TENANT PLANS.
 - 24 PROVIDE ELEC. PANEL SEE ELEC. FOR MORE INFO
 - 25 PROVIDE GAS TO SUITE PER TENANTS REQUIREMENTS.

- REFLECTED CEILING PLAN KEYNOTES**
- 201 SOFFIT-EXTERIOR PLASTER SYSTEM O/GYPSHEATHING O/MTL. FRAMING
 - 202 SOFFIT VENT SEE DETAIL
 - 203 RECESSED LIGHTS SEE ELEC FOR MORE INFO.
 - 204 PROVIDE ACCESS HATCH PAINT TO MATCH ADJACENT WALL
 - 205 STEEL CANOPY SEE DETAILS XXXX

LEGEND
● NEW RECESSED LIGHT

- ROOF PLAN KEYNOTES**
- 301 NEW PARAPET WALL PROVIDE G.I. FLASHING CAP OVER WATERPROOF MEMBRANE PAINT TO MATCH ADJACENT WALL. SEE STRUCT FOR MORE INFO.
 - 302 LINE OF EXTERIOR WALL BELOW
 - 303 EXISTING PARAPET WALL
 - 304 NEW STEEL CANOPY BELOW
 - 305 EXIST. ROOF PATCH AND REPAIR AS NECESSARY

- LEGEND**
- EXISTING TO REMAIN. PATCH & REPAIR AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND TO MAKE READY FOR FINAL TENANT FINISHES
 - EXISTING EXTERIOR CMU WALL
 - NEW WALL SEE DETAILS AND STRUCT. FOR MORE INFO.

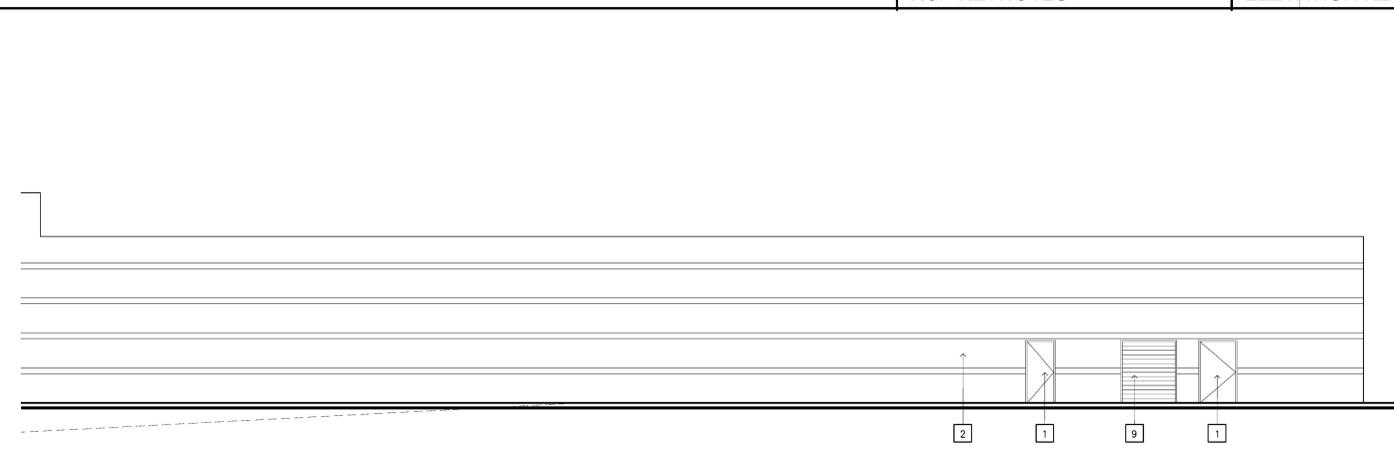
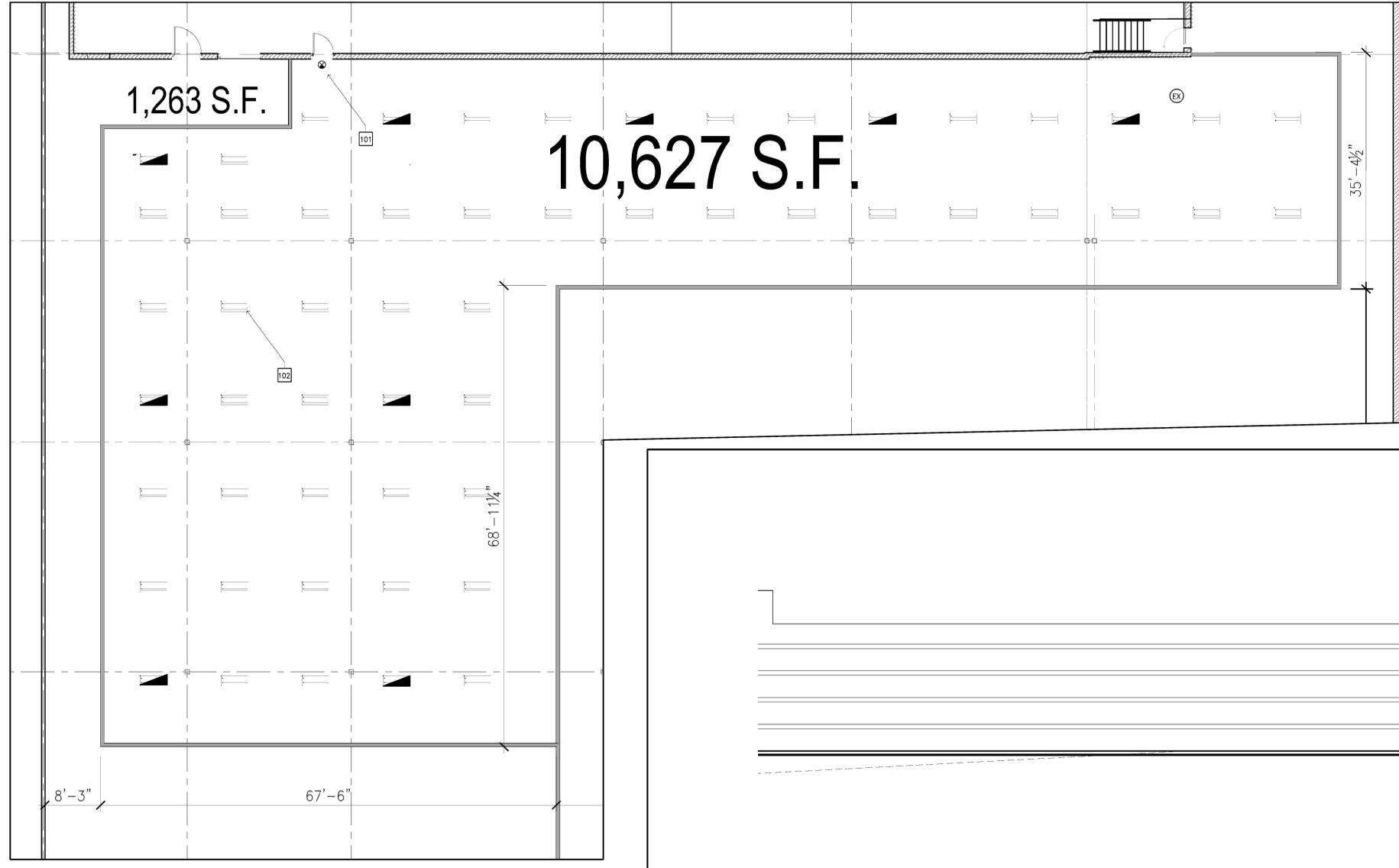
- GENERAL NOTES**
1. EXIST. SPRINKLER & FP SYSTEM TO REMAIN COMPLETELY OPERATIONAL DURING DEMO & ALL PHASES OF WORK. G.C. TO COORD. W/LL APPROVED FP CONTRACTOR & LOCAL FIRE MARSHALL FOR ALL FP WORK DURING CONSTRUCTION TYP.
 2. EXIST. FIRE ALARM SYSTEM TO REMAIN COMPLETELY OPERATIONAL DURING DEMO & ALL PHASES OF WORK. G.C. TO COORD. W/LL A PPROVED FA CONTRACTOR & LOCAL FIRE MARSHAL FOR ALL FA WORK DURING CONSTRUCTION TYP.
 3. G.C. MUST MAINTAIN A SECOND MEANS OF EGRESS AT ALL TIMES DURING CONSTRUCTION. MINIMUM EGRESS WIDTH SHALL BE NO LESS THAN 3'-8"
 4. All new utilities (ductwork, piping, conduit, etc.) installed under the Landlord's scope of work must be installed tight to structure, where this is not feasible, the minimum height allowed is 13'-6" to the bottom of the new utility above the finished floor.
 5. The installation of all new equipment (RTU) and utility connections for the tenant must be free and clear of all obstructions whether new or existing. If existing, the GC must relocate these utilities to a location that is not obstructive.
 6. The installation of all new equipment by the GC shall provide for all clearances whether required by code or by the manufacturer's installation requirements.
 7. All leaks in the space caused by the existing plumbing system or HVAC system must be fixed by GC.
 8. All existing utilities located below 12'-6" shall be raised.

- 101 RELOCATED EXIT SIGN
- 102 RELOCATED LIGHT FIXTURES SEE ELEC. FOR MORE INFO.

- 1 NEW REAR DOOR(S) — SEE DOOR HARDWARE SCHEDULE FOR ADDITIONAL INFO.
- 2 EXISTING EXTERIOR WALL
- 3 NEW ALUMINUM STOREFRONT WITH CLEAR GLAZING
- 4 NEW AUTOMATIC DOORS SEE DOOR SCHEDULE FOR MORE INFO.
- 6 NEW EXTERIOR FACADE WALL— ELASTOMERIC PAINT OVER EXTERIOR PLASTER OVER GYP SHEATHING OVER STEEL STUD FRAMING
- 7 PAINTED STEEL CANOPY SEE DETAILS
- 8 ONE PAIR OF STOREFRONT DOORS SEE DOOR SCHEDULE FOR MORE INFO.
- 9 NEW ROLL UP DOOR PAINTED TO MATCH ADJACENT EXTERIOR WALL
- 10 NEW ELASTOMERIC PAINT OVER SKIM COAT PLASTER OVER EXIST. CMU
- 11 FLASHING OVER CORNICE PAINTED TO MATCH ADJACENT WALL
- 12 NEW CORNICE SEE DETAIL XXX/XXX
- 13 NEW SIGNAGE LOCATION SEE ELEC. FOR MORE INFO.
- 14 NEW WALL END CAP FINISH TO MATCH EXISTING WALL

RCP KEYNOTES

ELEVATION KEYNOTES

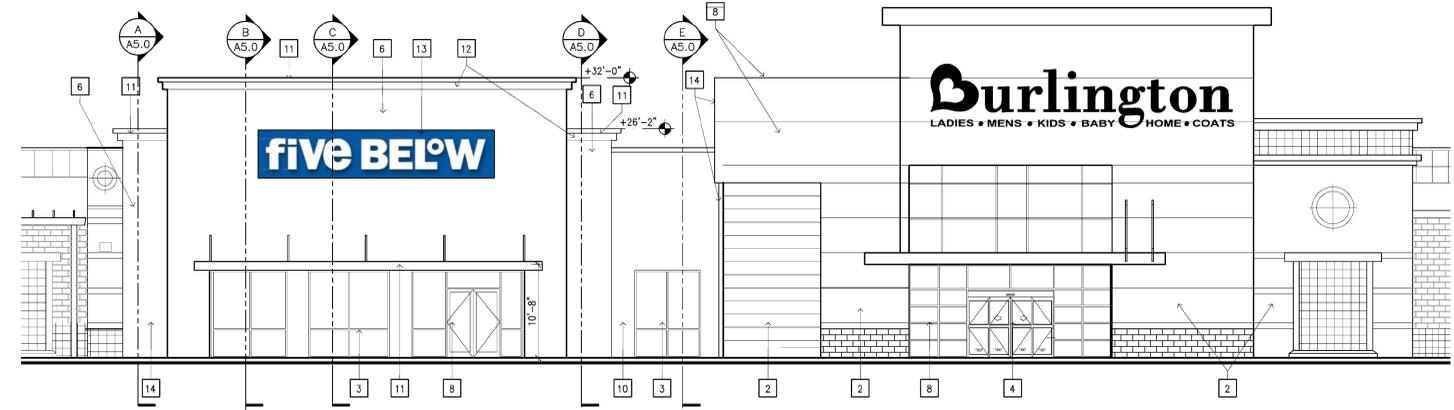


LANDLORD AREA REFLECTED CEILING PLAN

1/8"=1'-0" 4

REAR ELEVATION

1/8"=1'-0" 2



KEYNOTES

FRONT ELEVATION

1/8"=1'-0" 1

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