

ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

Wal-Mart at Cutler

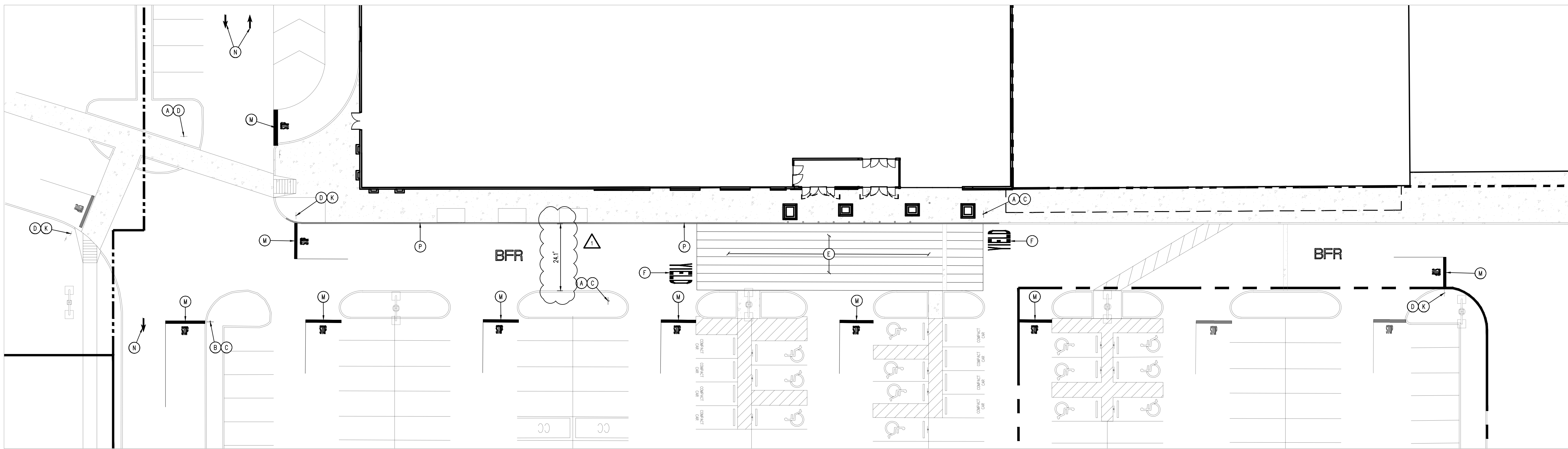
Administrative Amendment Request

Project #PR- 2021-005016

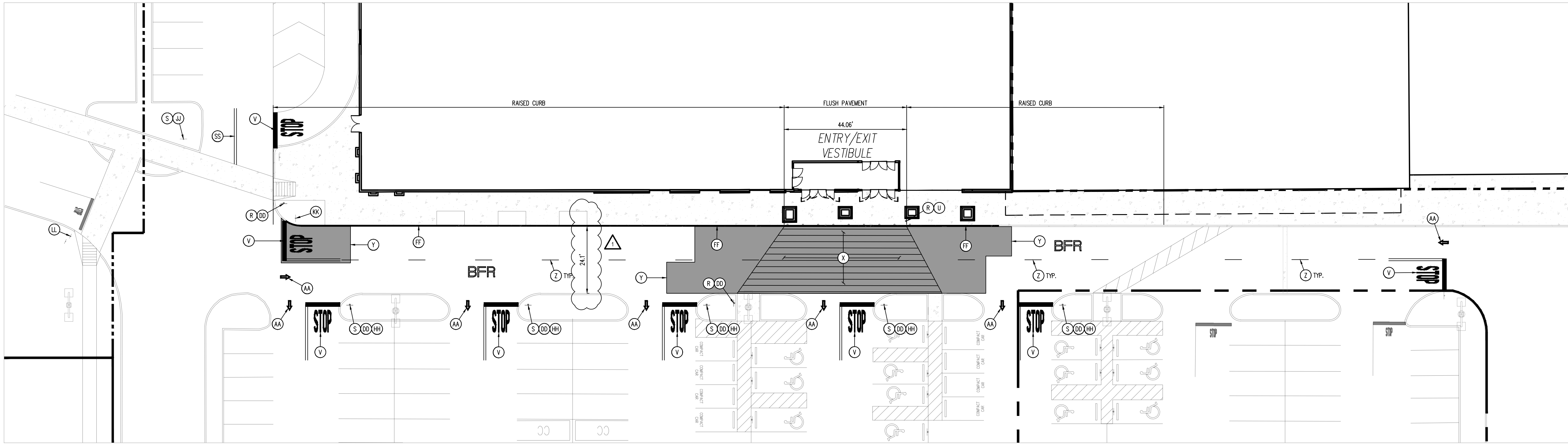
Transportation Development Comments:

Contact: Jeanne Wolfenbarger 924-3991, jwolfenbarger@cabq.gov

1. For centerline striping, the ratio of the gap to the stripe should be 3:1.
2. Provide "Yield to Pedestrian" signage on either side of the main crosswalk entrance per MUTCD requirements.
3. In the package, I did not see any details for signage and striping or a plan for parking spaces that involve pick-up only, similar to the other Wal-Mart packages. Please make sure to provide all plans.
4. Be sure to cross out keyed notes that are not used for this submittal. For any detail sheets provided, delete any signage that is not being used.



DEMOLITION PLAN



SITE CONSTRUCTION PLAN

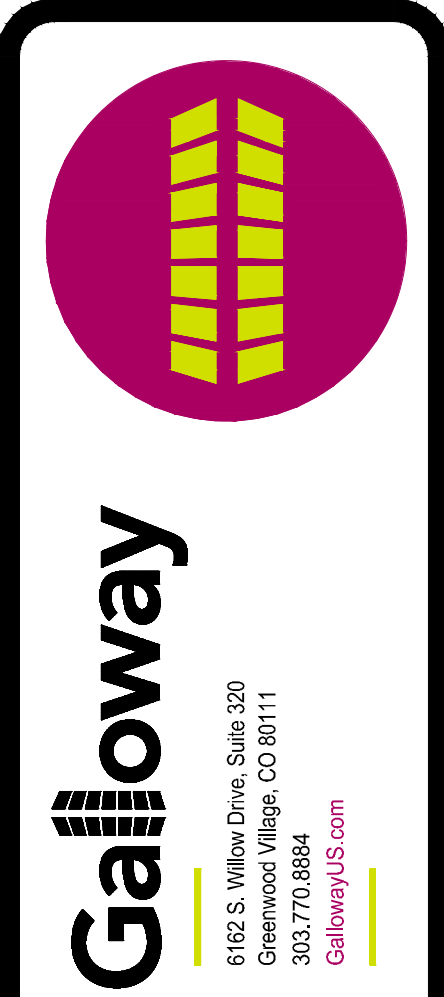
- NOTES TO CONTRACTOR:
- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
 - PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
 - ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
 - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

SITE AND DEMOLITION LEGEND

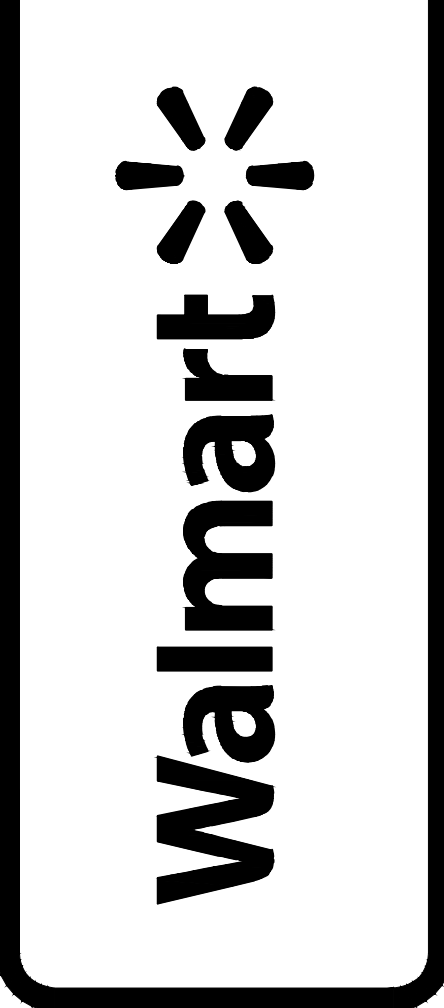
- REFERENCE DETAIL SHEET
- | | |
|--|---|
| (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED. | (Z) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS. |
| (B) EXISTING STOP SIGN TO BE REMOVED. | (4A) NEW OPEN ARROW PAVEMENT MARKINGS. |
| (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED. | (B) NEW SOLID ARROW PAVEMENT MARKINGS. |
| (D) EXISTING SIGN POST AND BASE TO REMAIN, BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED. | (CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE. |
| (E) EXISTING CROSSWALK STRIPING TO BE REMOVED. | (DD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST. |
| (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED. | (EE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS. |
| (G) EXISTING CENTERLINE STRIPING TO BE REMOVED. | (FF) NEW FIRE LANE STRIPING. |
| (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED. | (GG) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES. |
| (J) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED. | (HH) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE. |
| (K) EXISTING STOP SIGN TO REMAIN. | (JJ) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE. |
| (L) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN. | (KK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE. |
| (M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED. | (LL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE. |
| (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED. | (MM) NEW "ALL WAY" PLAQUE. |
| (P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED. | (NN) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED. |
| (Q) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES. | (PP) EXISTING ISLAND STRIPING TO BE REMOVED. |
| (S) NEW "STOP HERE FOR PEDESTRIANS" (R1-50) SIGN. | (QQ) NEW ODP CROSSWALK MARKINGS. |
| (S) NEW 30"x30" STOP SIGN. | (RR) NEW CHANNELIZATION AT ODP DOOR. SEE DETAIL. |
| (T) NEW 36"x36" STOP SIGN. | (SS) PROPOSED DOUBLE YELLOW STRIPING. |
| (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD. | (TT) NEW "ONLY" PAVEMENT MARKING. |
| (V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS. | |
| (W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45' @ 2'-0" O.C. | |
| (X) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (11'-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. EXISTING CROSSWALK SHALL BE RE-STRIPED. | |
| (Y) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. | |

DEMOLITION AND SITE CONSTRUCTION PLAN

REVISIONS	BY
PRJ - 01/27/21	J58



NEIGHBORHOOD MARKET #02451-218
4700 CUTLER AVE NE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WAL-MART STORES, INC.
BENTONVILLE, AR



DRAWN	J58
CHECKED	BOA
DATE	11/05/20
SCALE	AS NOTED
JOB NO.	SGA002451.20
SHEET	

SECP-1



C



ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE EXISTING UTILITIES AND HAS DETERMINED THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS DUE TO THE CONTRACTORS' FATHING TO EXCAVATE, LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COSTS INCURRED BY THE CONTRACTOR DUE TO THE CONTRACTOR'S FAILURE TO LOCATE OR PRESERVE ANY TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SINK OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND PAY ALL COSTS THEREOF.

THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED REGISTRATION PERMITS, AND ANY OTHER DOCUMENTS REQUIRED BY ANY AGENCIES WITHIN THE PROJECT AREA.

ANY DISCREPANCIES IN THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSERVATION OR PRESERVATION OF EXISTING UTILITIES OR STRUCTURES WHICH THE OWNER AND ENGINEER HAVE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.

THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OHIO STANDARDS FOR EXCAVATION AND SHORING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL ALLEGA PERFORMANCE CRITERIA.

DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER. IF SUCH MAINTENANCE INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TYPING HOURS. SERVICE HAS BEEN PROVIDED.

ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN SUCH AN AREA AS TO NOT BE IN CONTACT WITH OR NEARBY ANY EXISTING UTILITIES OR STRUCTURES OR IN AN AREA OF THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPIPING.

QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO MEET FACILITY SHOWING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PAY ALL COSTS THEREOF. MATERIAL CONTRACTOR, REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING FOUNDATION.

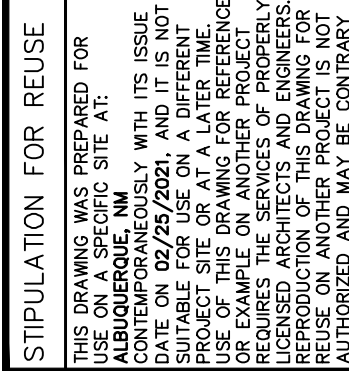
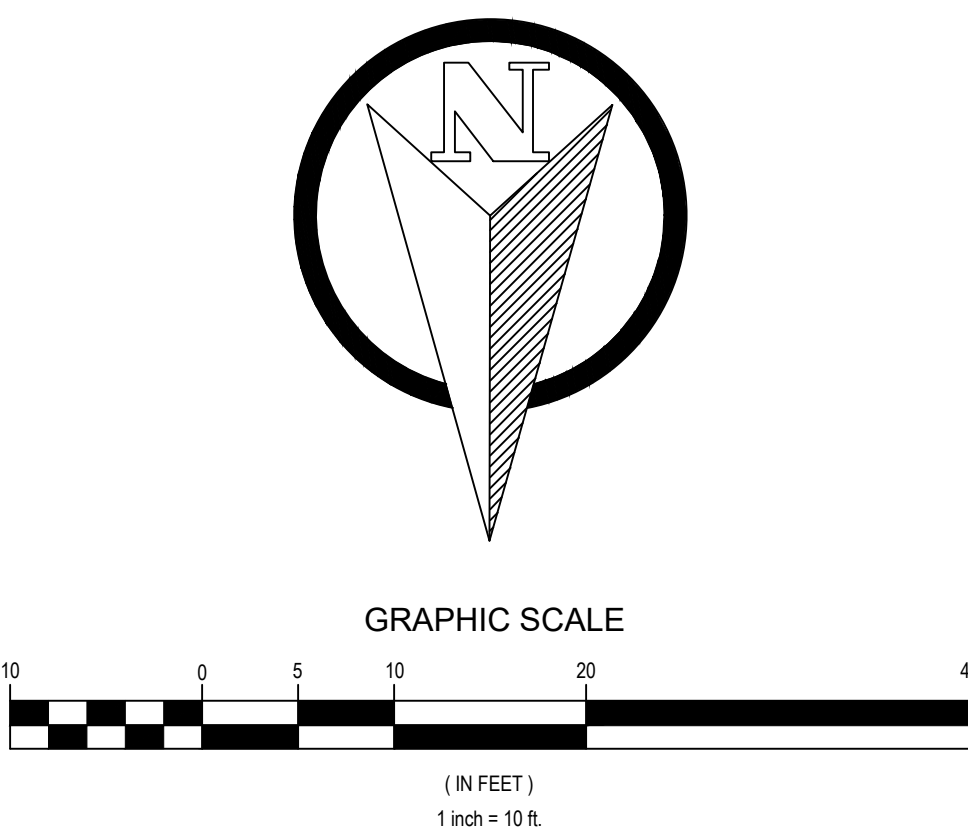
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AN O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PREGESE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITH CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL WORK SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO, GAS, WATER, SEWER, TRASH, CABLE, SIGNS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY THE DISTRICT ENGINEER.
6. THE SUE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE SPECIFIC SPECIFICATIONS.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLES OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO REMAIN
	EXISTING CONCRETE PAVEMENT TO REMAIN
	PROPOSED SEAL COAT OF EXISTING PAVEMENT
	EXISTING SIGN TO REMAIN
	EXISTING SIGN TO BE REMOVED
	PROPOSED PICKUP SIGNAGE

- 1 EXISTING WALMART BUILDING TO REMAIN.
- 2 EXISTING BUILDING WALL TO BE REMOVED FOR PICKUP DROP INSTALLATION (REF. ARD PLANS)
- 3 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 4 EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- 5 EXISTING ASPHALT PAVEMENT TO REMAIN
- 6 EXISTING PLANTER BOX TO REMAIN. LANDSCAPING TO BE PROTECTED IN PLACE THROUGHOUT CONSTRUCTION
- 7 EXISTING PARKING LOT STRIPING TO REMAIN.
- 8 EXISTING PARKING LOT STRIPING TO BE REMOVED.
- 9 EXISTING STOP BAR AND LETTERING TO BE REMOVED.
- 10 EXISTING 6' CURB TO REMAIN.
- 11 EXISTING 6' CURB TO BE REMOVED.
- 12 EXISTING LIGHT POLE AND BASE TO REMAIN.
- 13 EXISTING CART CORRAL TO REMAIN.
- 14 PROPOSED SEAL COAT OF EXISTING PAVEMENT.
- 15 PROPOSED PICKUP DOOR (REF. ARD PLANS).
- 16 PROPOSED CURB RAMP (REF. SITE DETAILS).
- 17 PROPOSED ASSOCIATE PATH CROSSWALK STRIPING (REF. SITE DETAILS)
- 18 PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS)
- 19 PROPOSED SIGN MOUNTING WITH BREAKAWAY POST (REF. SITE DETAILS).
- 20 PROPOSED SIGN MOUNTING BASE WITH BOLLARD (REF. SITE DETAILS).
- 21 PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS)
- 22 PROPOSED RY-SB -- *STOP HERE FOR PEDESTRIANS* SIGNAGE (REF. SITE DETAILS).
- 23 PROPOSED STOP BAR LETTERING (REF. SSM/SECP PLANS).
- 24 PROPOSED OPEN ARROW PAVEMENT MARKING (REF. SSM/SECP PLANS).
- 25 PROPOSED 30"/60" STOP SIGN (REF. SSM/SECP PLANS).

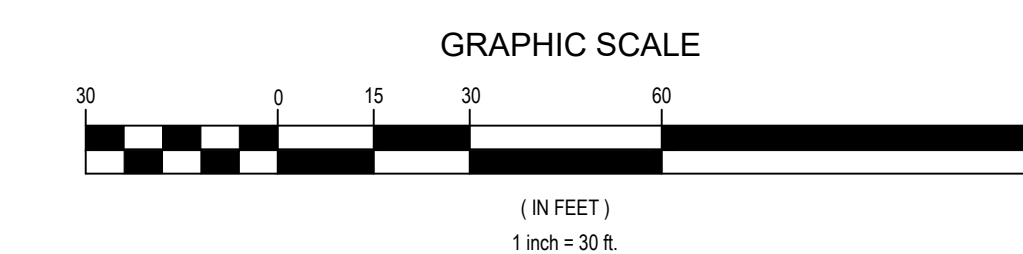


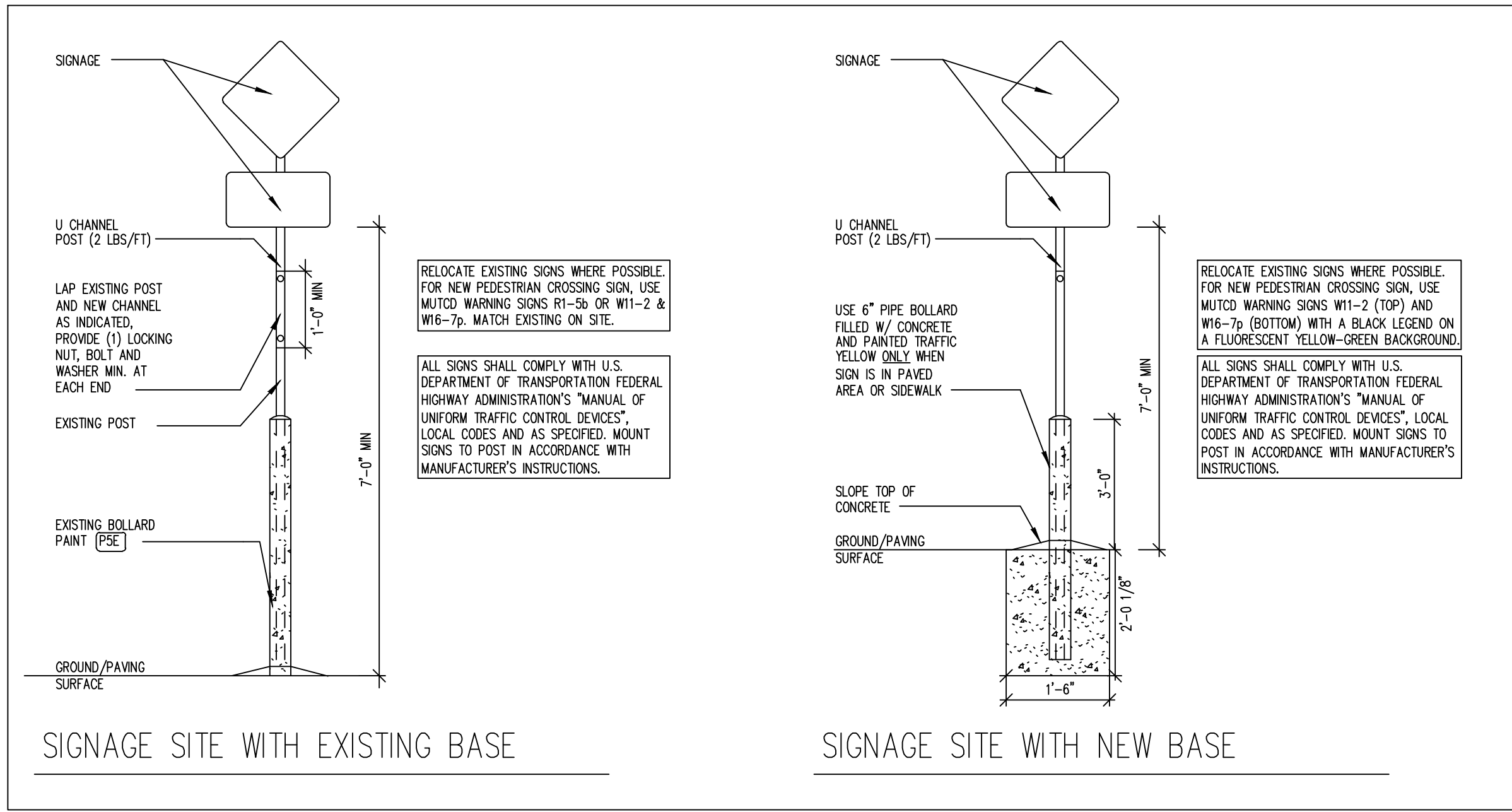
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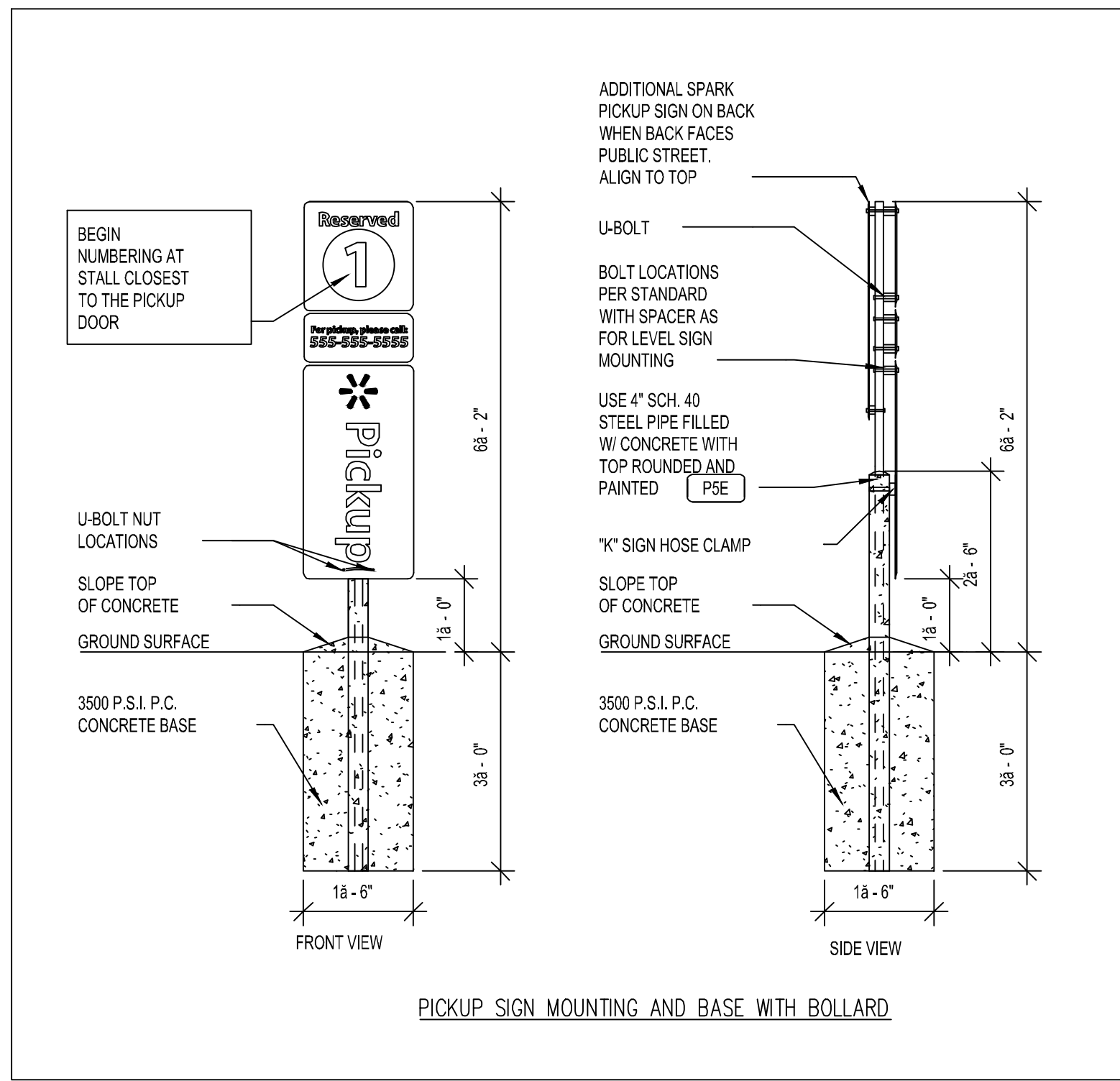
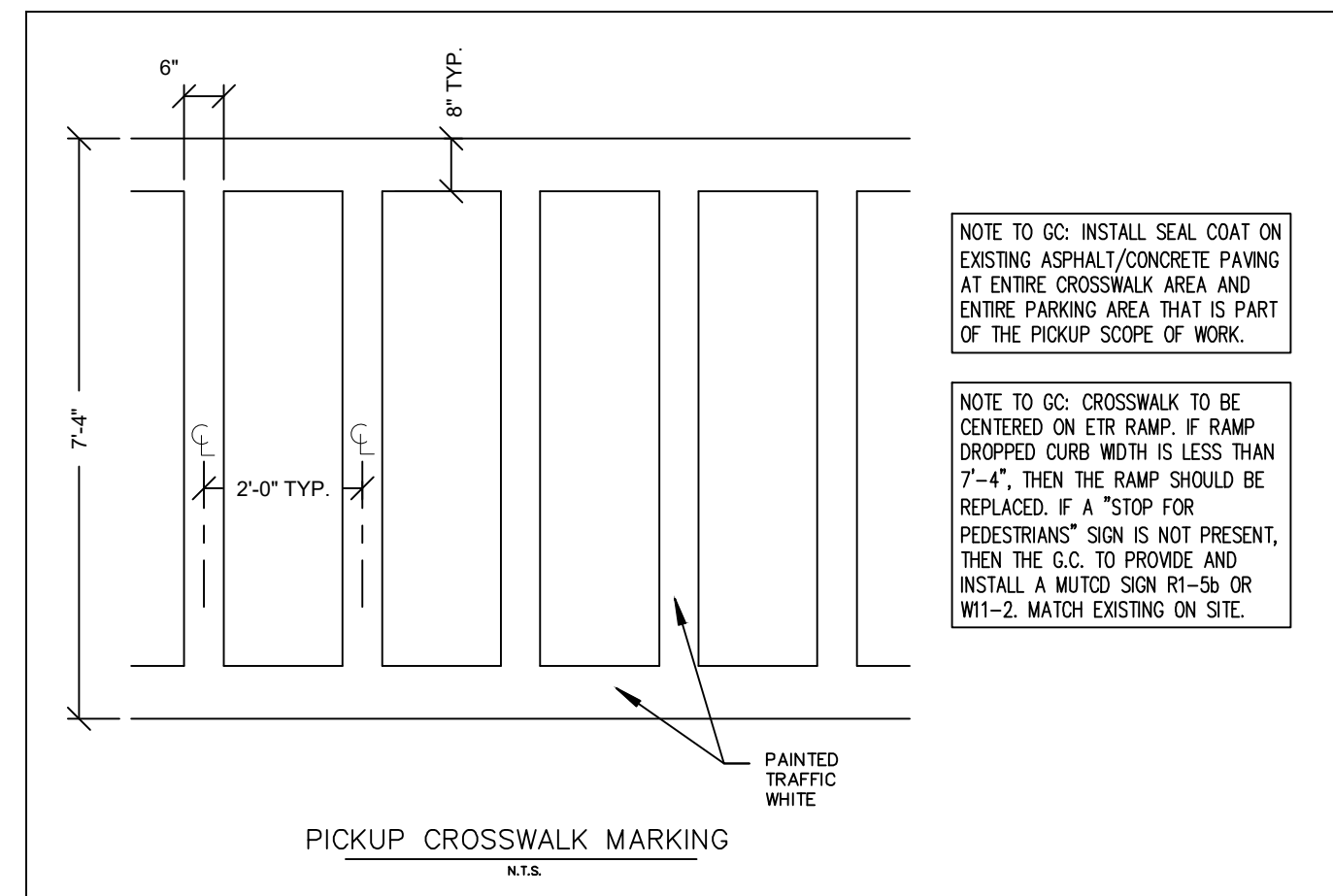
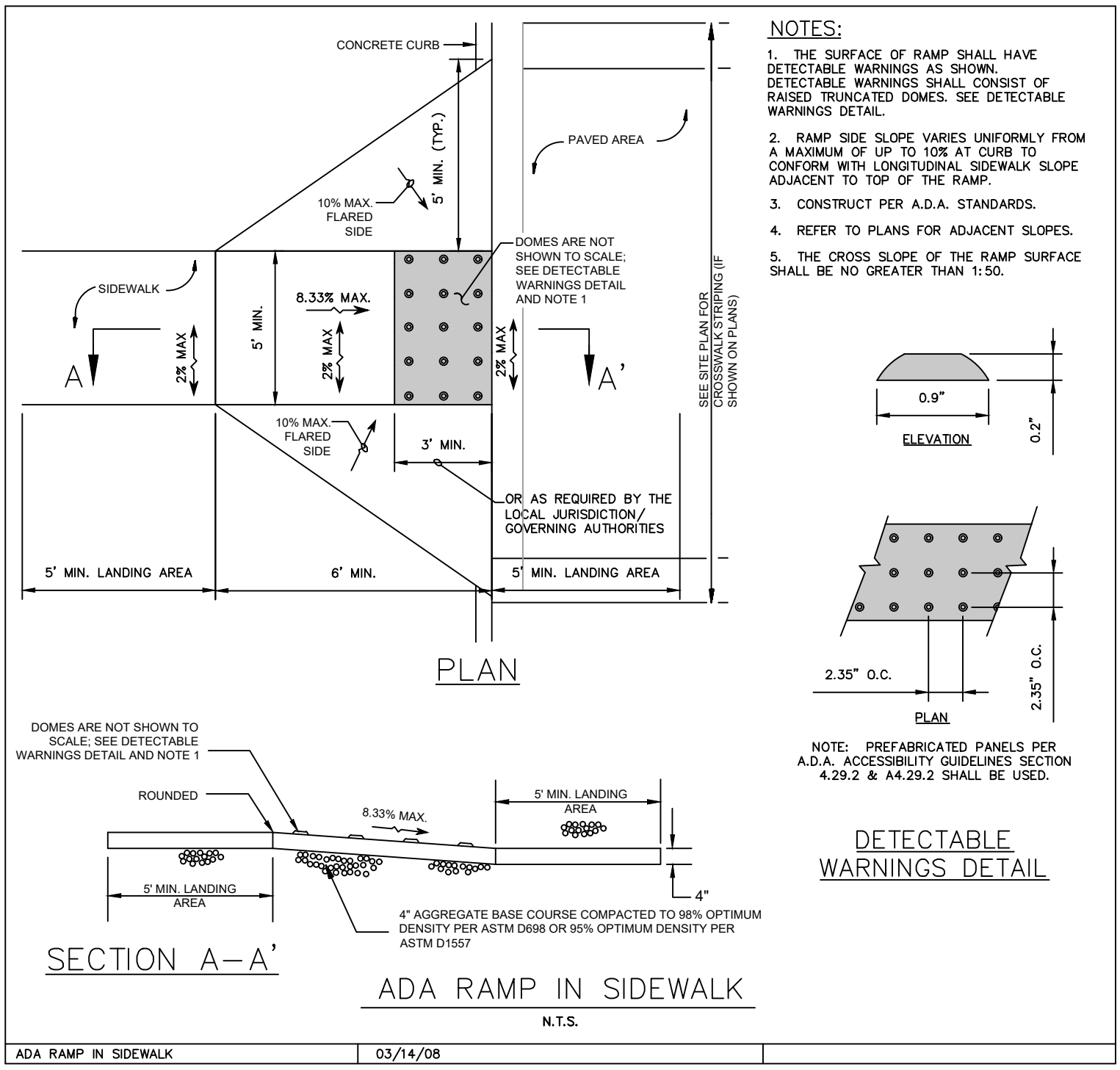
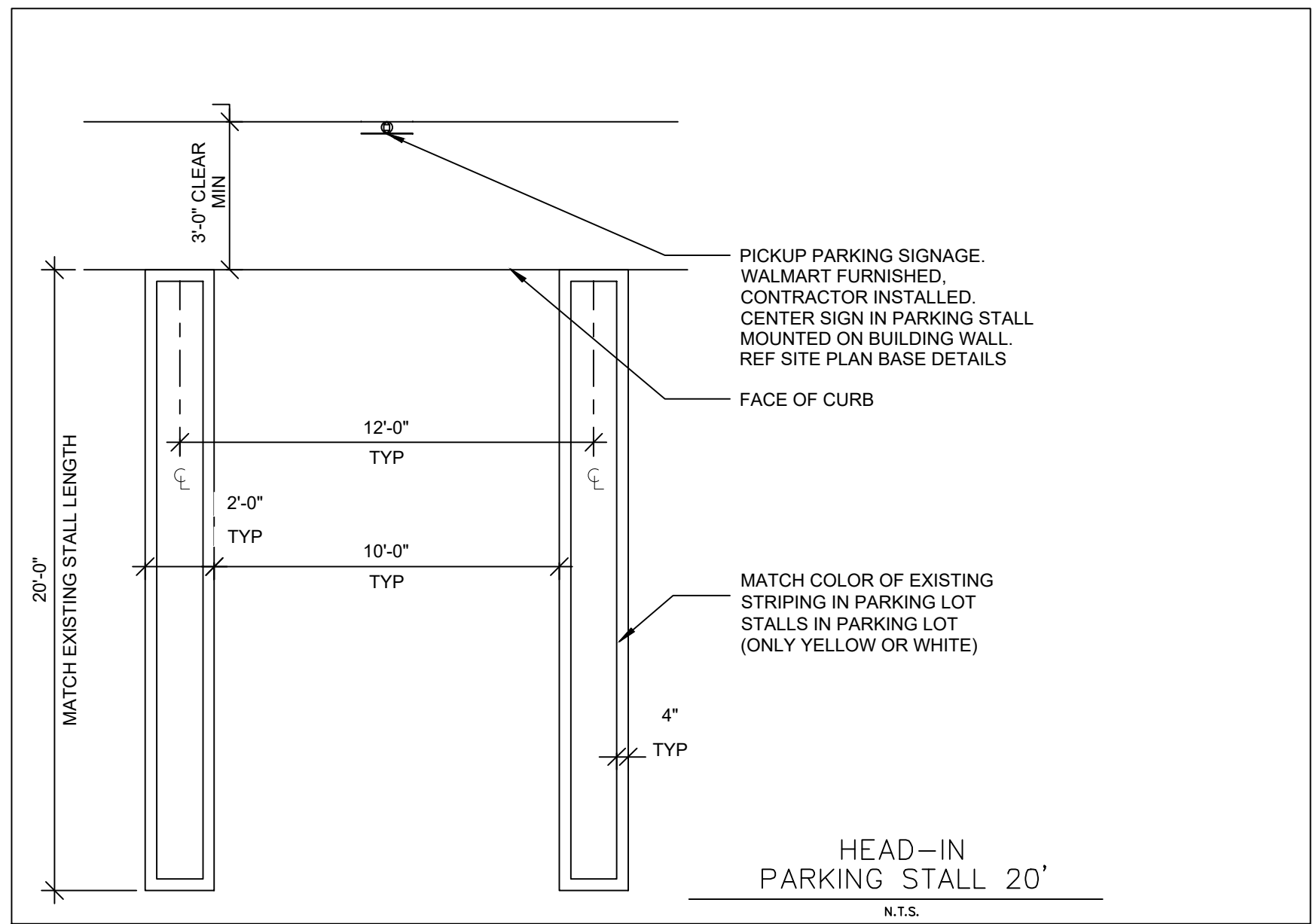
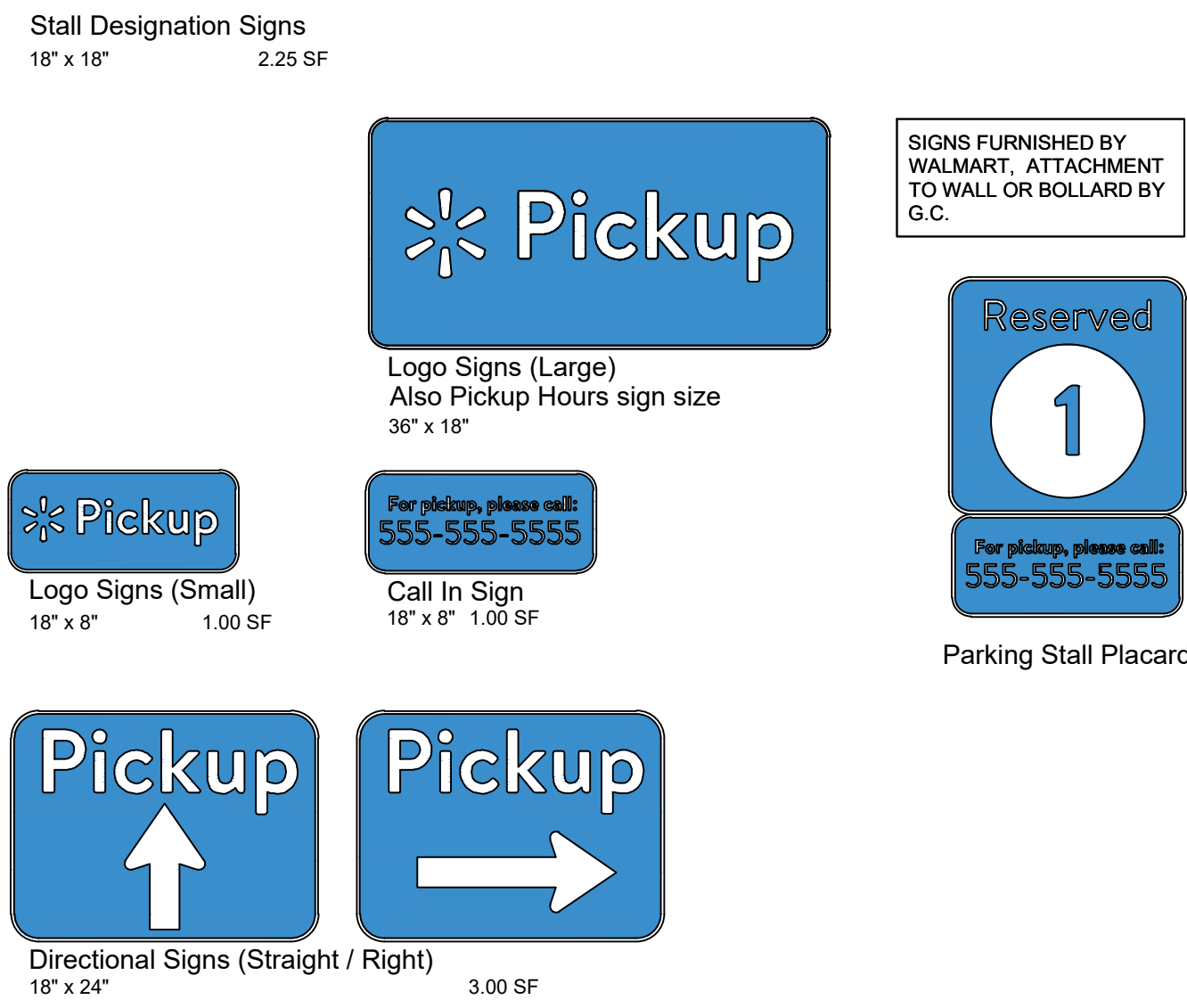
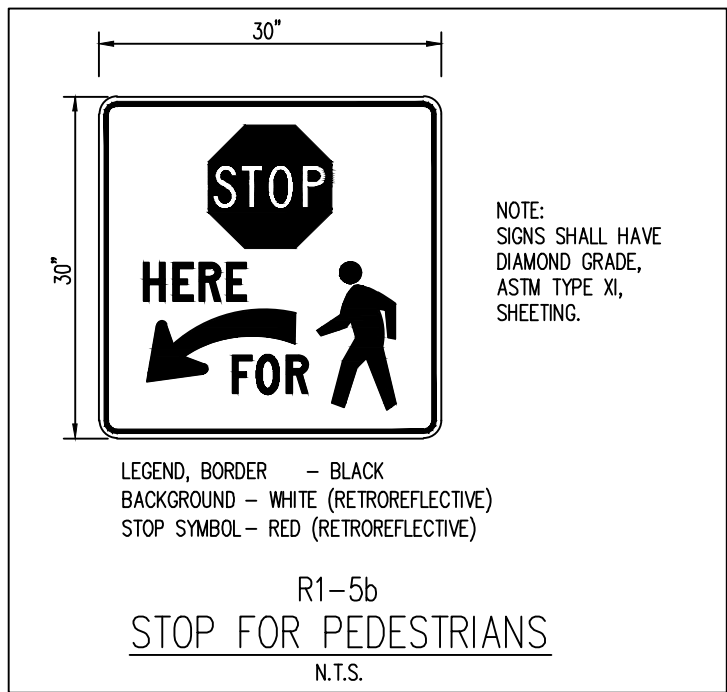
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CHECKED BY:	RC
DRAWN BY:	JSEB
PROTO CYCLE:	-
DOCUMENT DATE:	02/25/2





FINISH LEGEND	
P76	WALMART BLUE SW#076
P5E	SAFETY YELLOW



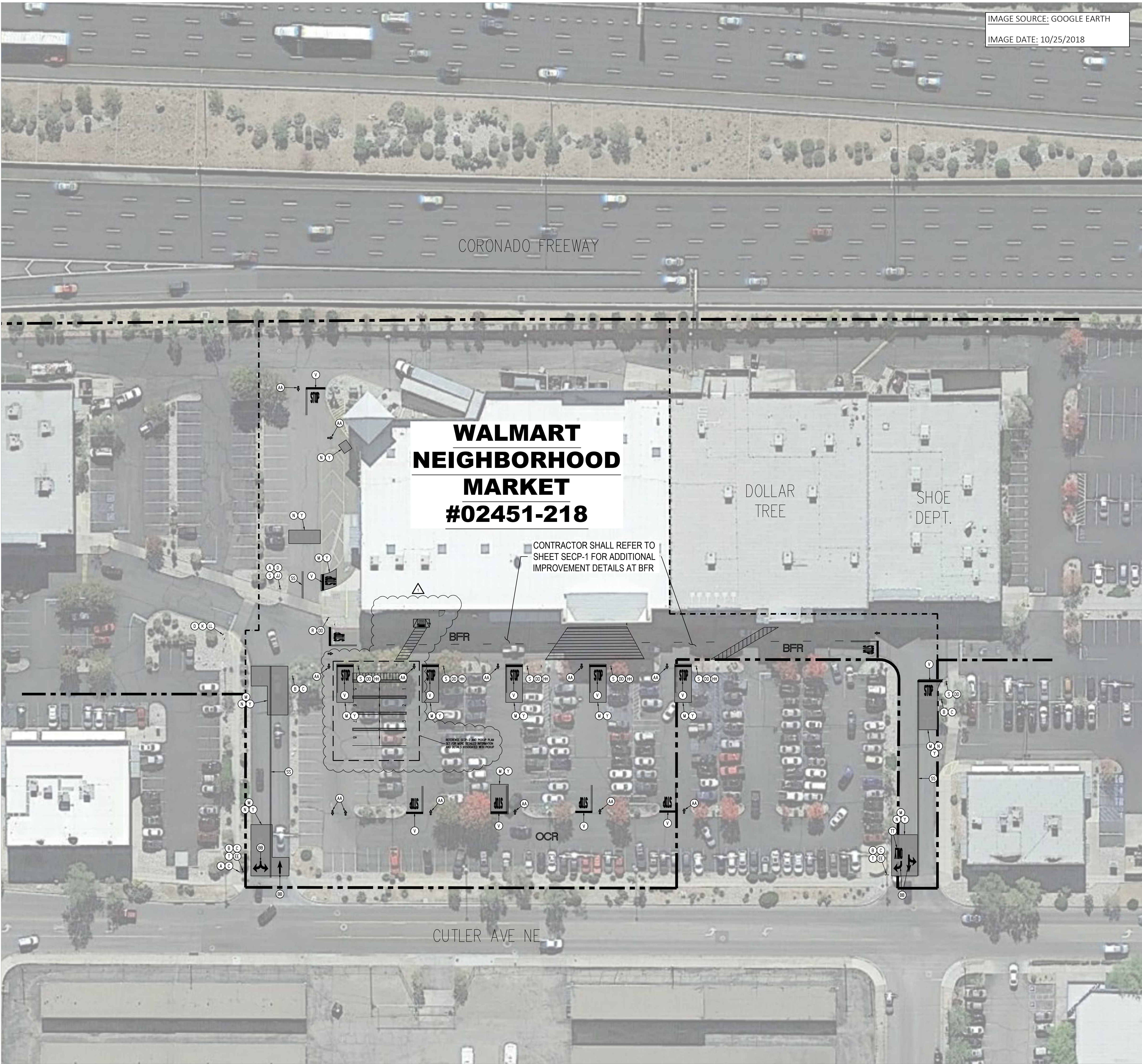


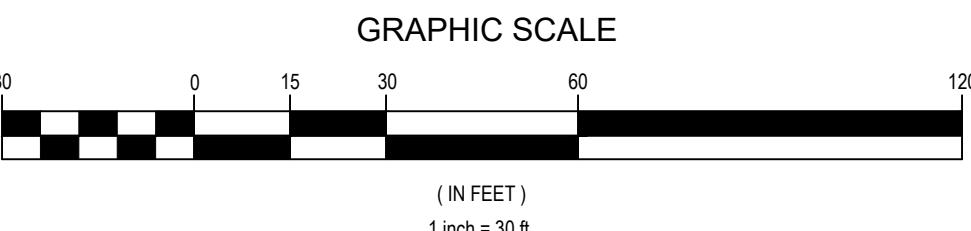
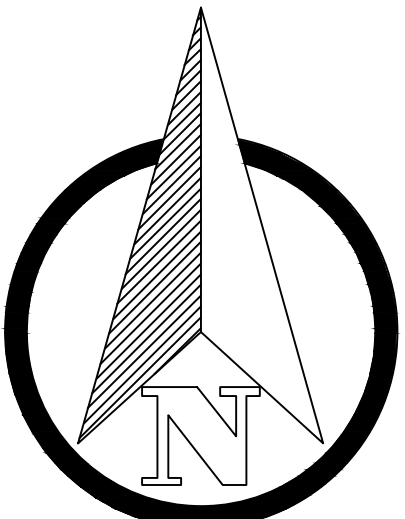
IMAGE SOURCE: GOOGLE EARTH
IMAGE DATE: 10/25/2018

SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
 - (B) EXISTING STOP SIGN TO BE REMOVED.
 - (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
 - (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
 - (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
 - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
 - (G) EXISTING CENTERLINE STRIPING TO BE REMOVED.
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 - (O) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/SHADELINES.
 - (P) NEW "STOP HERE FOR PEDESTRIANS" (B1-SB) SIGN.
 - (Q) NEW 30"x30" STOP SIGN.
 - (R) NEW 36"x36" STOP SIGN.
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 - (V) NEW CROSSWALK MARKINGS: 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
 - (W) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
 - (X) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
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 - (AA) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPES.
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 - (AI) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
 - (AJ) NEW "ALL WAY" PLAQUE.
 - (AK) EXISTING TRUCK-LIFT PAVEMENT MARKINGS TO BE REMOVED.
 - (AL) PROPOSED PICKUP STALL STRIPING AND NUMBERING (REF. PICKUP PLAN SET).
 - (AM) NEW PICKUP CROSSWALK MARKINGS.
 - (AN) PROPOSED PICKUP SIGNAGE PER PICKUP PLANS (REF. PICKUP PLAN SET).
 - (AO) PROPOSED DOUBLE YELLOW STRIPING.
 - (AP) NEW "ONLY" PAVEMENT MARKING.
 - (AQ) EXISTING PARKING LOT STRIPING TO BE REMOVED.

NOTES TO CONTRACTOR

- BFR (BUILDING FRONTAGE ROAD)
OCR (OUTER CIRCULATION ROAD)
- CONTRACTOR SHALL INSTALL NEW STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST.



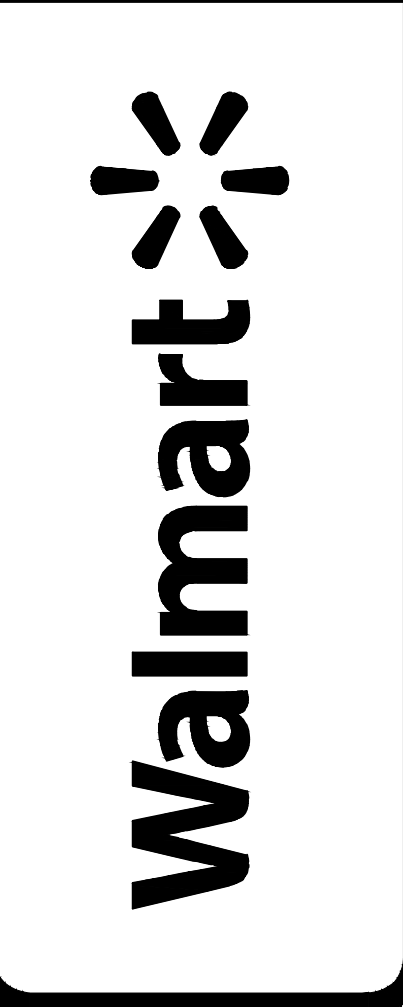
STOP SIGNS AND MARKINGS PLAN

REVISIONS	BY
ADD - 02/25/21	J58
ADD - 03/04/21	DDJ


Galloway
6102 S. Willow Drive, Suite 300
Albuquerque, NM 87111
505.770.8884
GallowayUS.com

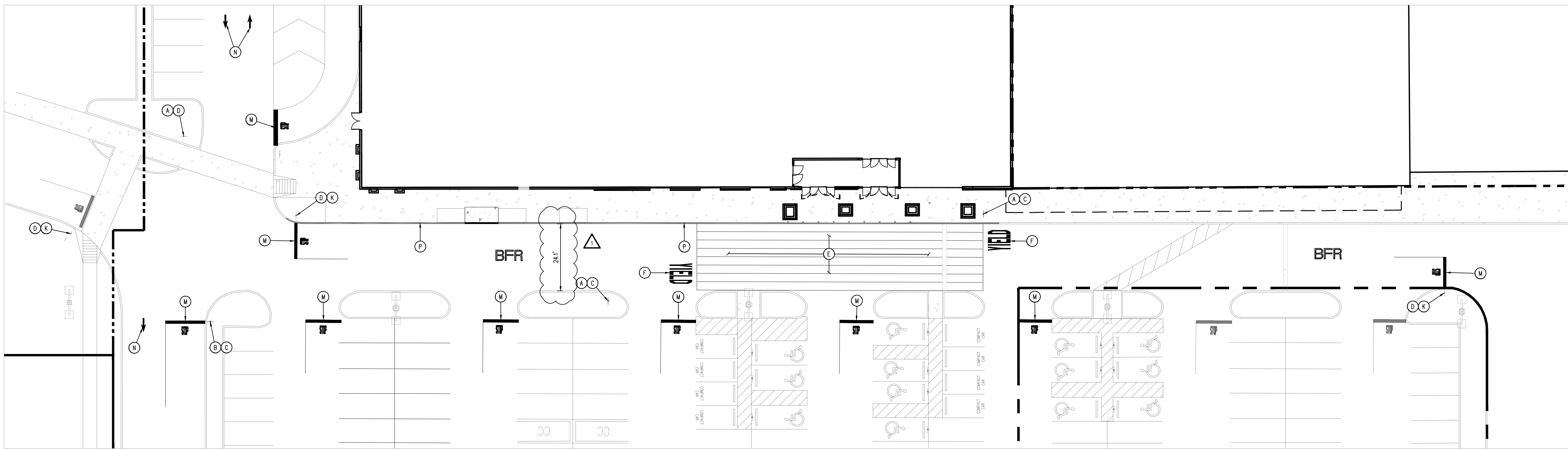


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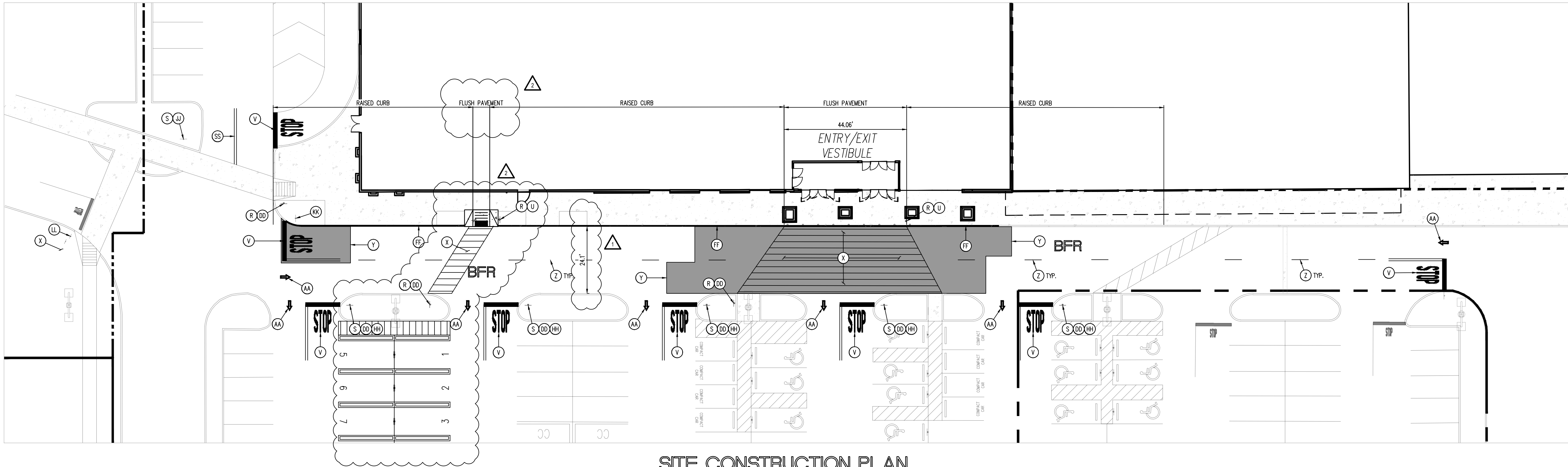


DRAWN	J58
CHECKED	BDA
DATE	11/05/20
SCALE	AS NOTED
JOB No.	SGA002451.20
SHEET	

SSM-1



DEMOLITION PLAN



SITE CONSTRUCTION PLAN

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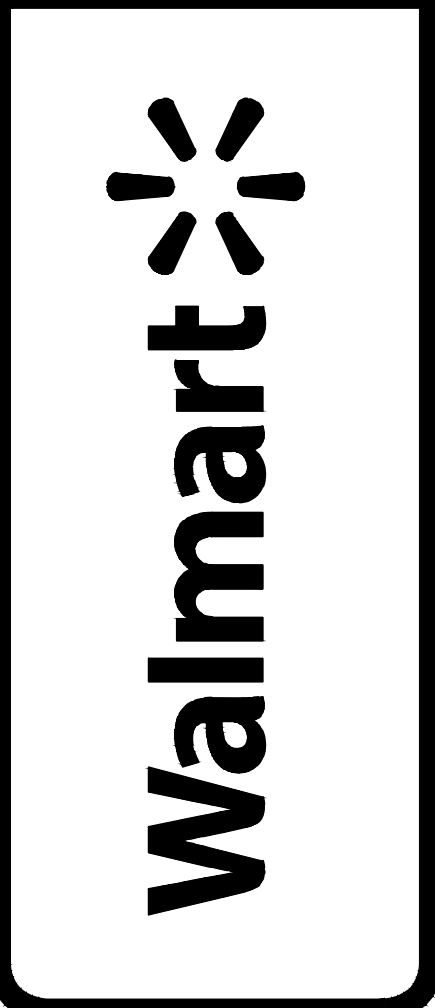
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- (N) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
- (O) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- (P) NEW "STOP HERE FOR PEDESTRIANS" (R1-S0) SIGN.
- (Q) NEW 30"x30" STOP SIGN.
- (R) NEW 36"x36" STOP SIGN.
- (S) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (T) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
- (U) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
- (V) NEW CROSSWALK MARKINGS -- 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. EXISTING CROSSWALK SHALL BE RE-STRIPED.
- (W) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (X) NEW 4" WIDE PAINTED YELLOW STRIPES -- 6" LONG WITH 18" GAPS.
- (Y) NEW OPEN ARROW PAVEMENT MARKINGS.
- (Z) NEW SOLID ARROW PAVEMENT MARKINGS.
- (AA) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (AB) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- (AC) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
- (AD) NEW FIRE LANE STRIPING.
- (AE) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
- (AF) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
- (AG) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.
- (AH) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
- (AI) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- (AJ) NEW "ALL WAY" PLAQUE.
- (AK) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
- (AL) PROPOSED PICKUP STALL STRIPING AND NUMBERING (REF. PICKUP PLAN SET).
- (AM) NEW PICKUP CROSSWALK MARKINGS.
- (AN) PROPOSED PICKUP SIGNAGE PER PICKUP PLANS (REF. PICKUP PLAN SET).
- (AO) PROPOSED DOUBLE YELLOW STRIPING.
- (AP) NEW "ONLY" PAVEMENT MARKINGS.
- (AQ) EXISTING PARKING LOT STRIPING TO BE REMOVED.

DEMOLITION AND SITE CONSTRUCTION PLAN

REVISIONS		BY
△	PRP# - 01/27/21	JSB
△	ADD# - 02/25/21	JSB
△	COO# - 03/04/21	DDJ



NEIGHBORHOOD MARKET #02451-218
4700 CUTLER AVE NE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WAL-MART STORES, INC.
BENTONVILLE, AR

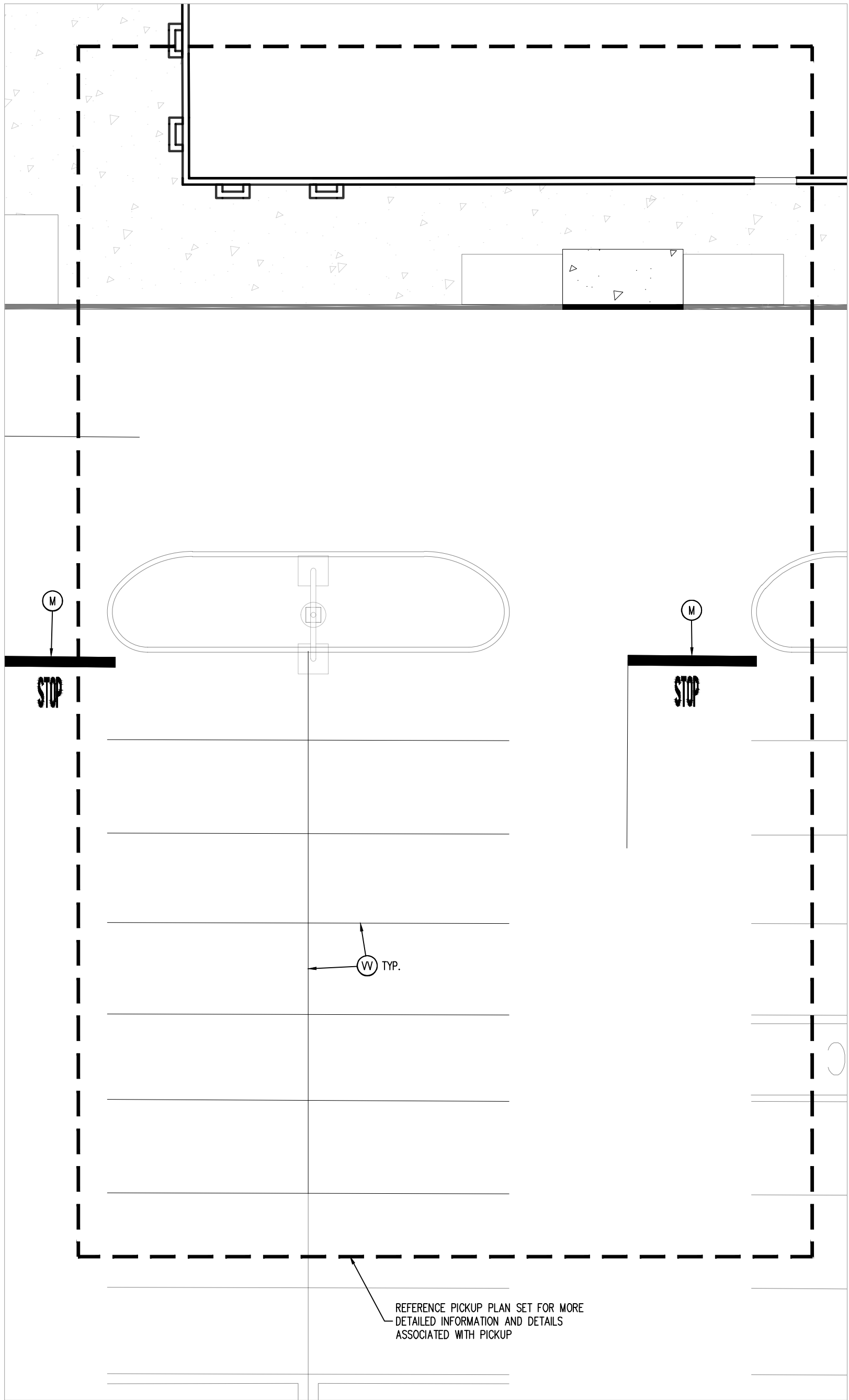


DRAWN	JSB
CHECKED	BDA
DATE	11/05/20
SCALE	AS NOTED
JOB NO.	SGA002451.20
SHEET	

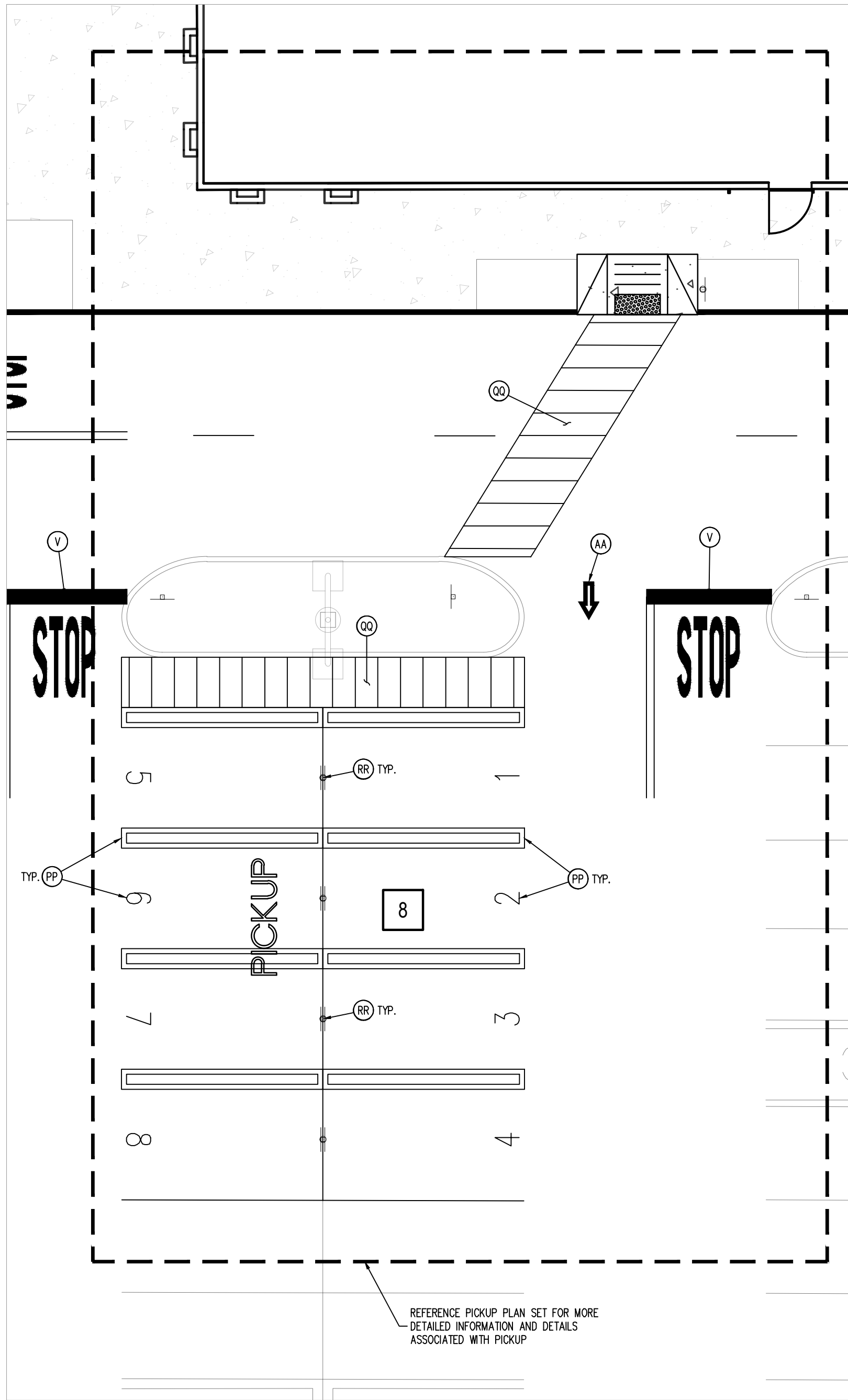
SECP-1

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DEMOLITION PLAN



SITE CONSTRUCTION PLAN

NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

- EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- EXISTING STOP SIGN TO BE REMOVED.
- EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- EXISTING SIGN POST AND BASE TO REMAIN, BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
- EXISTING CROSSWALK STRIPING TO BE REMOVED.
- EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- EXISTING CENTERLINE STRIPING TO BE REMOVED.
- EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED.
- EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
- EXISTING STOP SIGN TO REMAIN.
- EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
- EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
- EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
- EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- NEW "STOP HERE FOR PEDESTRIANS" (H-5B) SIGN.
- NEW 36"x36" STOP SIGN.
- NEW 36"x36" STOP SIGN.
- NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
- NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
- NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 12'-0" WIDE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
- LIMITS OF SEAL COAT - APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 10" GAPS.
- NEW OPEN ARROW PAVEMENT MARKINGS.
- NEW SOLID ARROW PAVEMENT MARKINGS.
- NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- NEW SIGN MOUNTING AND BASE WITH BREAK-AWAY POST.
- NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK-AWAY POSTS.
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- NEW "ONLY" PAVEMENT MARKING.
- EXISTING PARKING LOT STRIPING TO BE REMOVED.

DEMOLITION AND SITE CONSTRUCTION PLAN

REVISIONS	BY
ADD - 02/25/21	JSB
ADD - 03/04/21	BOA

Galloway
6102 S. Willow Drive, Suite 300
Albuquerque, NM 87111
505.770.8884
GallowayUS.com

BRANDON ALLEY
25037
PROFESSIONAL ENGINEER
03/05/2021

NEIGHBORHOOD MARKET #02451-218
4700 CUTLER AVE NE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WAL-MART STORES, INC.
BENTONVILLE, AR

Walmart

DRAWN	JSB
CHECKED	BOA
DATE	11/05/20
SCALE	AS NOTED
JOB No.	SGA002451.20
SHEET	

SECP-2

