ADMINISTRATIVE	
FILE #PROJ	ECT #
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	<b>G</b> 1
APPROVED BY	DATE

#### Wal-Mart at Cutler

#### **Administrative Amendment Request**

Project #PR- 2021-005016

Transportation Development Comments:

Contact: Jeanne Wolfenbarger 924-3991, <a href="mailto:jwolfenbarger@cabq.gov">jwolfenbarger@cabq.gov</a>

- 1. For centerline striping, the ratio of the gap to the stripe should be 3:1.
- 2. Provide "Yield to Pedestrian" signage on either side of the main crosswalk entrance per MUTCD requirements.
- 3. In the package, I did not see any details for signage and striping or a plan for parking spaces that involve pick-up only, similar to the other Wal-Mart packages. Please make sure to provide all plans.
- 4. Be sure to cross out keyed notes that are not used for this submittal. For any detail sheets provided, delete any signage that is not being used.

# SITE PLAN



## SITE SIGNAGE





A EXISTING SITE SIGN

1 per street frontage per 200 SF

**DISCLOSURES** 

688.33 SF **EXISTING SIGNAGE SF:** 

PROPOSED SIGNAGE: 678.09 SF

#### **SIGNAGE RESTRICTIONS:**

- ALL SIGNAGE WILL BE REPLACED. PERMIT IS REQUIRED SINCE THERE IS A CHANGE IN SQUARE FOOTAGE.

per 26' height

#### VARIANCE PROCESS: PERMIT REQUIRED TO PAINT BRAND COLORS BLUE AND

- SUBMIT THE PROPOSED COLOR CHANGE ELEVATIONS IN PDF FORMAT BY E-MAIL TO JAY RODENBECK PLANNER, ((505) 924-3994, JRODENDECK@CABQ.GOV) FOR STAFF REVIEW AND DETERMINATION. IT MAY ONLY REQUIRE AN ADMINISTRATIVE AMENDMENT WHICH TAKES ABOUT 2 WEEKS. AN APPLICATION FORM IS COMPLETED AND A FEE OF \$50 IS REQUIRED. OTHERWISE IT WILL REQUIRE APPROVAL FROM THE PLANNING COMMISSION. THAT PROCESS CAN TAKE 6 WEEKS MINIMUM AND POSSIBLY 12 WEEKS OR MORE. FIRST, IF THE SITE IS WITHIN 1/4 MILE OF ANY NEIGHBORHOOD ASSOCIATION, THEN THE ASSOCIATION NEEDS TO BE NOTIFIED. IF THE ASSOCIATIONS REQUESTS A MEETING, THEN A PUBLIC MEETING IS SCHEDULED TO MEET WITH THE ASSOCIATION. THIS PROCESS CAN TAKE APPROXIMATELY 6 WEEKS OR MORE. AFTER THE MEETINGS ARE COMPLETED, THEN WE CAN MAKE THE SUBMITTAL FOR THE PLANNING COMMISSION MEETING. THE SUBMITTAL WILL INCLUDE THE DRAWINGS, AN APPLICATION FORM, DOCUMENTATION FROM THE ASSOCIATION MEETINGS, AND FEE. FROM THE TIME OF SUBMITTAL TO THE PC MEETING IS APPROXIMATELY 6 WKS. THE PLANNING COMMISSION MEETS ON THE 2ND THURSDAY OF EACH MONTH AND THE SUBMITTAL DEADLINE IS APPROXIMATELY 6 WEEKS PRIOR TO THE MEETING.

ONCE WE SUBMIT THE PROPOSED ELEVATION DRAWING TO JAY, HE WILL RESPOND WITH THE PROCESS REQUIRED FOR APPROVAL AND OUTLINE THE PROCESS REQUIREMENTS. NOTE, SIGNAGE SHOULD ALSO BE INCLUDED IN THE INITIAL PDF SUBMITTAL TO JAY RODENBECK FOR EVALUATION AS SIGNAGE NEEDS TO BE EVALUATED AS WELL.

#### PAINT RESTRICTIONS:

PERMIT IS REQUIRED TO PAINT THE STORE IN BRAND COLORS. BOD PROPOSES TO PAINT BLUE AND GRAY PER

PROTO GUIDELINES.

### **COLOR LEGEND**

LIGHT GRAY

WALMART BLUE (URETHANE-LIKE)

**BLACK GRAY** 

# DARK GRAY

# **EXHIBIT**

## COLOR LEGEND

P5E SAFETY YELLOW

P21E SAFETY RED

P33E CREAM P36E BLACK

P49E DARK GRAY P76U WALMART BLUE (URETHANE-LIKE)

P134E LIGHT GRAY P135E MEDIUM GRAY

POWER WASH 100% OF EXTERIOR WALLS TO BE PAINTED PRIOR TO PAINTING. PATCH AND REPAIR EXTERIOR WALL SURFACES,

SHEET NOTES

DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQUIRED. REMOVE SEALANT AND BACKER MATERIAL FROM ALL BUILDING CONTROL JOINTS AND EXPANSION JOINTS.

FILL AND SEAL JOINTS, REF SPEC 07900. REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS. RESURFACE EXISTING EIFS WHERE SHOWN

(HATCHED AREA). NOT USED. PAINT EXTERIOR OF BUILDING AS SHOWN. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT ID/LOGO SIGN(S), COORDINATE SCOPE OF WORK WITH

. PAINT DOOR HOODS, HOLLOW METAL STEEL DOORS AND FRAMES, GUTTERS AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, GAS LINES, AND EXPOSED MISCELLANEOUS STEEL TO MATCH

ADJACENT BUILDING COLOR UN0 . PAINT ALL GAS PIPES ON ROOF P5E. EXTEND PAINTING OF GAS PIPE DOWN SIDE WALLS TO GRADE

OR METER. DO NOT PAINT METER OR VALVES.

10. PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL TO P135E 1. WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK P33E DO NOT PAINT CANOPY DECK IF NOT

12. PAINT JIB CRANE - P36E ON JIB BOOM, P5E ON HANDRAILS. 13. PAINT SPRINKLER VALVES P21E . DO NOT PAINT

OVER SIGHT GLASS OR FIRE ALARM BELL. 14. PAINT ALL EXTERIOR BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC

BOLLARD SLEEVE. 15. NOT USED 16. DO NOT PAINT LED WALL PACK HOUSINGS 17. NOT USED

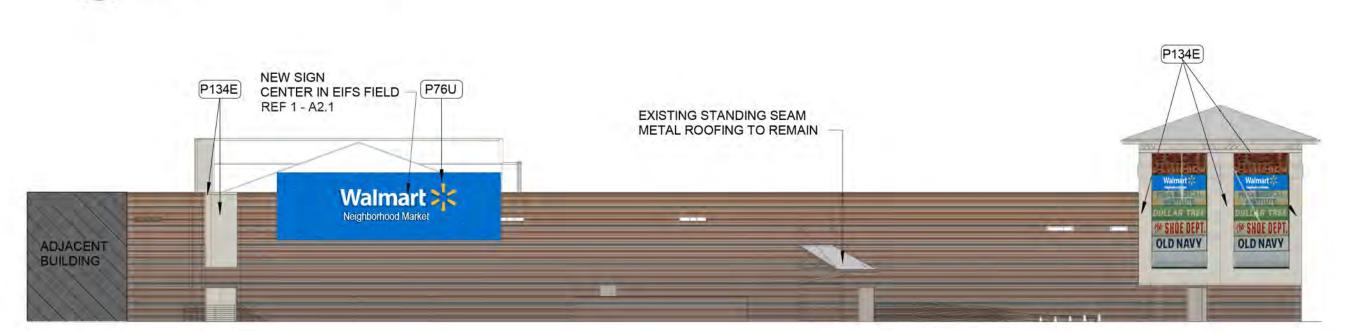
PREVIOUSLY PAINTED

18. NOT USED 19. DO NOT PAINT QUIK BRIK, STONE VENEER, FACE

BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS 20. AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. FEATHER PAINT OUT TO BLEND WITH EXISTING, REF SPEC 09900.

NEW SIGN CENTER IN EIFS FIELD — NEW SIGN REF 8 - A2.1

4 LEFT ELEVATION

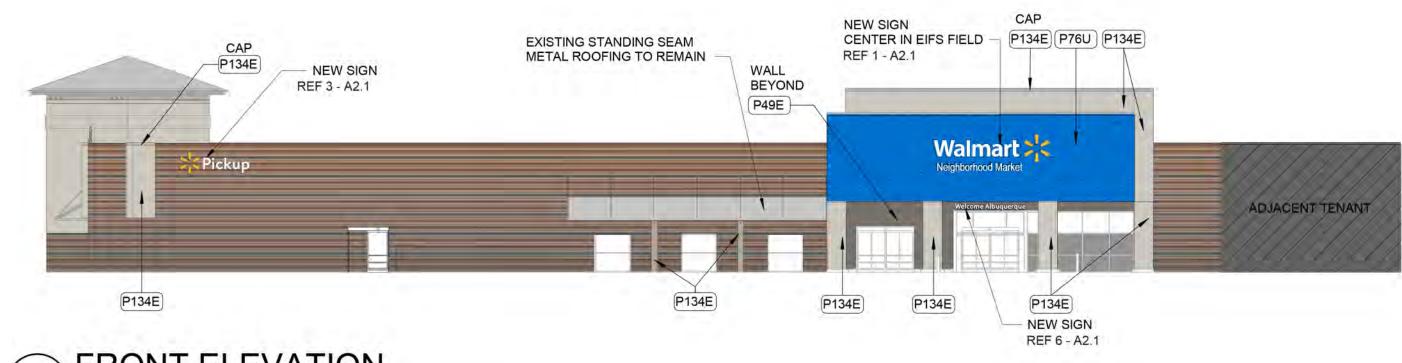


EXISTING STANDING SEAM METAL ROOFING TO REMAIN

3 REAR ELEVATION



2) RIGHT ELEVATION



1) FRONT ELEVATION

acio

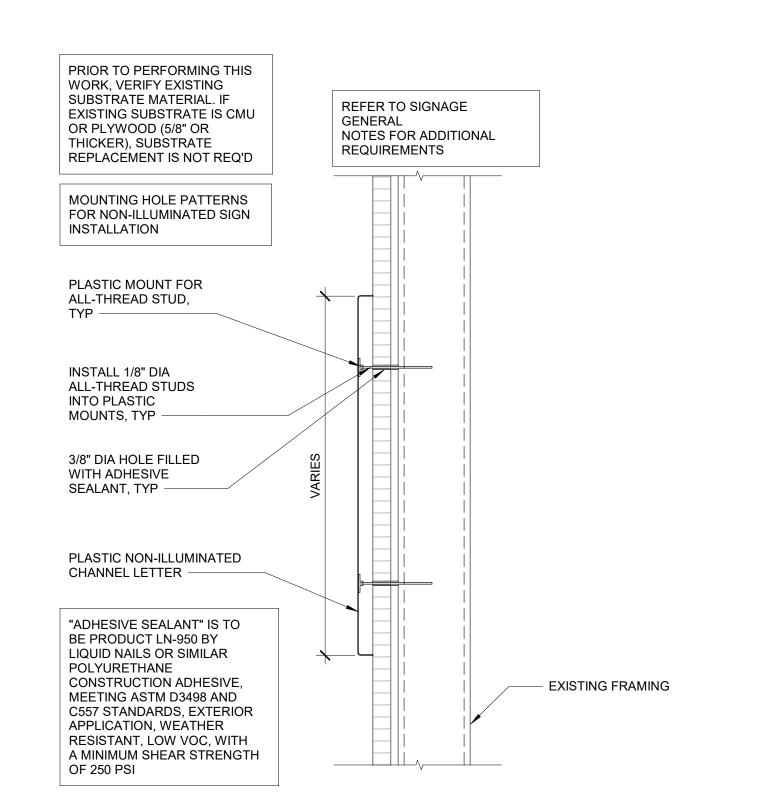
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CHECKED BY: RO/AVT DRAWN BY: PROTO CYCLE: 9/25/20 DOCUMENT DATE: 12/02/20

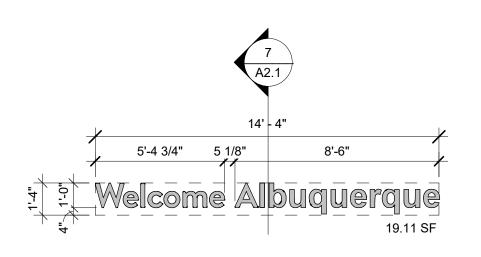


**EXTERIOR ELEVATIONS** 

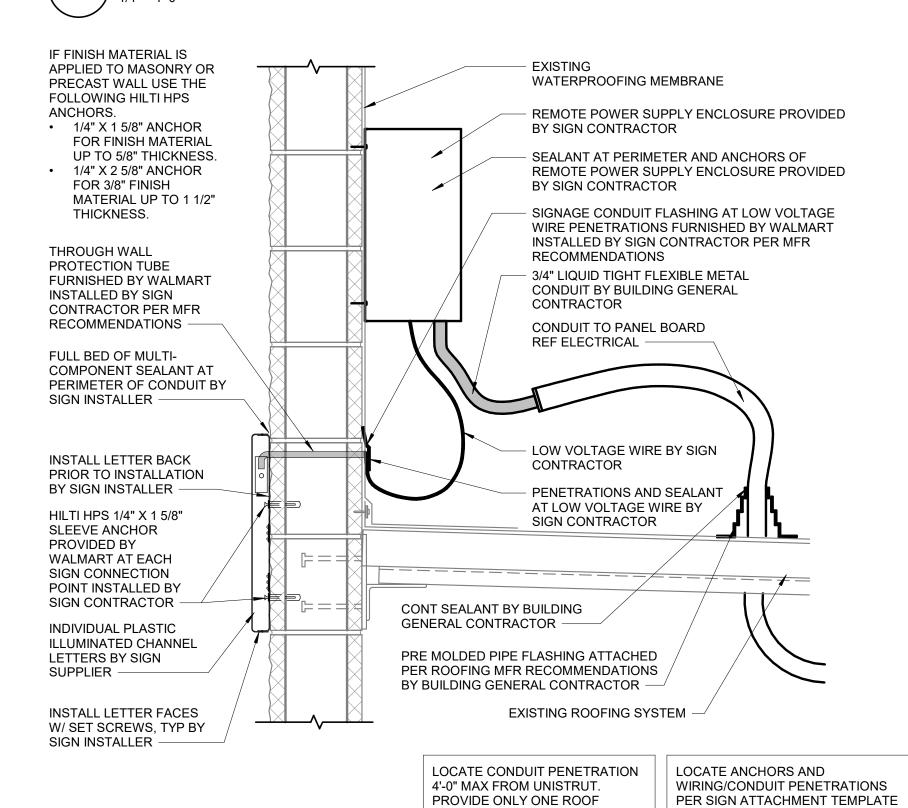
A2



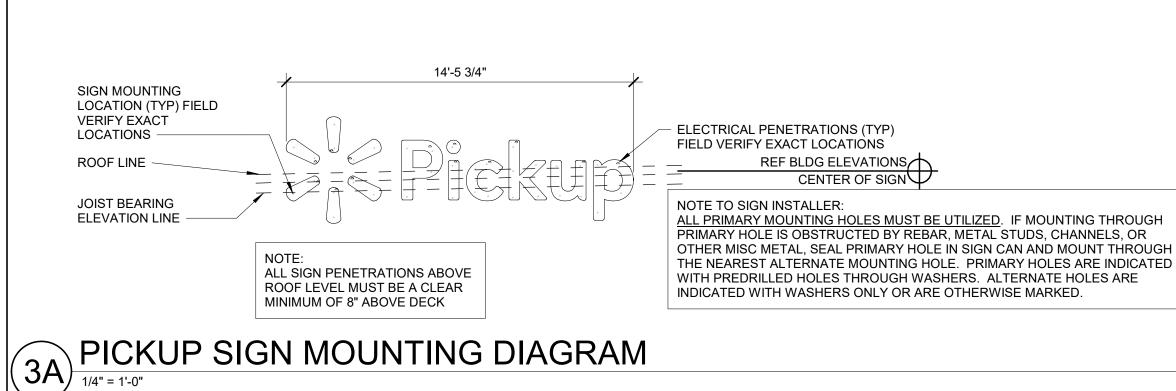




# 1'-0" NEIGHBORHOOD MARKET WELCOME SIGN

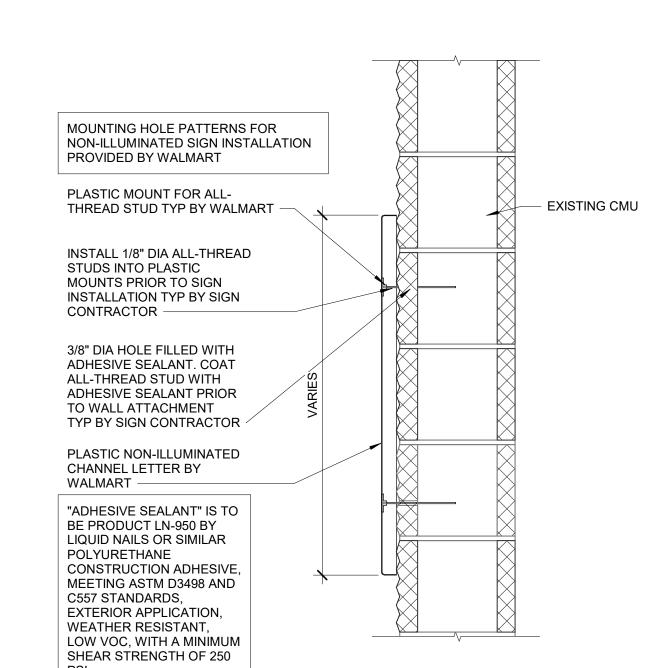


# SIGNAGE ATTACHMENT



PENETRATION FOR ALL WHIPS.

PROVIDED BY WALMART

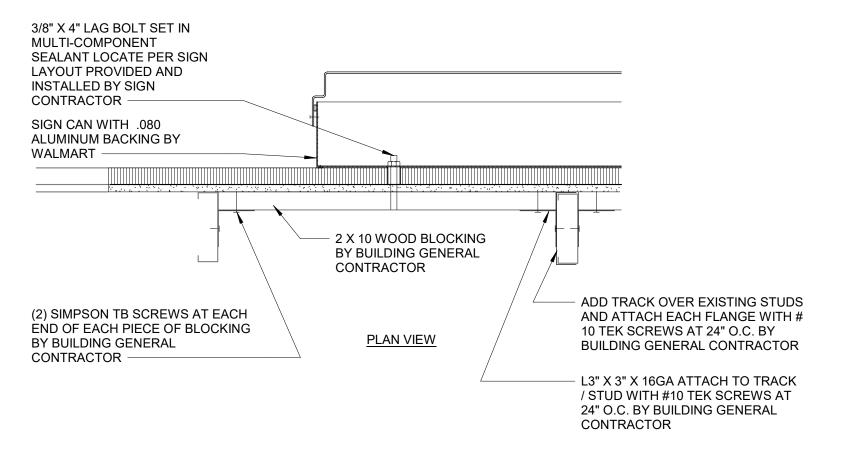


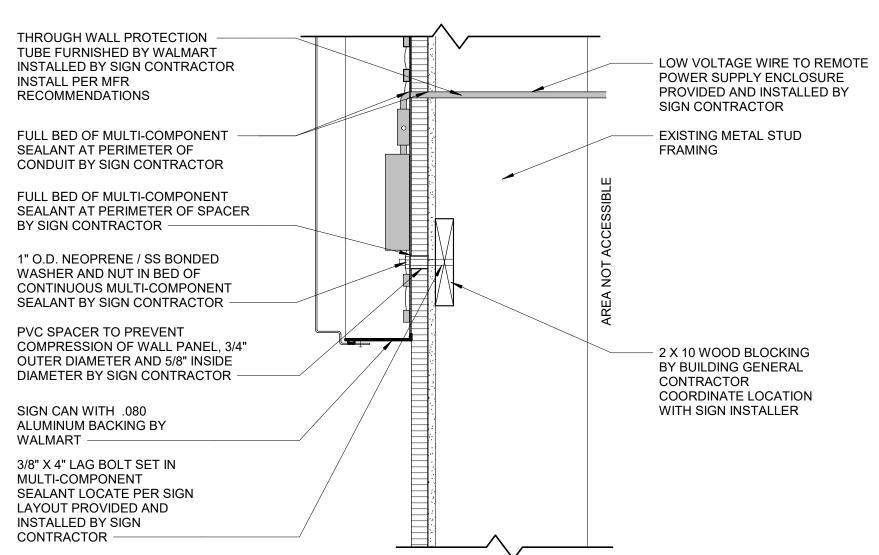
SIGN ATTACHMENT AT CMU WALL

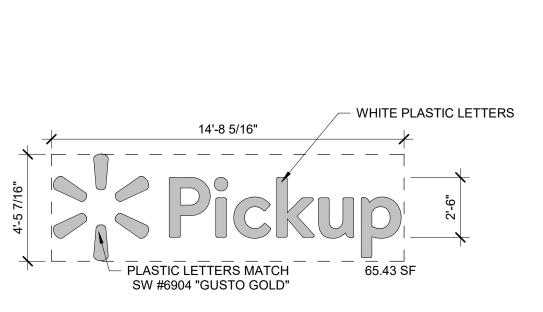
# 13'-2 15/16"

**EXHIBIT** 

2'-0" PHARMACY DRIVE-THRU







\2'-6" PICKUP SIGNAGE **/** 1/4" = 1'-0"



ALL PRIMARY MOUNTING HOLES MUST BE UTILIZED. IF MOUNTING THROUGH PRIMARY HOLE IS

OBSTRUCTED BY REBAR, METAL STUDS, CHANNELS, OR OTHER MISC METAL, SEAL PRIMARY

NOTE TO SIGN INSTALLER:

3'-6" NEIGHBORHOOD MARKET SIGN MOUNTING DIAGRAM

#### **NEW SIGNAGE SCHEDULE**

SIGNAGE GENERAL NOTES

ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE

BUILDING UNTIL THE EXTERIOR SIGN COMPANY IS ONSITE. THE EXTERIOR SIGN

PERFORM THE PATCH AND REPAIR WORK NEEDED AT SIGN LOCATIONS, AND

NOTIFY THE EXTERIOR SIGN CONTRACTOR THAT AREAS NOTED TO RECEIVE

SIGNAGE ARE READY. THE EXTERIOR SIGN COMPANY WILL THEN INSTALL NEW

A. A TEMPORARY BANNER WILL BE INSTALLED BY THE EXTERIOR SIGN COMPANY

PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN

PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED

MODIFICATIONS/REPAIRS REQUIRED FOR INSTALLATION OF NEW EXTERIOR

A. BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION

CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND

B. PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO DETAILS ON SHEET A2/A2.1. FOR LIGHTED ID/LOGO SIGNS COORDINATE TIMING

C. PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL«MART" SIGNAGE MAY BE REUSED.

E. INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILINGS IF

F. VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO

A. REMOVE ALL LIT ID/LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED

MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEA

REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE.

WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH

C. EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND

COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.

SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM

COMPANY WILL REMOVE EXISTING SIGNAGE. GENERAL CONTRACTOR WILL THEN

PAINTING WORK NOTED IN PLANS. ONCE COMPLETE, GENERAL CONTRACTOR WILL

SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY OTHERS.

AND NEW SIGNAGE IS INSTALLED. GC SHALL PRIORITIZE

B. TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').

SIGNS WHILE EXTERIOR SIGN COMPANY IS ON SITE.

INCLUDE PHOTOGRAPHS FOR CLARIFICATION.

OF WORK WITH WALMART SIGN CONTRACTOR.

G. MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE

BUILDING SIGNS. UNLESS NOTED OTHERWISE

PENETRATIONS PER SPECIFICATION SECTION 07900. C. INSTALL SIGNAGE PER DETAILS ON SHEET A2/A2.1

SIGNAGE CONTRACTOR RESPONSIBILITIES

SIGNAGE AS SHOWN ON THE PLANS.

GENERAL CONTRACTOR RESPONSIBILITIES

ELECTRICAL

18'-2 7/8"

3'-6" NEIGHBORHOOD MARKET SIGN

INTERNALLY ILLUMINATED

1/4" = 1'-0"

						· ·							
						TOTAL							TOTAL
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	AREA (SF)	SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	AREA (SF)
FRONT SIGNAGE							FRONT SIGNAGE						
Walmart* (Spark) Market	1	LED	WHITE/YELLOW	3'-6"	187.59 SF		Walmart* (Spark) Neighborhood	1	LED	WHITE/YELLOW	3'-6"	177.89 SF	177.89 SF
< Pharmacy Drive Thru	1	N/A	WHITE	2'-0"	62.88 SF								
FRONT SIGNAGE							*(Spark) Pickup	1	LED	WHITE	2'-6"	65.43 SF	65.43 SF
						!	Welcome Albuquerque	1	N/A	WHITE	1'-0"	19.11 SF	19.11 SF
SIDE SIGNAGE							FRONT SIGNAGE						262.43 SF
Walmart* (Spark) Market	1	LED	WHITE/YELLOW	3'-6"	187.59 SF								
< Pharmacy Drive Thru	1	N/A	WHITE	2'-0"	62.68 SF		SIDE SIGNAGE						
SIDE SIGNAGE						250.27 SF	Walmart* (Spark) Neighborhood Market	1	LED	WHITE/YELLOW	3'-6"	177.89 SF	177.89 SF
REAR SIGNAGE						I	< Pharmacy Drive Thru	1	N/A	WHITE	2'-0"	59.88 SF	59.88 SF
Walmart* (Spark) Market	1	N/A	WHITE/YELLOW	3'-6"	187.59 SF	187.59 SF	SIDE SIGNAGE						237.77 SF
REAR SIGNAGE						187.59 SF							
TOTAL BUILDING SIGNAGE						688.33 SF	REAR SIGNAGE						1
							Walmart* (Spark) Neighborhood Market	1	LED	WHITE/YELLOW	3'-6"	177.89 SF	177.89 SF
							REAR SIGNAGE						177.89 SF

TOTAL BUILDING SIGNAGE

**EXISTING SIGNAGE SCHEDULE** 

REA (SF) 65.43 SF 262.43 SF 177.89 SF 59.88 SF 237.77 SI

(CO)

678.09 SF

2021 MAJOR PROJECT

ISSUE BLOCK

## **DEMOLITION NOTES**

1.	REMOVE ALL UNLIT EXTERIOR STUD MOUNTED
	BUILDING SIGNS.
2.	REMOVAL OF LIT ID/LOGO SIGNS SHALL BE BY
	OTHERS.
3.	NOT USED.
4.	NOT USED.

5. NOT USED.

REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.

СНЕ	CKED BY:	RO/A

DRAWN BY: PROTO CYCLE: DOCUMENT DATE: 12/02/20

THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF SGA DESIGN GROUP.
THIS ELECTRONIC DOCUMENT IS RELEASED FOR THE PURPOSE OF REFERENCE, COORDINATION, AND/OR FACILITY MANAGEMENT. THIS DRAWIN SHALL NOT BE CONSIDERED FINAL OR COMPLETE UNLESS IT IS SIGNED AND SEALED BY THE ARCHITECT.



01/28/2021

**EXTERIOR DETAILS** 

177.89 SF

A2.1

#### SITE CONSTRUCTION PLAN

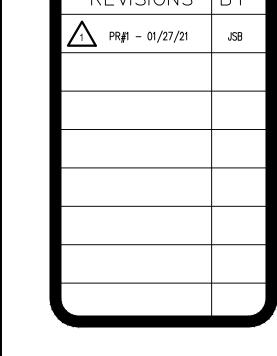
#### NOTES TO CONTRACTOR:

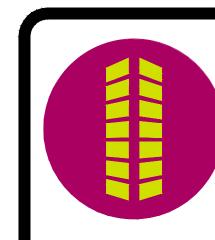
- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH

#### SITE AND DEMOLITION LEGEND

- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B) EXISTING STOP SIGN TO BE REMOVED.
- © EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
- (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
- (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED. G EXISTING CENTERLINE STRIPING TO BE REMOVED
- (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED.
- J EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
- (K) EXISTING STOP SIGN TO REMAIN. (L) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
- (M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
- (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
- Q) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- R NEW "STOP HERE FOR PEDESTRIANS" (R1-5B) SIGN.
- S NEW 30"X30" STOP SIGN.
- T NEW 36"X36" STOP SIGN.
- (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
- (W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
- NEW CROSSWALK MARKINGS 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE

- Z NEW 4" WIDE PAINTED YELLOW STRIPES 6' LONG WITH 18' GAPS.
  - (AA) NEW OPEN ARROW PAVEMENT MARKINGS.
  - (BB) NEW SOLID ARROW PAVEMENT MARKINGS.
  - (CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
  - (DD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
  - (EE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
  - (FF) NEW FIRE LANE STRIPING.
  - ©G EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
  - HH EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
  - (JJ) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.
  - (KK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE. LL NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
  - MM) NEW "ALL WAY" PLAQUE.
  - (NN) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
  - (PP) EXISTING ISLAND STRIPING TO BE REMOVED.
  - QQ) NEW OGP CROSSWALK MARKINGS.
  - (RR) NEW CHANNELIZATION AT OGP DOOR. SEE DETAIL.
  - (SS) PROPOSED DOUBLE YELLOW STRIPING.
  - (TT) NEW "ONLY" PAVEMENT MARKING.





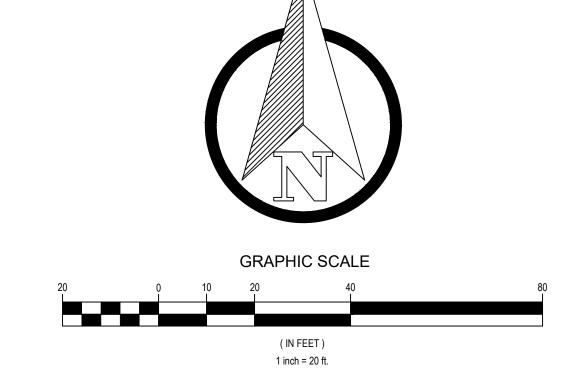


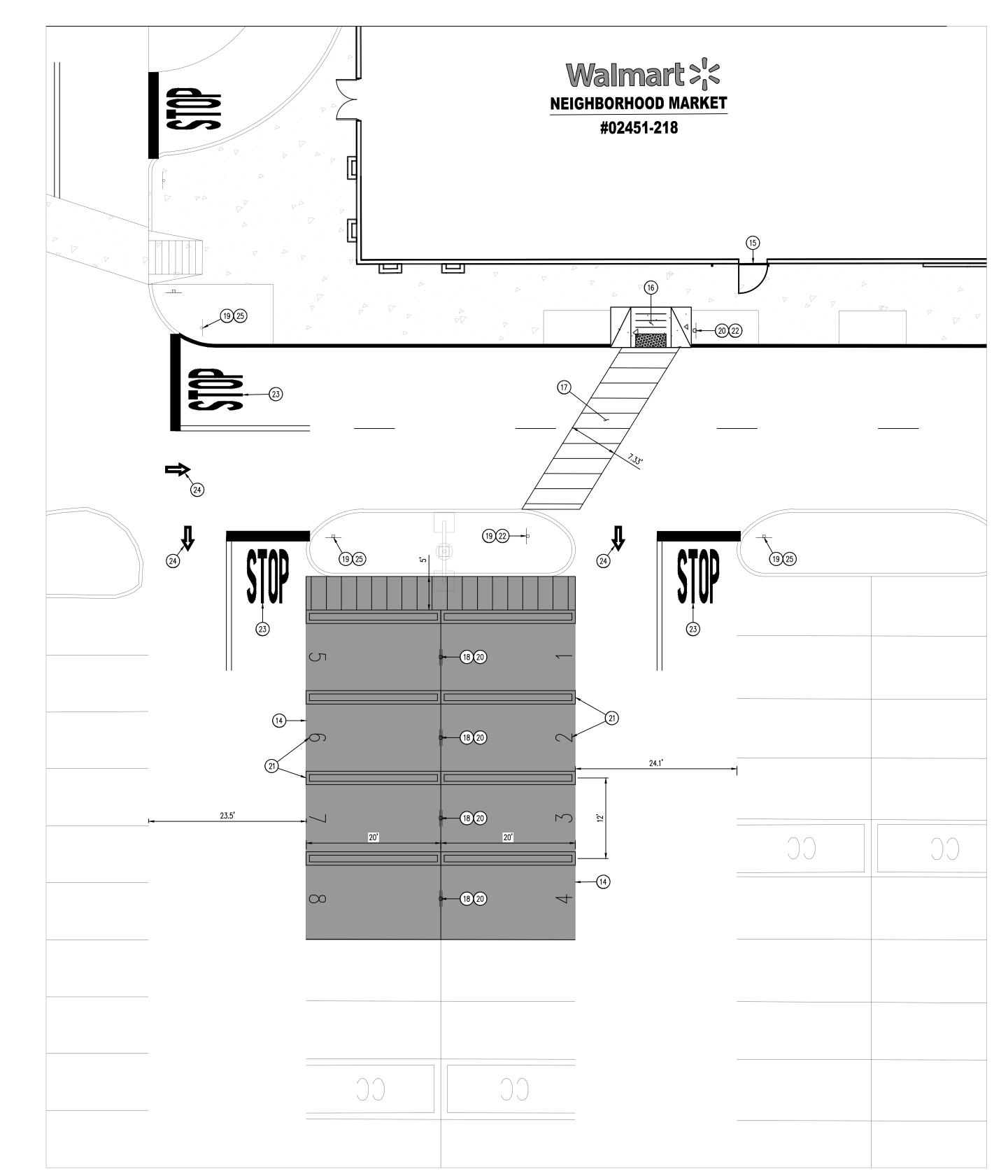




BDA 11/05/20 AS NOTED JOB No. SGA002451.20

SECP-1



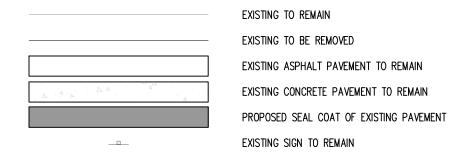


SITE PLAN— PROPOSED PICKUP PARKING SCALE: 1"=10'



 $\frac{\text{KEY MAP}}{\text{APPROX. 1"} = 200'}$ 

#### LEGEND



EXISTING SIGN TO BE REMOVED PROPOSED PICKUP SIGNAGE

#### SITE & DEMOLITION SCHEDULE

- 1) EXISTING WALMART BUILDING TO REMAIN.
- 2 EXISTING BUILDING WALL TO BE REMOVED FOR PICKUP DOOR INSTALLATION (REF. ARCH PLANS)
- (3) EXISTING CONCRETE SIDEWALK TO REMAIN.
- 4) EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- (5) EXISTING ASPHALT PAVEMENT TO REMAIN
- 6 EXISTING PLANTER BOX TO REMAIN. LANDSCAPING TO BE PROTECTED IN PLACE THROUGHOUT CONSTRUCTION
- (7) EXISTING PARKING LOT STRIPING TO REMAIN.
- (8) EXISTING PARKING LOT STRIPING TO BE REMOVED.
- (9) EXISTING STOP BAR AND LETTERING TO BE REMOVED.
- (10) EXISTING 6" CURB TO REMAIN.
- (11) EXISTING 6" CURB TO BE REMOVED. (12) EXISTING LIGHT POLE AND BASE TO REMAIN.
- (13) EXISTING CART CORRAL TO REMAIN.
- (14) PROPOSED SEAL COAT OF EXISTING PAVEMENT.
- (15) PROPOSED PICKUP DOOR (REF. ARCH PLANS).
- (16) PROPOSED CURB RAMP (REF. SITE DETAILS). (17) PROPOSED ASSOCIATE PATH CROSSWALK STRIPING (REF. SITE DETAILS)
- (18) PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS)
- (19) PROPOSED SIGN MOUNTING WITH BREAKAWAY POST (REF. SITE DETAILS).
- (20) PROPOSED SIGN MOUNTING AND BASE WITH BOLLARD (REF. SITE DETAILS).
- (21) PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
- (22) PROPOSED R1-5B "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS).
- (23) PROPOSED STOP BAR LETTERING (REF. SSM/SECP PLANS).
- (24) PROPOSED OPEN ARROW PAVEMENT MARKING (REF. SSM/SECP PLANS).

#### PROPOSED 30"X30" STOP SIGN (REF. SSM/SECP PLANS).

#### DEMOLITION NOTES

DEMOLITION PLAN — EXISTING PARKING SCALE: 1"=10"

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. PRIOR TO
- 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.

DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

- 3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- 4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY, PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONSITE LOCATIONS OF EXISTING UTILITIES. 5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION,
- OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING. 6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL
- NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. 7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE
- SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR. 8. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING

PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR

MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE

- 9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- 10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP). ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE
- OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- 12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA. 13. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY
- SERVICE HAS BEEN PROVIDED. 14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
- PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN. 16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID

CAUTION - NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES. PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND

DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE

2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND

4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR

5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON

PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC

6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING

AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED

BUILDING DIMENSIONS AND EXACT BUILDING LITHLITY ENTRANCE LOCATION

RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.

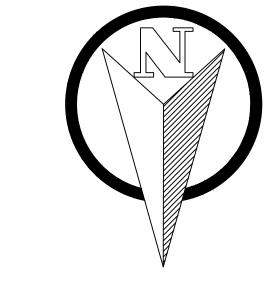
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

SITE NOTES

O.S.H.A. STANDARDS.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRAPHIC SCALE

1 inch = 10 ft.

**65** 

**DEMOLITION** 

& SITE PLAN



Wallmare Solar NM CBUQUERQUE, NM STORE NO. 02451-218 BUQUERQUE, STORE NO. 02451-7 R:SGA002451.20 PROTO: PI AL ISSUE BLOCK

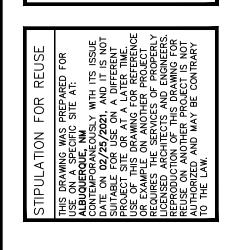
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PROTO CYCLE:

DOCUMENT DATE: 02/25/2

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ALBUQUERQUE, NM
STORE NO. 02451-218
B NUMBER: SGA002451.20 | PROTO: PICKUP ENHNCMN

ISSUE	BLOCK	
1	ADD#2	02/25/21

CHECKED BY:	RCJ
DRAWN BY:	JSB
PROTO CYCLE:	-
DOCUMENT DATE:	02/25/21

SIGNAGE & STRIPING SCHEDULE NOTES

1) PROPOSED PICKUP SIGNAGE, STRAIT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.

PROPOSED PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.

3 PROPOSED PICKUP SIGNAGE TO BE MOUNTED ON EXISTING SIGN POST BELOW EXISTING SIGNAGE.

SITE SIGNAGE LEGEND

PROPER

PROPOSED PATH OF TRAVEL FOR PICKUP CUSTOMER.

PROPOSED PICKUP AREA

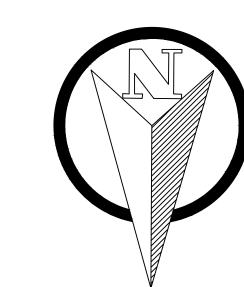
SITE SIGNAGE NOTES

THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 11/22/2016. THIS
PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY
VARY SIGNIFICANTLY FROM THIS DRAWING.

2. REFERENCE SITE DETAILS FOR SIGN LOCATION & VESTIBULE CROSSWALK DETAILS FOR SITE SIGNAGE OFFSETS.

PICKUP EXTERIOR SIGN SCHEDULE				
DESCRIPTION	DIMENSIONS	QUANTITY		
WAITING SPACES LEFT	18 X 24	_		
WAITING SPACES RIGHT	18 X 24	_		
WAITING SPACES AHEAD	18 X 24	_		
RESERVED WAITING	18 X 24	_		
PICKUP LEFT PHARMACY RIGHT	18 X 24	_		
PICKUP RIGHT PHARMACY LEFT	18 X 24	_		
STOP THANKS FOR ORDERING	18 X 36	_		
PICKUP HOURS	18 X 36	_		
RESERVED	18 X 18	8		
PHONE NUMBER	8 X 18	8		
VERTICAL PICKUP	18 X 36	8		
PICKUP LEFT	18 X 24	_		
PICKUP AHEAD	18 X 24	1		
PICKUP RIGHT	18 X 24	1		

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Bradley.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



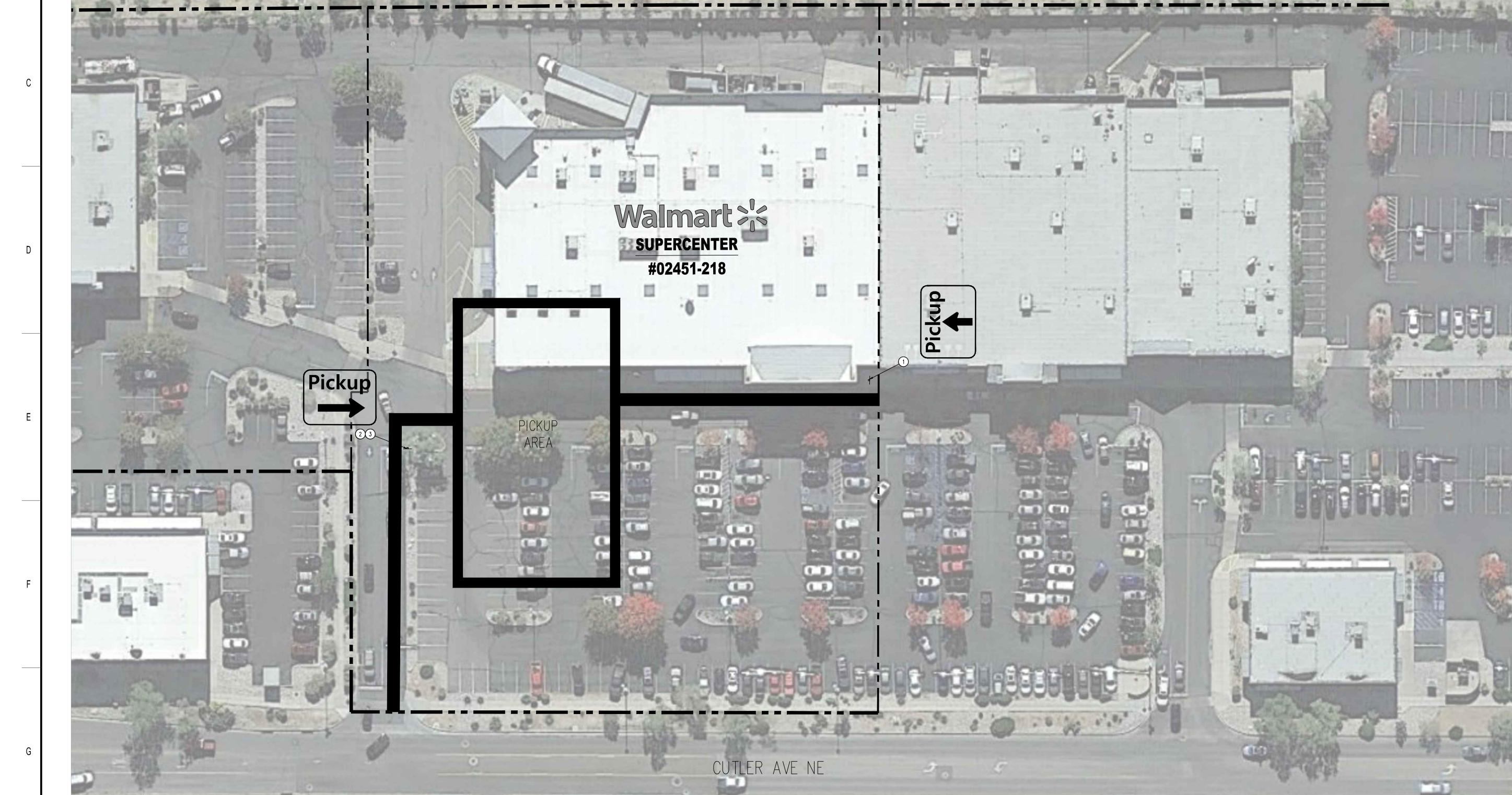
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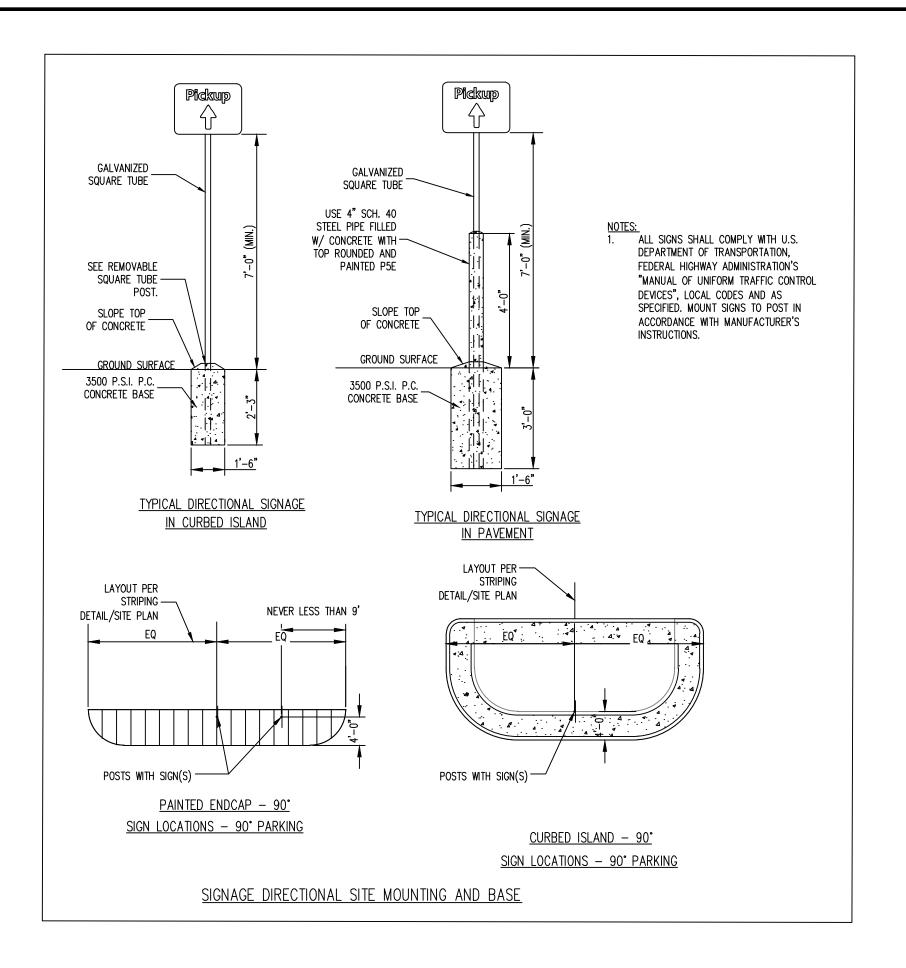
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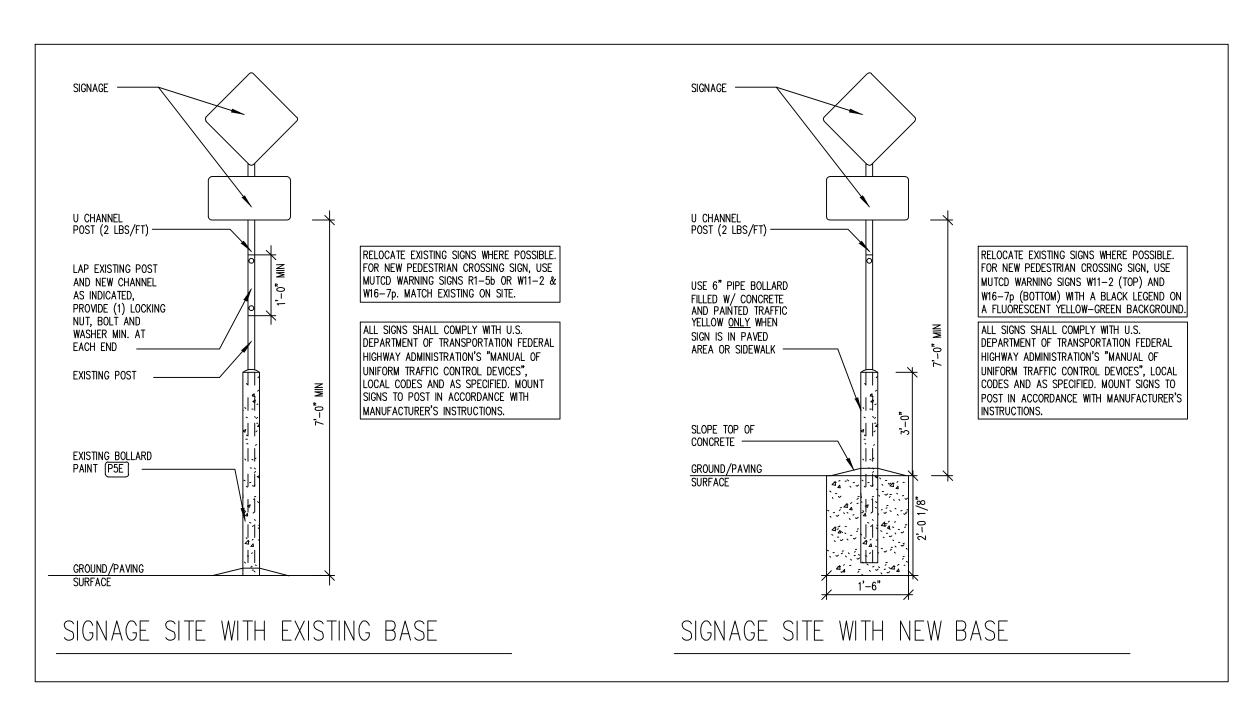
(IN FEET)
1 inch = 30 ft.

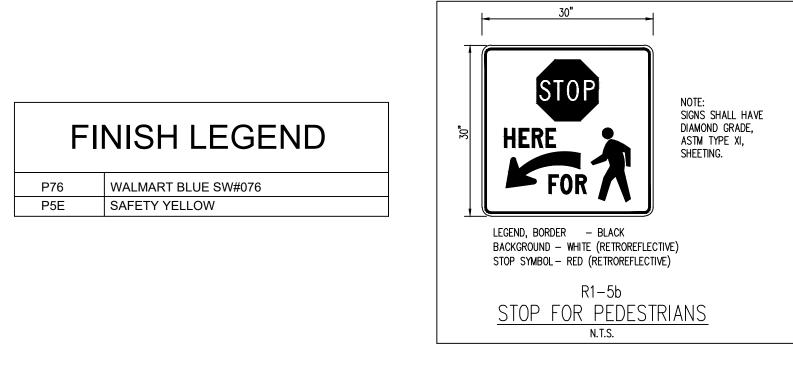
ALE
60
120
SITE SIGNAGE
PLAN

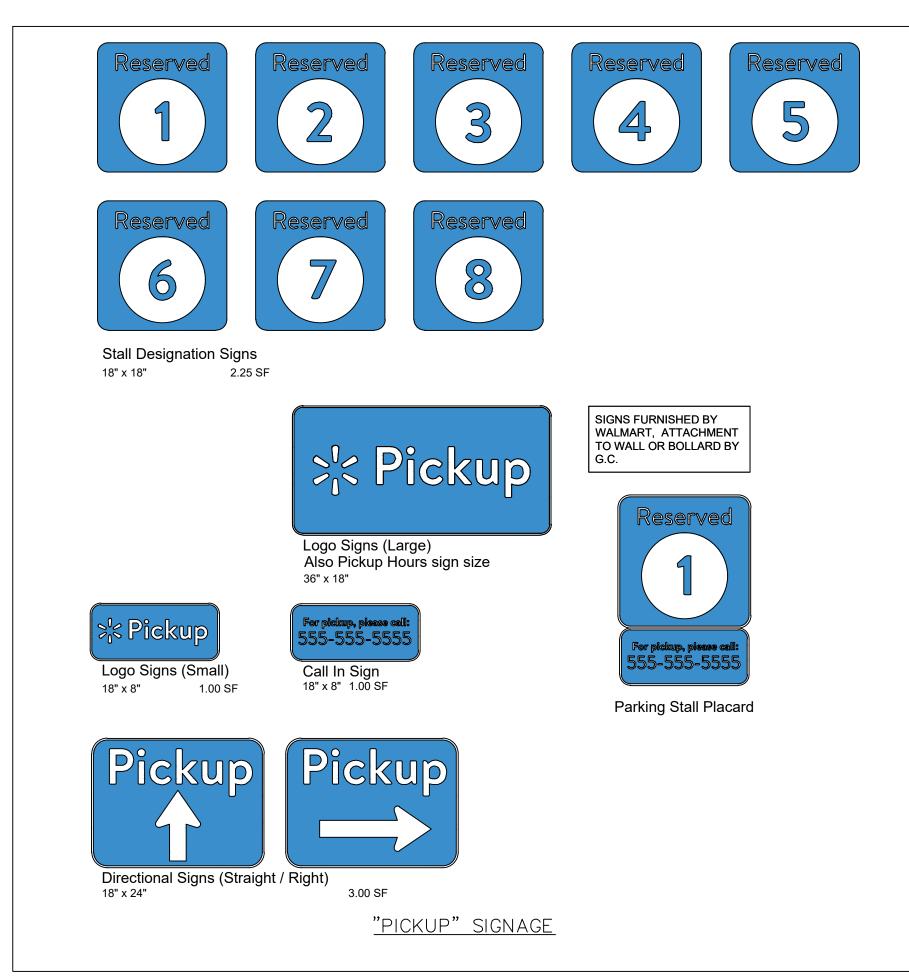
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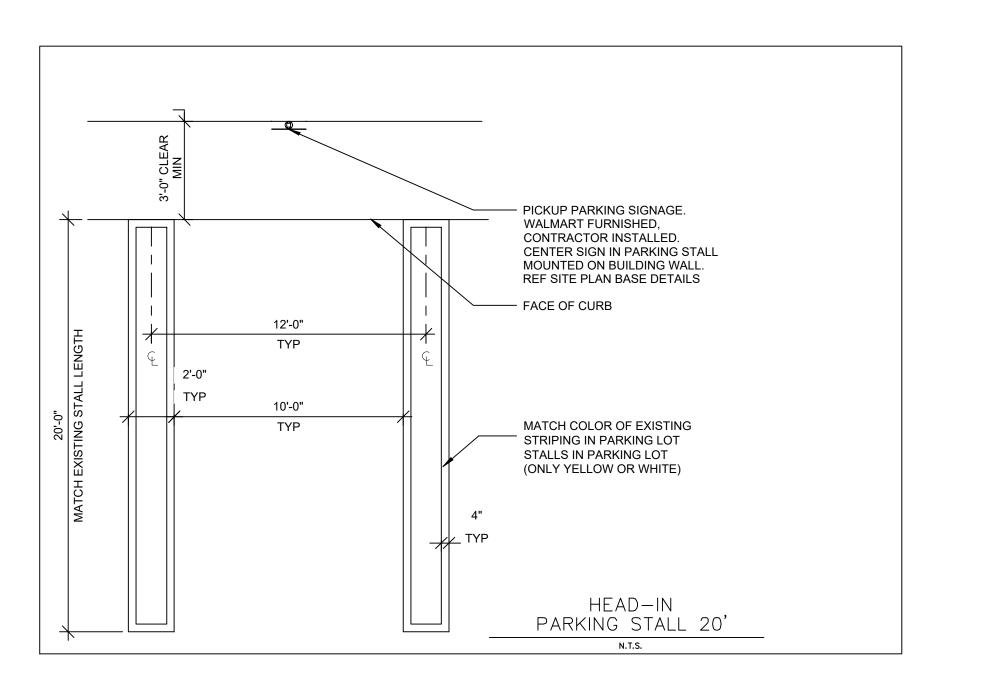


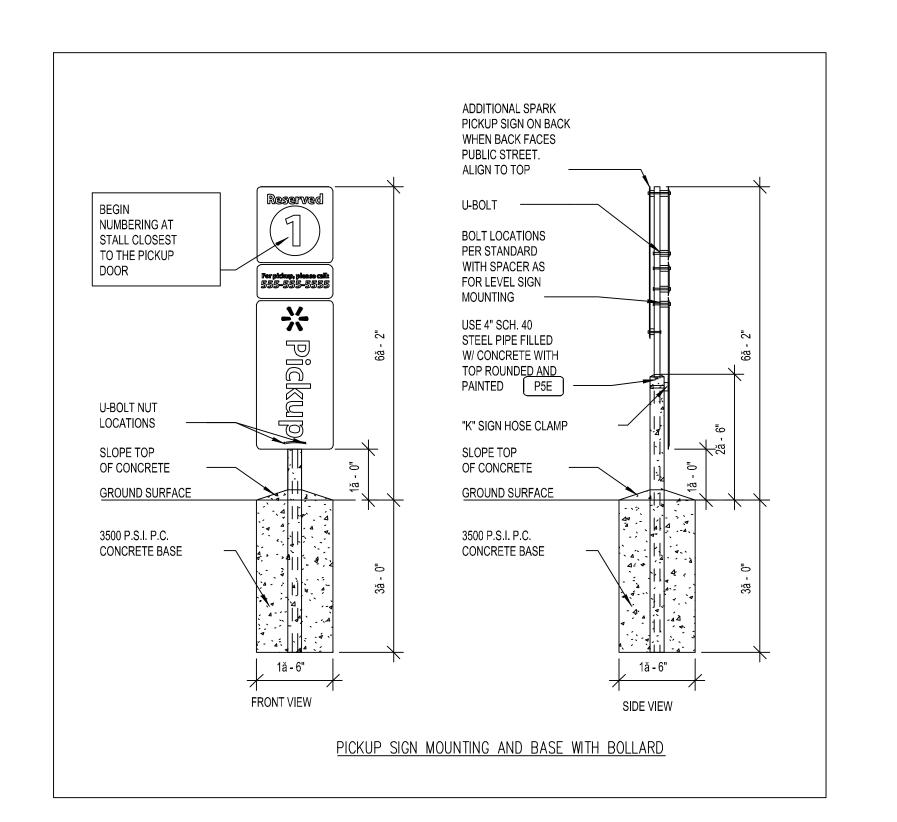


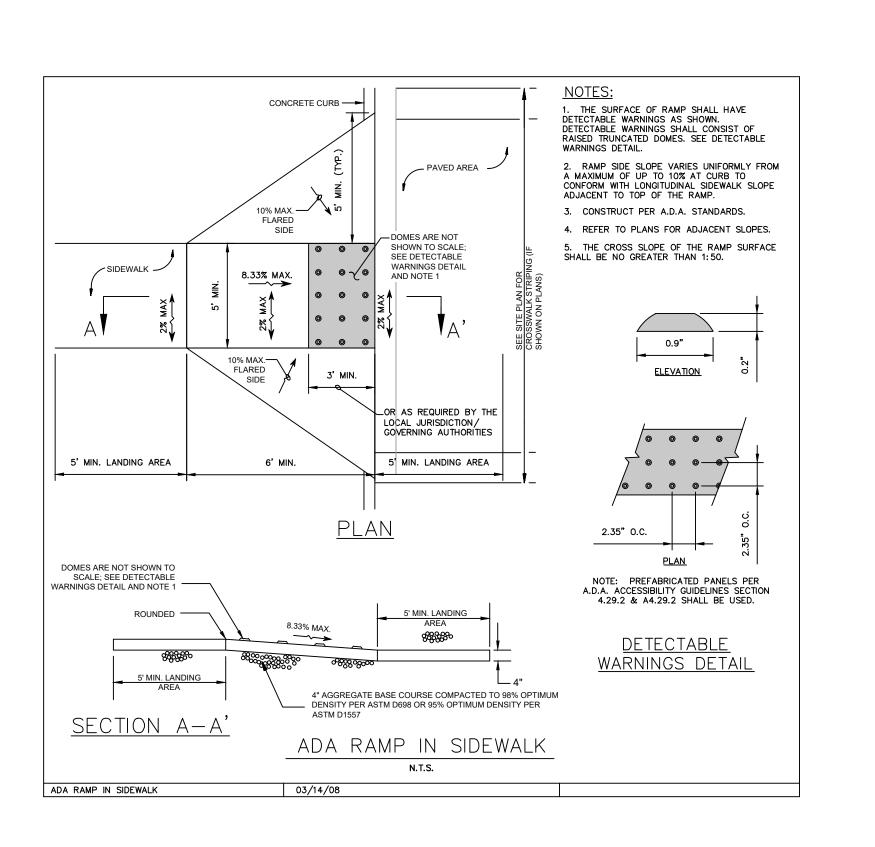




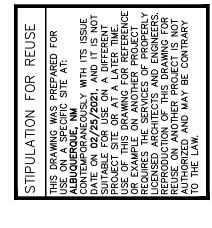














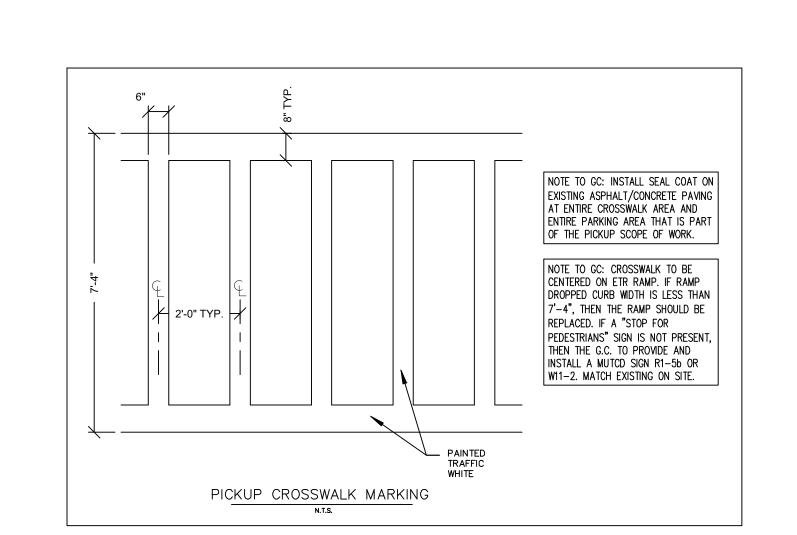
ALBUQUERQUE, NM
STORE NO. 02451-218
JOB NUMBER: SGA002451.20 PROTO: PICKUP ENHNCMNT

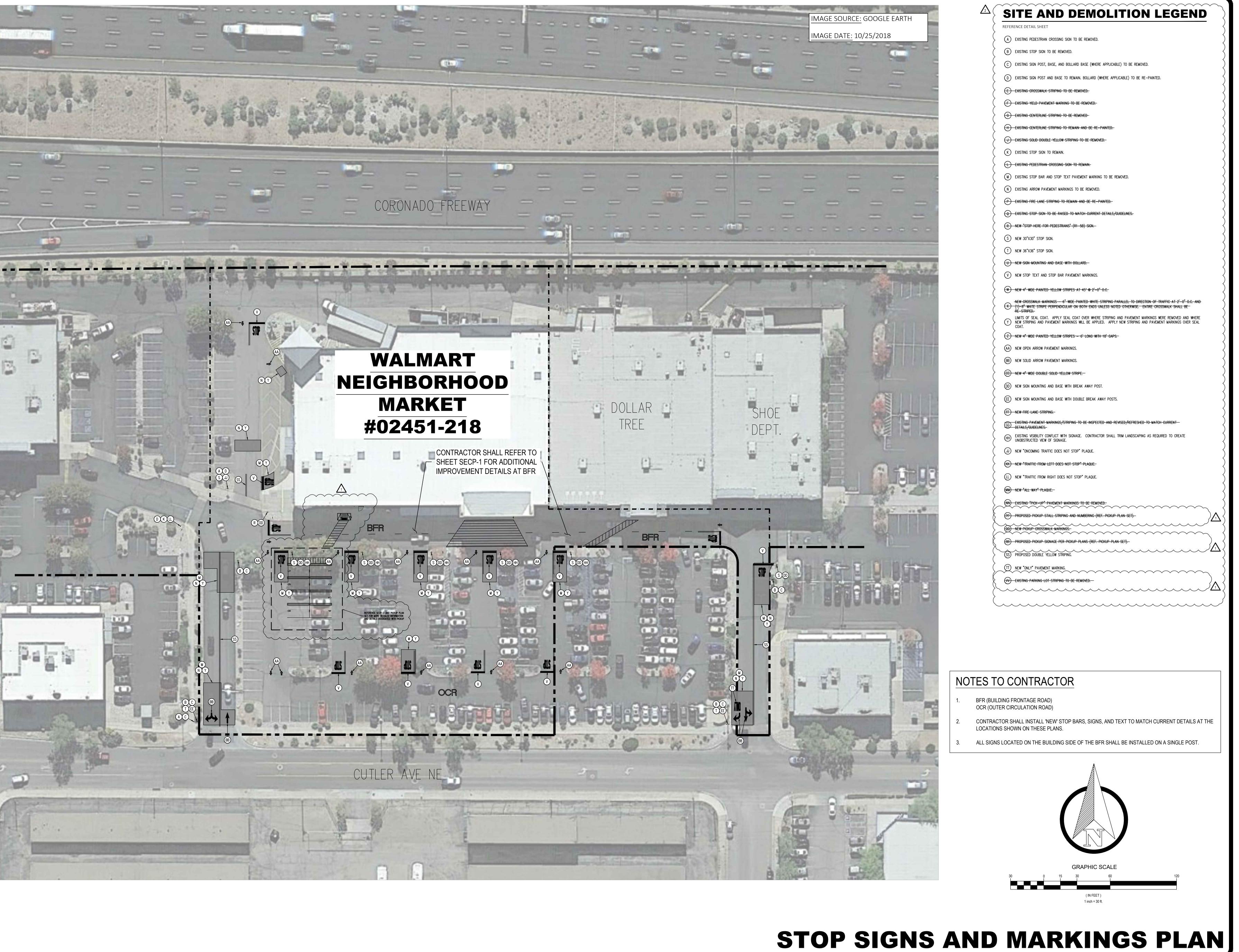
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DRAWN BY:	JSB
PROTO CYCLE:	-
DOCUMENT DATE:	02/25/21
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SITE DETAILS

CS3

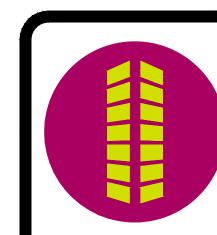




REVISIONS BY

ADD#2 - 02/25/21 JSB

CDD# - 03/04/21 DDJ



6162 S. Willow Drive, Suite 320 Greenwood Village, CO 80111 303.770.8884



IGHBORHOOD MARKET #02451-218 30 CUTLER AVE NE 3UQUERQUE, BERNALILLO COUNTY, NEV

Valmart > 1

DRAWN

JSB

CHECKED

BDA

DATE

11/05/20

SCALE

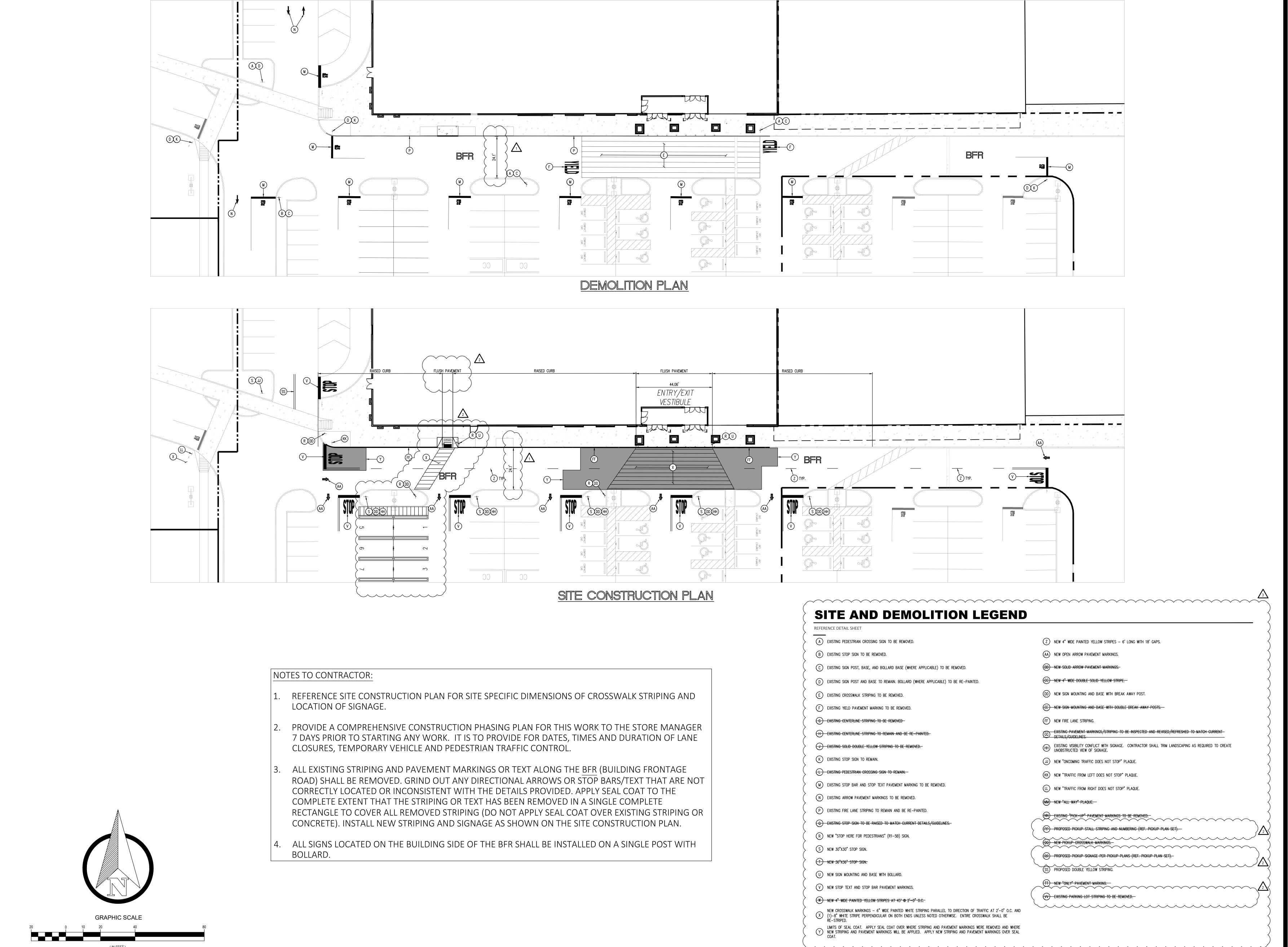
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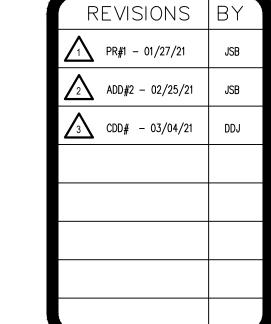
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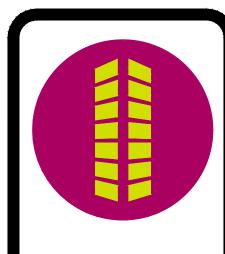
SHEET

SSM-1



1 inch = 20 ft.





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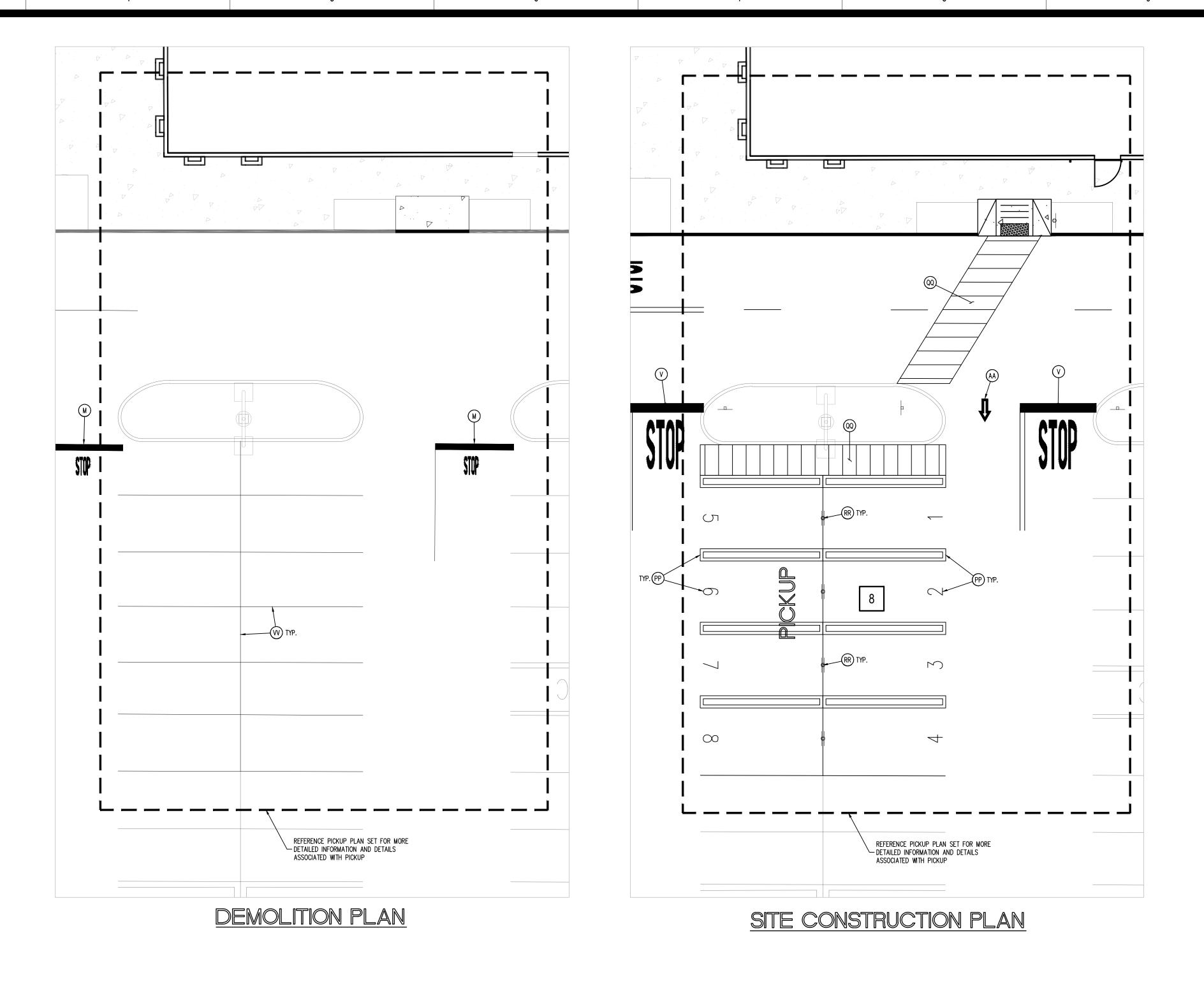
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DEMOLITION AND SITE CONSTRUCTION PLAN



#### NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH

#### SITE AND DEMOLITION LEGEND REFERENCE DETAIL SHEET

#### (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.

(B) EXISTING STOP SIGN TO BE REMOVED.

(D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.

J EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.

(K) EXISTING STOP SIGN TO REMAIN.

(Q) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.

(S) NEW 30"X30" STOP SIGN.

T NEW 36"X36" STOP SIGN.

W NEW SIGN MOUNTING AND BASE WITH BOLLARD.

(V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.

(W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45" @ 2'-0" O.C.

-NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND-

(Z) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18' GAPS.

(AA) NEW OPEN ARROW PAVEMENT MARKINGS.

(C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.

E) EXISTING CROSSWALK STRIPING TO BE REMOVED.

F EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.

6 EXISTING CENTERLINE STRIPING TO BE REMOVED

(H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED.

(L) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.

(M) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.

(N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED. P EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.

R NEW "STOP HERE FOR PEDESTRIANS" (R1 5B) SIGN.

DEMOLITION AND SITE CONSTRUCTION PLAN

(BB) NEW SOLID ARROW PAVEMENT MARKINGS.

(CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.

(DD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.

(JJ) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.

(KK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.

(LL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.

(NN) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.

(PP) PROPOSED PICKUP STALL STRIPING AND NUMBERING (REF. PICKUP PLAN SET).

(RR) PROPOSED PICKUP SIGNAGE PER PICKUP PLANS (REF. PICKUP PLAN SET).

(MM) NEW "ALL WAY" PLAQUE.

(QQ) NEW PICKUP CROSSWALK MARKINGS.

(SS) PROPOSED DOUBLE YELLOW STRIPING.

(VV) EXISTING PARKING LOT STRIPING TO BE REMOVED.

(TT) NEW "ONLY" PAVEMENT MARKING.

(EE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.

EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.

EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE—UNOBSTRUCTED VIEW OF SIGNAGE.

