



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION		
Applicant: Gina Kelly w/ SGA Design Group		Phone: (918)587-8602, ext. 299
Address: 1437 S Boulder Ave. - Suite 550		Email: ginak@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST
Update building Signage; Update EIFS colors (Blue & Gray tones); adding sliding OGP door for the Online Grocery Pickup Service; relocating OGP parking stalls from front to side including the incidental parking stall signage.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Lot 1, Sycamore Plaza	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): F20	Existing Zoning: C-2	Proposed Zoning: same as existing
# of Existing Lots: ETR	# of Proposed Lots:	Total Area of Site (acres): ETR

LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 8000 Academy Rd NE	Between: Wyoming Blvd NE	and: Moon Street

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)	
Z-91-51-1; AA94-108; 1000606	
Signature: <i>Gina Kelly</i>	Date: 03/09/21
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00319	AA	\$50.00			

Meeting/Hearing Date:	Fee Total: \$50.00
Staff Signature: <i>Vanessa A Segura</i>	Date: 3/9/21
	Project # PR-2021-005220

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- requested Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
Signature: <u>Gina Kelly</u>	Date: <u>03/09/21</u>
Printed Name: <u>Gina Kelly</u>	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number: <u>PR-2021-005220</u>	Case Numbers: <u>SI-2021-00319</u>
	-
	-
Staff Signature: <u>Vanessa A Segura</u>	
Date: <u>3/9/21</u>	



SGA Design Group

March 9, 2021

Maggie Gould, Planning Manager
City of Albuquerque Planning Department
Land Development Coordination
600 Second Street NW
Albuquerque, NM 87109

Re. Walmart #824.239 located at: 8000 Academy Road NE

The scope of work for this Administrative Amendment review is the for updating of the current Walmart building/site signage to the new updated font and new branding signage.

With the interior updates being proposed, sliding door to the front of the store that exits to the right. Also, with the signage updates, they will provide the updated signage along with general maintenance of these signs.

The impact to the site will be minimal and I am also submitting the Construction Documents with the Building Department today.

If you have any questions, please do not hesitate to contact me.

Thank you,

Gina Kelly
SGA Design Group
1437 S Boulder Ave-Ste. 550
Tulsa, OK 74119
ginak@sgadesigngroup.com

LETTER OF AUTHORIZATION

January 21, 2021

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

To Whom It May Concern:

I hereby authorize: Gina Kelly
SGA Design Group
1437 South Boulder, Suite 550
Tulsa, OK 74119
(918) 587-8600

To act as the agent on your behalf before the City of Albuquerque, NM for all the Walmart Stores that assigned to SGA Design Group within the jurisdiction of Albuquerque, NM.

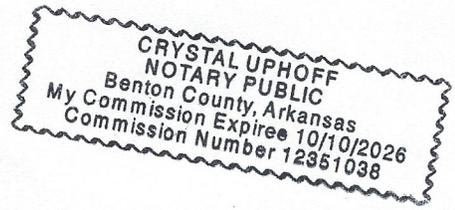
Dren Bailess
Signature

Dren Bailess 1/21/2021
Print Name Date

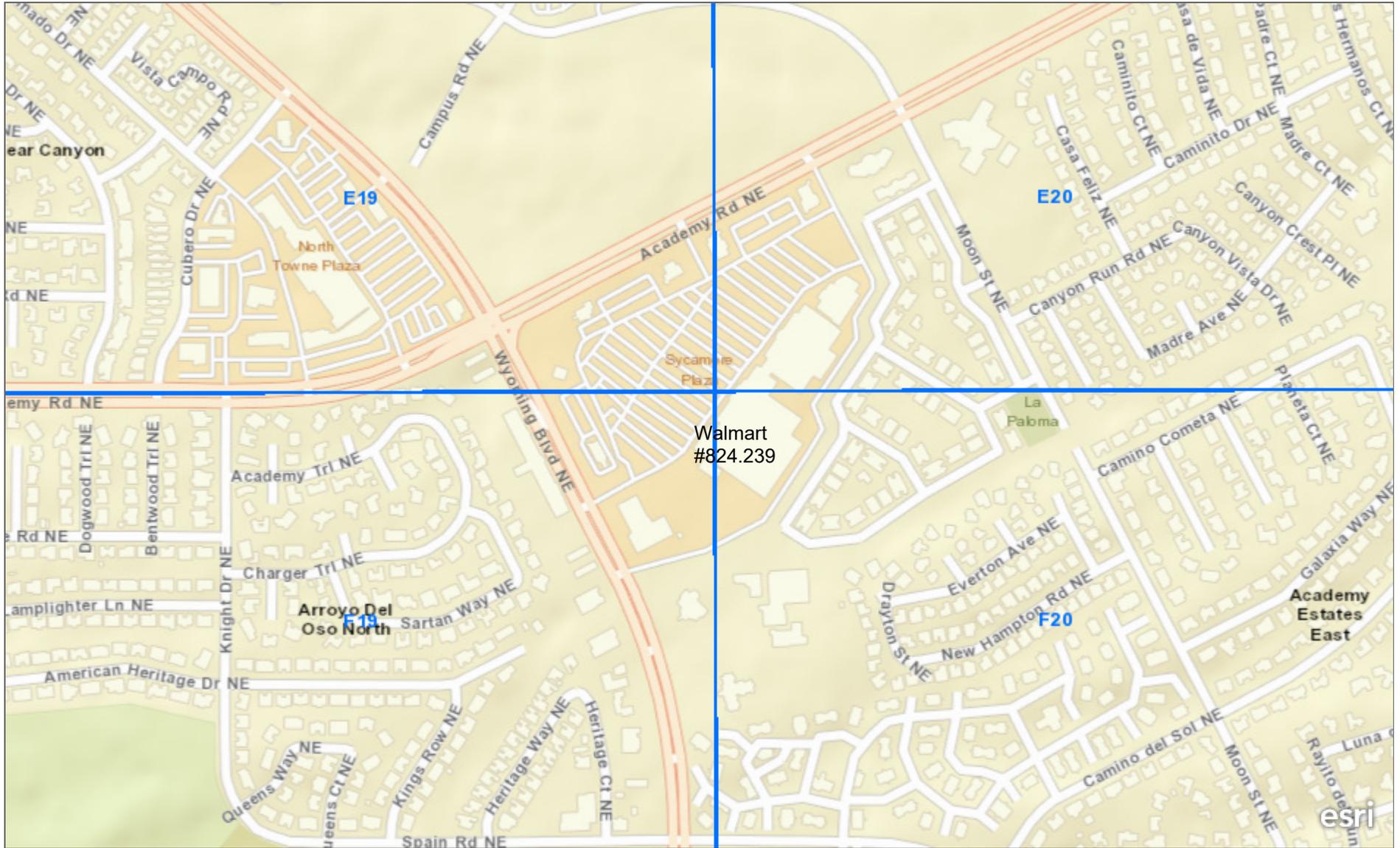
State of: Arkansas
County of: Benton

Subscribed and sworn to before me this 21 day of January, 2021.

Notary Public *Crystal Uphoff*
My Commission Expires 10-10-2026



Address Atlas



City Address Atlas Pages

600ft

City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, NGA, USGS | City of Albuquerque, Planning Department, AGIS Division

EXISTING SIGNAGE SCHEDULE						NEW SIGNAGE SCHEDULE							
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)	SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE							FRONT SIGNAGE						
Walmart (Spark)	1	LED	WHITE/YELLOW	12'-0"	298.00 SF	298.00 SF	Walmart (Spark)	1	LED	WHITE/YELLOW	12'-0"	175.06 SF	175.06 SF
Spark/Pickup	1	LED	WHITE/YELLOW	2'-6"	66.76 SF	66.76 SF	Spark/Pickup	1	LED	WHITE/YELLOW	2'-6"	65.43 SF	65.43 SF
Market & Pharmacy	1	NA	WHITE	2'-6"	102.74 SF	102.74 SF	Grocery & Pharmacy	1	NA	WHITE	2'-6"	106.13 SF	106.13 SF
Outdoor Living	1	NA	WHITE	2'-0"	46.40 SF	46.40 SF	Outdoor	1	NA	WHITE	2'-6"	31.88 SF	31.88 SF
FRONT SIGNAGE					513.90 SF	513.90 SF	FRONT SIGNAGE					382.13 SF	382.13 SF
TOTAL BUILDING SIGNAGE					513.90 SF	513.90 SF	TOTAL BUILDING SIGNAGE					382.13 SF	382.13 SF

SIGNAGE GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY OTHERS.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE EXTERIOR SIGN COMPANY IS ON SITE. THE EXTERIOR SIGN COMPANY WILL REMOVE EXISTING SIGNAGE. GENERAL CONTRACTOR WILL THEN PERFORM THE PATCH AND REPAIR WORK NEEDED AT SIGN LOCATIONS, AND PAINTING WORK NOTED IN PLANS. ONCE COMPLETE, GENERAL CONTRACTOR WILL NOTIFY THE EXTERIOR SIGN CONTRACTOR THAT AREAS NOTED TO RECEIVE SIGNAGE ARE READY. THE EXTERIOR SIGN COMPANY WILL THEN INSTALL NEW SIGNAGE AS SHOWN ON THE PLANS.
 - A TEMPORARY BANNER WILL BE INSTALLED BY THE EXTERIOR SIGN COMPANY PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED. GENERAL CONTRACTOR SHALL PRIORITIZE MODIFICATIONS/REPAIRS REQUIRED FOR INSTALLATION OF NEW EXTERIOR SIGNS WHILE EXTERIOR SIGN COMPANY IS ON SITE.
 - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').
 - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 8 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES:
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGNS WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO DETAILS ON SHEET A2.2.1. FOR LIGHTED IDILOGO SIGNS COORDINATE TIMING OF WORK WITH WALMART SIGN CONTRACTOR.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
 - NOT USED.
 - INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILINGS IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE. REFER TO ELECTRICAL.
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
- SIGNAGE CONTRACTOR RESPONSIBILITIES:
 - REMOVE ALL LIT IDILOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS.
 - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
 - INSTALL SIGNAGE PER DETAILS ON SHEET A2.2.1.

DEMOLITION NOTES

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STIPULATION FOR REUSE
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CONSULTANTS
 WALMART
 ALBUQUERQUE, NM
 8000 ACADEMY RD NE
 STORE NO: 0824-239
 JOB NUMBER: 20094120
 PHOTO: 138

Walmart
 ALBUQUERQUE, NM
 8000 ACADEMY RD NE
 STORE NO: 0824-239
 2021 MAJOR PROJECT

ISSUE BLOCK

NO.	DESCRIPTION	DATE

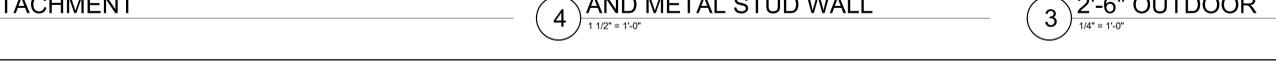
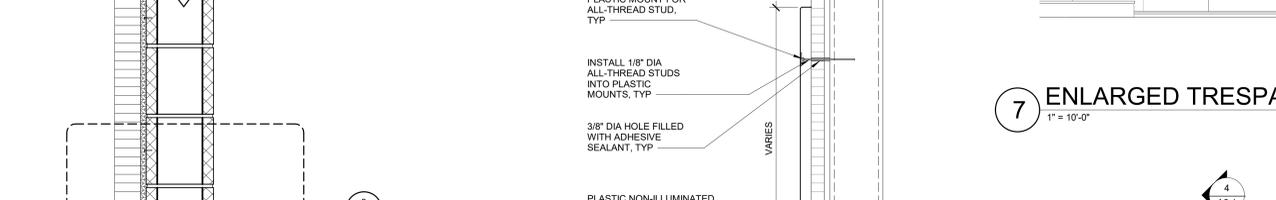
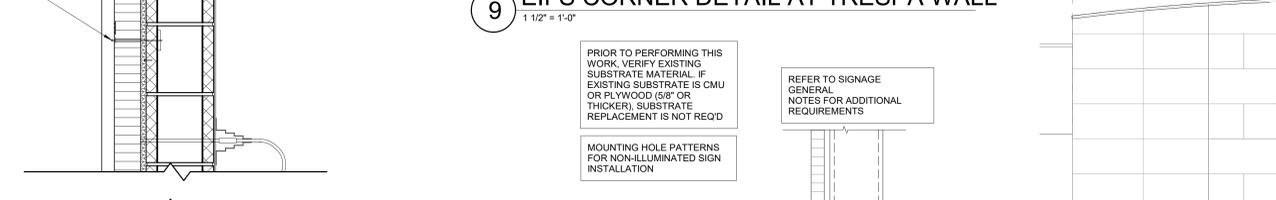
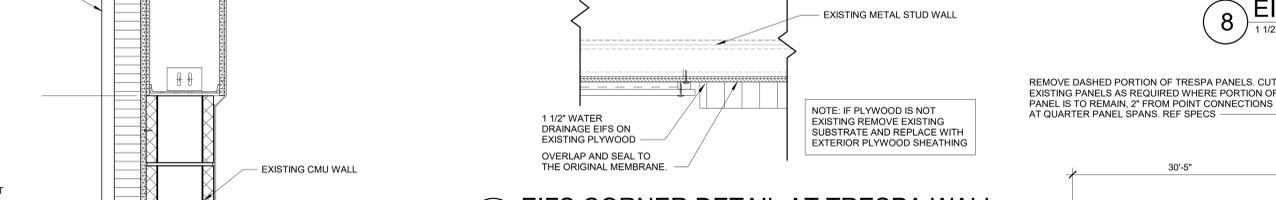
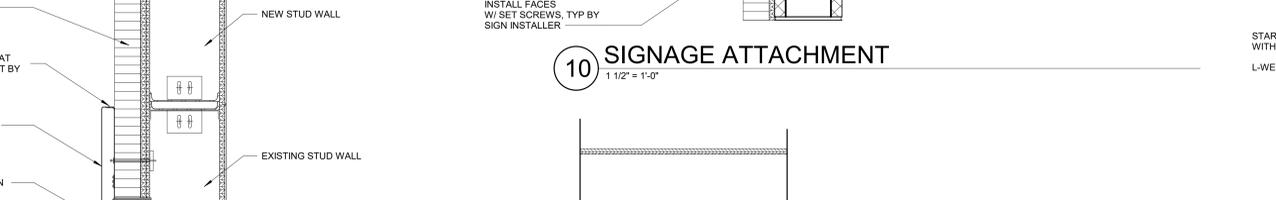
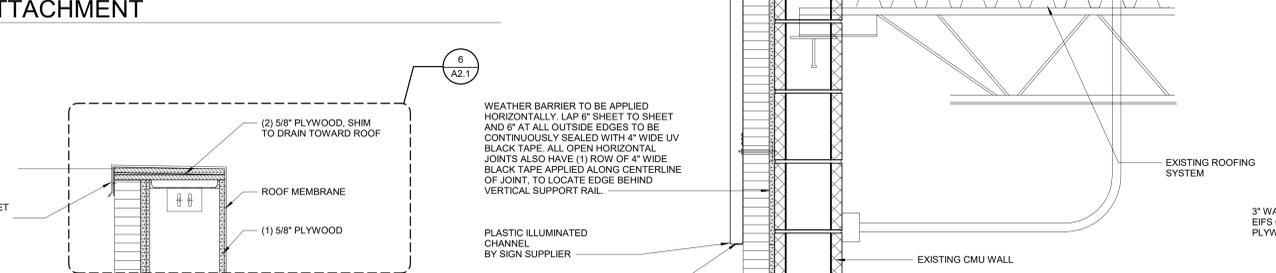
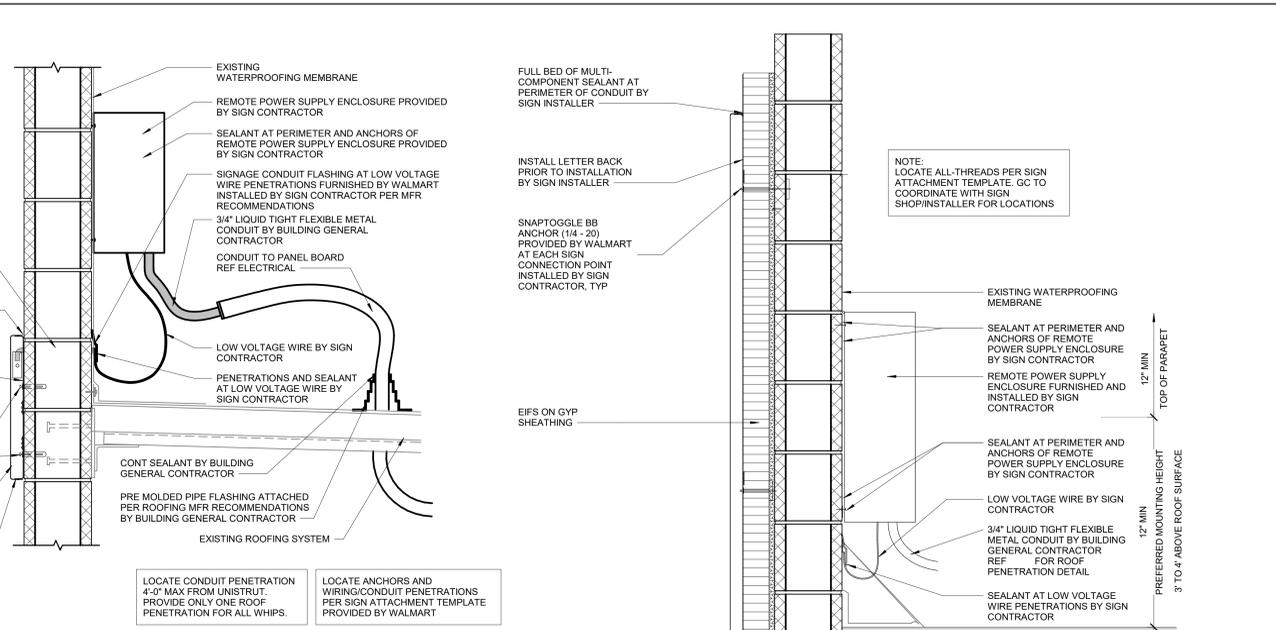
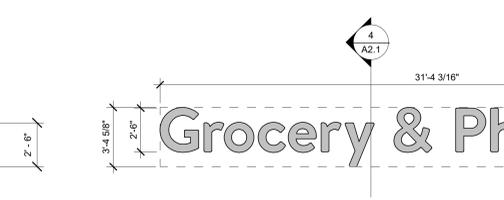
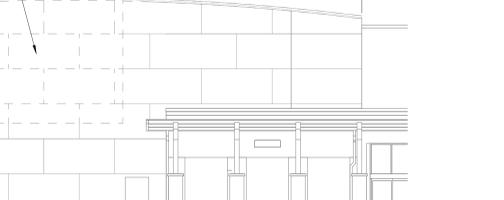
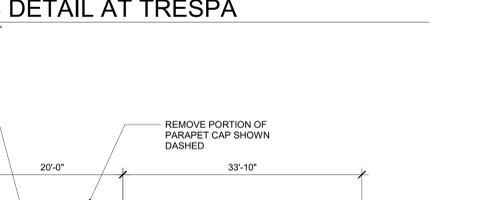
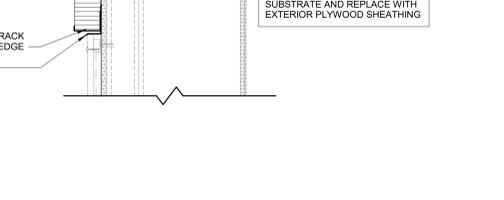
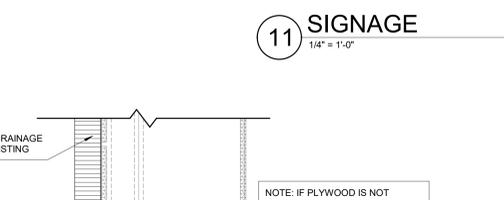
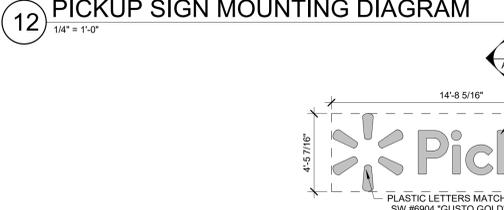
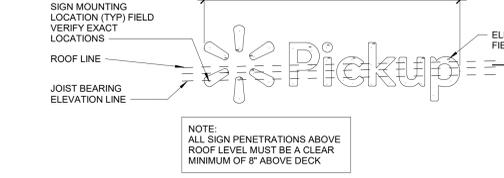
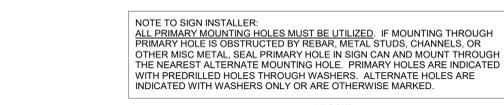
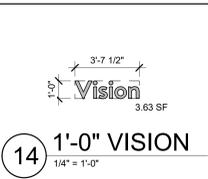
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 DRAWN BY: KM
 PROTO CYCLE: 12/04/20
 DOCUMENT DATE: 03/8/21

THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF SGA DESIGN GROUP. THIS ELECTRONIC DOCUMENT IS RELEASED FOR THE PURPOSE OF REFERENCE. COORDINATION AND/OR FACILITY MANAGEMENT. THIS DRAWING SHALL NOT BE CONSIDERED FINAL OR COMPLETE UNLESS IT IS SIGNED AND SEALED BY THE ARCHITECT.

STATE OF NEW MEXICO
 TRAVIS R. HAGER
 No. 6148
 REGISTERED ARCHITECT
 03/08/2021

EXTERIOR DETAILS

SHEET: **A2.1**



03/08/21 10:00:27
 C:\projects\2021\albuquerque\0824-239\0824-239.dwg
 1437 South Boulder, Suite 550
 Tulsa, Oklahoma 74106
 T: 918.587.8600
 F: 918.587.8601
 www.sgadesigngroup.com

EXISTING SIGNAGE SCHEDULE

SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart (Spark)	1	LED	WHITE/YELLOW	5'-6"	298.00 SF	298.00 SF
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NEW SIGNAGE SCHEDULE

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CONSULTANTS

Walmart
 ALBUQUERQUE, NM
 8000 ACADEMY RD NE
 STORE NO: 0824-239
 200941201 PHOTO: 138

2021 MAJOR PROJECT

ISSUE BLOCK

NO.	DESCRIPTION	DATE

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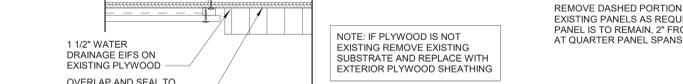
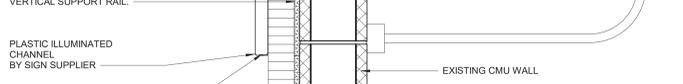
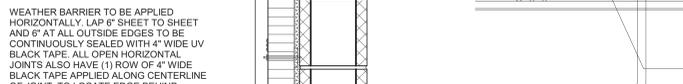
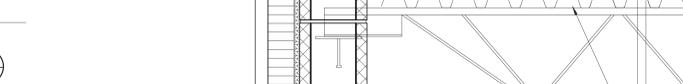
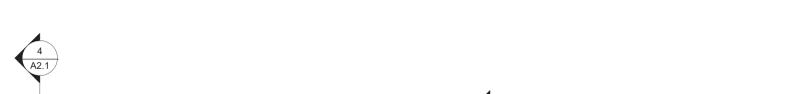
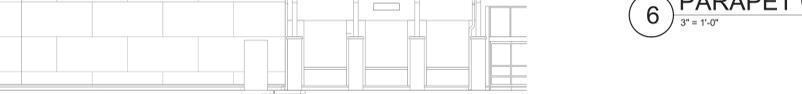
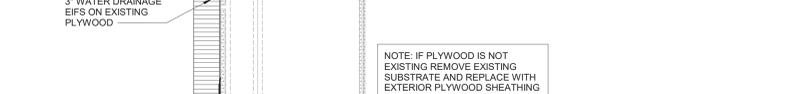
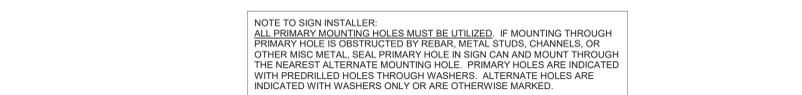
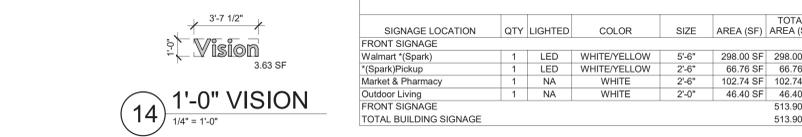
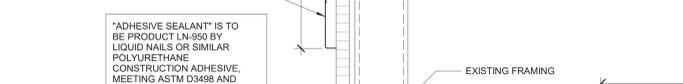
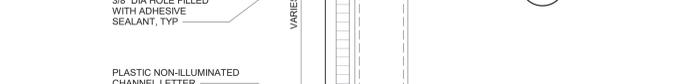
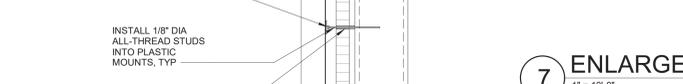
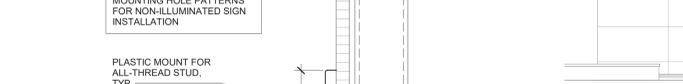
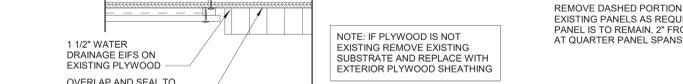
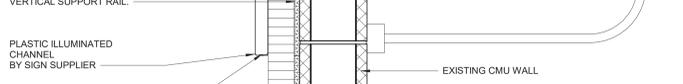
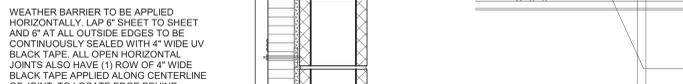
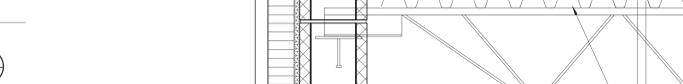
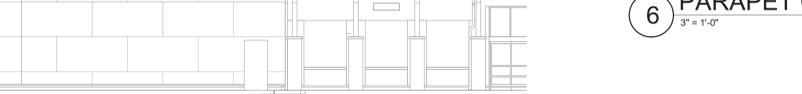
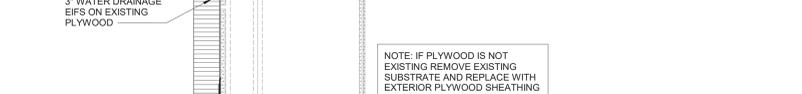
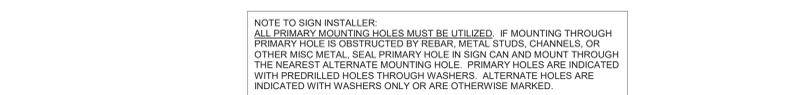
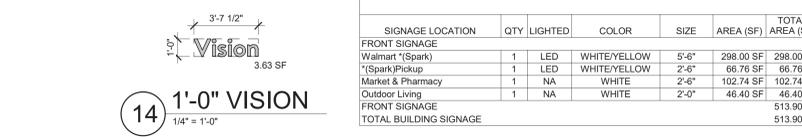
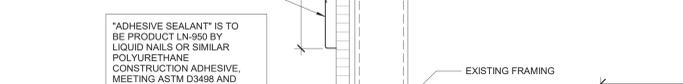
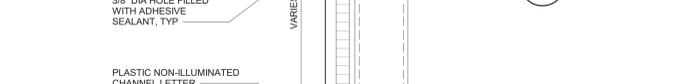
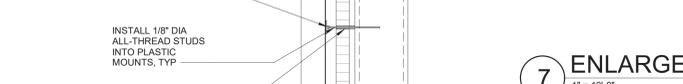
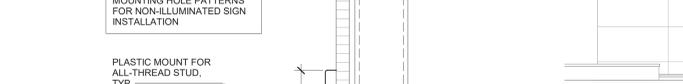
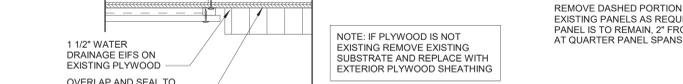
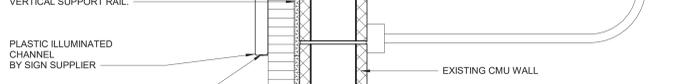
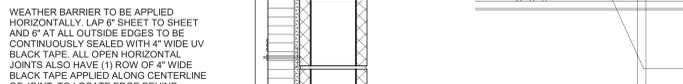
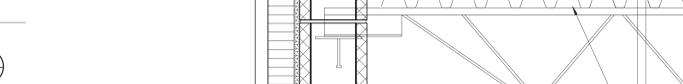
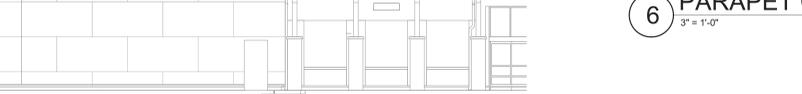
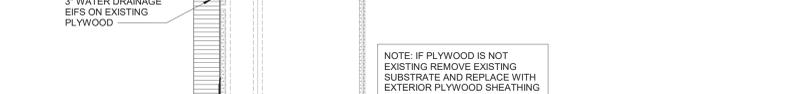
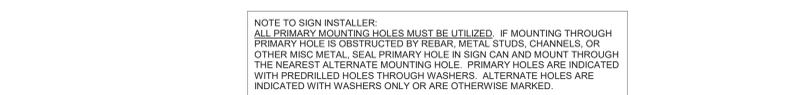
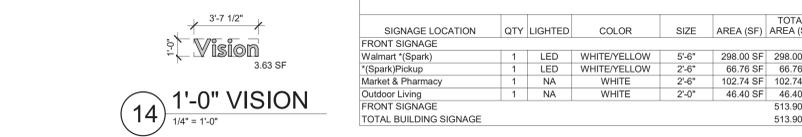
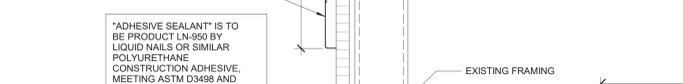
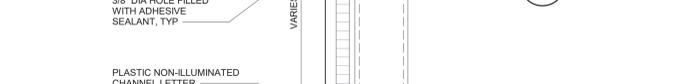
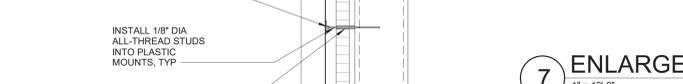
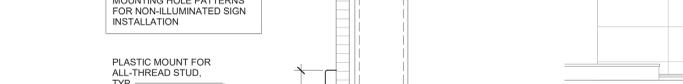
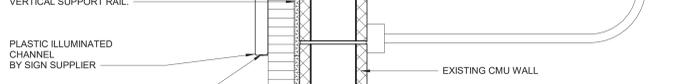
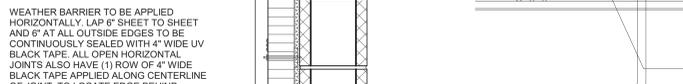
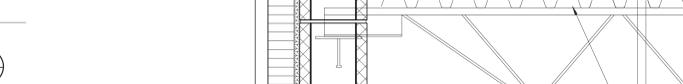
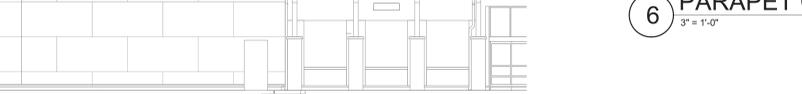
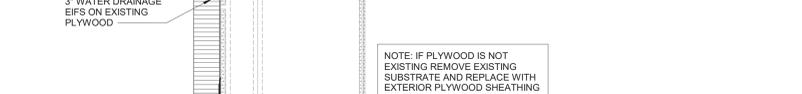
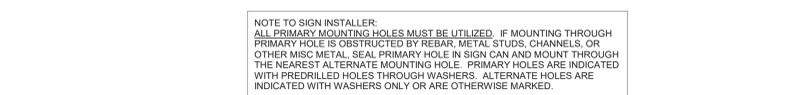
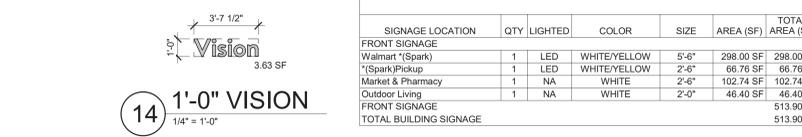
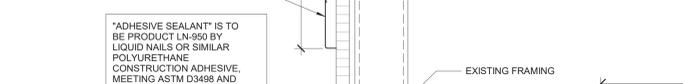
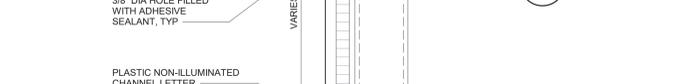
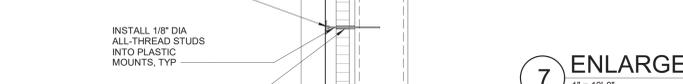
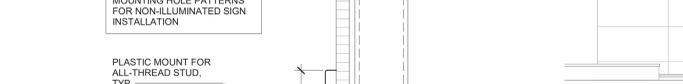
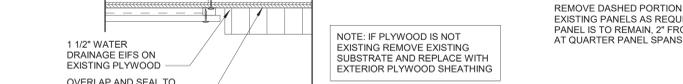
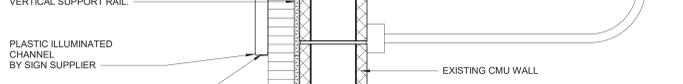
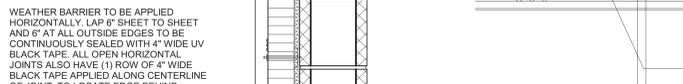
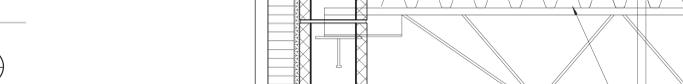
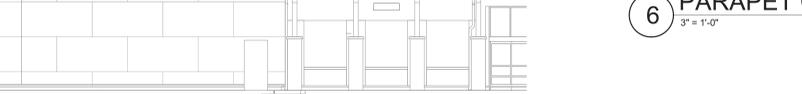
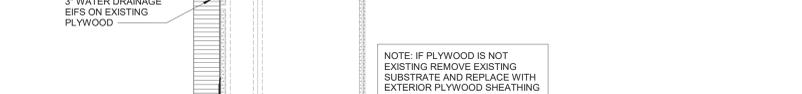
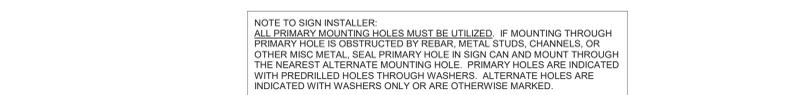
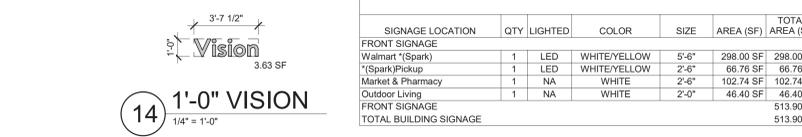
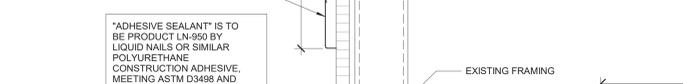
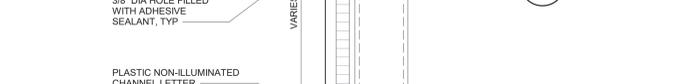
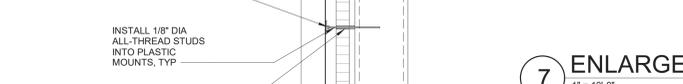
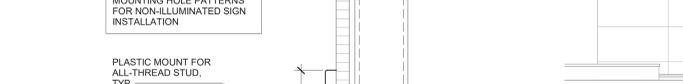
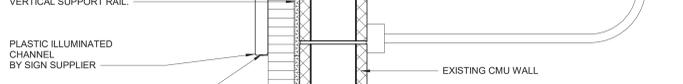
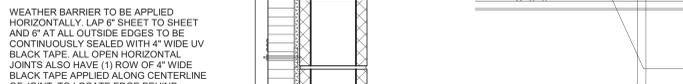
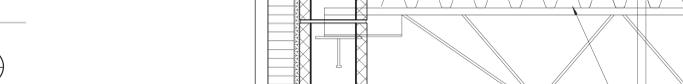
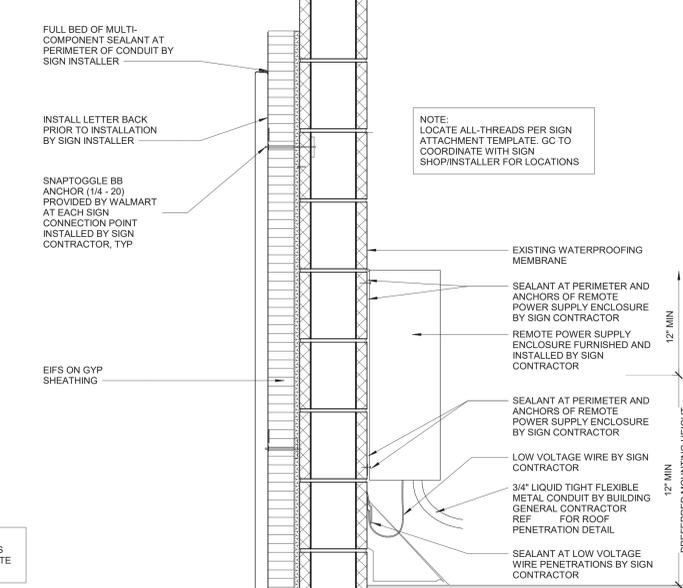
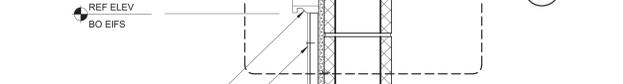
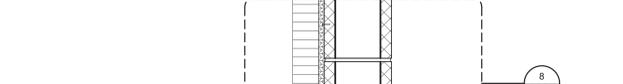
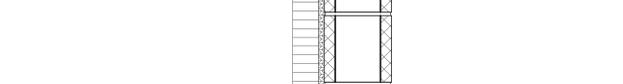
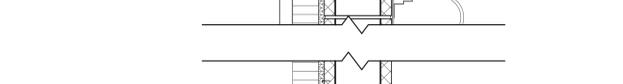
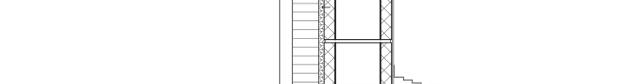
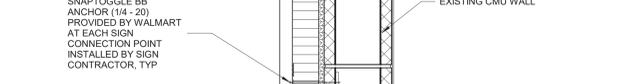
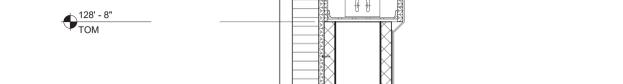
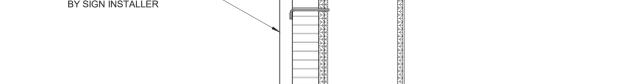
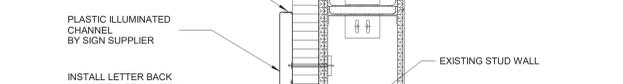
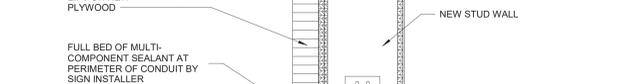
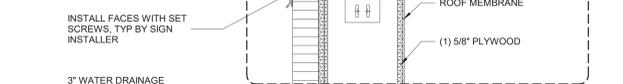
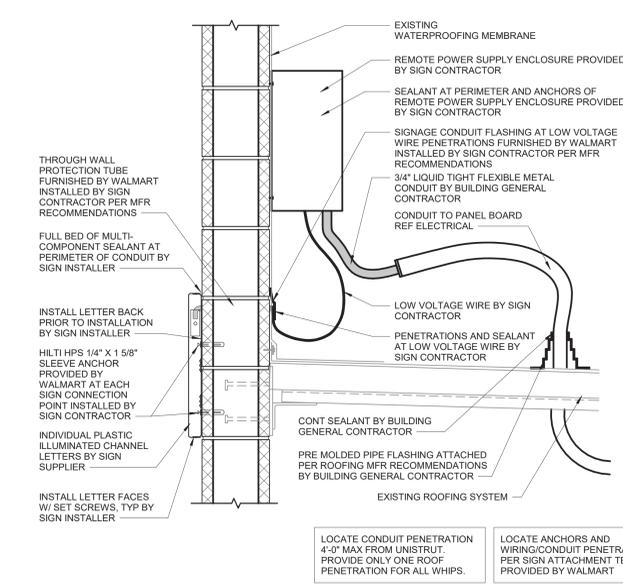
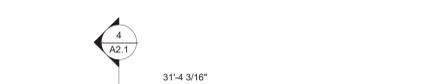
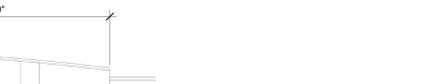
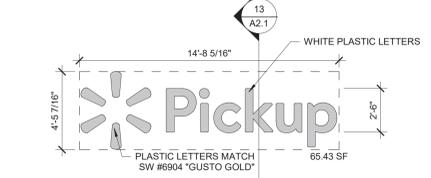
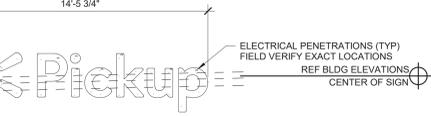
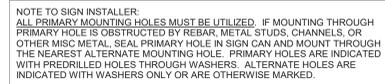
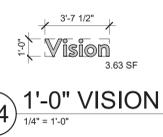
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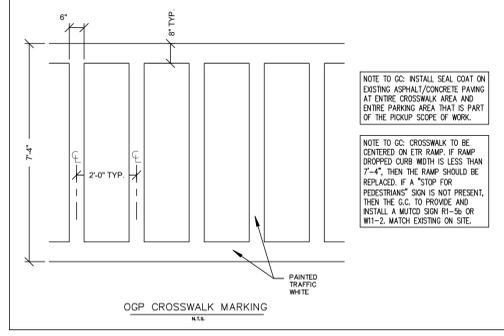
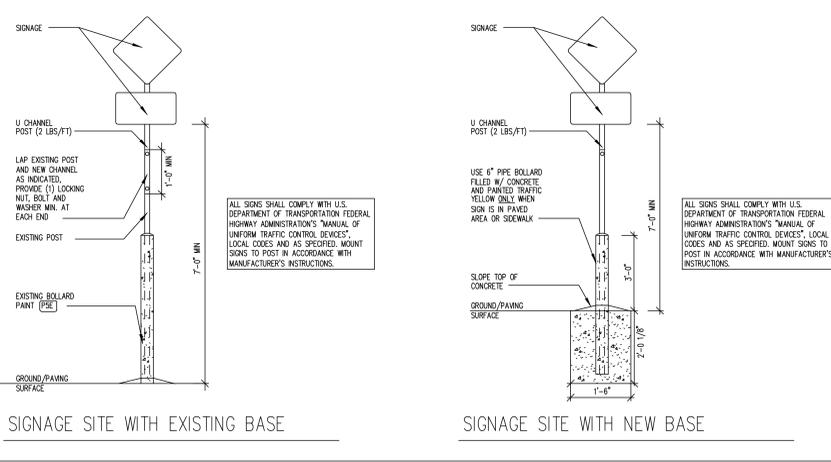
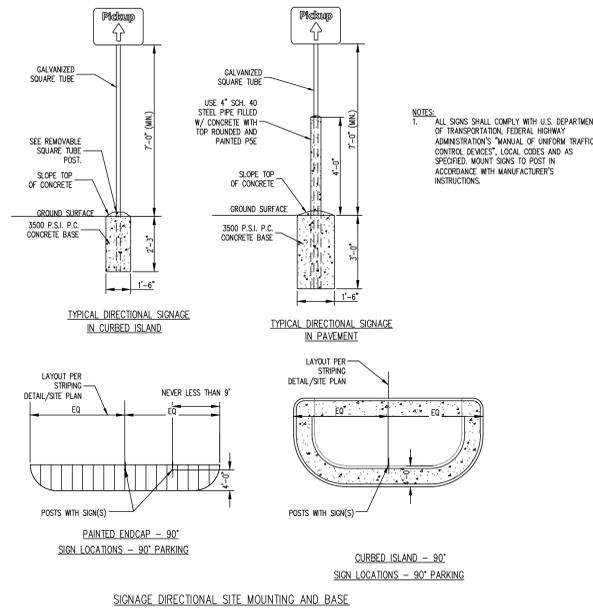
STATE OF NEW MEXICO
 TRAVIS R. HAGER
 No. 6148
 REGISTERED ARCHITECT
 03/08/2021

Travis Hager
 03/08/2021
 03/08/2021

EXTERIOR DETAILS

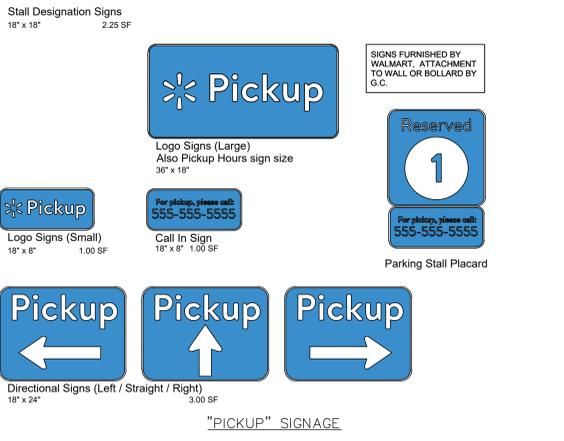
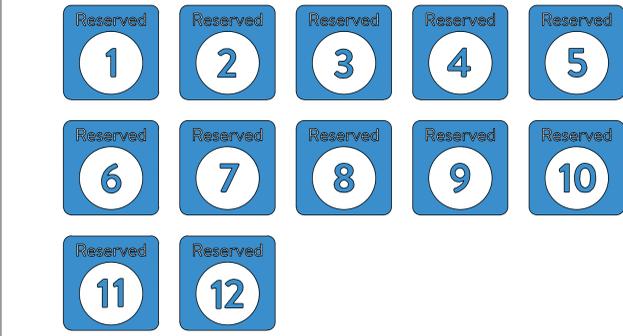
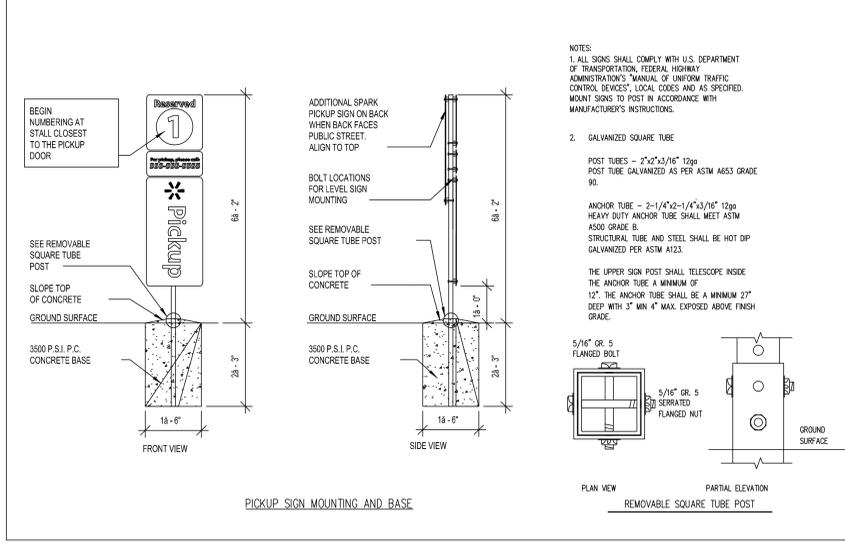
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FINISH LEGEND

P76	WALMART BLUE SWW076
P5E	SAFETY YELLOW



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NO.	DESCRIPTION	DATE

CHECKED BY: RCJ
DRAWN BY: DJS
PROTO CYCLE: -
DOCUMENT DATE: 03/08/21

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form **S**

SUBDIVISION

___ Major Subdivision action

___ Minor Subdivision action

___ Vacation **V**

___ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

___ ...for Subdivision Purposes

...for Building Permit

___ IP Master Development Plan

___ Cert. of Appropriateness (LUCC) **L**

Supplemental form **Z**

ZONING

___ Annexation & Zone Establishment

___ Sector Plan

___ Zone Change

___ Text Amendment

APPEAL / PROTEST of... **A**

___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Walmart Stores Inc #824 PHONE: ⁴⁷⁹~~505~~ 204-0507

ADDRESS: 4100 10th ST. FAX: _____

CITY: BENTONVILLE STATE AR ZIP 72716-8080 BE-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): TIERRA WEST LLC PHONE: 858-3100

ADDRESS: 8509 JEFFERSON NE FAX: 858-1118

CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: ADMINISTRATIVE AMENDMENT TO SITE PLAN

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. ___ No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. B1 Block: _____ Unit: _____

Subdiv. / Adn. Sycamore Plaza

Current Zoning: C-2(SC) Proposed zoning: same

Zone Atlas page(s): F20 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): _____ Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No ___ , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 102006100852020901 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 8000 Academy Rd NE

Between: Wyoming Blvd NE and MOON STREET

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): Z-91-51-1
AA 94-108

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 4/3/02

(Print) Ronald R. Schannan, P.E. ___ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2001

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING				
<input checked="" type="checkbox"/> All checklists are complete	<u>02236 - 00543</u>	<u>AA</u>	<u>P4</u>	<u>\$ 40. -</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
				Total <u>\$ 40. -</u>

Hearing date _____

[Signature] 4/11/02
Planner signature / date

Project # 1000606

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE

- Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Solid Waste Management Department signature on Site Plan if relevant
- 2 copies of the Conceptual Utility Layout Plan if relevant (mark one for Planning, one for Utility Development)
- Blue-line copy of Site Plan with Fire Marshal's stamp
- Copy of the LUCG approval if the site is in an historic overlay zone
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 5 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule) 40.
- Any original and/or related file numbers are listed on the cover application

NOTE: The next three items are also required only if the original approval required a public hearing.

- N/A Notifying letter and certified mail receipts addressed to owners of any adjacent residential properties
- N/A Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (Not required if amendment changes less than 2% of square footage.)
- N/A Sign Posting Agreement (Not required if amendment changes less than 2% of square footage.)

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to all those listed above:

- N/A Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
- N/A Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- N/A Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- N/A Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- N/A Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- N/A Registered Engineer's stamp on the Site Development Plans
- N/A Office of Community & Neighborhood Coordination inquiry response as above **based on 1/4 mile radius**

PLEASE NOTE: If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Cynthia Borrego-Archuleta at 924-3335 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannan, P.E.
 Applicant name (print)
[Signature]
 Applicant signature / date



Form revised March 2001

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
02236 - 00543

[Signature] 4/11/02
 Planner signature / date
 Project # 1000606

Wal-Mart Stores, Inc.

Sam Walton Development Complex
Real Estate and Engineering - West Div.
2001 SE 10th Street
Bentonville, AR 72716-0550
On Line: www.wal-mart.com

Daniel Mallory, Real Estate Mgr.
R.E. Phone: 479-204-0364
Daniel.Mallory@wal-mart.com

Mohsen Ghadimkhani, CEM Mgr.
Engineering Phone: 479-273-4940
Mohsen.Ghadimkhani@wal-mart.com

Shelia Churchill Asst.: 479-204-0507
FAX: 479-273-8380
Shelia.Churchill@wal-mart.com

April 10, 2002

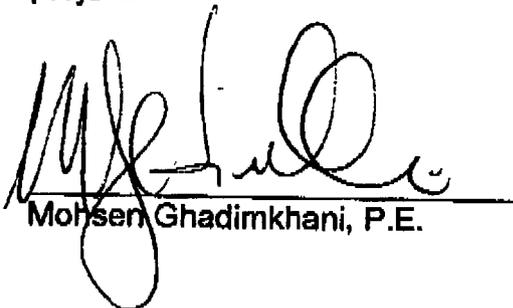
Ms. Cynthia Borrego
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: TRACT B-1, SYCAMORE PLAZA SUBDIVISION
(WAL-MART STORE #824-03)
ALBUQUERQUE, NEW MEXICO

Specifically for Administrative Amendment for the increase of size to the Garden Center.

To Whom It May Concern:

As the Civil Engineering Manager, I hereby grant Ronald R. Bohannan and Tierra West, LLC to act as agent on behalf of Wal-Mart Stores Inc. on matters pertaining to the development of Wal-Mart Store #824-03 project.



Mohsen Ghadimkhani, P.E.

April 10, 2002
(Date)

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

April 11, 2002

Ms. Cynthia Borrego
Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Administrative Amendment
Tract B1, Sycamore Plaza Subdivision (8000 Academy Road NE)
Zone Atlas Page F-20**

Dear Cynthia:

Tierra West LLC, on behalf of Wal-Mart Stores Inc., requests approval of the Administrative Amendment for the above referenced project. The site is located at 8000 Academy Road NE between Wyoming Boulevard NE and Moon Street NE. This proposed amendment increases the size of the Garden Center from 7,000 square feet to 11,620 square feet, for a net increase of 4,620 square feet. The EPC approved the overall size of the building at 123,097 square feet. The increase is less than 2%, which allows the processing of the Administrative Amendment. This is also below the threshold requirements to notify the Neighborhood Associations. The increased Garden Center will not encroach into any setbacks and or modify the site's circulation.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

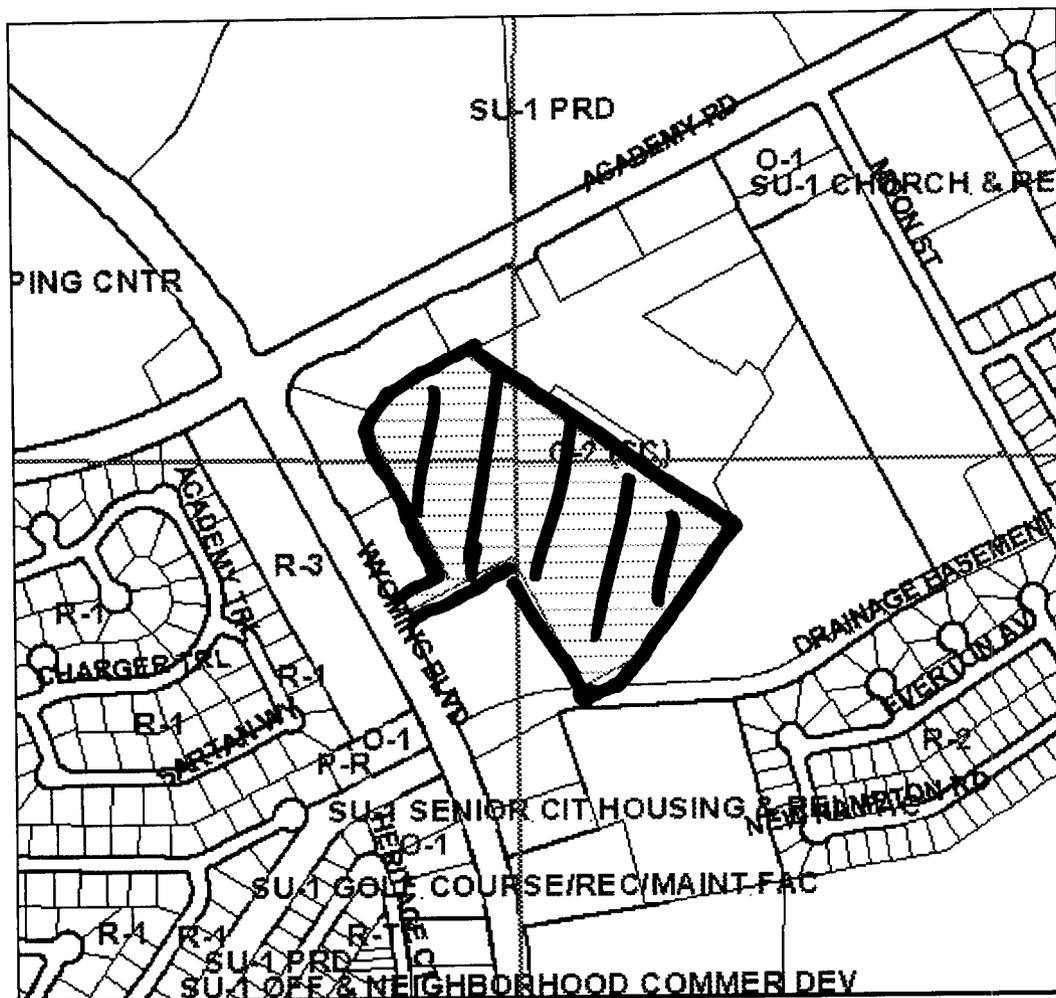


Ronald R. Bohannon, P.E.

Enclosure/s

cc: Shade O'Quinn
Mohsen Ghadimkhani

JN: 220034
RRB/ks



Selected Address: 8000 ACADEMY RD NE

Zoning: C-2 (SC)

Lot/Block/Subd: B1 , 0000 , SYCAMORE PLAZA

ZoneMap Page: F20

UPC #: 102006100852020901

Owner Name: WAL-MART STORES INC #824

Owner Street Address: 4100 10TH ST

Owner City/State/Zip: BENTONVILLE / AR / 72716 8013 AR

Note: Accuracy for Owner info cannot be guaranteed correct.

Please check with the Bernalillo County Assessor for official data.



TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

April 22, 2002

Ms. Cynthia Borrego
Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Administrative Amendment for Wal-Mart Store #824
Tract B1, Sycamore Plaza
Application #: 02236-00543, Project #: 1000606**

Dear Cynthia:

Per your request we calculated and revised the parking calculations for the center in the following table format:

PREVIOUS CENTER REQUIREMENTS

Previous Overall Square footage of Center: (One space for ea. 200 square feet)	270,000
Previous Parking Calculation prior to bus credit (includes handicap):	1350
Previous Parking minus the bus credit (15%) (this includes handicap): (One bus bay and two shelters)	1154
Existing Number of spaces for the Center:	1200

CURRENT WAL-MART STORE REQUIREMENTS

Previous Wal-Mart w/Garden Center square footage: (One space for ea. 200 square feet)	123,097
Number of spaces required:	616
Wal-Mart square footage w/increased Garden Center: (Wal-mart Building is 116,097 sq. ft. -- One space for ea. 200) (Garden Center Area is 11,620 sq. ft. -- One space for ea. 400)	127,357
Number of spaces required:	609
Difference (decreased):	< 7 >

RECAP OF TOTAL PARKING REQUIRED

Total parking spaces shown on Center:	1200
Total required for center (prior to increase of Garden Center):	1154
Total required now with increased Garden Center:	1147

Ms. Cynthia Borrego
April 18, 2002
Page 2 of 2

We still meet the parking requirements as required by the Site Development Plan. If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Ronald R. Bohannon, P.E.

cc: Shade O'Quinn

JN: 220034
RRB/ks

2002.220034cb041802.doc



City of Albuquerque

ZONING ENFORCEMENT
Plaza del Sol Building, Suite 720
600 2nd Street NW
Albuquerque, New Mexico 87102

Telephone (505) 924-3850 • Telecopies (505) 924-3847

January 11, 2002

Ronald R. Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, New Mexico 87113

Re: Parking for garden center activity

Dear Mr. Bohannon:

In response to your request for information regarding off-street parking for a garden center, please be advised that these areas, typically outside or partially covered and enclosed as a greenhouse or lath-house, require one space for each 400 square feet of leasable area, Section 14-16-3-1(A)(14).

Please contact this office if you have questions or concerns regarding this or other zoning enforcement matters.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jack Basye', is written over the word 'Sincerely,'.

Jack Basye
Zoning Enforcement Supervisor

- F. Dimensions of all principal site elements
- G. Loading facilities
- H. Site lighting (height, type, and intensity)

2. Non-Structural and Parking

- A. Parking design with spaces numbered per aisle.
 - 1. Location
 - 2. Arrangements
 - 3. Dimensions and curve radii
 - 4. Turning spaces
 - 5. Drives
 - 6. Aisles
 - 7. Ingress
 - 8. Egress
 - 9. Number of spaces required:
 - 10. Handicapped parking, spaces required:
- B. Bicycle racks, spaces required:
- C. Elevation drawing of refuse container and enclosure, if applicable.

C. Street and Circulation

- 1. Identification and location of public and private streets and alleys with proper name, existing and proposed width dimensions.
- 2. Curve radii
- 3. Right-of-Way width
- 4. Pavement width (flow line to flow line) including medians and median cuts.
- 5. Sidewalk widths and locations, existing and proposed.
- 6. Rail spurs, if applicable
- 7. Location of traffic signs and signals related to the functioning of the proposal.
- 8. Bikeways
- 9. Bus facilities, including bays and shelters where required.
- 10. Curb cut size and type.
- 11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

D. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

E. Phasing

- 1. Proposed phasing of improvements and provision for interim facilities. Information on future phasing should be included. If applicable, indicate location and square footage.

SHEET #2 - LANDSCAPING PLAN

If appropriate, landscaping maybe shown on sheet #1 with the approval of Planning staff. See article 6-1-1-1et.al., the Water Conservation Landscaping and Water Waste Ordinance for specific restrictions, regulations, standards, and requirements

- X 1. Scale - must be same as scale on sheet #1 - Site plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Identify nature of ground cover materials
 - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
 - C. Ponding areas either for drainage or landscaping/recreational use.
- X 7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- X 8. Irrigation System
- X 9. Planting Beds
- X 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- X 11. Responsibility for maintenance (Statement)
- X 12. Statement of Water Waste, etc.
- X 13. Landscaped area requirement; square footage and percent:
- X 14. Landscaped area provided; square footage and percent:

SHEET #3 - GRADING PLAN

A. General Information

- X 1. Scale - must be same as Sheet #1 - Site Plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
- X 5. Property Lines
- X 6. Existing and proposed easements
- X 7. Proposed contours and/or spot elevations
- X 8. Retaining walls

B. Proposal

- 1. Grading submittals, ponding areas, erosion and sediment control facilities:
 - A. Conceptual grading and drainage plan
 - B. Drainage plan (maybe required for other submittals)
 - C. Drainage Report (maybe required for other submittals)

X A. Cross Sections

Provide cross section for all perimeter property lines at the point of the greatest grade change. Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point.

X B. Spot Elevation

Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.

X C. Grade Changes

Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- X 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- X 2. Bar Scale
- X 3. Facade orientation (elevation of all sides of the buildings)
- X 4. Dimensions, to scale including overall height and width, and dimensions of major facade elements.
- X 5. Location, material and colors of windows, doors and framing.
- X 6. Materials and colors of all building elements and structures.

B. Signage

- ___ 1. Elevations
- ___ 2. Location
- ___ 3. Height and width
- ___ 4. Sign face area - dimensions and square footage
- ___ 5. Lighting
- ___ 6. Materials and Colors for sign face and structural elements.

C. Additional information, including, renderings and perspective drawings may be submitted.

- ___ A. Samples
 - ___ 1. Presentation Models
 - ___ 2. Photos

