

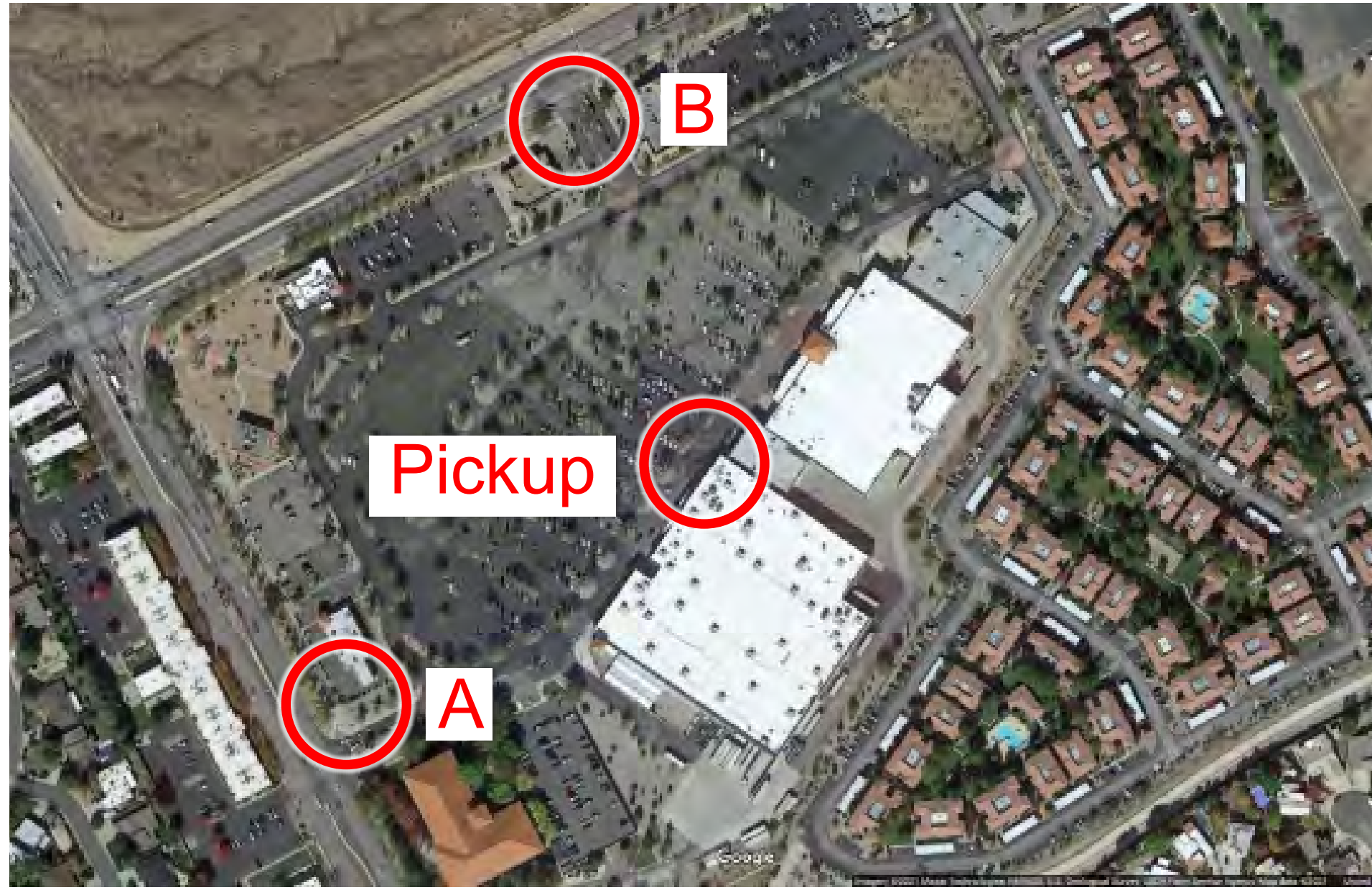
ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

SITE PLAN



SITE SIGNAGE



A EXISTING SITE SIGN



B EXISTING SITE SIGN

DISCLOSURES

ALLOWED SIGNAGE SF: 513.90 SF (TO BE DECIDED BY PLANNING REVIEW IF MORE IS ALLOWED)
EXISTING SIGNAGE SF: 513.90 SF
PROPOSED SIGNAGE: 379.83 SF

SIGNAGE RESTRICTIONS:
ALL SIGNAGE TO BE REPLACED PER C130184 - SWIPE UP REBRAND FOR SUPERCENTERS

VARIANCE PROCESS:
PROPOSED ELEVATIONS AND SIGNAGE MUST BE SUBMITTED TO JAY RODENBECK PLANNER FOR STAFF REVIEW AND DETERMINATION. IT MAY ONLY REQUIRE AN ADMINISTRATIVE AMENDMENT WHICH TAKES ABOUT 2 WEEKS. OTHERWISE IT WILL REQUIRE APPROVAL FROM THE PLANNING COMMISSION. THAT PROCESS CAN TAKE 6 WEEKS MINIMUM AND POSSIBLY 12 WEEKS OR MORE.

PAIN RESTRICTIONS:
PERMIT IS REQUIRED TO REPAINT. THERE IS EXISTING PICKUP SIGNAGE AND ORANGE PAINT.

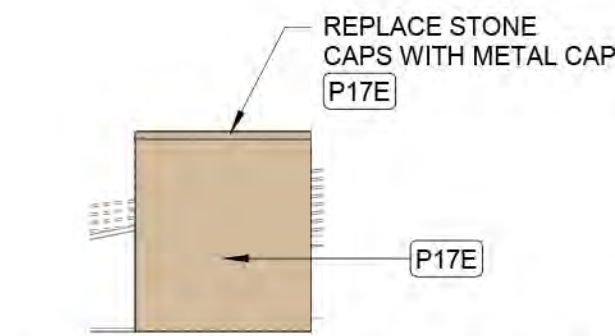
BOD PROPOSES TO PAINT THE STORE TO NEW SWIPE UP REBRAND COLOR BLUE WHERE MAIN SIGNS ARE REPLACED AND PAINT THE STORE FULLY IN BEIGE COLORS AS INDICATED ON THE ELEVATIONS.

COLOR LEGEND

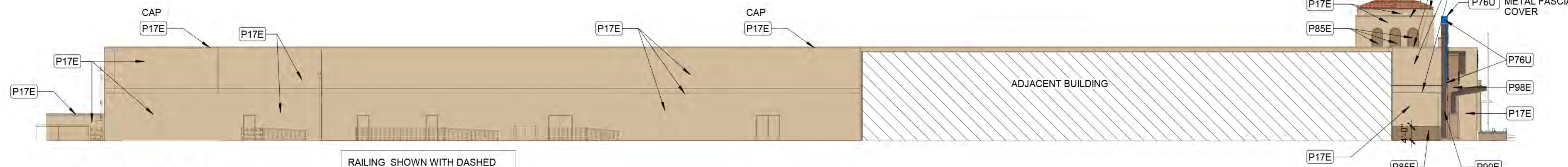
P17E	ROWHOUSE TAN
P76U	WALMART BLUE (URETHANE-LIKE)
P83E	COBBLE BROWN
P85E	ROOKWOOD CLAY
P99E	DARK BROWN

SHEET NOTES

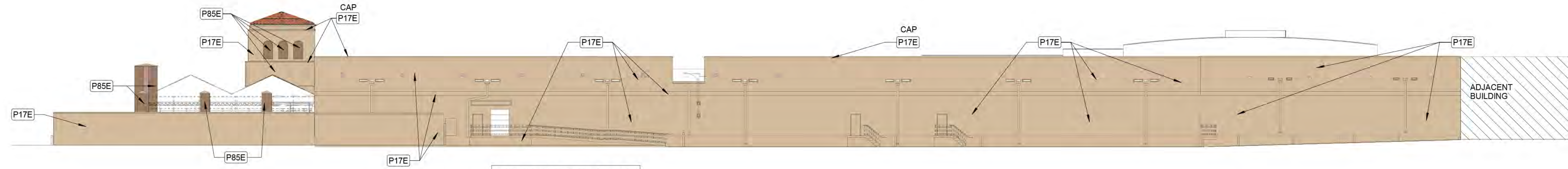
- PREP SURFACES TO BE PAINTED PER SPECIFICATIONS.
- PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED.
- REMOVE SEALANT AND BACKER MATERIAL FROM ALL BUILDING CONTROL JOINTS AND EXPANSION JOINTS ON ALL WALLS TO BE PAINTED. FILL AND SEAL JOINTS. REF SPEC 07900.
- REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
- RESURFACE EXISTING EIFS WHERE SHOWN (HATCHED AREA).
- NOT USED.
- PAINT EXTERIOR OF BUILDING AS SHOWN. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT ID/LOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART CM.
- NOT USED.
- PAINT ALL NEW ROOFTOP GAS PIPING, P5E GAS PIPE ALONG SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
- IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL.
- WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK (P33E) DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
- PAINT JIB CRANE (P36E) ON JIB BOOM, P5E ON HANDRAILS.
- PAINT SPRINKLER VALVES (P21E) DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL.
- PAINT ALL EXTERIOR BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
- NOT USED.
- DO NOT PAINT LED WALL PACK HOUSINGS
- PAINT GARDEN CENTER STEEL DOORS AND FRAMES (P81E)
- NOT USED.
- DO NOT PAINT QUIK BRIK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS
- AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. FEATHER PAINT OUT TO BLEND WITH EXISTING. REF SPEC 09900.



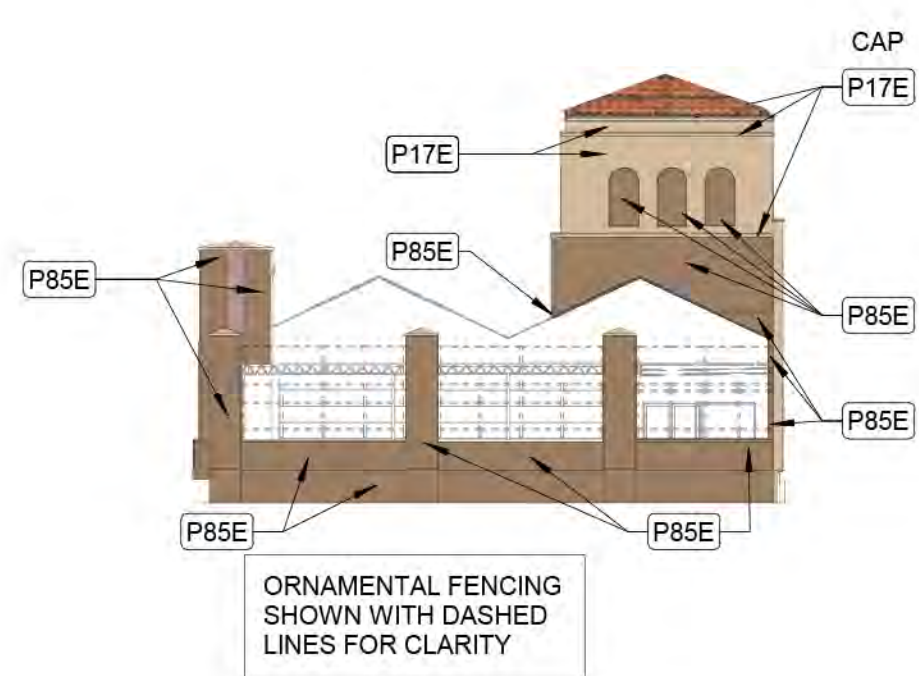
6 ORGANICS CONTAINMENT
1" = 10'-0"



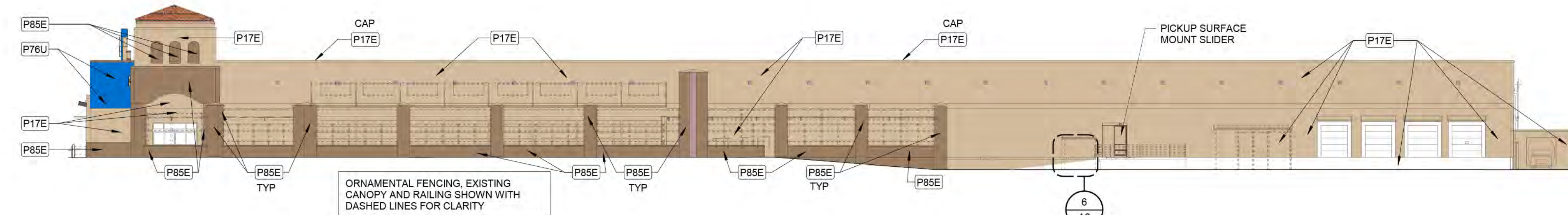
5 LEFT ELEVATION
1" = 20'-0"



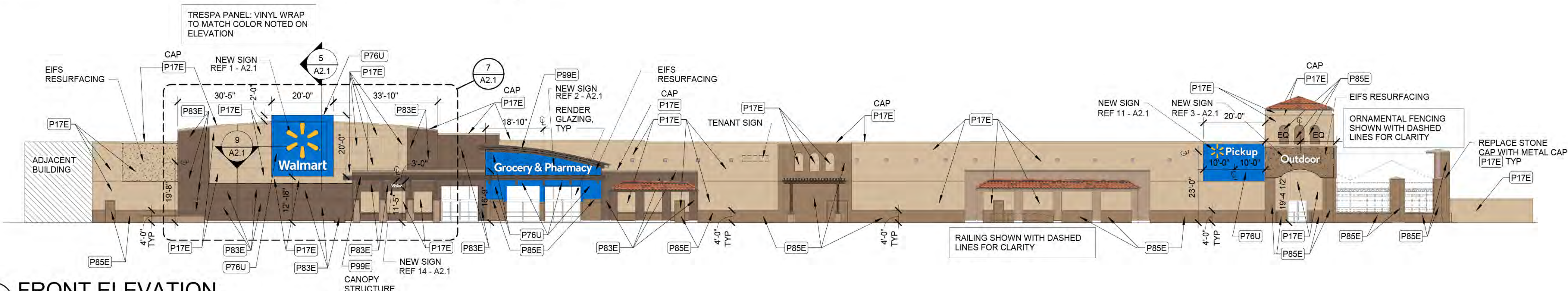
4 REAR ELEVATION
1" = 20'-0"



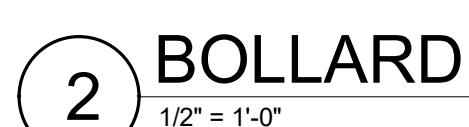
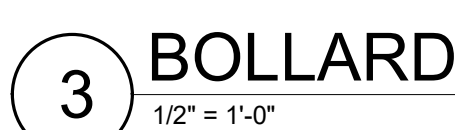
3 SEASONAL SHOP REAR ELEVATION
1" = 20'-0"



2 RIGHT ELEVATION
1" = 20'-0"



1 FRONT ELEVATION
1" = 20'-0"



SITE SHEET NOTES

- | | |
|----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C. | <ol style="list-style-type: none"> 1. POWER WASH SIDEWALK ON FRONT OF BUILDING AND ACC. 2. PRIME NEW SEALANT AT ALL JOINTS BETWEEN EXTERIOR WALLS AND ADJACENT CONCRETE SIDEWALK/PAVING. REF SPEC 07900. IF PRESENT, REMOVE EXISTING SEALANT AND BACKER PRIOR TO RE-SEALING JOINTS 3. REPAINT PERIMETER SIDEWALK AND FIRE LANE CURB 4. NOT USED. 5. REPLACE ALL MISSING SITE SIGNS WITHIN CLOSE PROXIMITY TO STRUCTURE. 6. NOT USED. |
|----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

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CONCILIANTIA

Walmart
ALBUQUERQUE, NM
9000 ACADEMY BLVD NE

2021 MAJOR PROJEC

[illegible]

CHECKED BY: TRH	RO/AVT
DRAWN BY:	CS/AP
PROTO CYCLE:	12/04/20
DOCUMENT DATE:	03/8/21

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SITE PLAN

SHEET: **SP1**

COLOR LEGEND	
P17E	ROWHOUSE TAN
P76U	WALMART BLUE (URETHANE-LIKE)
P83E	COBBLE BROWN
P85E	ROOKWOOD CLAY
P99E	DARK BROWN

SHEET NOTES

1. PREP SURFACES TO BE PAINTED PER SPECIFICATIONS.
2. PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQUIRED.
3. REMOVE SEALANT AND BACKER MATERIAL FROM ALL BUILDING CONTROL JOINTS AND EXPANSION JOINTS ON ALL WALLS TO BE PAINTED. FILL AND SEAL JOINTS. REPAIR EXPOSED JOINTS TO MATCH ADJACENT AS REQUIRED.
4. REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
5. REPAIR EXISTING EYES WHERE SHOWN (HATCHED AREA).
6. NOT USED.
7. PAINT EXTERIOR OF BUILDING AS SHOWN. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT IDIOT SIGN(S), COORDINATE SCOPE OF WORK WITH WALDMART. OK.
8. NOT USED.
9. PAINT ALL NEW ROOFTOP GAS PIPING PSE. GAS PIPE HANGING SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
10. IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURE STEEL AND FLASHING TO MATCH ADJACENT STEEL.
11. WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK / P33E.
12. DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
13. DO NOT PAINT CRANE / P33E ON JIB BOOM / PSE ON HANDRAILS.
14. PAINT SPRINKLER WALLS / P21E DO NOT PAINT OVER SIGNS, GLASS OR FIRE ALARM BELLS.
15. PAINT ALL EXTERIOR BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
16. NOT USED.
17. DO NOT PAINT LED WALL PACK HOUSINGS.
18. IF THE GARDEN CENTER STEEL DOORS AND FRAMES / P81E.
19. DO NOT PAINT QUIK BARK, STONE VENEER, FACE PAINT, UNPAINTED TILT-WALL OR PRECAST PANELS AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED. PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR, FEED SIGN PAINT OUT TO BLEND WITH EXISTING. REF SPEC 09.010.

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CONSULTANTS

Walmart*
ALBUQUERQUE, NM
8000 ACADEMY RD NE
STORE NO: 0824-239

2021 MAJOR PROJECT

ISSUE BLOCK

[illegible]

CHECKED BY:	TRH RO/AVT
DRAWN BY:	KM
PROTO CYCLE:	12/04/20
DOCUMENT DATE:	03/8/21

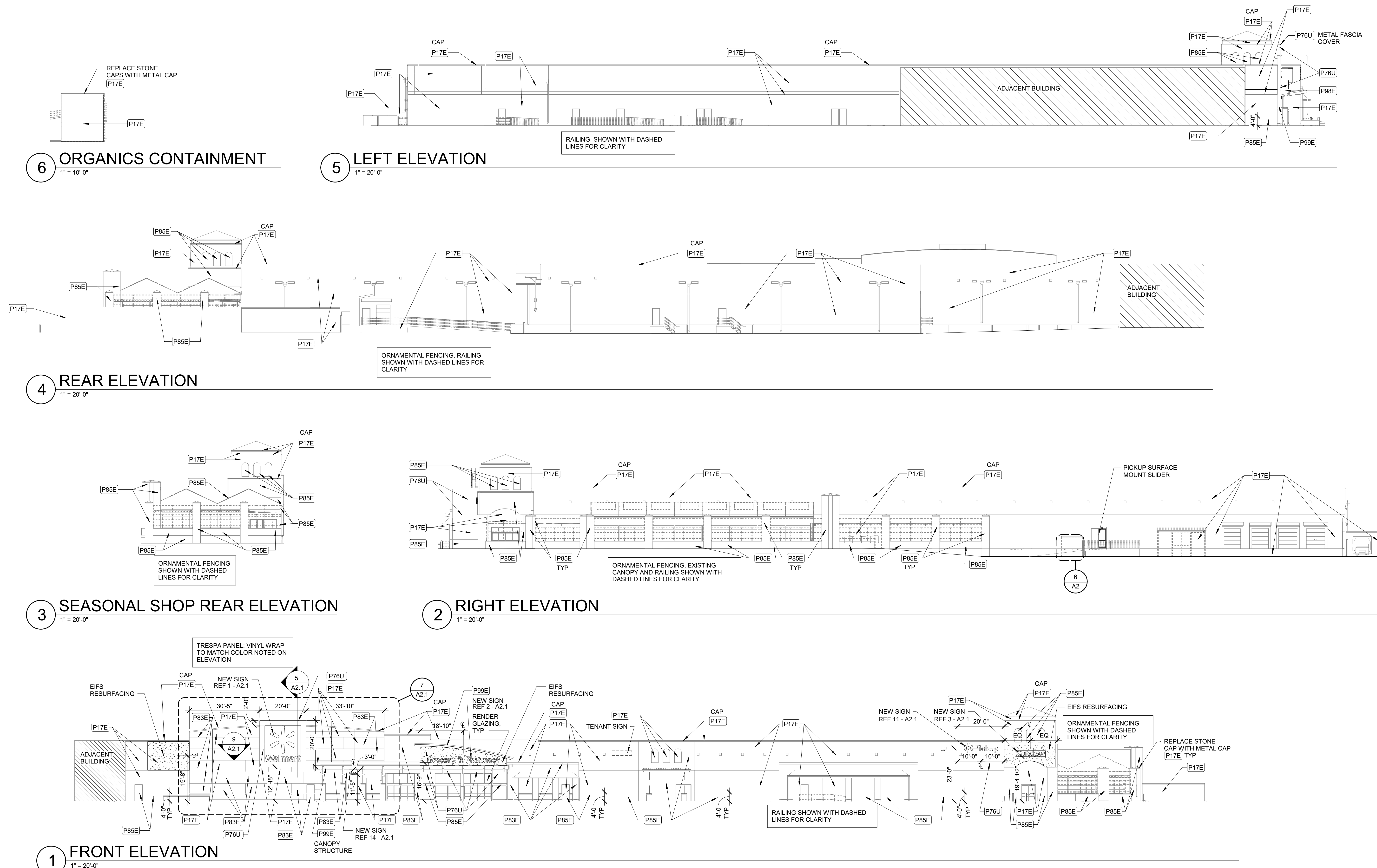
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EXTERIOR ELEVATIONS

SHEET:

A2



3/30/21 08:00:25
ID: 20210330T080025Z
Name: Jhuang, Yung
Date: 3/30/21
Time: 08:00:25

5 SIGNAGE ATTACHMENT

1 1/2" = 1'-0"

REF ELEV
BO EIFS

EIFS DRIP EDGE

EXISTING TRESPA SYSTEM

SNAPTOGGLE BB
ANCHOR (1/4 - 20)
PROVIDED BY WALMART
AT EACH SIGN
CONNECTION POINT
INSTALLED BY SIGN
CONTRACTOR, TYP

INSTALL LETTER BACK
PRIOR TO INSTALLATION
BY SIGN INSTALLER

PLASTIC ILLUMINATED
CHANNEL
BY SIGN SUPPLIER

INSTALL FACES WITH SET
SCREWS, TYP BY SIGN
INSTALLER

REF ELEV
TOS

3" WATER DRAINAGE
EIFS ON NEW
PLYWOOD

FULL BED OF MULTI-
COMPONENT SEALANT AT
PERIMETER OF CONDUIT BY
SIGN INSTALLER

INDIVIDUAL PLASTIC
ILLUMINATED CHANNEL
LETTERS BY SIGN
SUPPLIER

POINT INSTALLED BY
SIGN CONTRACTOR

WALMART AT EACH SIGN
CONNECTION POINT
INSTALLED BY SIGN
CONTRACTOR PER MFR
RECOMMENDATIONS

THROUGH WALL
PROTECTION TUBE
FURNISHED BY WALMART
INSTALLED BY SIGN
CONTRACTOR PER MFR
RECOMMENDATIONS

EXISTING
WATERPROOFING MEMBRANE

EXISTING TRESPA SYSTEM

PLASTIC MOUNT FOR
ALL-THREAD STUD,
TYP

INSTALL 1/8" DIA
ALL-THREAD STUDS
INTO PLASTIC
MOUNTS, TYP

3/8" DIA HOLE FILLED
WITH ADHESIVE
SEALANT, TYP

EXISTING CMU WALL

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

4 SIGN ATTACHMENT AT EIFS AND METAL STUD WALL

1 1/2" = 1'-0"

ADHESIVE SEALANT IS TO
BE PRODUCT LN-950 BY
LIQUID NAILS OR SIMILAR
POLYURETHANE
CONSTRUCTION ADHESIVE,
MEETING ASTM D3498 AND
C557 STANDARDS, EXTERIOR
APPLICATION, WEATHER
RESISTANT, LOW VOC, WITH
A MINIMUM SHEAR STRENGTH
OF 250 PSI

PLASTIC NON-ILLUMINATED
CHANNEL LETTER

MOUNTING HOLE PATTERNS
FOR NON-ILLUMINATED SIGN
INSTALLATION

REMOVE DASHED PORTION OF TRESPA PANELS, CUT
EXISTING PANELS AS REQUIRED WHERE PORTION OF
PANEL IS TO REMAIN, 2" FROM POINT CONNECTIONS
AT QUARTER PANEL SPANS, REF SPECS

EXISTING METAL STUD WALL

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

3 2'-6" OUTDOOR

1/4" = 1'-0"

EXISTING FRAMING

PLASTIC MOUNT FOR
ALL-THREAD STUD,
TYP

INSTALL 1/8" DIA
ALL-THREAD STUDS
INTO PLASTIC
MOUNTS, TYP

3/8" DIA HOLE FILLED
WITH ADHESIVE
SEALANT, TYP

EXISTING CMU WALL

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

2 2'-6" GROCERY AND PHARMACY

1/4" = 1'-0"

EXISTING FRAMING

PLASTIC MOUNT FOR
ALL-THREAD STUD,
TYP

INSTALL 1/8" DIA
ALL-THREAD STUDS
INTO PLASTIC
MOUNTS, TYP

3/8" DIA HOLE FILLED
WITH ADHESIVE
SEALANT, TYP

EXISTING CMU WALL

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

1 12'-0" WALMART SIGN

1/4" = 1'-0"

EXISTING FRAMING

PLASTIC MOUNT FOR
ALL-THREAD STUD,
TYP

INSTALL 1/8" DIA
ALL-THREAD STUDS
INTO PLASTIC
MOUNTS, TYP

3/8" DIA HOLE FILLED
WITH ADHESIVE
SEALANT, TYP

EXISTING CMU WALL

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

7 ENLARGED TRESPA DEMOLITION

1" = 10'-0"

EXISTING FRAMING

REMOVE DASHED PORTION OF TRESPA PANELS, CUT
EXISTING PANELS AS REQUIRED WHERE PORTION OF
PANEL IS TO REMAIN, 2" FROM POINT CONNECTIONS
AT QUARTER PANEL SPANS, REF SPECS

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

8 EIFS DETAIL AT TRESPA

1 1/2" = 1'-0"

3" WATER DRAINAGE
EIFS ON EXISTING
PLYWOOD

STARTER TRACK
WITH DRIP EDGE
L-WEEP

EXISTING CMU WALL

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

6 PARAPET CAP FLASHING AT TRESPA

3" = 1'-0"

EXISTING FRAMING

REMOVE DASHED PORTION OF TRESPA PANELS, CUT
EXISTING PANELS AS REQUIRED WHERE PORTION OF
PANEL IS TO REMAIN, 2" FROM POINT CONNECTIONS
AT QUARTER PANEL SPANS, REF SPECS

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

CONTINUOUS
NON-CURING SEALANT

METAL FASCIA
COVER IN
12'-0" LENGTHS

CONTINUOUS
2x TREATED
NAILER

CONTINUOUS
GALVANIZED
FORM RAIL

EXTEND MEMBRANE
BELOW BLOCKING
AND SECURE

3" WATER DRAINAGE
EIFS ON NEW
PLYWOOD

FASTENER THROUGH 9/32"x3/8" SLOT
@ 12" OC MIN RECOMMENDED FASTENER
#12x1-1/2" HOT DIPPED GALV SCREWS
W/ RUBBER SEAL WASHER

SLOPE 1/4" PER 1'-0"

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

CHAMFER EDGE 1/8"

WATERPROOFING
MEMBRANE FULLY
ADHERED

5/8" PLYWOOD

NOTE: IF PLYWOOD IS NOT
EXISTING REMOVE EXISTING
SUBSTRATE AND REPLACE WITH
EXTERIOR PLYWOOD SHEATHING

CONTINUOUS
NON-CURING SEALANT

METAL FASCIA
COVER IN
12'-0" LENGTHS

CONTINUOUS
2x TREATED
NAILER

CONTINUOUS
GALVANIZED
FORM RAIL

EXTEND MEMBRANE
BELOW BLOCKING
AND SECURE

3" WATER DRAINAGE
EIFS ON NEW
PLYWOOD

FASTENER THROUGH 9/32"x3/8" SLOT
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#12x1-1/2" HOT DIPPED GALV SCREWS
W/ RUBBER SEAL WASHER

SLOPE 1/4" PER 1'-0"

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

CHAMFER EDGE 1/8"

WATERPROOFING
MEMBRANE FULLY
ADHERED

5/8" PLYWOOD

13 SIGNAGE ATTACHMENT

1 1/2" = 1'-0"

INSTALL LETTER BACK
PRIOR TO INSTALLATION
BY SIGN INSTALLER

POINT INSTALLED BY
SIGN CONTRACTOR

THROUGH WALL
PROTECTION TUBE
FURNISHED BY WALMART
INSTALLED BY SIGN
CONTRACTOR PER MFR
RECOMMENDATIONS

EXISTING
WATERPROOFING MEMBRANE

LOCATE CONDUIT PENETRATION
4'-0" MAX FROM UNISTRUT.
PROVIDE ONLY ONE ROOF
PENETRATION FOR ALL WHIPS.

LOCATE ANCHORS AND
WIRING/CONDUIT PENETRATIONS
PER SIGN ATTACHMENT TEMPLATE
PROVIDED BY WALMART

SEALANT AT PERIMETER AND ANCHORS OF
REMOTE POWER SUPPLY ENCLOSURE PROVIDED
BY SIGN CONTRACTOR

SEALANT AT PERIMETER AND ANCHORS OF
REMOTE POWER SUPPLY ENCLOSURE PROVIDED
BY SIGN CONTRACTOR

10 SIGNAGE ATTACHMENT

1 1/2" = 1'-0"

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

7 ENLARGED TRESPA DEMOLITION

1" = 10'-0"

EXISTING FRAMING

REMOVE DASHED PORTION OF TRESPA PANELS, CUT
EXISTING PANELS AS REQUIRED WHERE PORTION OF
PANEL IS TO REMAIN, 2" FROM POINT CONNECTIONS
AT QUARTER PANEL SPANS, REF SPECS

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

8 EIFS DETAIL AT TRESPA

1 1/2" = 1'-0"

3" WATER DRAINAGE
EIFS ON EXISTING
PLYWOOD

STARTER TRACK
WITH DRIP EDGE
L-WEEP

EXISTING CMU WALL

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

11 SIGNAGE

1/4" = 1'-0"

NOTE: IF PLYWOOD IS NOT
EXISTING REMOVE EXISTING
SUBSTRATE AND REPLACE WITH
EXTERIOR PLYWOOD SHEATHING

CONTINUOUS
NON-CURING SEALANT

METAL FASCIA
COVER IN
12'-0" LENGTHS

CONTINUOUS
2x TREATED
NAILER

CONTINUOUS
GALVANIZED
FORM RAIL

EXTEND MEMBRANE
BELOW BLOCKING
AND SECURE

3" WATER DRAINAGE
EIFS ON NEW
PLYWOOD

FASTENER THROUGH 9/32"x3/8" SLOT
@ 12" OC MIN RECOMMENDED FASTENER
#12x1-1/2" HOT DIPPED GALV SCREWS
W/ RUBBER SEAL WASHER

SLOPE 1/4" PER 1'-0"

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

CHAMFER EDGE 1/8"

WATERPROOFING
MEMBRANE FULLY
ADHERED

5/8" PLYWOOD

NOTE: IF PLYWOOD IS NOT
EXISTING REMOVE EXISTING
SUBSTRATE AND REPLACE WITH
EXTERIOR PLYWOOD SHEATHING

6 PARAPET CAP FLASHING AT TRESPA

3" = 1'-0"

EXISTING FRAMING

REMOVE DASHED PORTION OF TRESPA PANELS, CUT
EXISTING PANELS AS REQUIRED WHERE PORTION OF
PANEL IS TO REMAIN, 2" FROM POINT CONNECTIONS
AT QUARTER PANEL SPANS, REF SPECS

EXISTING STUD WALL

NEW STUD WALL

(1) 5/8" PLYWOOD

ROOF MEMBRANE

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

CONTINUOUS
NON-CURING SEALANT

METAL FASCIA
COVER IN
12'-0" LENGTHS

CONTINUOUS
2x TREATED
NAILER

CONTINUOUS
GALVANIZED
FORM RAIL

EXTEND MEMBRANE
BELOW BLOCKING
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3" WATER DRAINAGE
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W/ RUBBER SEAL WASHER

SLOPE 1/4" PER 1'-0"

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

CHAMFER EDGE 1/8"

WATERPROOFING
MEMBRANE FULLY
ADHERED

5/8" PLYWOOD

NOTE: IF PLYWOOD IS NOT
EXISTING REMOVE EXISTING
SUBSTRATE AND REPLACE WITH
EXTERIOR PLYWOOD SHEATHING

6 PARAPET CAP FLASHING AT TRESPA

3" = 1'-0"

EXISTING FRAMING

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(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

CONTINUOUS
NON-CURING SEALANT

METAL FASCIA
COVER IN
12'-0" LENGTHS

CONTINUOUS
2x TREATED
NAILER

CONTINUOUS
GALVANIZED
FORM RAIL

EXTEND MEMBRANE
BELOW BLOCKING
AND SECURE

3" WATER DRAINAGE
EIFS ON NEW
PLYWOOD

FASTENER THROUGH 9/32"x3/8" SLOT
@ 12" OC MIN RECOMMENDED FASTENER
#12x1-1/2" HOT DIPPED GALV SCREWS
W/ RUBBER SEAL WASHER

SLOPE 1/4" PER 1'-0"

(2) 5/8" PLYWOOD, SHIM
TO DRAIN TOWARD ROOF

CHAMFER EDGE 1/8"

WATERPROOFING
MEMBRANE FULLY
ADHERED

5/8" PLYWOOD

NOTE: IF PLYWOOD IS NOT
EXISTING REMOVE EXISTING
SUBSTRATE AND REPLACE WITH
EXTERIOR PLYWOOD SHEATHING

CONTINUOUS
NON-CURING SEALANT

METAL FASCIA
COVER IN
12'-0" LENGTHS

CONTINUOUS
2x TREATED
NAILER

CONTINUOUS
GALVANIZED
FORM RAIL

EXTEND MEMBRANE
BELOW BLOCKING
AND SECURE

3" WATER DRAINAGE
EIFS ON NEW
PLYWOOD

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METAL FASCIA
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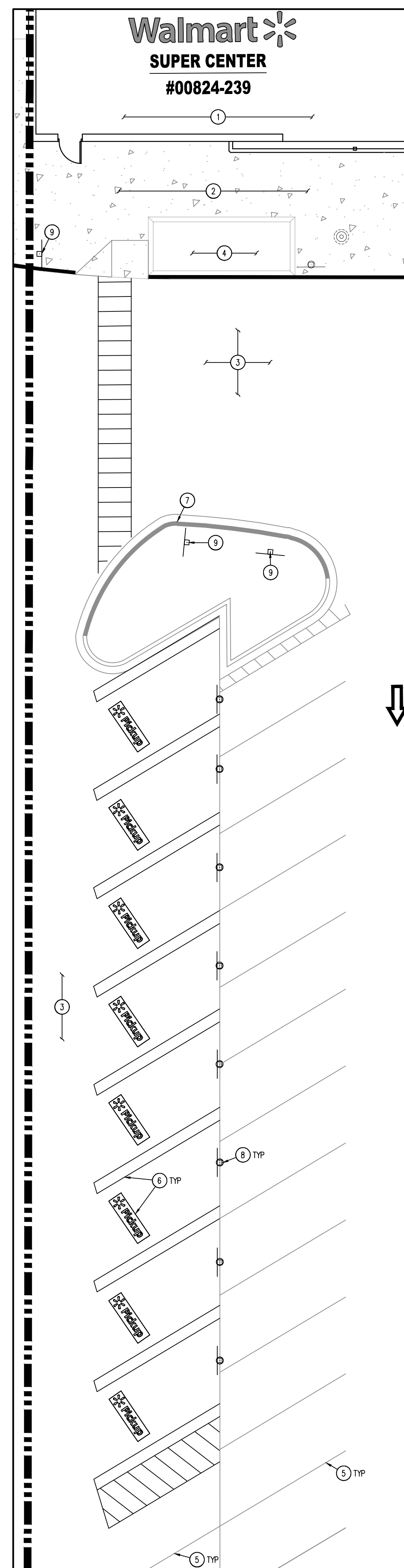
CONTINUOUS
2x TREATED
NAILER

CONTINUOUS
GALVANIZED
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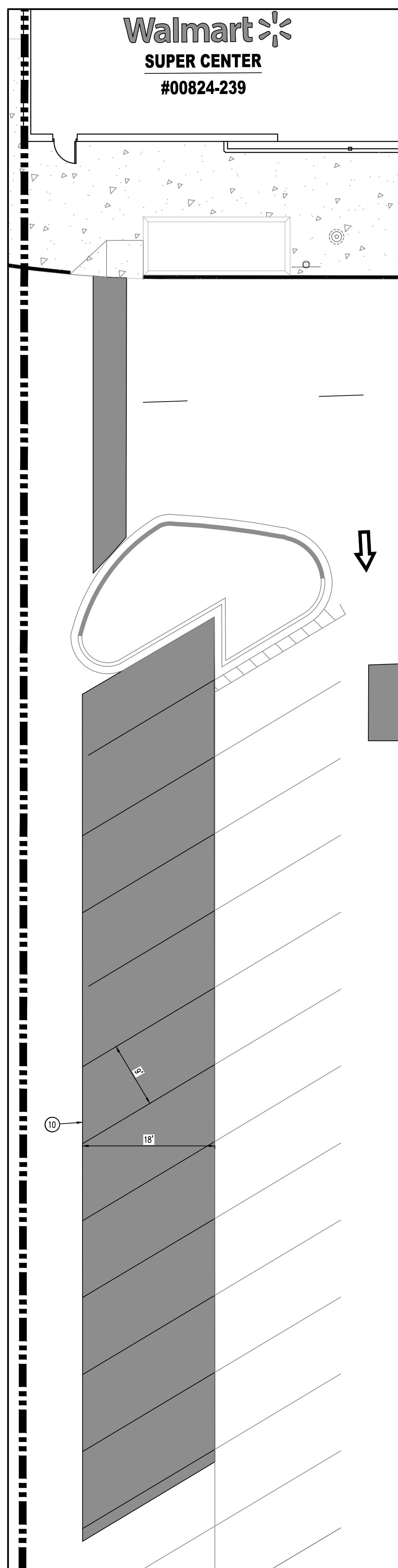
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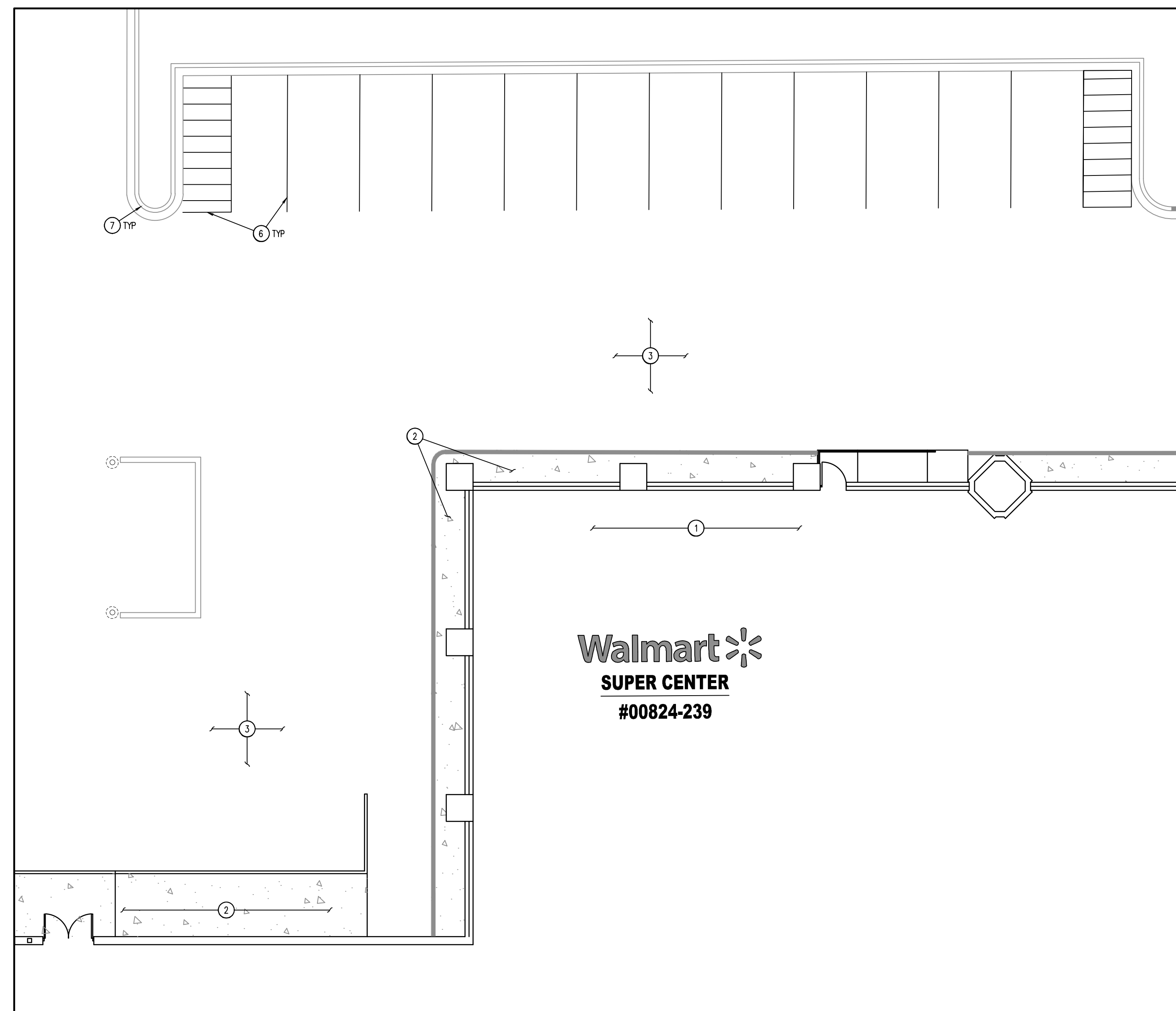
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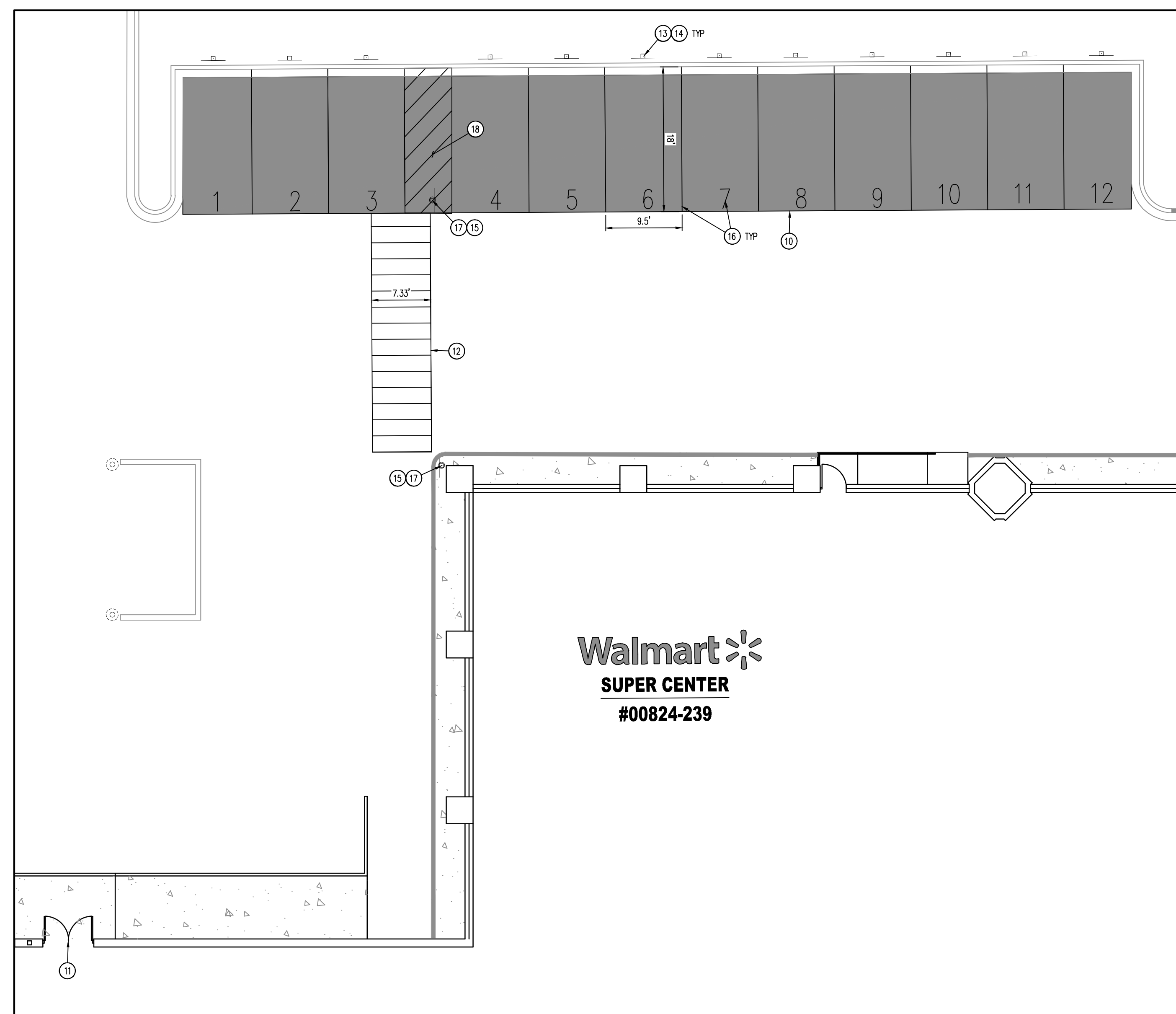
DEMOLITION PLAN – EXISTING PARKING
SCALE: 1"=10'



SITE PLAN – EXISTING PARKING
SCALE: 1"=10'



DEMOLITION PLAN – PROPOSED PARKING
SCALE: 1"=10'



SITE PLAN – PROPOSED PARKING
SCALE: 1"=10'

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, WALLS, WALLS, FLOORS, FOUNDATIONS, PARKING, DRIVES, DAMAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLAN CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT TO SATURABLE MATERIAL AND BROUGHT TO GRADE WITH SATURABLE COMPACTED FILL MATERIAL, PER THE SPECIFICATIONS, PRIOR TO DEMOLITION OCCURRING. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES CONCERNING PORTINGS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY, PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING GROUND LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SIGNS, MARKINGS AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ANY SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMAIN AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
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15. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN A SMALL AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
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42. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE









SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VENTILATES, SLOPE PAVING, SIDEWALKS, ETC. PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES SHALL BE DEMOLISHED AND REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO: WATER, SEWER, GAS, TELEPHONE, CABLE, POWER, SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY THE CITY ENGINEER.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".



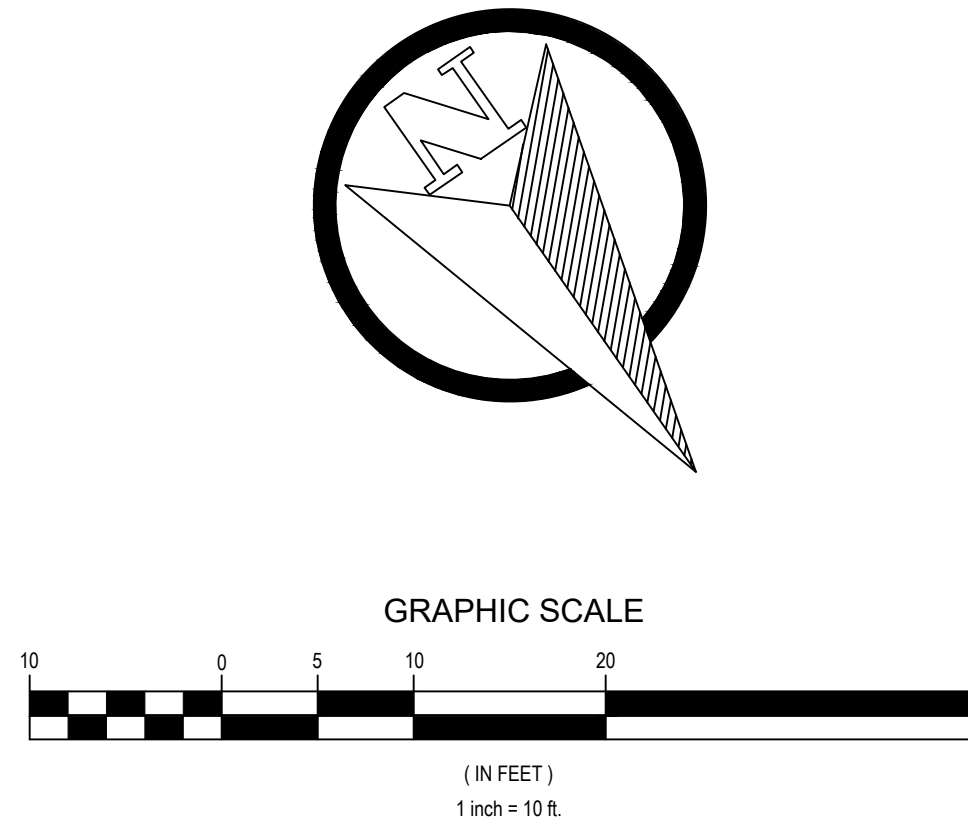
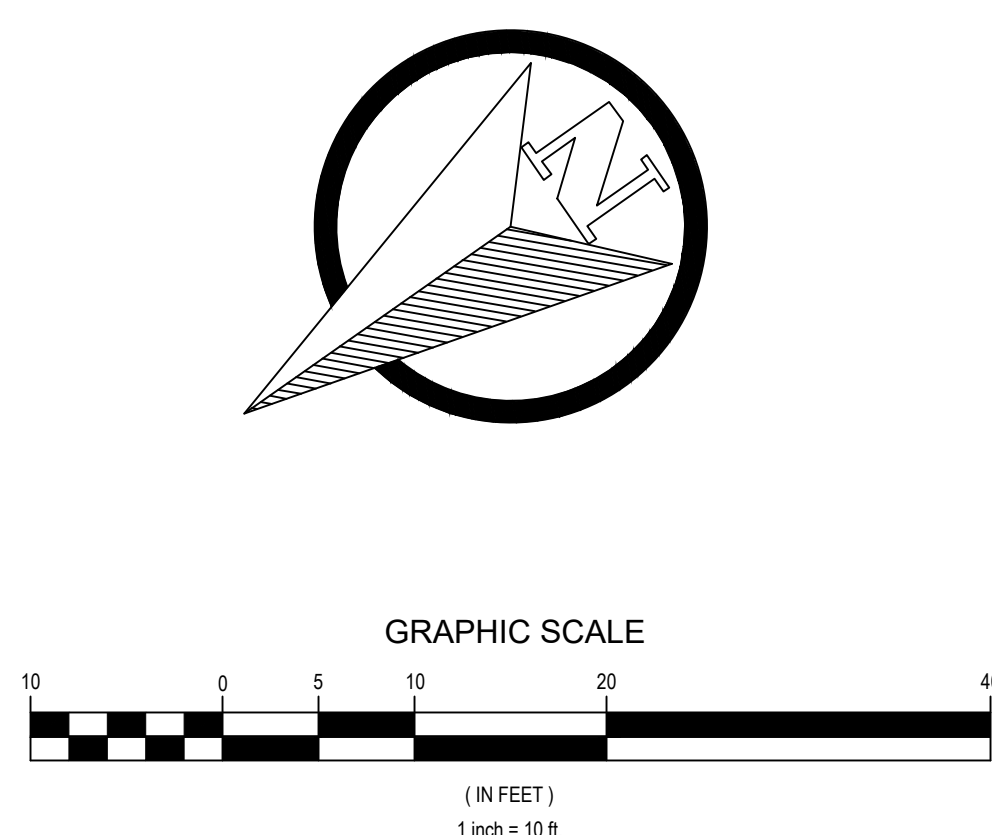
KEY MAP
APPROX. 1" = 200'

LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO REMAIN
	EXISTING CONCRETE PAVEMENT TO REMAIN
	PROPOSED SEAL COAT OF EXISTING PAVEMENT
	EXISTING SIGN TO REMAIN
	EXISTING SIGN TO BE REMOVED
	PROPOSED PICKUP SIGNAGE

SITE & DEMOLITION SCHEDULE

- 1 EXISTING WALMART BUILDING TO REMAIN.
- 2 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 3 EXISTING ASPHALT PAVEMENT TO REMAIN.
- 4 EXISTING PLANTED BOX TO REMAIN. LANDSCAPING TO BE PROTECTED IN PLACE THROUGHOUT CONSTRUCTION.
- 5 EXISTING PARKING LOT STRIPING TO REMAIN.
- 6 EXISTING PARKING LOT STRIPING TO BE REMOVED.
- 7 EXISTING 4" CURB TO REMAIN.
- 8 EXISTING PICKUP SIGNAGE AND BASE TO BE REMOVED.
- 9 EXISTING PEDESTRIAN SIGNAGE AND BASE TO BE REMOVED.
- 10 PROPOSED SEAL COAT OF EXISTING PAVEMENT.
- 11 PROPOSED PICKUP DOOR (REF. ARCH PLANS).
- 12 PROPOSED ASSOCIATE PATH CROSSWALK STRIPING (REF. SITE DETAILS)
- 13 PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS)
- 14 PROPOSED SIGN MOUNTING WITH BREAKAWAY POST (REF. SITE DETAILS).
- 15 PROPOSED SIGN MOUNTING AND BASE WITH BOLLARDS (REF. SITE DETAILS).
- 16 PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
- 17 PROPOSED R1-SB -- "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS).
- 18 PROPOSED 4" WIDE PAINTED YELLOW STRIPES AT 45' @ 2'-0" O.C.



CAUTION - NOTICE TO CONTRACTOR


1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANIES AND FIELD SURVEY EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



SIGNAGE & STRIPING SCHEDULE NOTES

- 1 PROPOSED PICKUP SIGNAGE, STRAIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 2 PROPOSED PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 3 PROPOSED PICKUP SIGNAGE, LEFT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 4 EXISTING PICKUP SIGNAGE TO BE REMOVED AND PROPERLY DISPOSED OF.
- 5 EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- 6 EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
- 7 NEW SIGN MOUNTING AND BASE WITH BREAKAWAY POST.

SITE SIGNAGE LEGEND

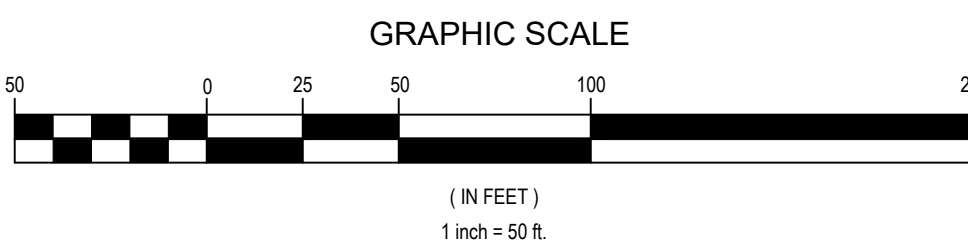
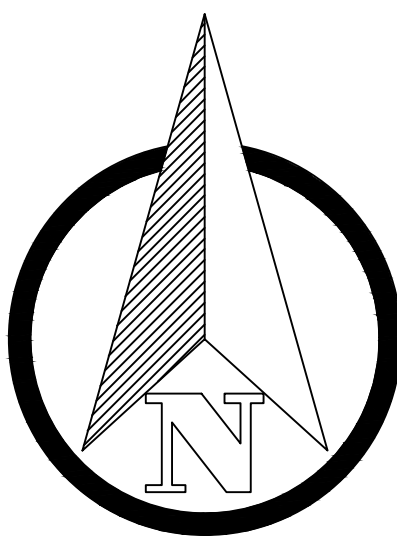
-  PROPERTY LINE
 PROPOSED PATH OF TRAVEL FOR PICKUP CUSTOMER
 PROPOSED PICKUP AREA

SITE SIGNAGE NOTES

1. THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 10/04/2020. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.
2. REFERENCE SITE DETAILS FOR SIGN LOCATION & VESTIBULE CROSSWALK DETAIL FOR SITE SIGNAGE OFFSETS.

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	—
WAITING SPACES RIGHT	18 X 24	—
WAITING SPACES AHEAD	18 X 24	—
RESERVED WAITING	18 X 24	—
PICKUP LEFT PHARMACY RIGHT	18 X 24	—
PICKUP RIGHT PHARMACY LEFT	18 X 24	—
STOP THANKS FOR ORDERING	18 X 36	—
PICKUP HOURS	18 X 36	—
RESERVED	18 X 18	12
PHONE NUMBER	8 X 18	12
VERTICAL PICKUP	18 X 36	12
PICKUP LEFT	18 X 24	2
PICKUP AHEAD	18 X 24	3
PICKUP RIGHT	18 X 24	1

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Bradley.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



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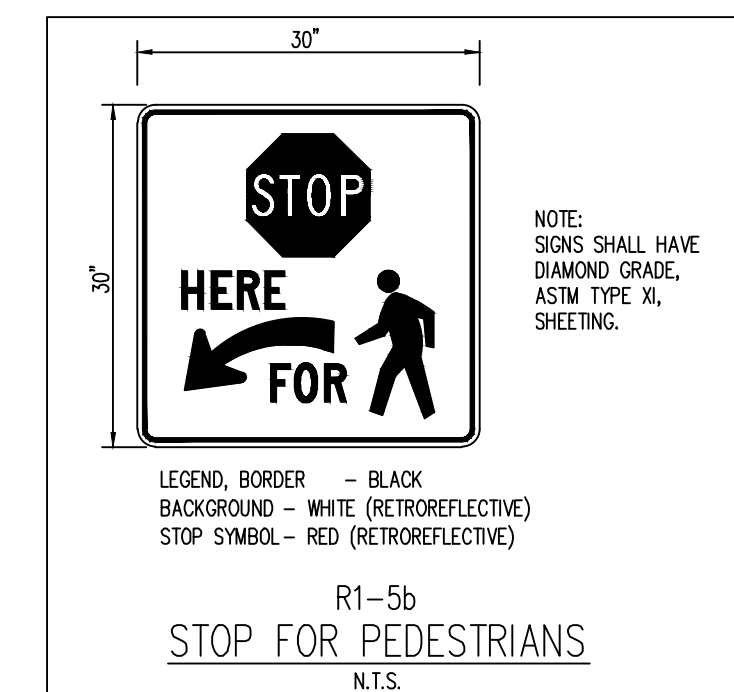
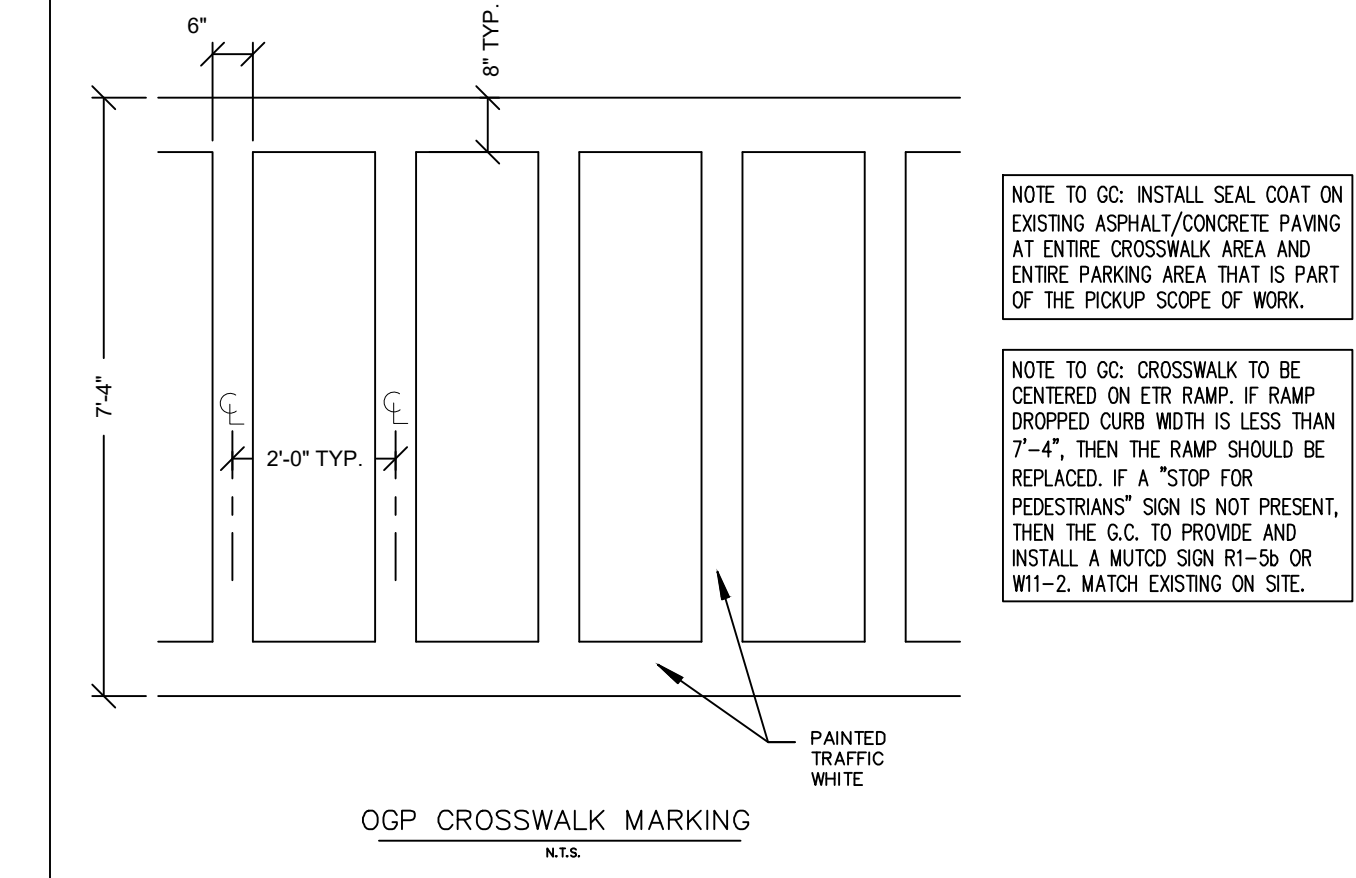
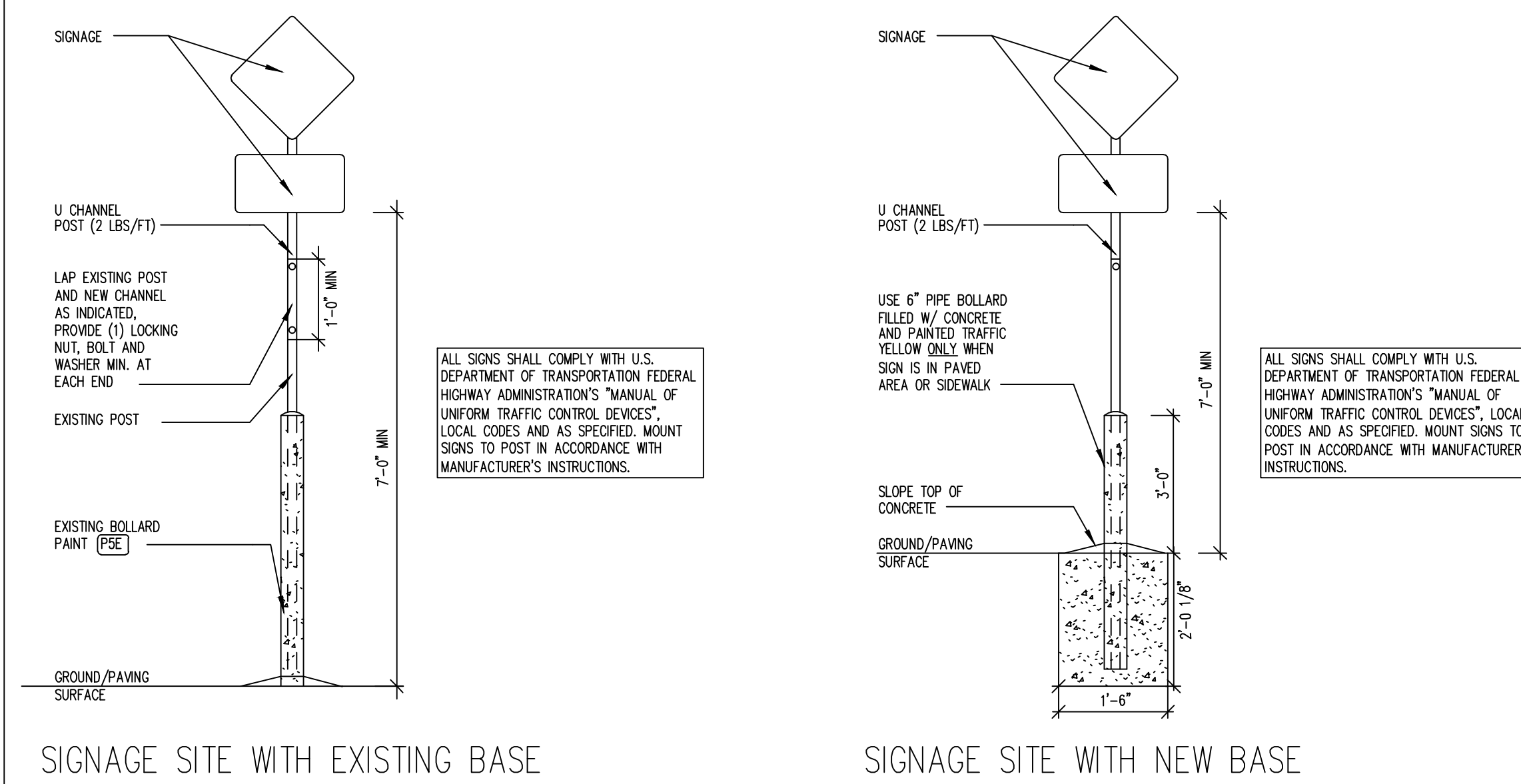
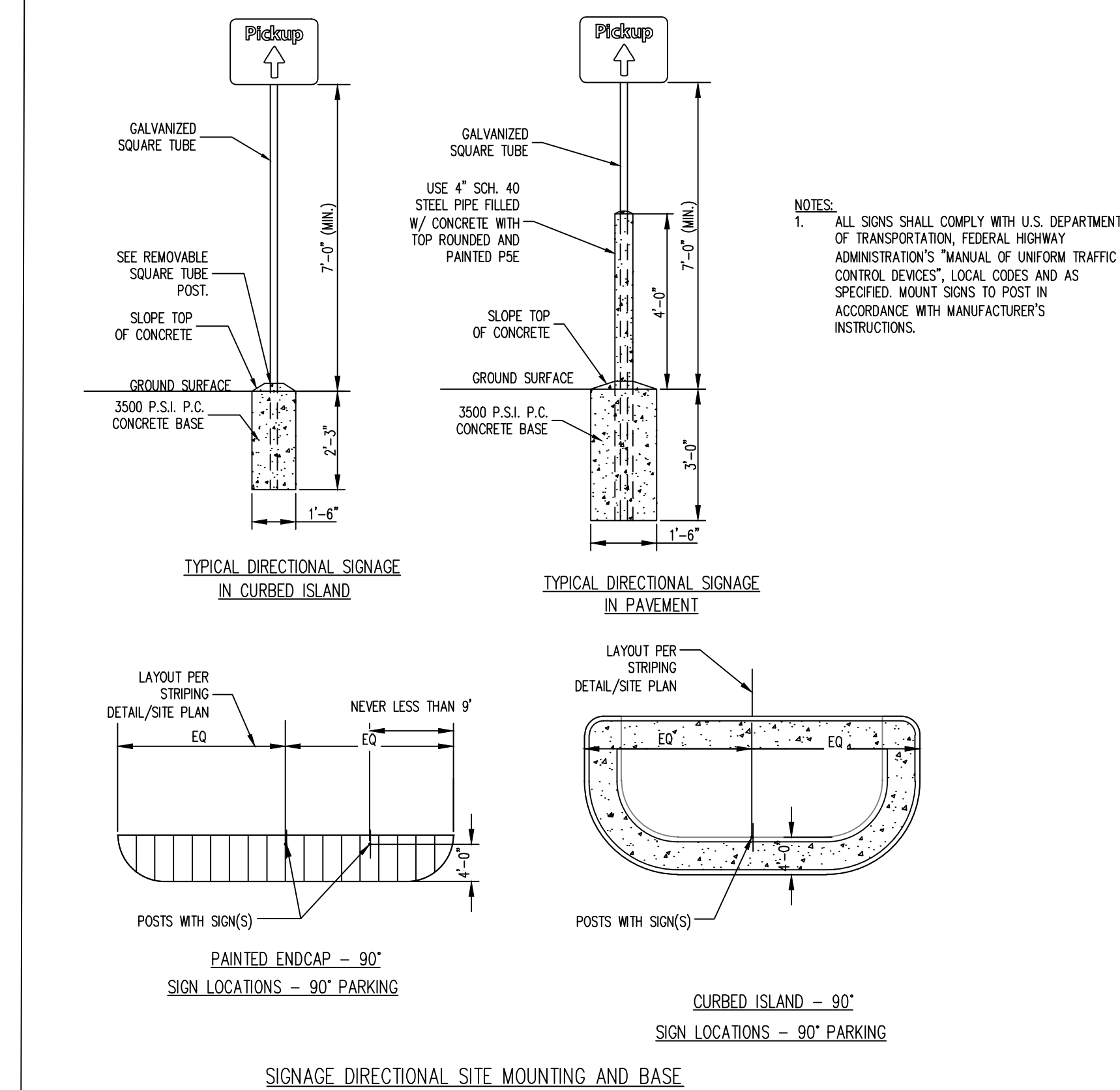
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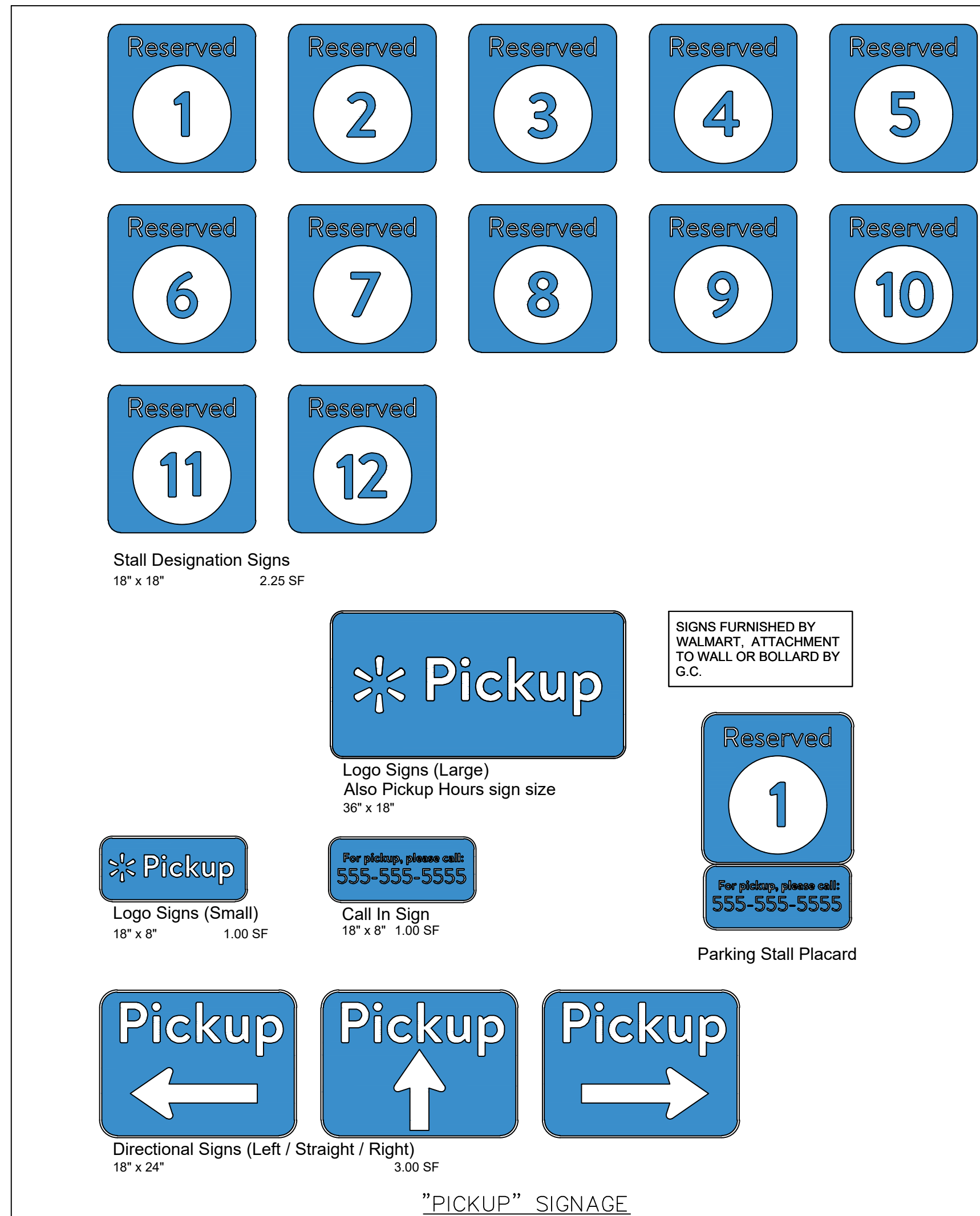
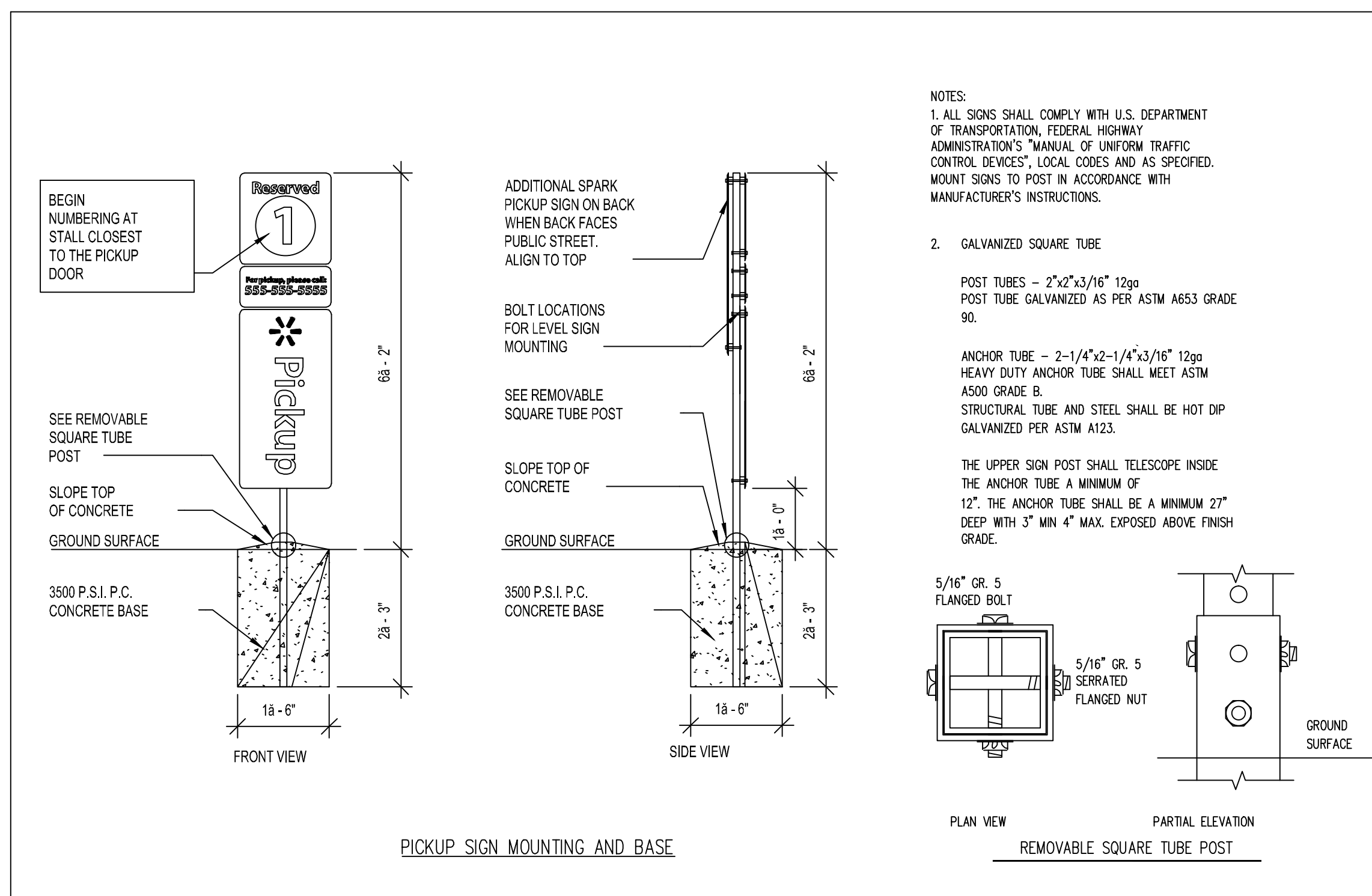
SITE SIGNAGE PLAN

SHEET: CS2



FINISH LEGEND

P76	WALMART BLUE SW#076
P5E	SAFETY YELLOW



Galloway
1755 Telluride Drive, Suite 107
Colorado Springs, CO 80900
719.500.7220
GallowayUS.com

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SIGNAG
DETAIL

SHEET: CS3