

ADMINISTRATIVE AMENDMENT

FILE # _____ **PROJECT #** _____

APPROVED BY

DATE

SITE PLAN



SITE SIGNAGE



A EXISTING SITE SIGN



B EXISTING SITE SIGN

DISCLOSURES

ALLOWED SIGNAGE SF: 513.90 SF (TO BE DECIDED BY PLANNING REVIEW IF MORE IS ALLOWED)
EXISTING SIGNAGE SF: 513.90 SF
PROPOSED SIGNAGE: 379.83 SF

SIGNAGE RESTRICTIONS:
ALL SIGNAGE TO BE REPLACED PER C130184 - SWIPE UP REBRAND FOR SUPERCENTERS

VARIANCE PROCESS:
PROPOSED ELEVATIONS AND SIGNAGE MUST BE SUBMITTED TO JAY RODENBECK PLANNER FOR STAFF REVIEW AND DETERMINATION. IT MAY ONLY REQUIRE AN ADMINISTRATIVE AMENDMENT WHICH TAKES ABOUT 2 WEEKS. OTHERWISE IT WILL REQUIRE APPROVAL FROM THE PLANNING COMMISSION. THAT PROCESS CAN TAKE 6 WEEKS MINIMUM AND POSSIBLY 12 WEEKS OR MORE.

PAIN RESTRICTIONS:
PERMIT IS REQUIRED TO REPAINT. THERE IS EXISTING PICKUP SIGNAGE AND ORANGE PAINT.

BOD PROPOSES TO PAINT THE STORE TO NEW SWIPE UP REBRAND COLOR BLUE WHERE MAIN SIGNS ARE REPLACED AND PAINT THE STORE FULLY IN BEIGE COLORS AS INDICATED ON THE ELEVATIONS.

COLOR LEGEND

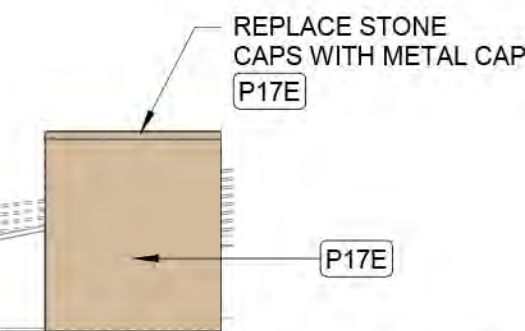
P17E	ROWHOUSE TAN
P76U	WALMART BLUE (URETHANE-LIKE)
P83E	COBBLE BROWN
P85E	ROOKWOOD CLAY
P99E	DARK BROWN

SHEET NOTES

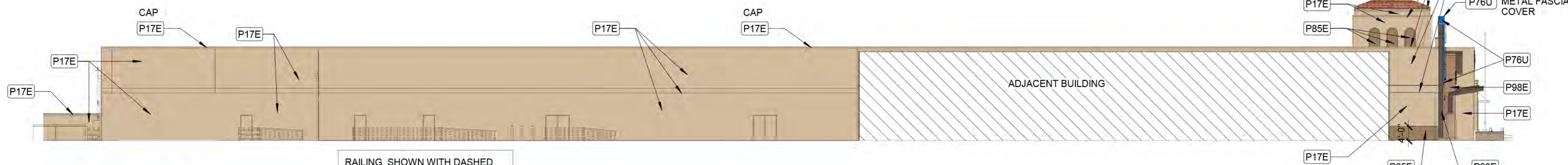
- PREP SURFACES TO BE PAINTED PER SPECIFICATIONS.
- PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED.
- REMOVE SEALANT AND BACKER MATERIAL FROM ALL BUILDING CONTROL JOINTS AND EXPANSION JOINTS ON ALL WALLS TO BE PAINTED. FILL AND SEAL JOINTS. REF SPEC 07900.
- REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
- RESURFACE EXISTING EIFS WHERE SHOWN (HATCHED AREA).
- NOT USED.
- PAINT EXTERIOR OF BUILDING AS SHOWN. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT ID/LOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART CM.
- NOT USED.
- PAINT ALL NEW ROOFTOP GAS PIPING, P5E GAS PIPE ALONG SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
- IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL.
- WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK (P33E) DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
- PAINT JIB CRANE (P36E) ON JIB BOOM, P5E ON HANDRAILS.
- PAINT SPRINKLER VALVES (P21E) DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL.
- PAINT ALL EXTERIOR BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
- NOT USED.
- DO NOT PAINT LED WALL PACK HOUSINGS
- PAINT GARDEN CENTER STEEL DOORS AND FRAMES (P81E)
- NOT USED.
- DO NOT PAINT QUIK BRIK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS
- AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. FEATHER PAINT OUT TO BLEND WITH EXISTING. REF SPEC 09900.



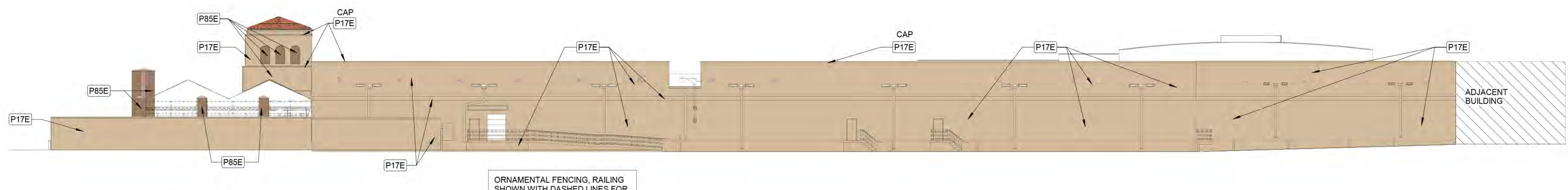
6 ORGANICS CONTAINMENT
1" = 10'-0"



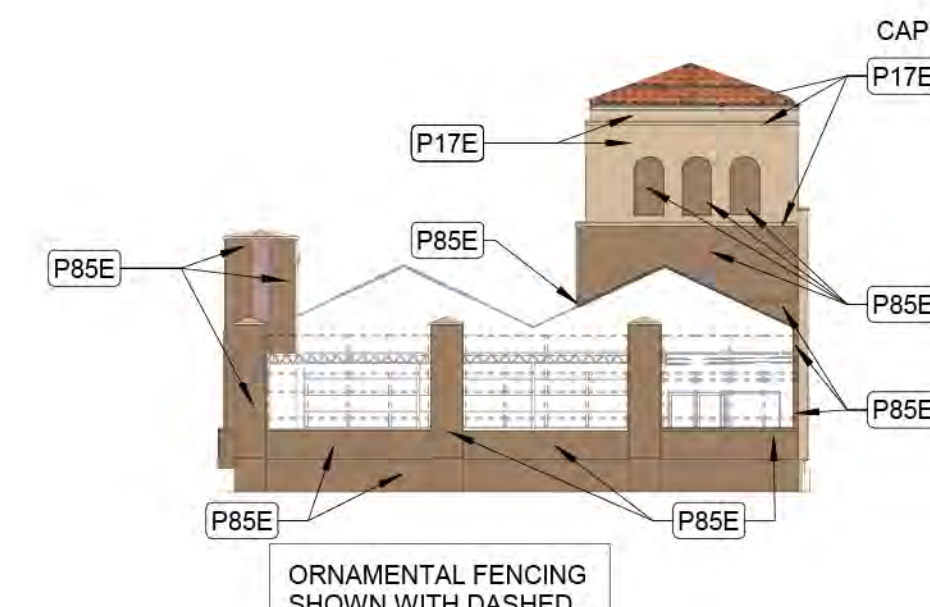
5 LEFT ELEVATION
1" = 20'-0"



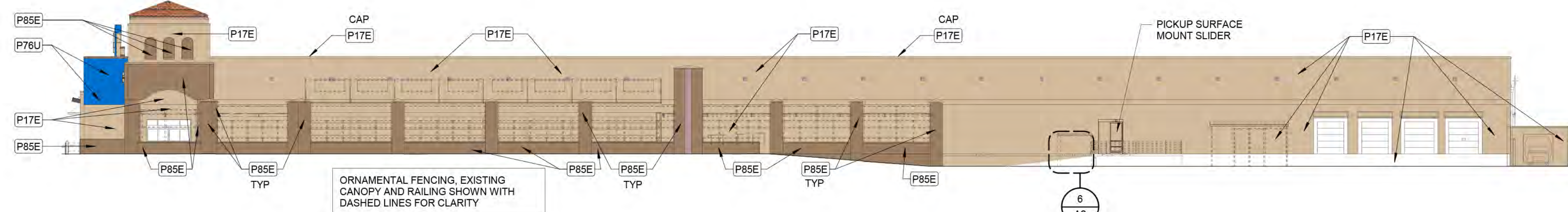
4 REAR ELEVATION
1" = 20'-0"



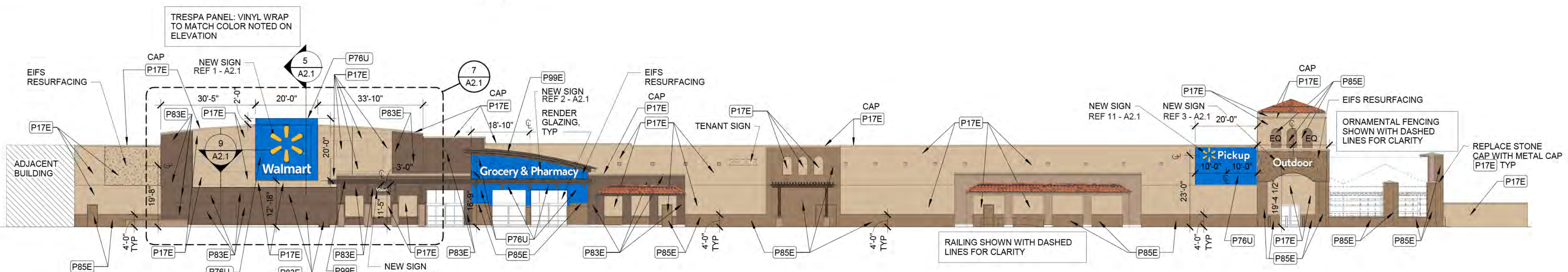
3 SEASONAL SHOP REAR ELEVATION
1" = 20'-0"

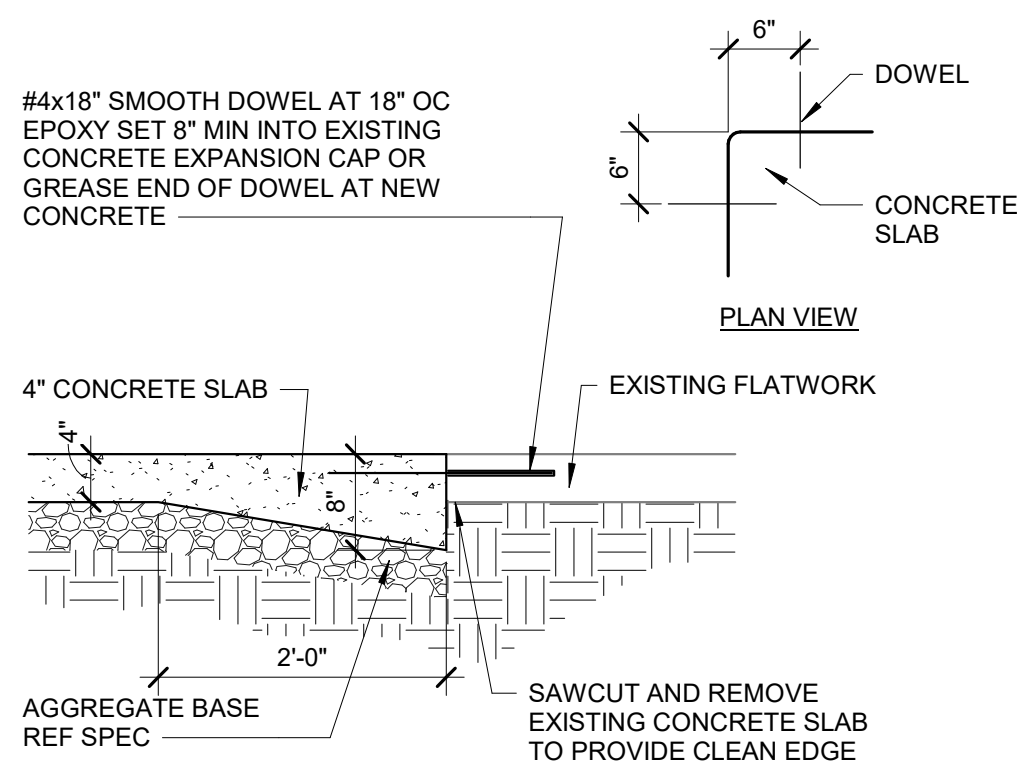


2 RIGHT ELEVATION
1" = 20'-0"

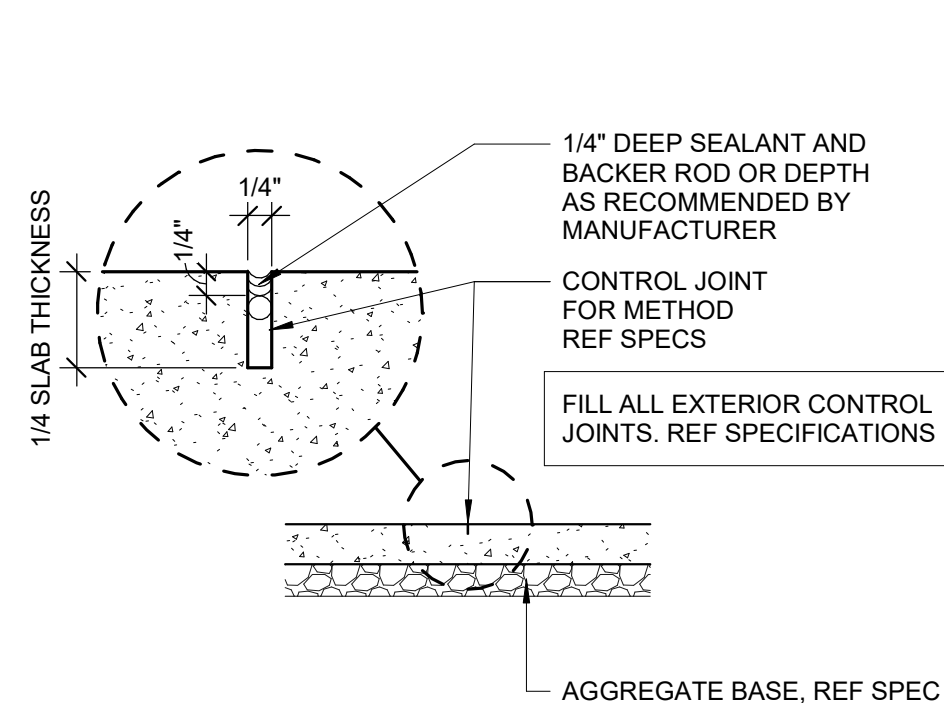


1 FRONT ELEVATION
1" = 20'-0"

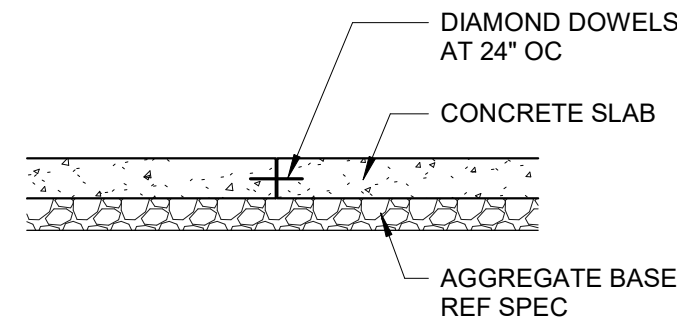




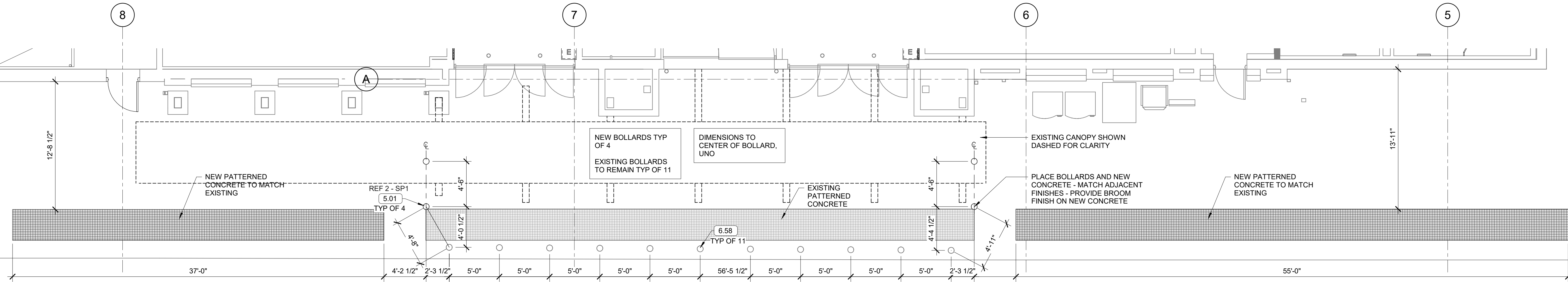
8 FLATWORK JOINT
3/4" = 1'-0"



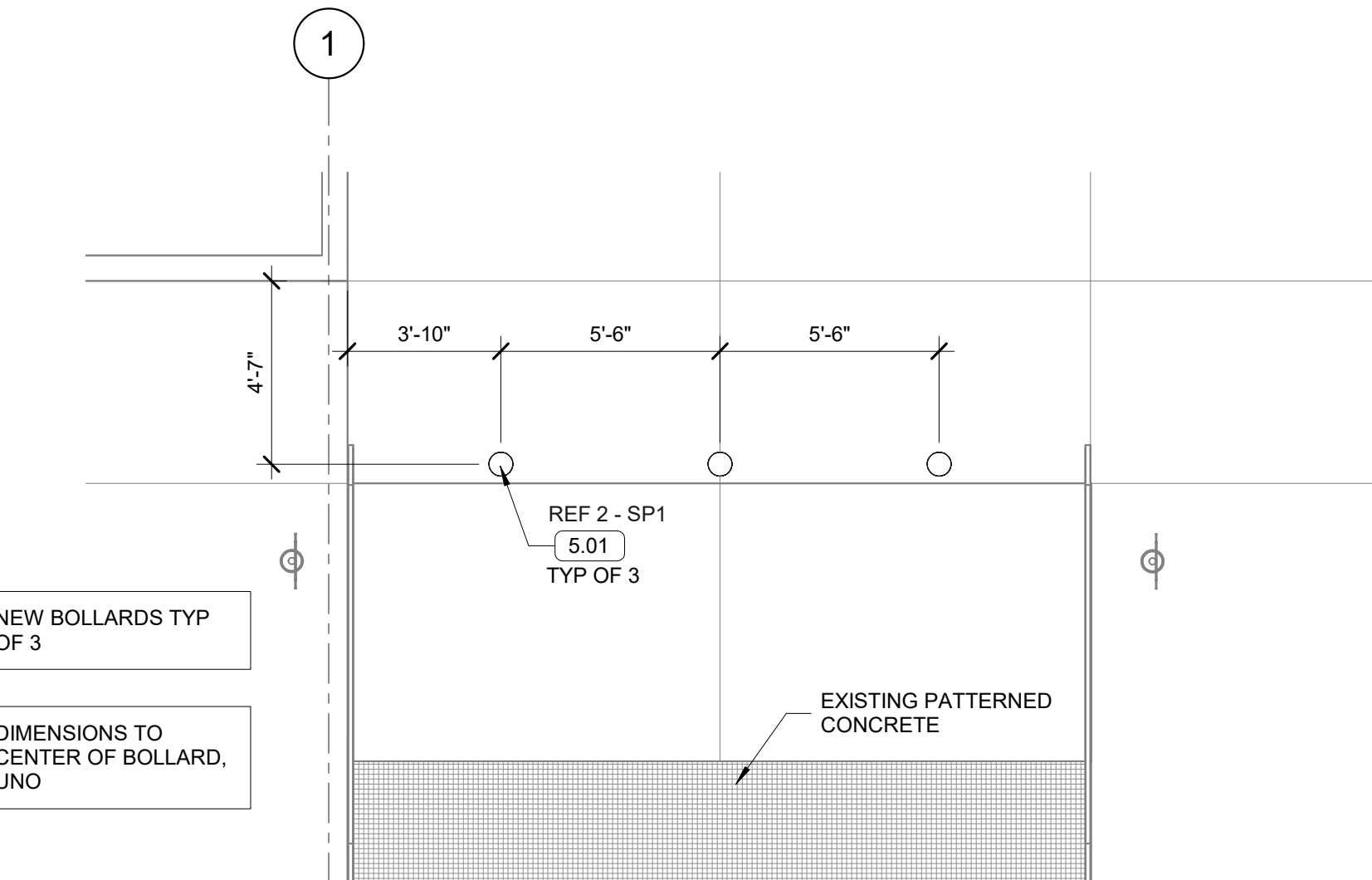
7 EXTERIOR SIDEWALK/PAVING CONTRACTION JOINT
1/2" = 1'-0"



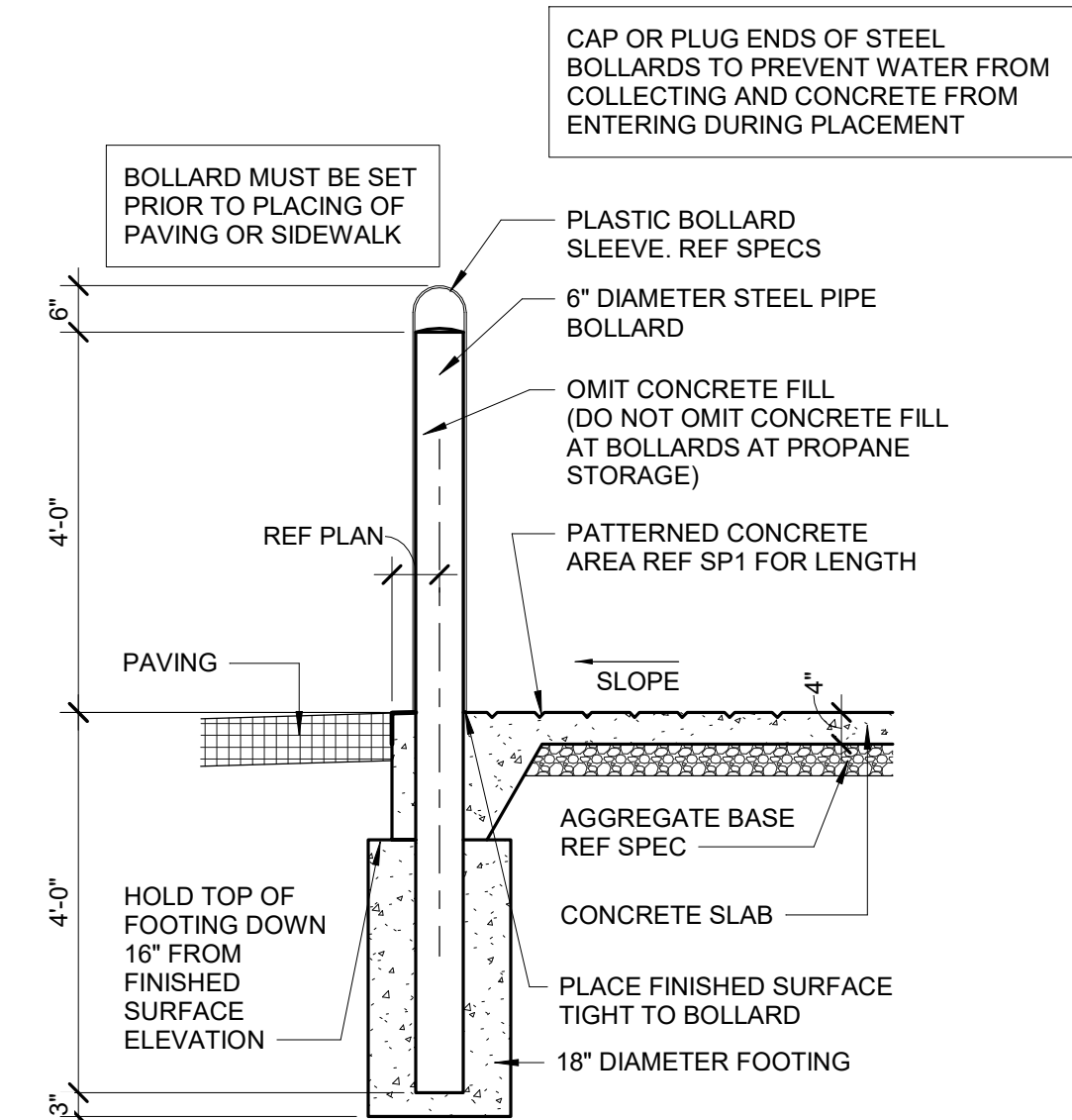
6 EXPANSION JOINT
1/2" = 1'-0"



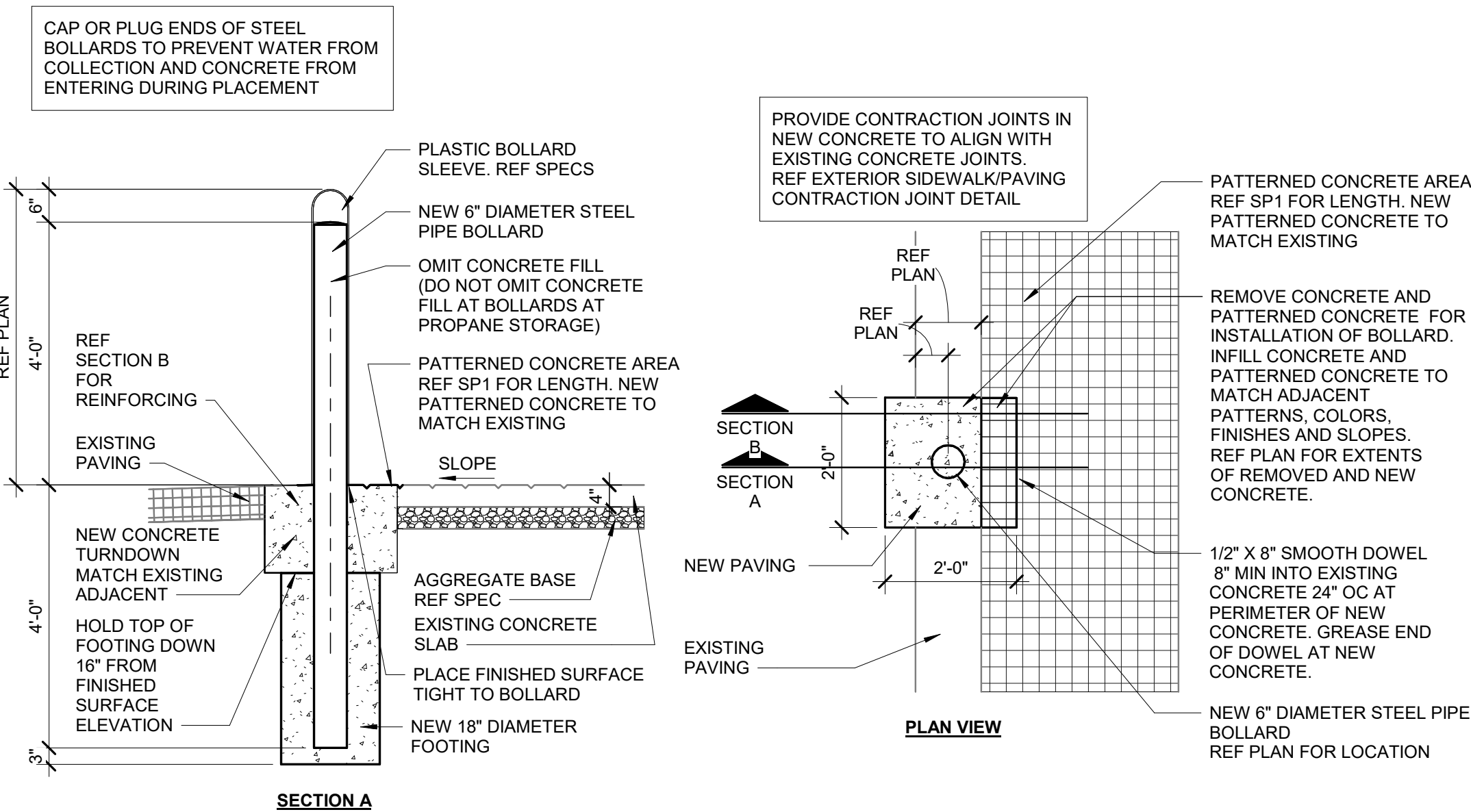
5 GR ENTRY PLAN
3/16" = 1'-0"



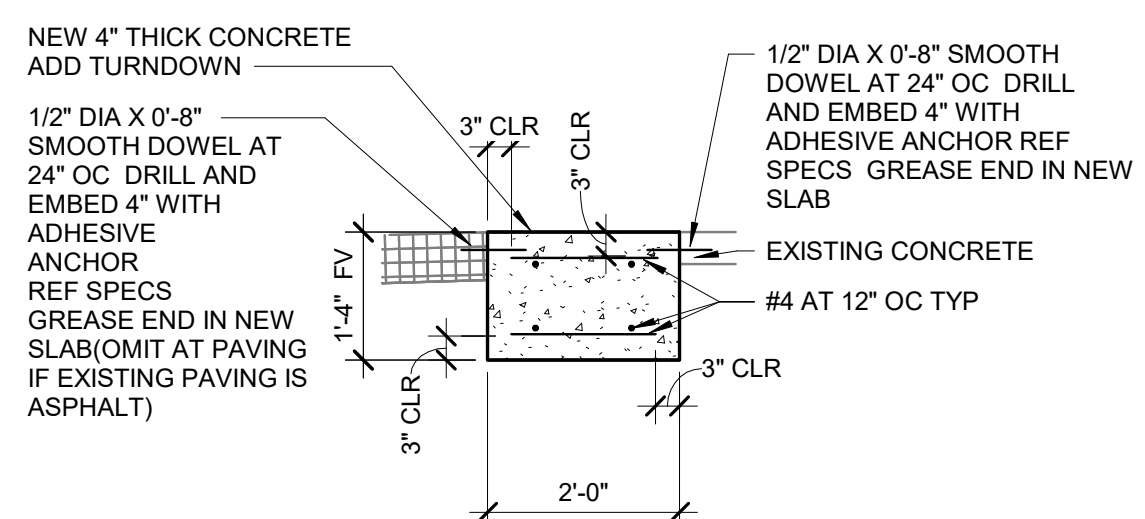
4 GC ENTRY PLAN
1/4" = 1'-0"



3 BOLLARD
1/2" = 1'-0"



2 BOLLARD
1/2" = 1'-0"



SECTION B

1 SITE PLAN
1" = 30'-0"

KEYNOTES

- 5.01 6" PIPE BOLLARD WITH GRAY PLASTIC SLEEVE (HEIGHT OF SLEEVE NOTED ADJACENT TO KEYNOTE)
6.58 INSTALL GRAY BOLLARD COVERS AT FRONT ENTRANCE BOLLARDS. ANCHOR COVERS TO BOLLARD. REF SPEC.

SITE SHEET NOTES

1. POWER WASH SIDEWALK ON FRONT OF BUILDING AND ACC.
2. PROVIDE NEW SEALANT AT ALL JOINTS BETWEEN EXTERIOR WALLS AND ADJACENT CONCRETE SIDEWALK/PAVING. REF SPEC 07000. IF PRESENT, REMOVE EXISTING SEALANT AND BACKER PRIOR TO RE-SEALING JOINTS.
3. REPAINT PERIMETER SIDEWALK AND FIRE LANE CURB.
4. NOT USED.
5. REPLACE ALL MISSING SITE SIGNS WITHIN CLOSE PROXIMITY TO STRUCTURE.
6. NOT USED.

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CONSULTANTS

Walmart
ALBUQUERQUE, NM
8000 ACADEMY RD NE
STORE NO: 0824-239
JOB NUMBER: 20094120 PHOTO: 138

2021 MAJOR PROJECT

ISSUE BLOCK

CHECKED BY: TRH RO/AVT
DRAWN BY: CS/AP
PROTO CYCLE: 12/04/20
DOCUMENT DATE: 03/8/21

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STATE OF NEW MEXICO
TRAVIS R. HAGER
No. 6148
REGISTERED ARCHITECT
03/08/2021

SITE PLAN

SHEET:
SP1

COLOR LEGEND	
P17E	ROWHOUSE TAN
P76U	WALMART BLUE (URETHANE-LIKE)
P83E	COBBLE BROWN
P85E	ROOKWOOD CLAY
P99E	DARK BROWN

SHEET NOTES

1. PREP SURFACES TO BE PAINTED PER SPECIFICATIONS.
2. PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQUIRED.
3. REMOVE SEALANT AND BACKER MATERIAL FROM ALL BUILDING CONTROL JOINTS AND EXPANSION JOINTS ON ALL WALLS TO BE PAINTED. FILL AND SEAL JOINTS. REPAIR EXPOSED JOINTS TO MATCH ADJACENT AS REQUIRED.
4. REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
5. REPAIR EXISTING EYES WHERE SHOWN (HATCHED AREA).
6. NOT USED.
7. PAINT EXTERIOR OF BUILDING AS SHOWN. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT IDIOT SIGN(S), COORDINATE SCOPE OF WORK WITH WALDMART. OK.
8. NOT USED.
9. PAINT ALL NEW ROOFTOP GAS PIPING PSE. GAS PIPE HANGING SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
10. IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURE STEEL AND FLASHING TO MATCH ADJACENT STEEL.
11. WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK / P33E.
12. DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
13. DO NOT PAINT CRANE / BOOM / ON JIB BOOM / PSE / ON HANDRAILS.
14. PAINT SPRINKLER WALLS / P21E / DO NOT PAINT OVER SIGNS, GLASS OR FIRE ALARM BELLS.
15. PAINT ALL EXTERIOR BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
16. NOT USED.
17. DO NOT PAINT LED WALL PACK HOUSINGS.
18. IF THE GARDEN CENTER STEEL DOORS AND FRAMES / P81E.
19. DO NOT PAINT QUIK BARK, STONE VENEER, FACE PAINT, UNPAINTED TILT-WALL OR PRECAST PANELS AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR, FEED SIGN PAINT OUT TO BLEND WITH EXISTING. REF SPEC 09.03.01.

STIPULATION FOR REUSE

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ALBUQUERQUE, NM

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CONSULTANTS

Walmart*
ALBUQUERQUE, NM
8000 ACADEMY RD NE
STORE NO: 0824-239

2021 MAJOR PROJECT

ISSUE BLOCK

[illegible]

CHECKED BY:	TRH RO/AVT
DRAWN BY:	KM
PROTO CYCLE:	12/04/20
DOCUMENT DATE:	03/8/21

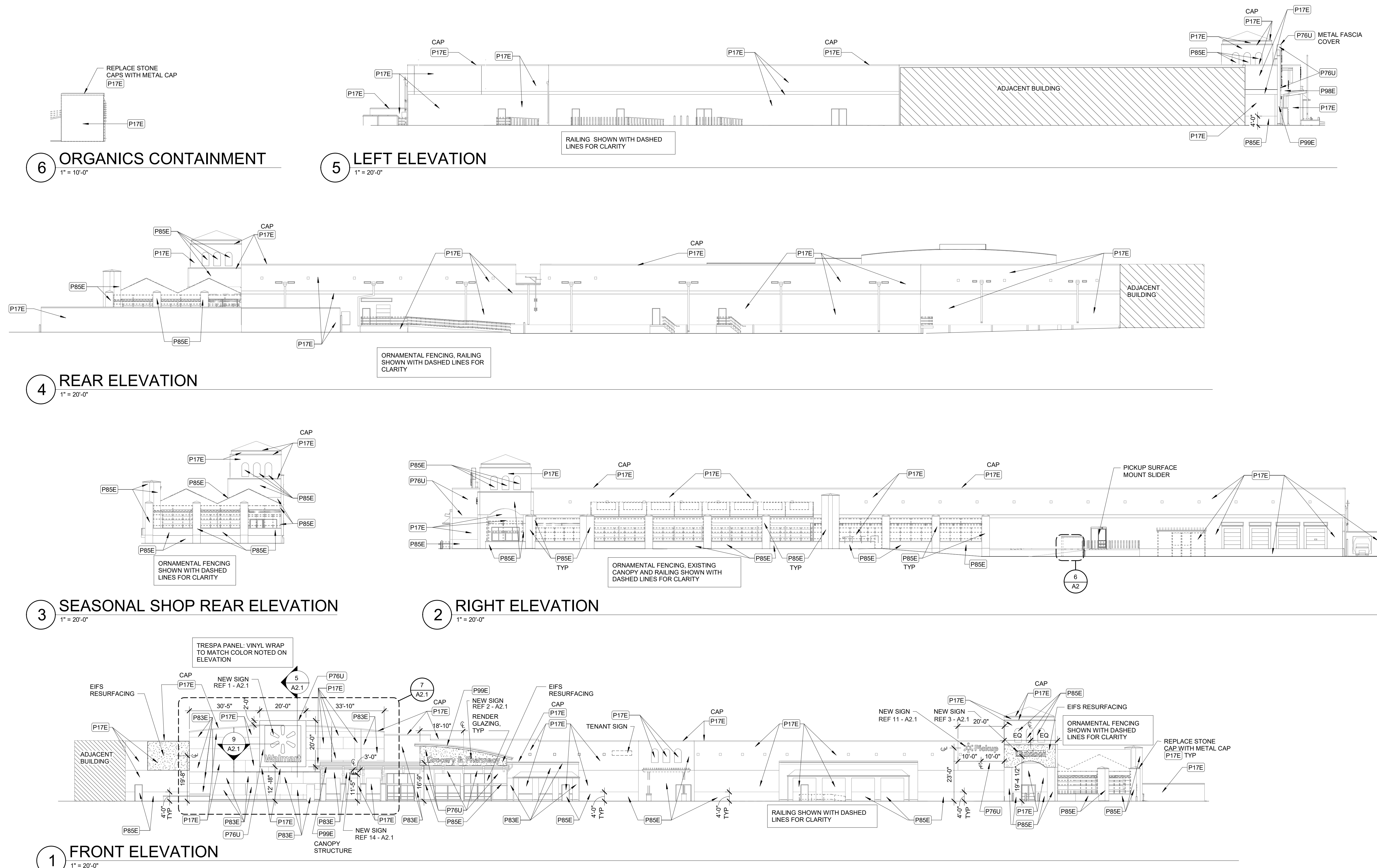
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EXTERIOR ELEVATIONS

SHEET:

A2



306/21 08:00:25
ID: 20210720TaroJuhimaru NM 002M Arch /20 DocId: 35959596

5 SIGNAGE ATTACHMENT

1 1/2" = 1'-0"

13 SIGNAGE ATTACHMENT

1 1/2" = 1'-0"

4 SIGN ATTACHMENT AT EIFS AND METAL STUD WALL

1 1/2" = 1'-0"

9 EIFS CORNER DETAIL AT TRESPA WALL

1 1/2" = 1'-0"

8 EIFS DETAIL AT TRESPA

1 1/2" = 1'-0"

7 ENLARGED TRESPA DEMOLITION

1" = 10'-0"

3 2'-6" OUTDOOR

1/4" = 1'-0"

2 2'-6" GROCERY AND PHARMACY

1/4" = 1'-0"

1 12'-0" WALMART SIGN

1/4" = 1'-0"

EXISTING SIGNAGE SCHEDULE

SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart (Spark)	1	LED	WHITE/YELLOW	5'-6"	298.00 SF	298.00 SF
10 Spark/Pickup	1	LED	WHITE/YELLOW	2'-6"	66.76 SF	66.76 SF
Market & Pharmacy	1	NA	WHITE	2'-6"	102.74 SF	102.74 SF
Outdoor Living	1	NA	WHITE	2'-0"	46.40 SF	46.40 SF
FRONT SIGNAGE						
FRONT SIGNAGE						
TOTAL BUILDING SIGNAGE					513.90 SF	513.90 SF

NEW SIGNAGE SCHEDULE

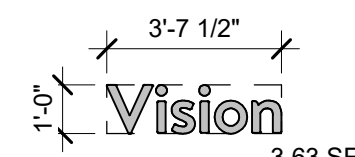
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart (Spark)	1	LED	WHITE/YELLOW	12'-0"	175.06 SF	175.06 SF
10 Spark/Pickup	1	LED	WHITE/YELLOW	2'-6"	66.43 SF	66.43 SF
Market & Pharmacy	1	NA	WHITE	2'-6"	106.13 SF	106.13 SF
Outdoor Living	1	NA	WHITE	2'-6"	31.88 SF	31.88 SF
FRONT SIGNAGE						
FRONT SIGNAGE						
TOTAL BUILDING SIGNAGE					382.13 SF	382.13 SF

SIGNAGE GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY OTHERS.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE EXTERIOR SIGN COMPANY IS ON SITE. THE EXTERIOR SIGN COMPANY WILL REMOVE EXISTING SIGNAGE. GENERAL CONTRACTOR WILL THEN PERFORM THE PATCH AND REPAIR WORK NEEDED AT SIGN LOCATIONS, AND PAINTING WORK NOTED IN PLANS. ONCE COMPLETE, GENERAL CONTRACTOR WILL NOTIFY THE EXTERIOR SIGN CONTRACTOR THAT AREAS NOTED TO RECEIVE SIGNAGE ARE READY. THE EXTERIOR SIGN COMPANY WILL THEN INSTALL NEW SIGNAGE AS SHOWN ON THE PLANS.
 - A TEMPORARY BANNER WILL BE INSTALLED BY THE EXTERIOR SIGN COMPANY PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED. GC SHALL PRIORITIZE MODIFICATIONS/REPAIRS REQUIRED FOR INSTALLATION OF NEW EXTERIOR SIGNS WHILE EXTERIOR SIGN COMPANY IS ON SITE.
 - B. TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').
 - C. EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES:
 - A. BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - B. PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO DETAILS ON SHEET A2A2.1. FOR LIGHTED IDILOGO SIGNS COORDINATE TIMING OF WORK WITH WALMART SIGN CONTRACTOR.
 - C. PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
 - D. NOT USED.
 - E. INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILINGS IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE.
 - F. VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
 - G. MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
- SIGNAGE CONTRACTOR RESPONSIBILITIES:
 - A. REMOVE ALL LIT IDILOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS. UNLESS NOTED OTHERWISE.
 - B. MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
 - C. INSTALL SIGNAGE PER DETAILS ON SHEET A2A2.1.

DEMOLITION NOTES

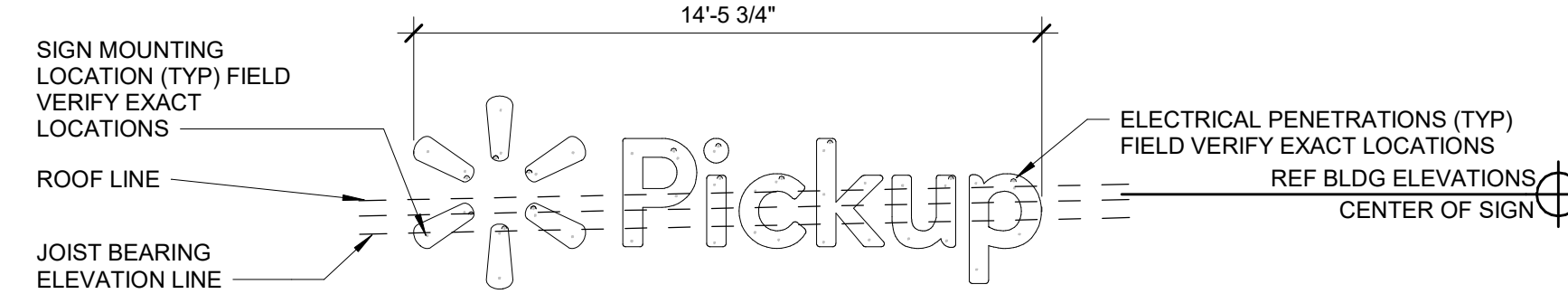
- REMOVE ALL UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS.
- REMOVAL OF LIT IDILOGO SIGNS SHALL BE BY OTHERS.
- NOT USED.
- NOT USED.
- NOT USED.
- REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY THE SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.



14 1'-0" VISION

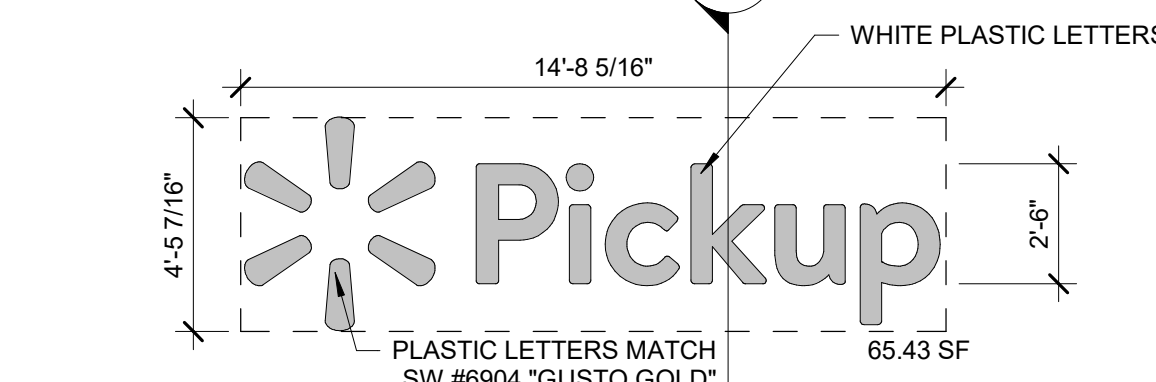
1/4" = 1'-0"

NOTE TO SIGN INSTALLER:
ALL PRIMARY MOUNTING HOLES MUST BE UTILIZED. IF MOUNTING THROUGH PRIMARY HOLE IS OBSTRUCTED BY REBAR, METAL STUDS, CHANNELS, OR OTHER MISC METAL, SEAL PRIMARY HOLE IN SIGN CAN AND MOUNT THROUGH THE NEAREST ALTERNATE MOUNTING HOLE. PRIMARY HOLES ARE INDICATED WITH PREDRILLED HOLES THROUGH WASHERS. ALTERNATE HOLES ARE INDICATED WITH WASHERS ONLY OR ARE OTHERWISE MARKED.



12 PICKUP SIGN MOUNTING DIAGRAM

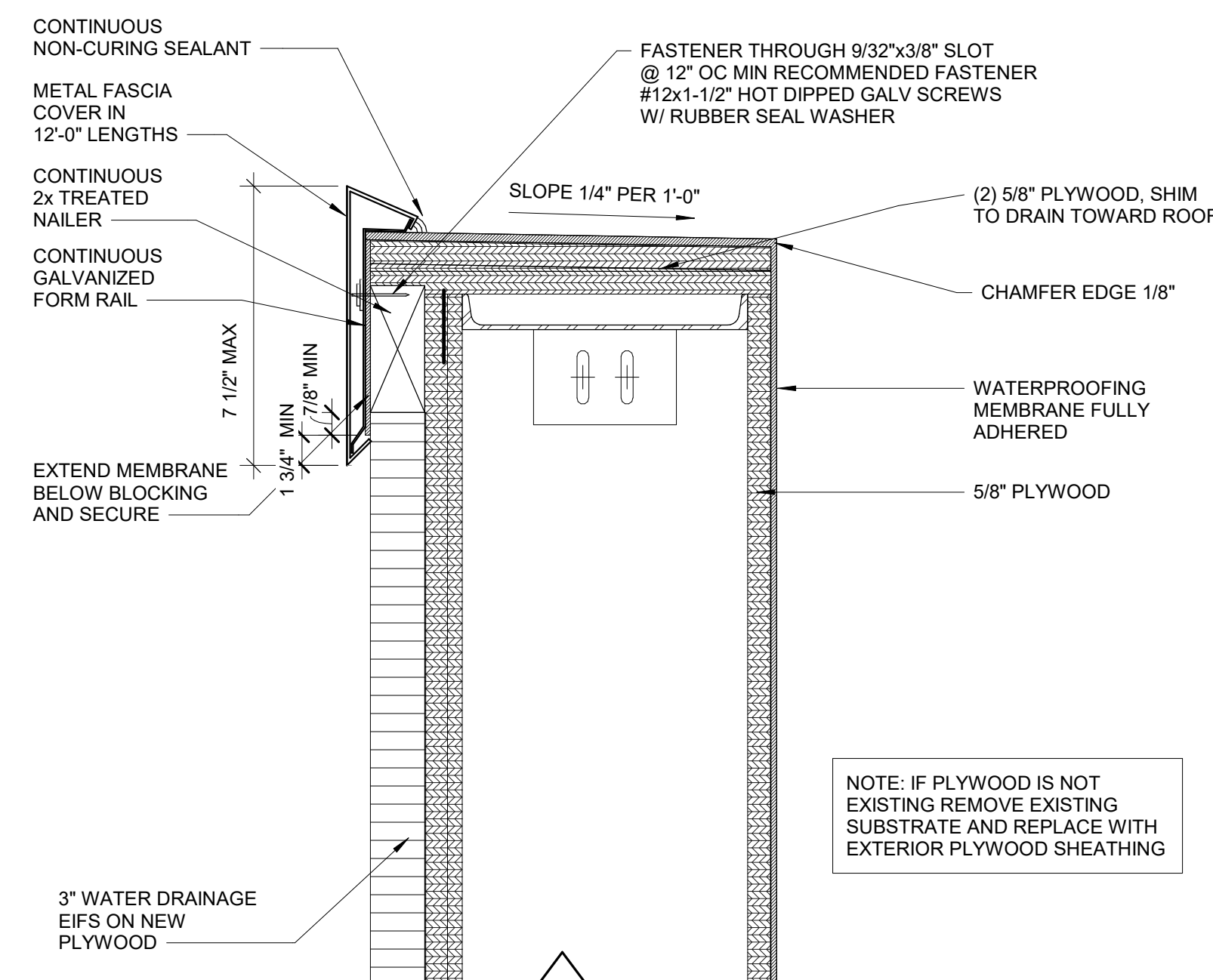
1/4" = 1'-0"



11 SIGNAGE

1/4" = 1'-0"

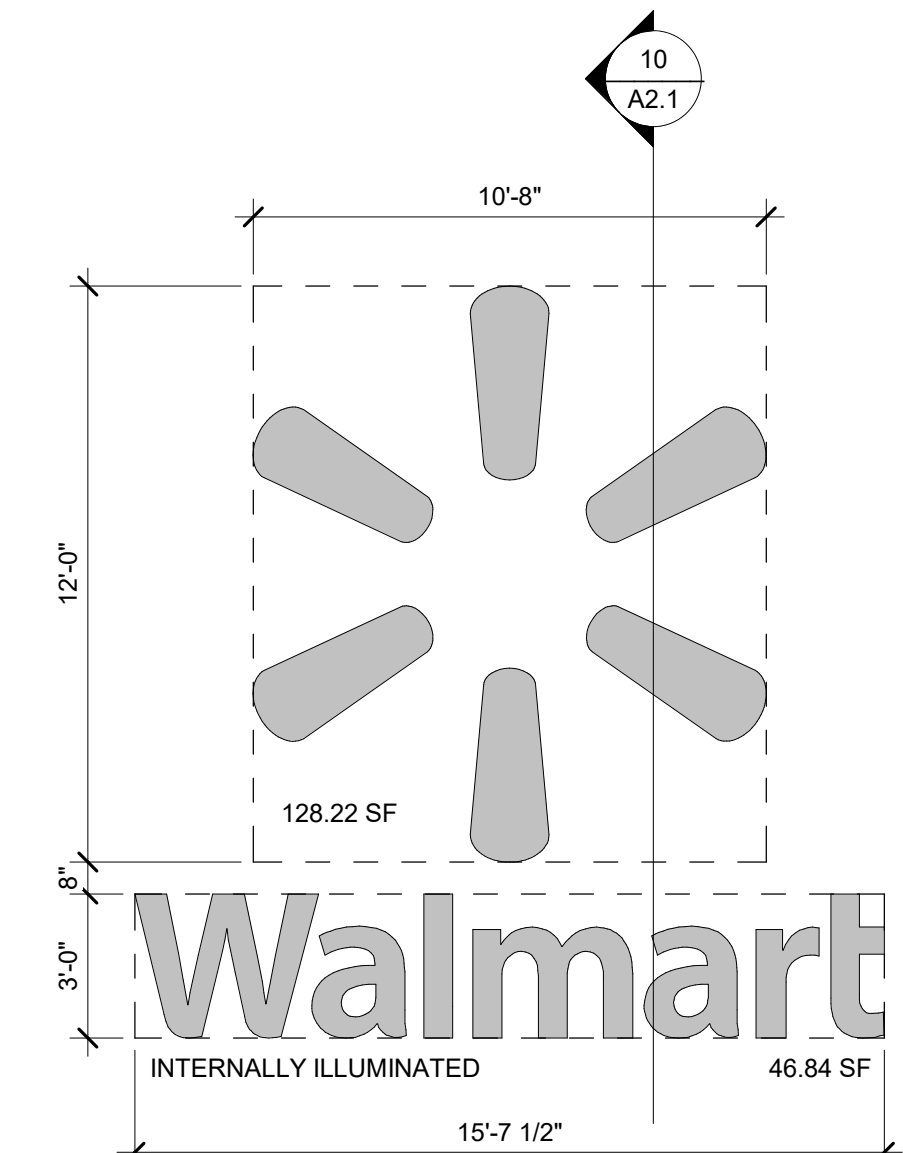
NOTE: IF PLYWOOD IS NOT EXISTING REMOVE EXISTING SUBSTRATE AND REPLACE WITH EXTERIOR PLYWOOD SHEATHING



6 PARAPET CAP FLASHING AT TRESPA

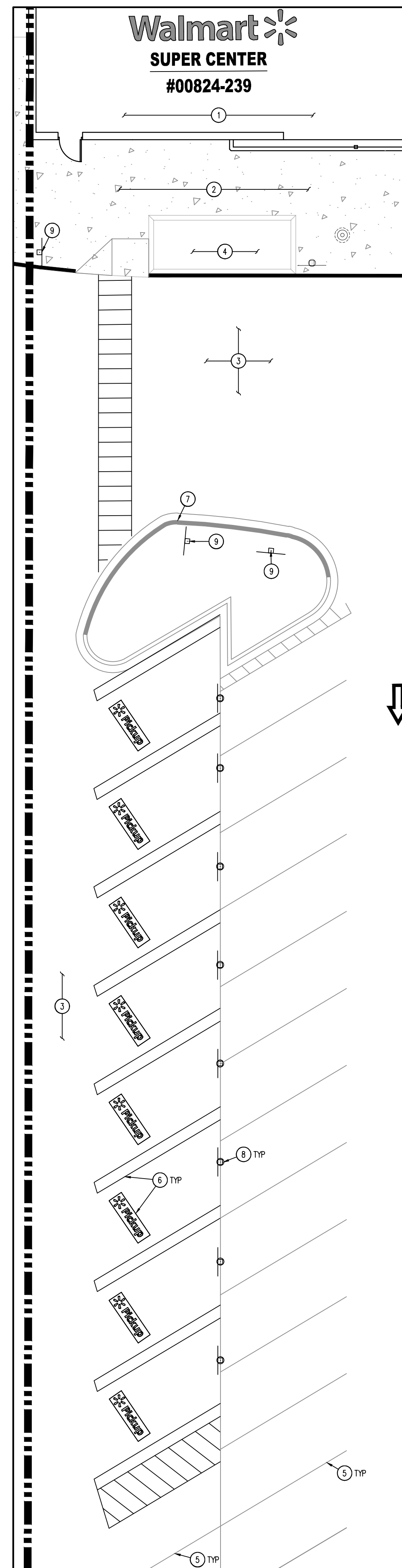
3" = 1'-0"

NOTE: IF PLYWOOD IS NOT EXISTING REMOVE EXISTING SUBSTRATE AND REPLACE WITH EXTERIOR PLYWOOD SHEATHING

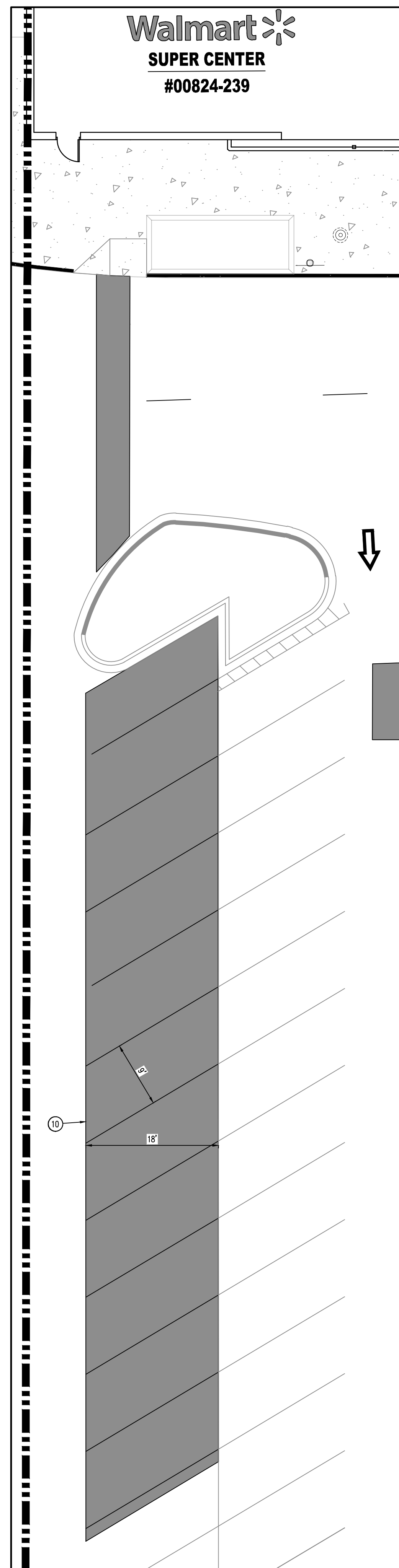


EXTERIOR DETAILS

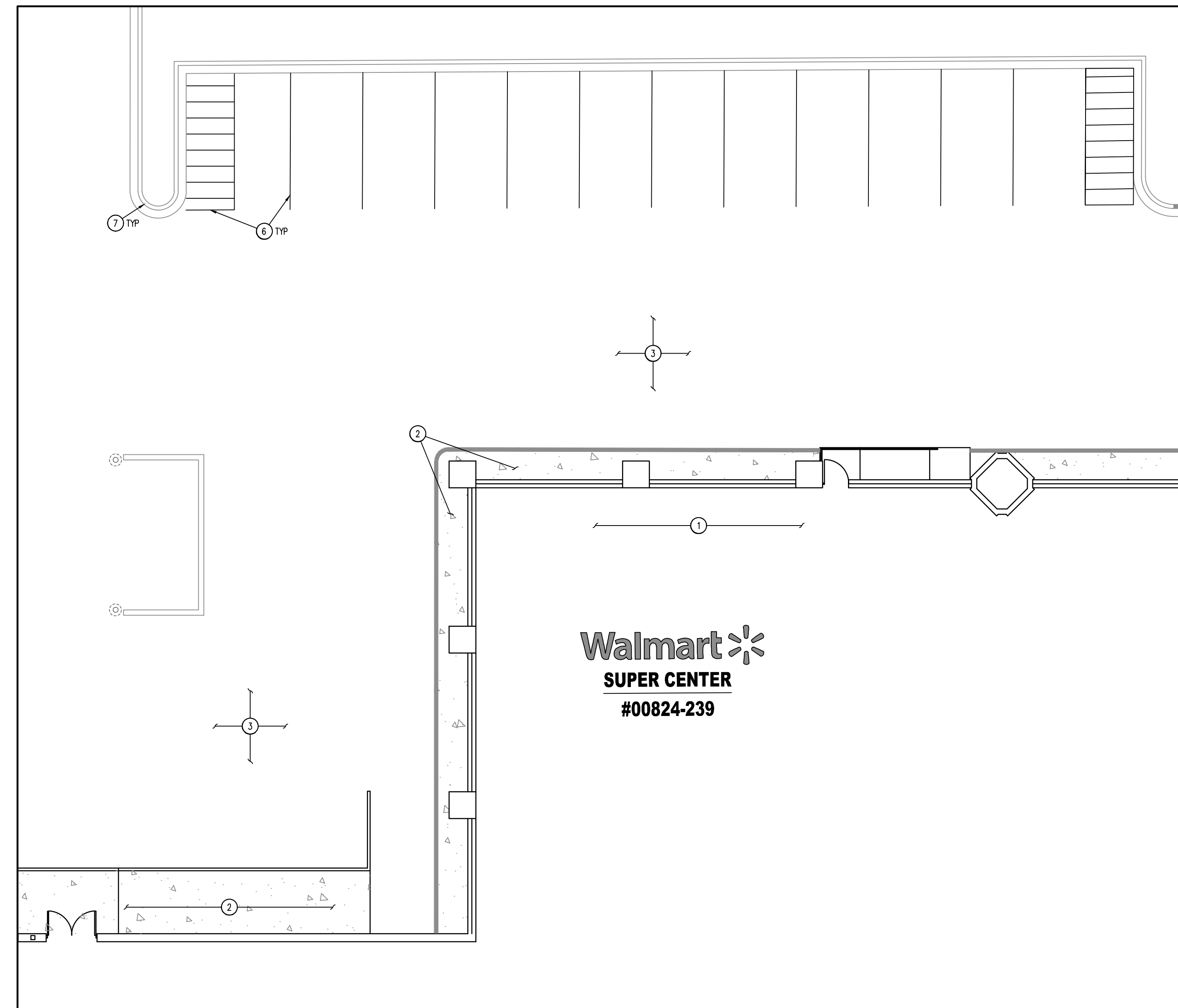
SHEET: A2.1



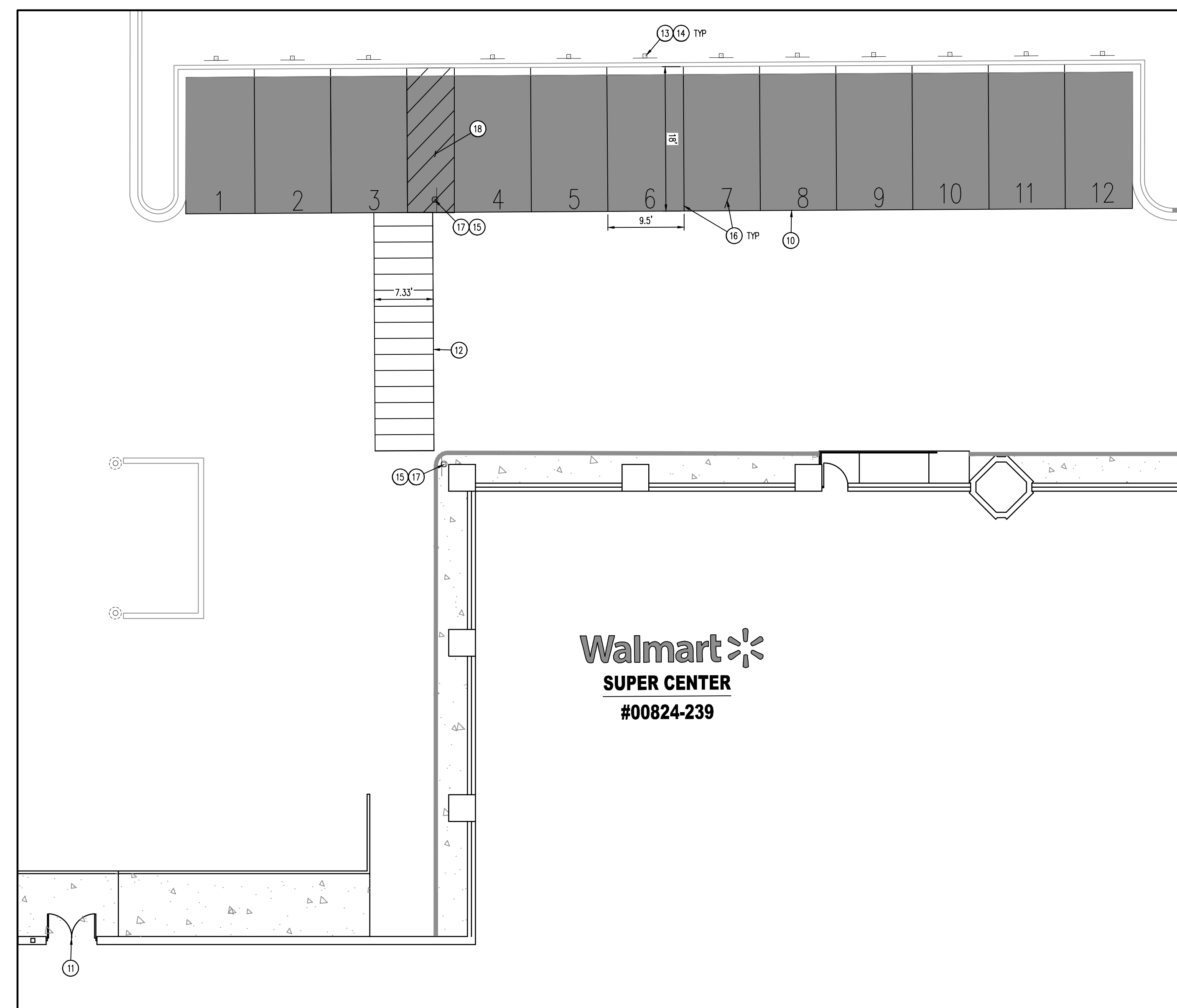
DEMOLITION PLAN – EXISTING PARKING
SCALE: 1"=10'



SITE PLAN – EXISTING PARKING
SCALE: 1"=10'



DEMOLITION PLAN – PROPOSED PARKING
SCALE: 1"=10'



SITE PLAN – PROPOSED PARKING
SCALE: 1"=10'

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, WALLS, WALLS, FLOORS, FOUNDATIONS, PARKING, DRIVES, DAMAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLAN CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGROUNDED TO SATISFACTORY MATERIAL AND BROUGHT TO GRADE WITH SATISFACTORY COMPACTED FILL MATERIAL, PER THE SPECIFICATIONS, PRIOR TO DEMOLITION OCCURRING. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTINGS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
 4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY, PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING EXISTING LOCATIONS OF EXISTING UTILITIES.
 5. ALL EXISTING SIGNS, MARKINGS AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMAIN AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
 6. CONTRACTOR SHALL LIMIT SWEET-OUT & PAYMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS. BUT WHERE NO SWEET-OUT IS REQUIRED ON ANY OF THE SURROUNDING PAYMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
 8. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER'S ENGINEER. GUARANTEE NO LIABILITY FOR ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE UTILITIES ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES WORK. IN THE EVENT, THEREAFTER, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VOLUME OF EXISTING UTILITIES OR STRUCTURES, NOR FOR CONTRACTOR BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SPUR, BRACE, SHORING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AUTHORIZED BY THE CONTRACTOR TO BE THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
 9. THE CONTRACTOR SHALL HAVE AVAILABLE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
 10. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT THE APPROVAL OF THE OWNER'S ENGINEER. IF THE ENGINEER, NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
 11. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, INCLUDING BENCHING, ETC., AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE ORIENTED.
 12. THE OWNER DOES NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND ARE LOCAL AND TEMPORARY. ALL SUCH INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
 13. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN A SMALL AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
 14. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
 15. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VENTILATES, SLOPE PAVING, SIDEWALKS, ETC. PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES SHALL BE REMOVED OR RELOCATED AS REQUIRED. EXISTING UTILITIES SHALL BE REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO: EXISTING UTILITIES, EXISTING SIDEWALKS, EXISTING SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY THE CITY ENGINEER.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".



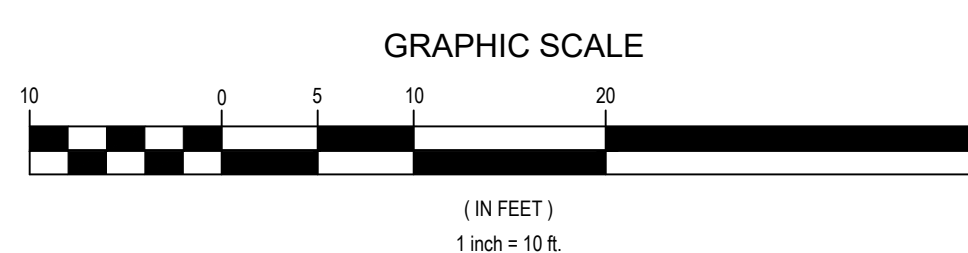
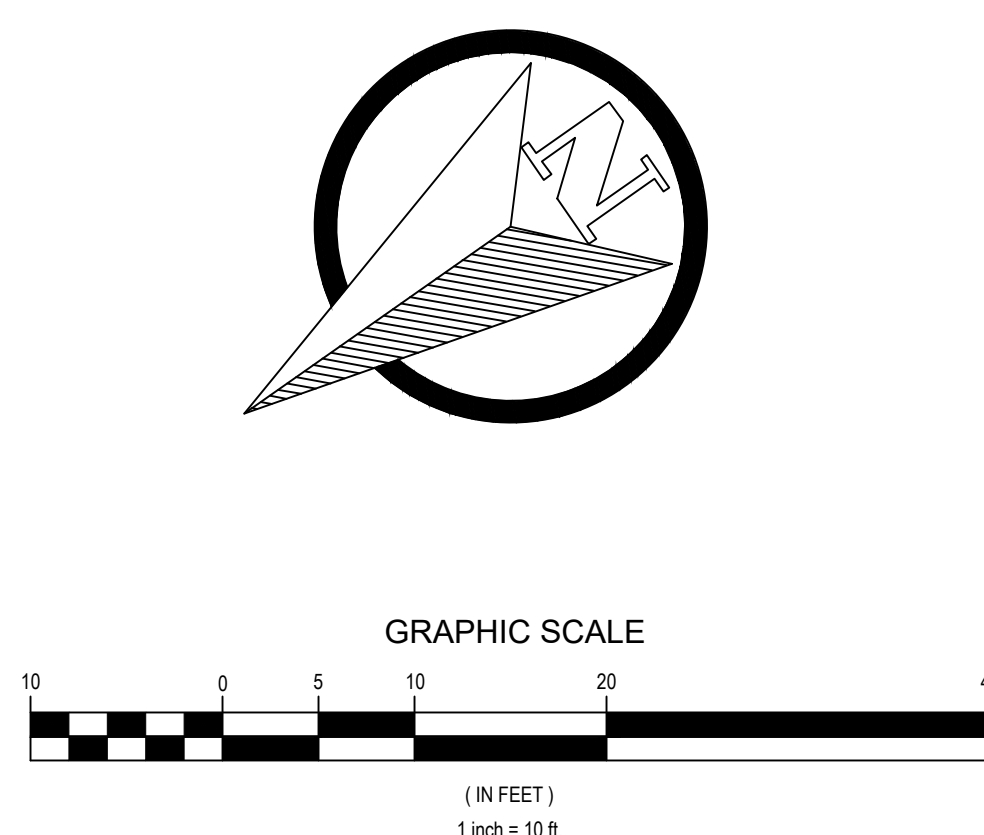
KEY MAP
APPROX. 1" = 200'

LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO REMAIN
	EXISTING CONCRETE PAVEMENT TO REMAIN
	PROPOSED SEAL COAT OF EXISTING PAVEMENT
	EXISTING SIGN TO REMAIN
	EXISTING SIGN TO BE REMOVED
	PROPOSED PICKUP SIGNAGE

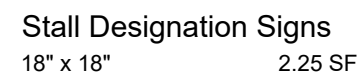
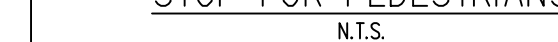
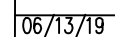
SITE & DEMOLITION SCHEDULE

- 1 EXISTING WALMART BUILDING TO REMAIN.
- 2 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 3 EXISTING ASPHALT PAVEMENT TO REMAIN.
- 4 EXISTING PLANTED BOX TO REMAIN. LANDSCAPING TO BE PROTECTED IN PLACE THROUGHOUT CONSTRUCTION.
- 5 EXISTING PARKING LOT STRIPING TO REMAIN.
- 6 EXISTING PARKING LOT STRIPING TO BE REMOVED.
- 7 EXISTING 4" CURB TO REMAIN.
- 8 EXISTING PICKUP SIGNAGE AND BASE TO BE REMOVED.
- 9 EXISTING PEDESTRIAN SIGNAGE AND BASE TO BE REMOVED.
- 10 PROPOSED SEAL COAT OF EXISTING PAVEMENT.
- 11 PROPOSED PICKUP DOOR (REF. ARCH PLANS).
- 12 PROPOSED ASSOCIATE PATH CROSSWALK STRIPING (REF. SITE DETAILS)
- 13 PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS)
- 14 PROPOSED SIGN MOUNTING WITH BREAKAWAY POST (REF. SITE DETAILS).
- 15 PROPOSED SIGN MOUNTING AND BASE WITH BOLLARDS (REF. SITE DETAILS).
- 16 PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
- 17 PROPOSED R1-SB -- "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS).
- 18 PROPOSED 4" WIDE PAINTED YELLOW STRIPES AT 45' @ 2'-0" O.C.



CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANIES AND FIELD SURVEY EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

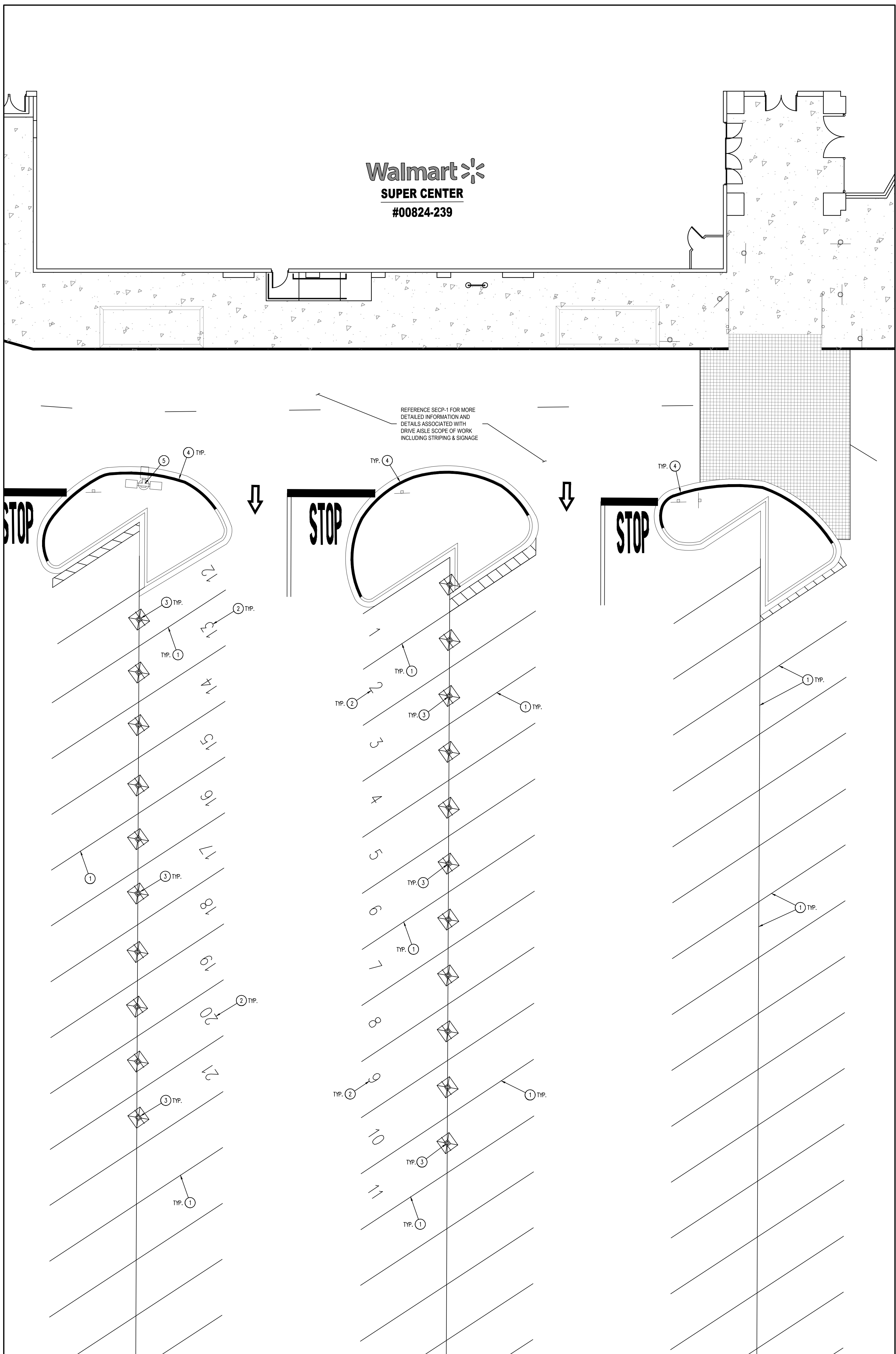


"PICKUP" SIGNAGE

A

B

C



TEMPORARY PICKUP PARKING PLAN
SCALE: 1"=10'

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (ON A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAVS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DEMOLITION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, DOWEL OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (CMPP).
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONFORMANCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPPED PAVING, SIDEWALKS, EXIST PORCHES, BRICK DOORS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".
7. NO ADDITIONAL PEDESTRIAN CROSSINGS ARE PROPOSED WITH THIS TEMPORARY PARKING IMPROVEMENT.

