

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



CASE NUMBER: Z-94-87

I certify that this area is Zoned SU-2 and that this plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on July 21, 1994 and that the findings in the Official Notice have been complied with.

SITE DEVELOPMENT PLAN

Robert W. Kane
Traffic Engineer, Transportation Division
Date: 9-14-94
Carol Schneider-Dumont
Public Works, Water Utilities Division
Date: 8-9-94
Robert W. Kane
Public Works, Water Utilities Division
Date: 8-9-94
Frank J. Gugin
City Engineer, Engineering Division/MAPCA
Date: 10-5-94
Joel Chavis
Planning Department
Date: 10-12-94

KEYED NOTES

- EXISTING PARKING SPACES
- EXISTING CURBS AND PAVING
- MAINTAIN EXISTING DRAINAGE OUTLETS
- ASPHALT PAVING, REF. E/A1.1
- CURB, REF. G/TCL
- SIDEWALK, REF. B/TCL
- EXISTING LANDSCAPE AREA UNCHANGED
- NEW LANDSCAPE AREA
- EXISTING SITE LIGHTING
- RAMP, SLOPE 1:12 MAX. PER ANSI 405.2; REF. C/TCL
- ADA COMPLIANT PARKING SIGNAGE PER ANSI 502.8; REF. D/TCL
- MOTORCYCLE SIGNAGE, REF. E/TCL
- PAINTED SYMBOL PER ANSI 703.7
- ACCESSIBLE WALKWAY PER ANSI 502.3
- PATCH PAVING @ CONNECTION; FIELD VERIFY
- EXISTING LOCKED GATE
- PREVIEW MENU PYLON
- MENU PYLON
- SPEAKER / ORDER PYLON
- MAX HEIGHT PYLON
- EXISTING DUMPSTER ENCLOSURE
- SIGNAGE "DO NOT ENTER" REF. F/A1.1
- STRIPES THIS AREA FOR SOLID WASTE VEHICLE
- EXISTING FIRE HYDRANT
- EXISTING BUILDING FOOTPRINT
- BIKE RACK, REF. A/TCL
- DEMOT EXISTING BUILDING AT HIDDEN
- PAINTED LETTERS 18" HIGH READS "ONE WAY DO NOT ENTER"
- PAINTED DIRECTIONAL ARROWS; 10' LONG OR COMPARABLE PATTERN
- BIKE RACK LOCATION
- SIDEWALK TO BE BUILT TO MMDOT STANDARDS AND PER MMDOT PERMIT
- EXISTING DRAINAGE WAY TO REMAIN; FIELD VERIFY LOCATION

SIDEWALK JOINT

N.T.S.

INTERSTATE ROAD 25
PAN AMERICAN FREEWAY

ALAMEDA BLVD. NE
R.O.W. VARIES

SAN PEDRO BLVD. NE
R.O.W. 77'-0"

ALAMEDA CENTER NORTH
DESIGN GUIDELINES

WALLS: STUCCO - LIGHT SALMON/TAN
METAL FASCIA PANELS - SILVER GREY
METAL COLUMNS - SILVER GREY
ROOFING: ROOF FORMS AND MATERIALS -
PITCHED STANDING SEAM METAL ROOF (SILVER GREY)
FLAT ROOF WITH METAL FASCIA PANELS
GLAZING: BLUE/GREEN GLAZING IN SILVER GREY FRAMES
SIGNAGE: ILLUMINATED CHANNEL LETTERING AND CANEED
LOGO SIGNS WITH 25' MAXIMUM SIZE

general notes

contractor to coordinate architectural signs with structural, plumbing, mechanical and electrical plans for routing, blockouts, studs, blocking for equipment, etc.
If any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings
the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents
contractor to verify all dimensions prior to construction
contractor to verify all existing on site conditions prior to construct

site plan

revisions:

architect

engineer

job no: 9414

date: 8-2-94

sheet: DRBA.1 of 3

DCSW.
architects

design

collaborative

southwest inc.

105 4th st. sw.

albuquerque, nm.

87102

505-843-9639

Z-94-87

Site Plan

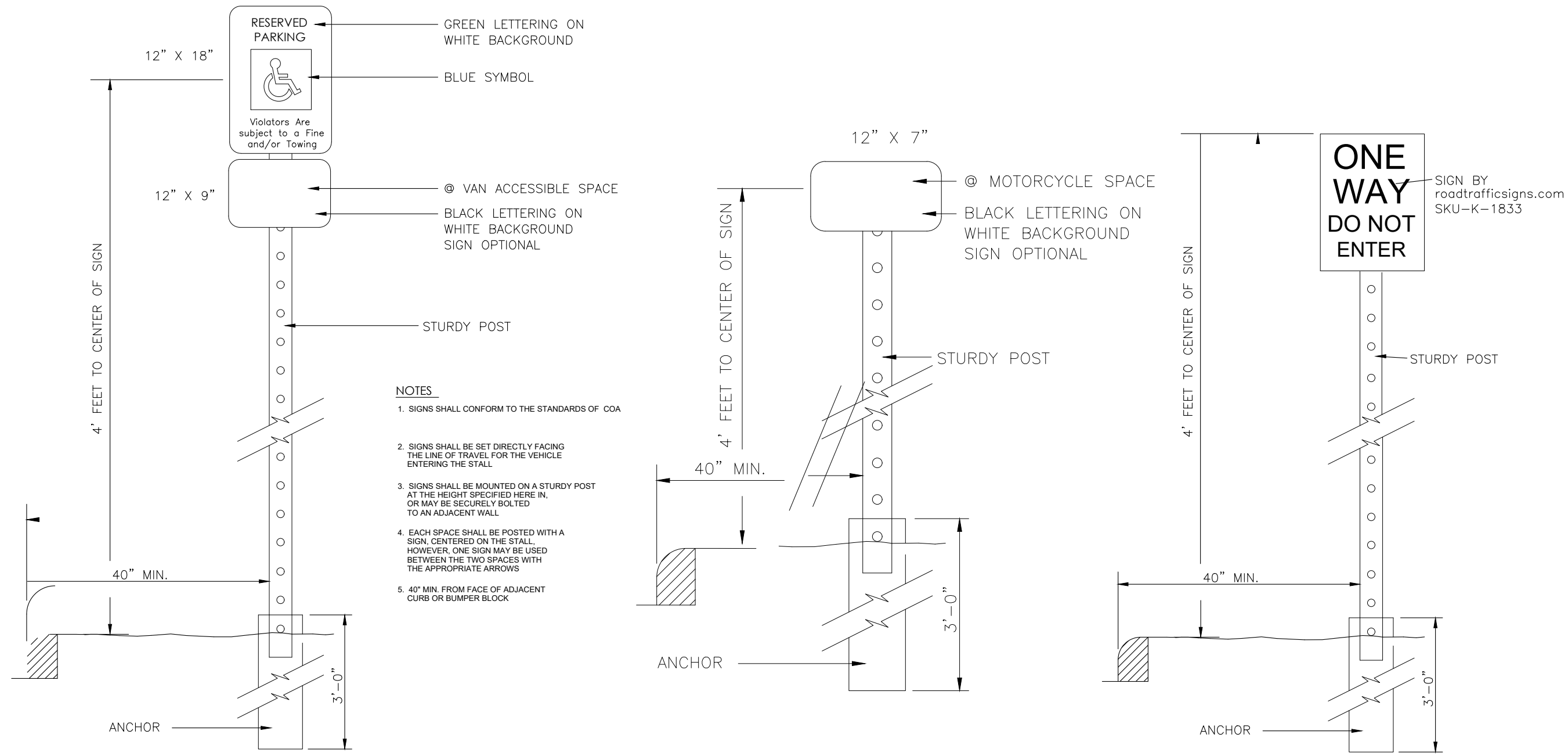
Scale: 1"=30'-0"

LAND USE DATA

LEGAL DESCRIPTION: LOTS 12,13,14,15,16,20,21,&22, BLOCK 12, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES SUB-DIVISION
PROPOSED USE: RESTAURANT, MOTEL, AND GAS STATION
BUILDING SQ. FOOTAGE:
RESTAURANT: 4,400 SF
MOTEL: 30,649 SF
GAS STATION: 1,602 SF + 6 PUMPS
TOTAL ALL BUILDINGS: 36,624 SF
PHASE I
TOTAL LAND AREA: 154,211 SF (3.54 ACRES)
TOTAL PARKING LOT AREA: 72,698 SF
TOTAL LANDSCAPE AREA: 65,220 SF (INCL'G SIDEWALKS)
TOTAL LANDSCAPE PERCENTAGE: 42%
PHASE II
TOTAL LAND AREA (FUTURE DEV'T): 71,376 SF (1.64 ACRES)

PARKING CALCULATIONS

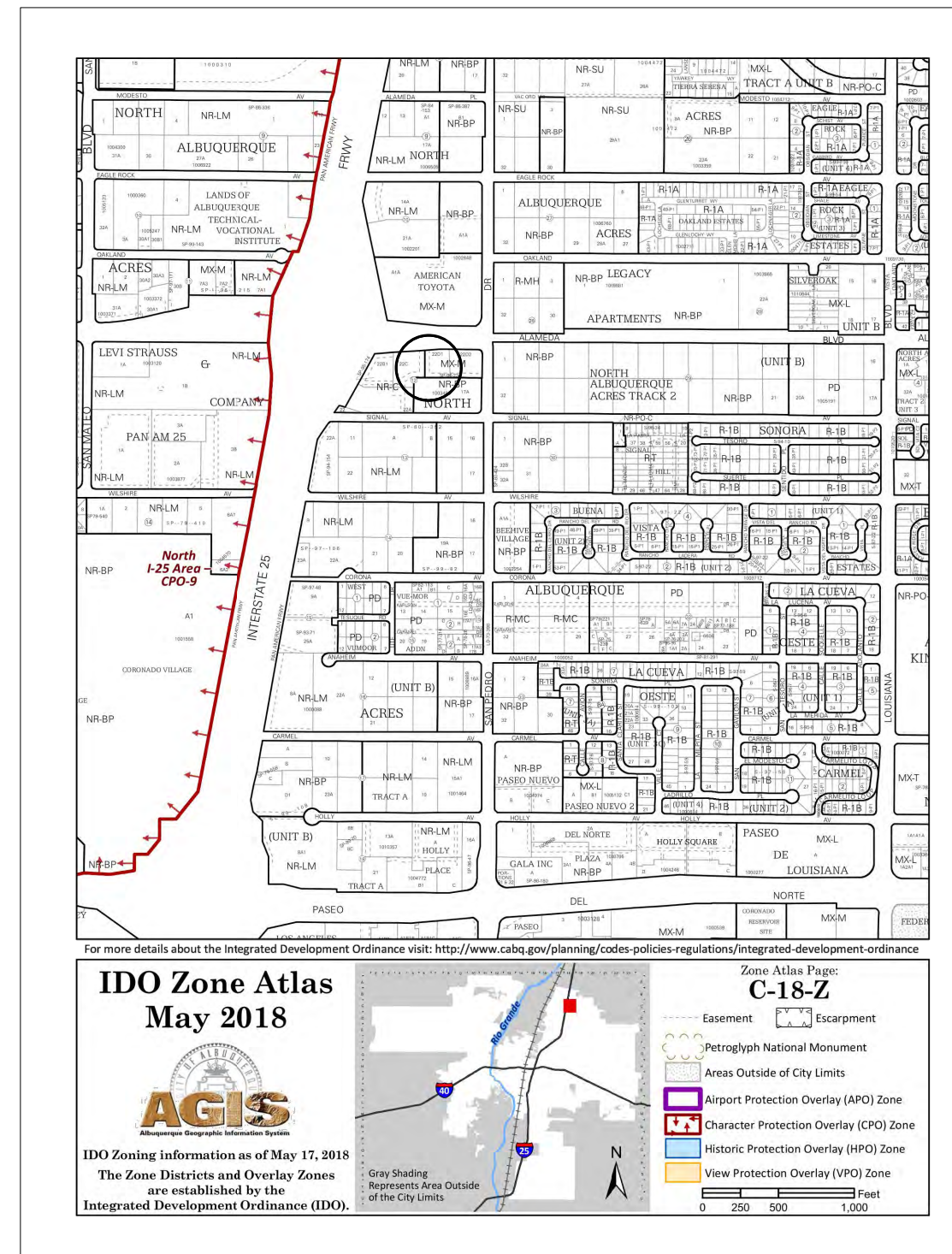
RESTAURANT : 1 CAR/4 SEATS, 1 CAR/200 SF: 25+10=35
MOTEL : 1 CAR/1 RENTAL UNIT : 69
GAS STATION : 1 CAR/200 SF : 8
TOTAL PARKING REQUIRED : 112
TOTAL PARKING PROVIDED :
STANDARD STALL (9'x20') 104
HANDICAP PARKING (13'x20') 10
H.C. VAN PARKING (16'x20') 1
TOTAL : 115
ZONING : SU-2 FOR AUTO SALES
PROPOSED : SU-2 FOR MOTEL, SERVICE STATION, AND RESTAURANT AS CONTROLLED BY THE SHOPPING CENTER REGULATIONS
LIGHTING (1/2) : PARKING LOT AREA - 1.5 F.C. MIN. LIGHT POLE 25' HEIGHT MAX.



D
TCL
H.C. SIGNAGE
N.T.S.

E
TCL
MOTORCYCLE
1" = 1'-0"

F
TCL
DO NOT ENTER SIGN
N.T.S.



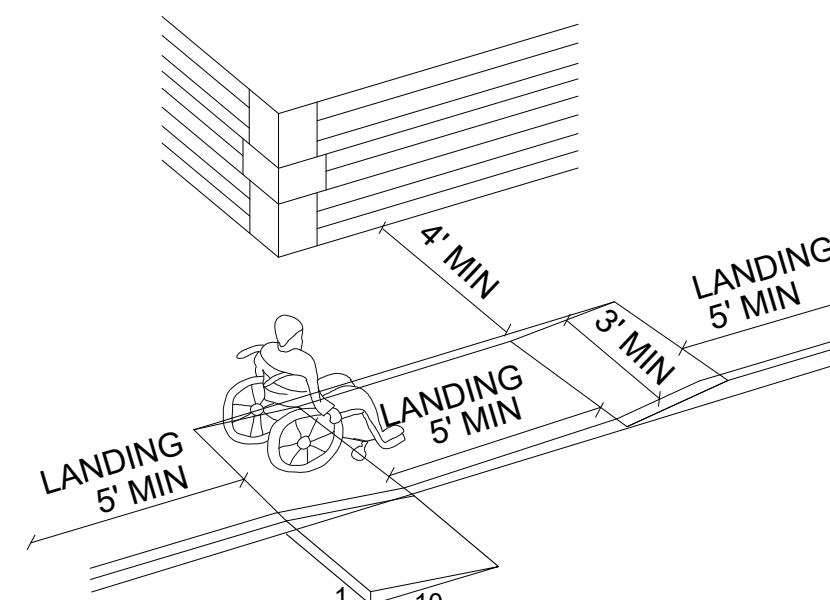
VICINITY MAP

SCOPE STATEMENT

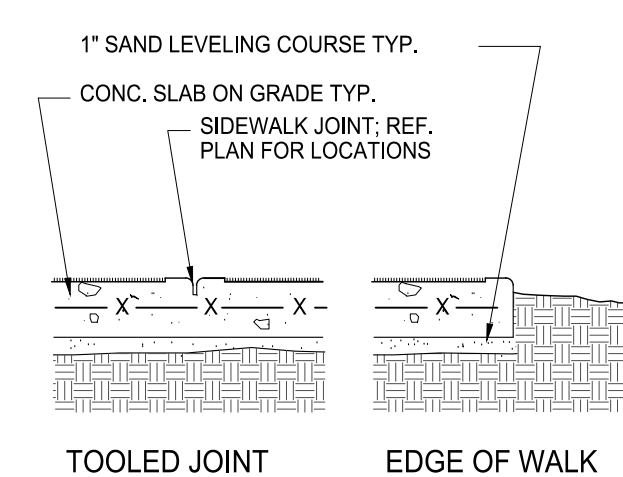
THIS PROJECT IS A CHANGE IN DRIVE-THRU CONFIGURATION FROM A SINGLE TO A DOUBLE DRIVE-THRU; THE PARKING LOT, LANDSCAPE, ACCESS, FIRE ACCESS, FIRE HYDRANT, AND DUMPSTER DOES NOT CHANGE WITH THIS PROJECT

KEYED NOTES

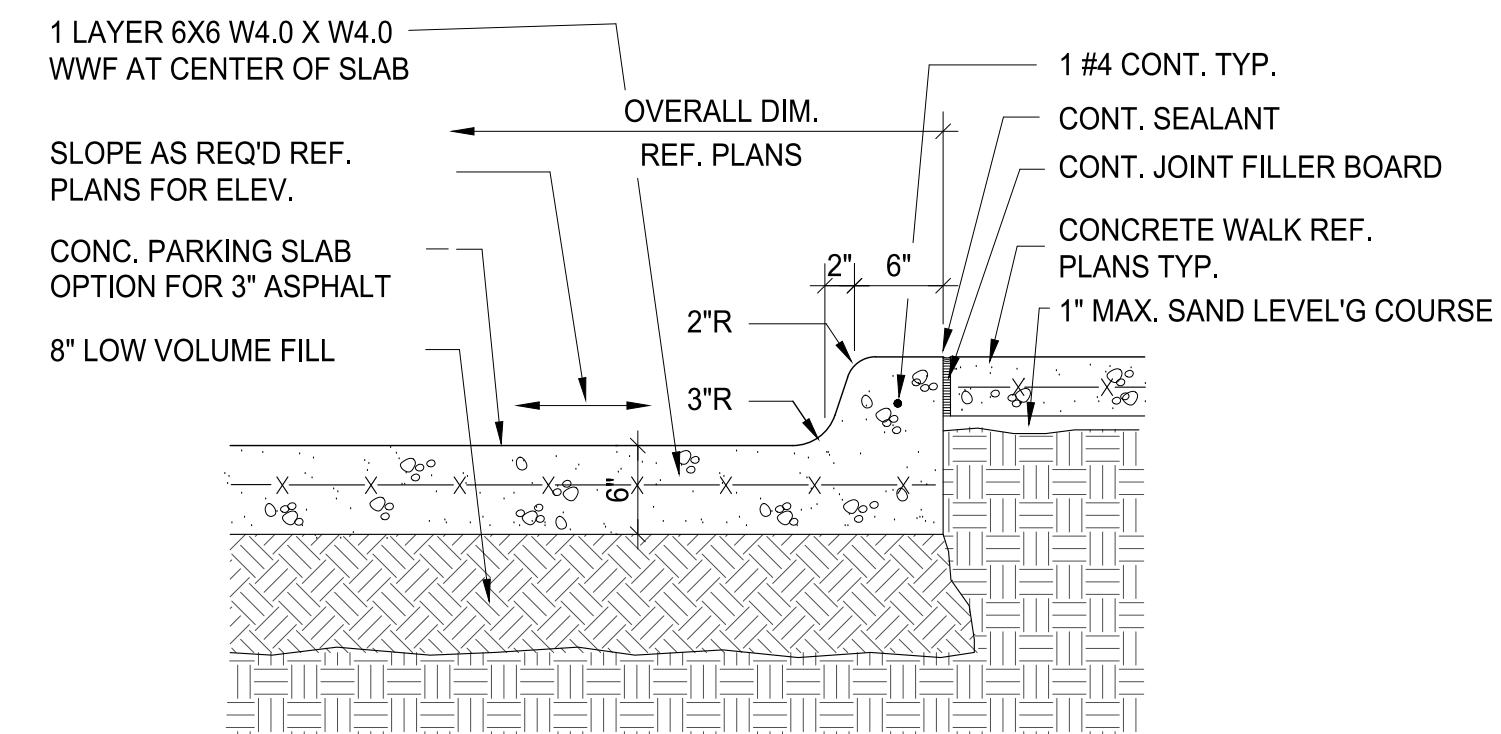
- EXISTING PARKING SPACES
- EXISTING CURB AND PAVING
- MAINTAIN EXISTING DRAINAGE OUTLETS
- ASPHALT PAVING; REF. E/A1.1
- CURB; REF. G/ TCL
- SIDEWALK; REF. B/ TCL
- EXISTING LANDSCAPE AREA UNCHANGED
- NEW LANDSCAPE AREA.
- EXISTING SITE LIGHTING.
- RAMP SLOPE 1:12 MAX. PER ANSI 405.2; REF. C/ TCL
- ADA COMPLIANT PARKING SIGNAGE PER ANSI 502.6; REF. D/ TCL
- MOTORCYCLE SIGNAGE; REF. E/ TCL.
- PAINTED SYMBOL PER ANSI 703.7
- ACCESSIBLE AISLE PER ANSI 502.3
- PATCH PAVING @ CONNECTION; FIELD VERIFY
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- MAX HEIGHT PYLON
- EXISTING DUMPSTER ENCLOSURE
- SIGNAGE "DO NOT ENTER" REF. F/A1.1.
- STRIPE THIS AREA FOR SOLID WASTE VEHICLE.
- EXISTING FIRE HYDRANT.
- EXISTING BUILDING FOOTPRINT.
- BIKE RACK; REF. A/ TCL
- DEM'D EXISTING BUILDING AT HIDDEN



C
TCL
RAMP STANDARDS
N.T.S.



B
TCL
SIDEWALK JOINT
N.T.S.



G
TCL
PAVING / CURB DETAIL
N.T.S.

LEGAL DESCRIPTION

LOT 22B1, BLOCK 12
N ABQ ACRES TR A UNIT B
ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

SITE DATA

ZONING: NR-C
ZONE ATLAS: C18
SITE SIZE: 40,455 SQ. FT. (.930 AC.)
BUILDING SIZE / % OF SITE: 2,483 SQ. FT. / 6.13%

PARKING CALCULATIONS

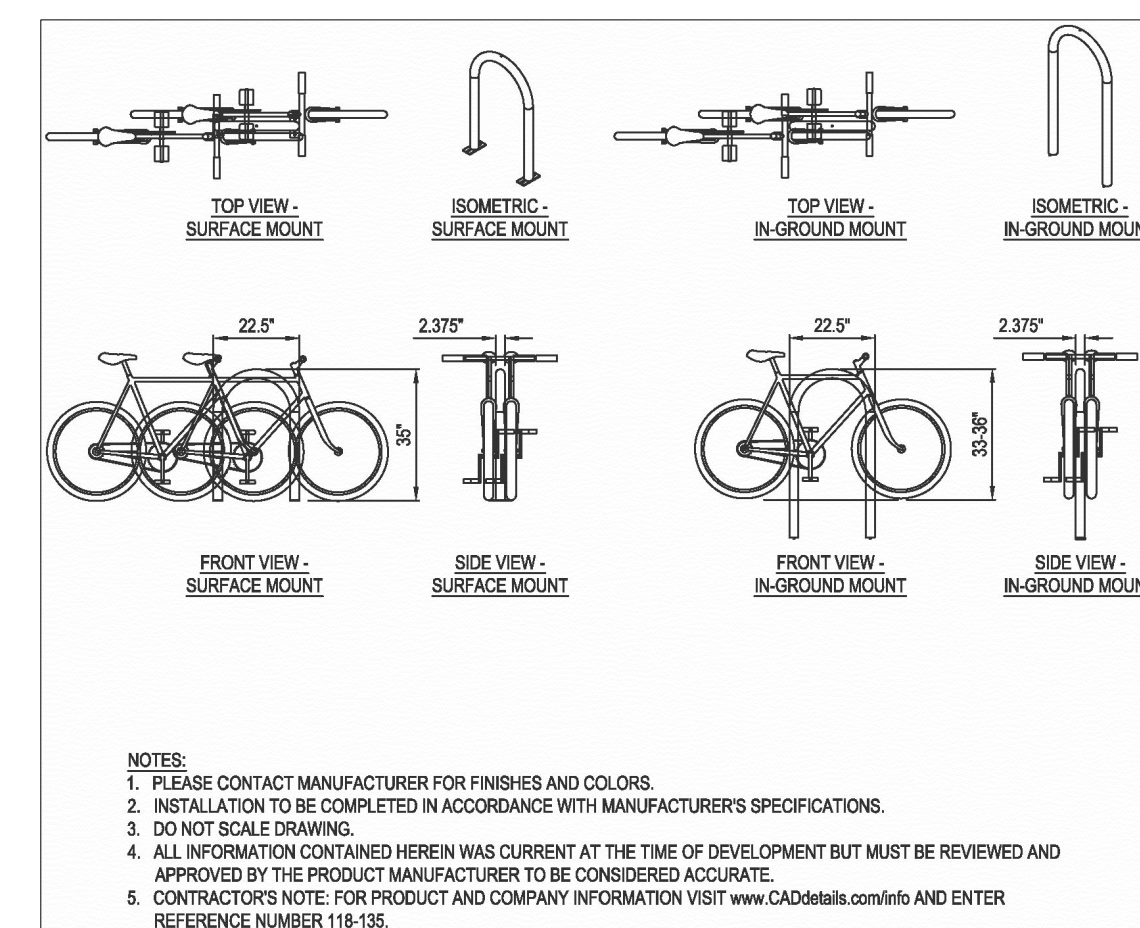
EXISTING AND NEW BUILDING

BUILDING AREA: 2,483 S.F.
NUMBER OF SEATS: 42

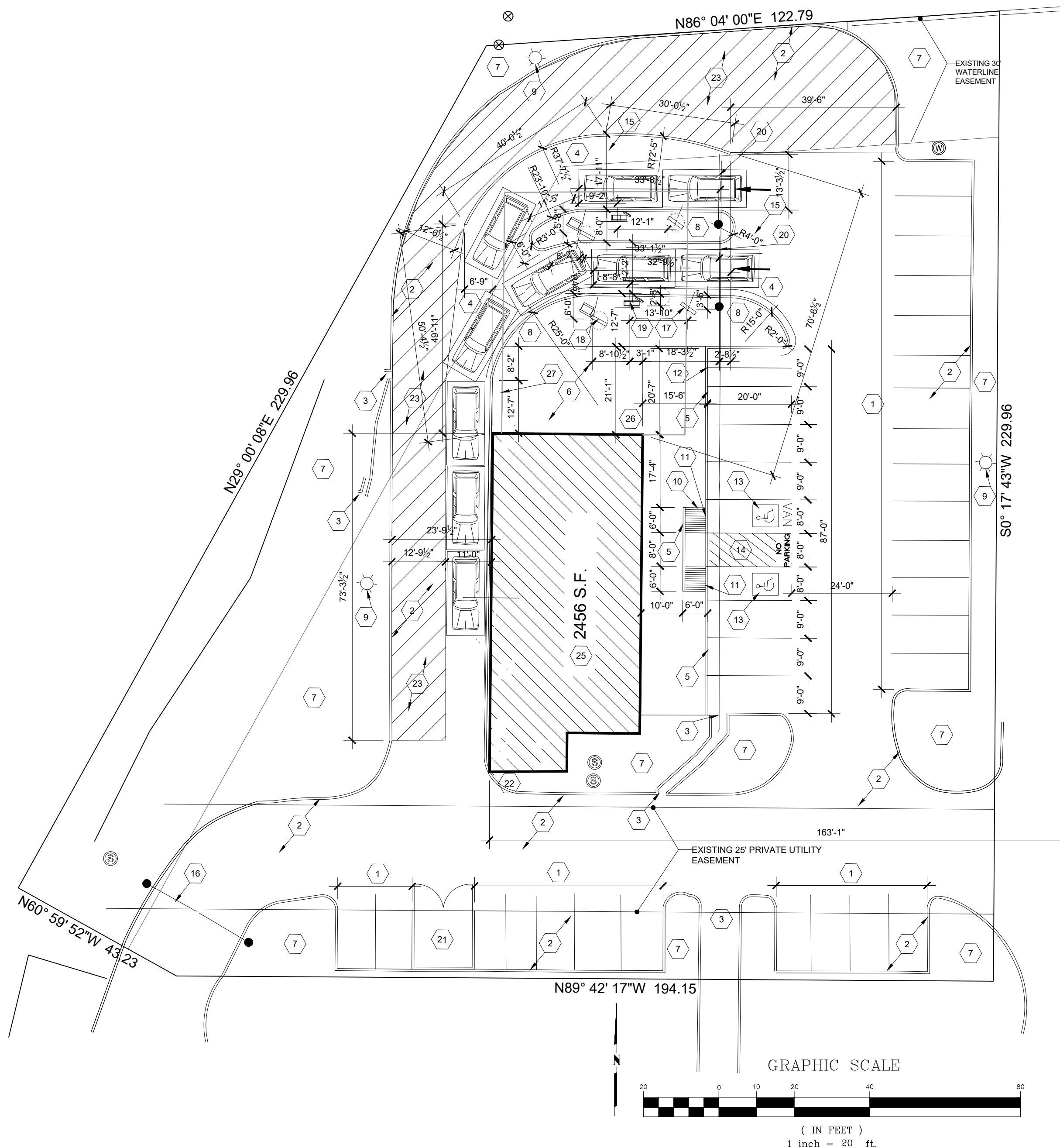
PARKING CALCULATIONS:
8 SPACES / 1000 S.F. = 19 PARKING SPACES

TOTAL STANDARD PARKING PROVIDED = 31 SPACES
TOTAL H.C. PARKING REQUIRED = 2 SPACE
TOTAL H.C. PARKING PROVIDED = 2 SPACE
TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACE
TOTAL PARKING PROVIDED = 34 SPACES

1 BICYCLE RACK PER 20 REQUIRED PARKING SPACES
BIKE SPACES REQUIRED = 1 RACK
BIKE SPACES PROVIDED = 1 RACK



A
TCL
BIKE RACK
N.T.S.

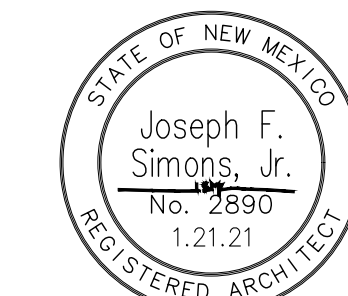
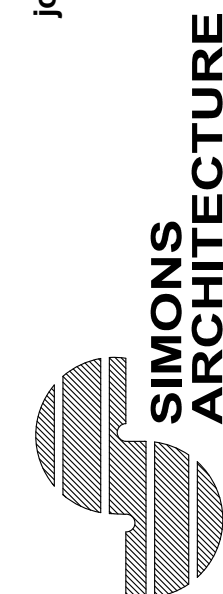


PROJECT # : J05-067
DATE: _____
CHECKED BY: _____
REVISION: _____
DRAWN BY: _____
NO: _____



BURGER KING CORP./FRANCHISEE

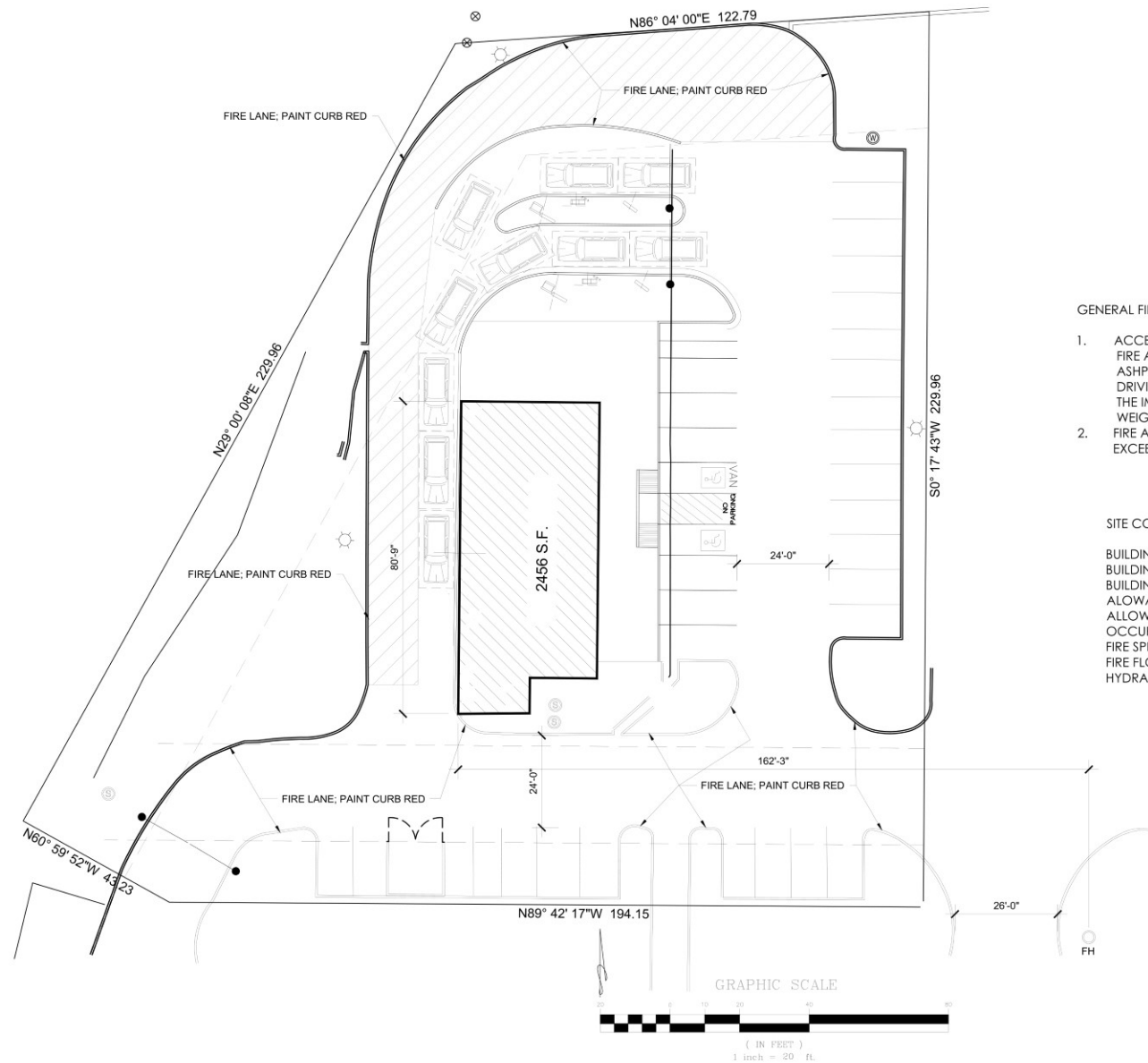
Joseph F. Simons, Jr., AIA
nm lic 002890
p.o. box 67408
albuquerque, nm 87113
ph 505.480.4796
joe@simonsarchitecture.com



BURGER KING RESTAURANT
5970 ALAMEDA, NE
ALBUQUERQUE, NM 87113

A1.1

TRAFFIC CONTROL LAYOUT



GENERAL FIRE1 NOTES:

1. ACCESS AND LOADING: AN APPROVED FIRE APPARATUS ACCESS ROAD SHALL AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OR FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10% IN GRADE.

SITE CODE DATA:

BUILDING CLASSIFICATION -	A-2
BUILDING AREA -	2,456 SF
BUILDING CONSTRUCTION TYPE -	2B
ALLOWABLE AREA -	6,000 S.F.
ALLOWABLE NUMBER OF STORIES -	2
OCCUPANT LOAD -	56 OCCUPANTS
FIRE SPRINKLING	NONE
FIRE FLOW (IFC 2015 APPENDIX B)	1500 gpm
HYDRANTS (IFC 2015 APPENDIX C)	1 HYDRANT, 500' SPACING 250' FROM ROAD FRONTAGE TO HYDRANT



BURGER KING CORP./FRANCHISEE

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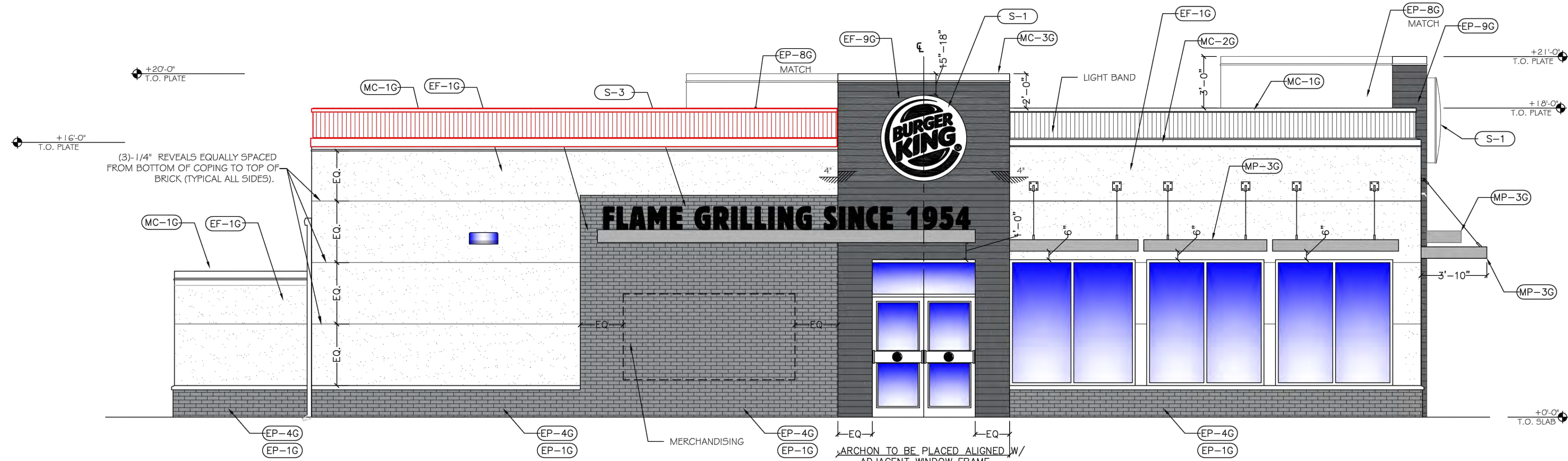
PROJECT #: J05-067
BURGER KING RESTAURANT
5970 ALAMEDA, NE
ALBUQUERQUE, NM 87113

FIRE1

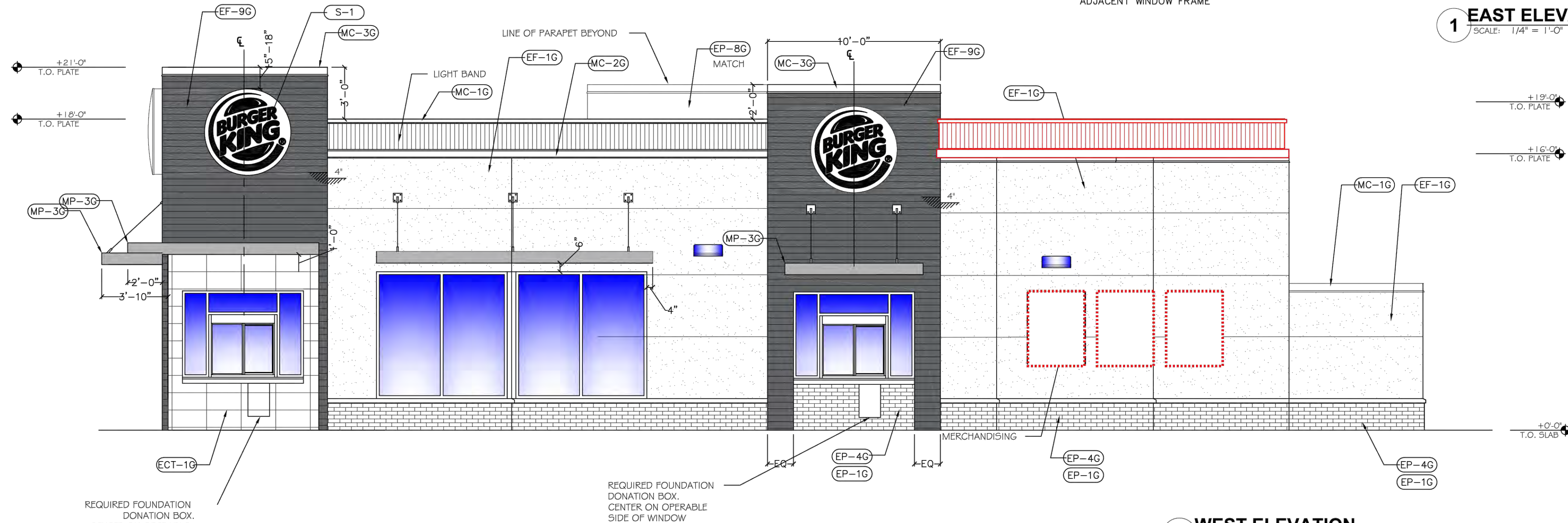
DRAWN BY:	NO.	DATE	CHECKED BY:	NO.	DATE	REVISION	DATE

-ARCHITECT AND DECOR VENDOR TO COORDINATE LOCATION OF THE MAIN DECOR WALL ELEMENTS OF CURRENT APPROVED IMAGE. (IF REQUIRED TO INFILL WINDOWS TO ACCOMMODATE DECOR WALL ELEMENTS, CONSIDER ORIENTATION OF THE BUILDING.)
-GARDEN GRILL: ART COLLAGE WALL
-PRIME: WHOPPER WALL AND HOTW SIGN
-ALL FACADE WALLS MUST BE THE SAME HEIGHT
-INSTALL LIGHTBAND THROUGHOUT THE BUILDING
-INSTALL RACING STRIPES IN DT AND REAR ELEVATIONS (SEE BKOT STANDARDS)
-INSTALL NICHIA WHERE VISIBLE AT ALL TOWERS
-GUTTERS AND LADDERS TO BE RELOCATED

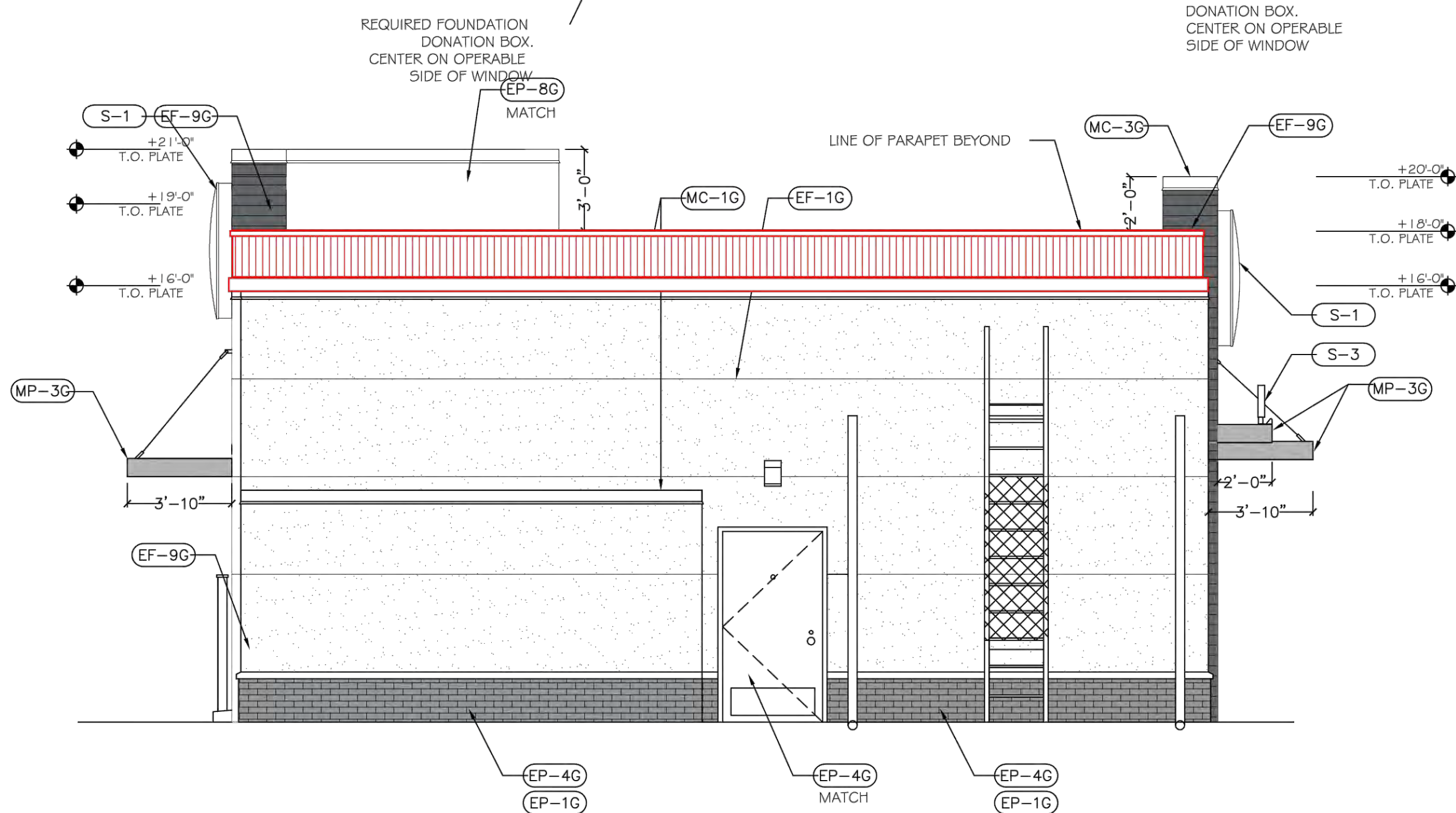
RECOMMENDED PER BKOT:
-ALL ARCHONS TO BE 24'-0" TALL
-LIGHTBAND TO BE SET AT 22'-0" HEIGHT
-ALL CANOPIES SET AT 18" ABOVE WINDOWS
-ADD RACING STRIPES IN DT AND REAR ELEVATIONS (SEE BKOT STANDARDS)
-ALL FACADE WALLS MUST BE THE SAME HEIGHT



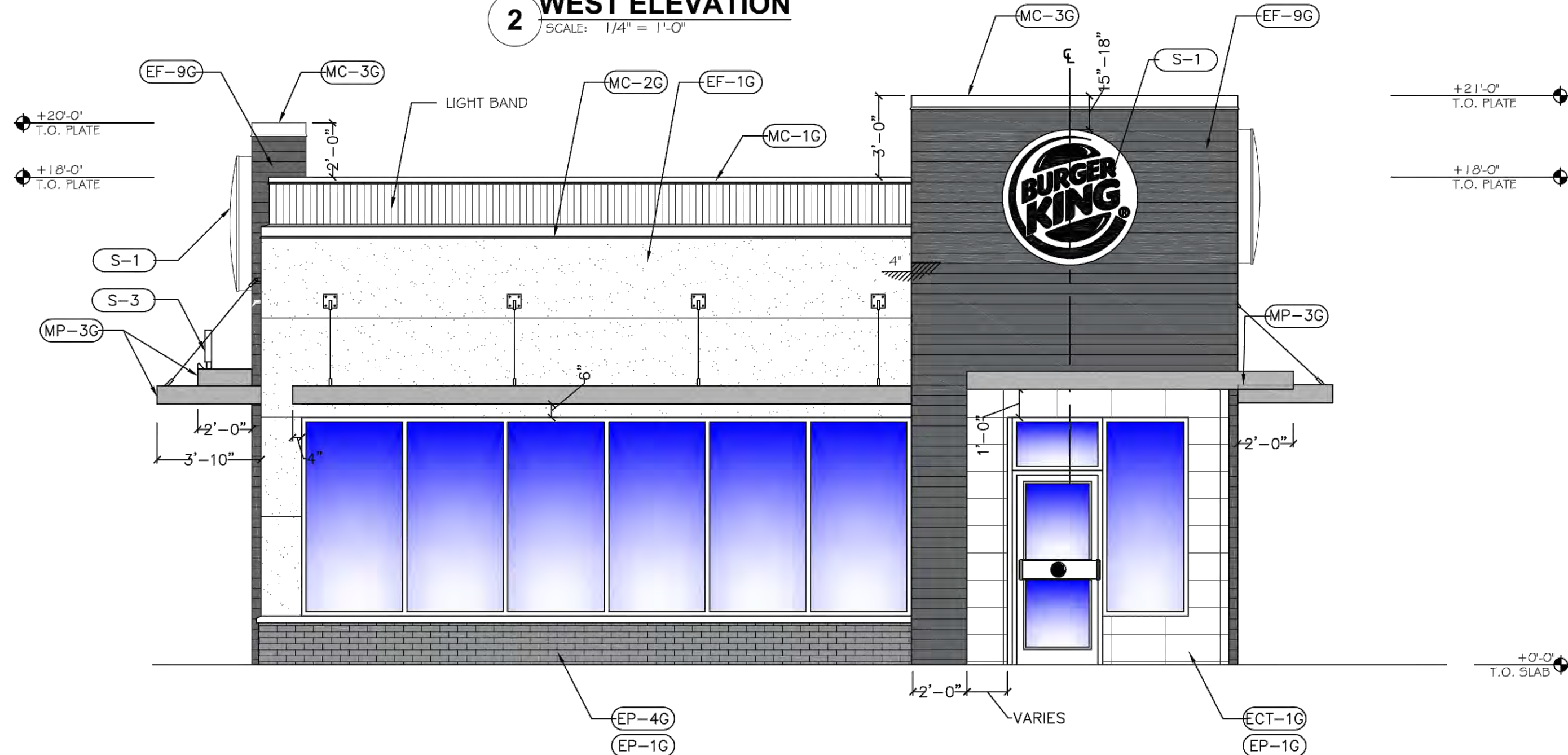
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



NO.	DATE	REVISION
1		

BURGER KING
CORPORATION
© 1996, Borden Rink Corporation

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abq, n.m. 871-7408
ph. 505-480-7796
joe@simonsarchitecture.com

SIMONS
ARCHITECTURE

ROC-40
5790 CALLE ALAMEDA, NE
ALBUQUERQUE, NM 87113

ELEVATIONS

A-2

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 24, 2021

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: Burger King - Alameda
5970 Alameda Ave. NE
Grading and Drainage Plan
Engineer's Stamp Date: 05/10/21
Hydrology File: C18D022A**

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 05/10/2021, the Grading and Drainage Plans are approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

Also, the Payment-in-Lieu of \$ **248.00** must be paid prior to Hydrology's Permanent Release of Occupancy approval. Please follow the instructions:

Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Shannon Cordero (sdcordova@cabq.gov). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment. This will insure that Hydrology will be able to process Permanent Release of Occupancy approval when officially submitted.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

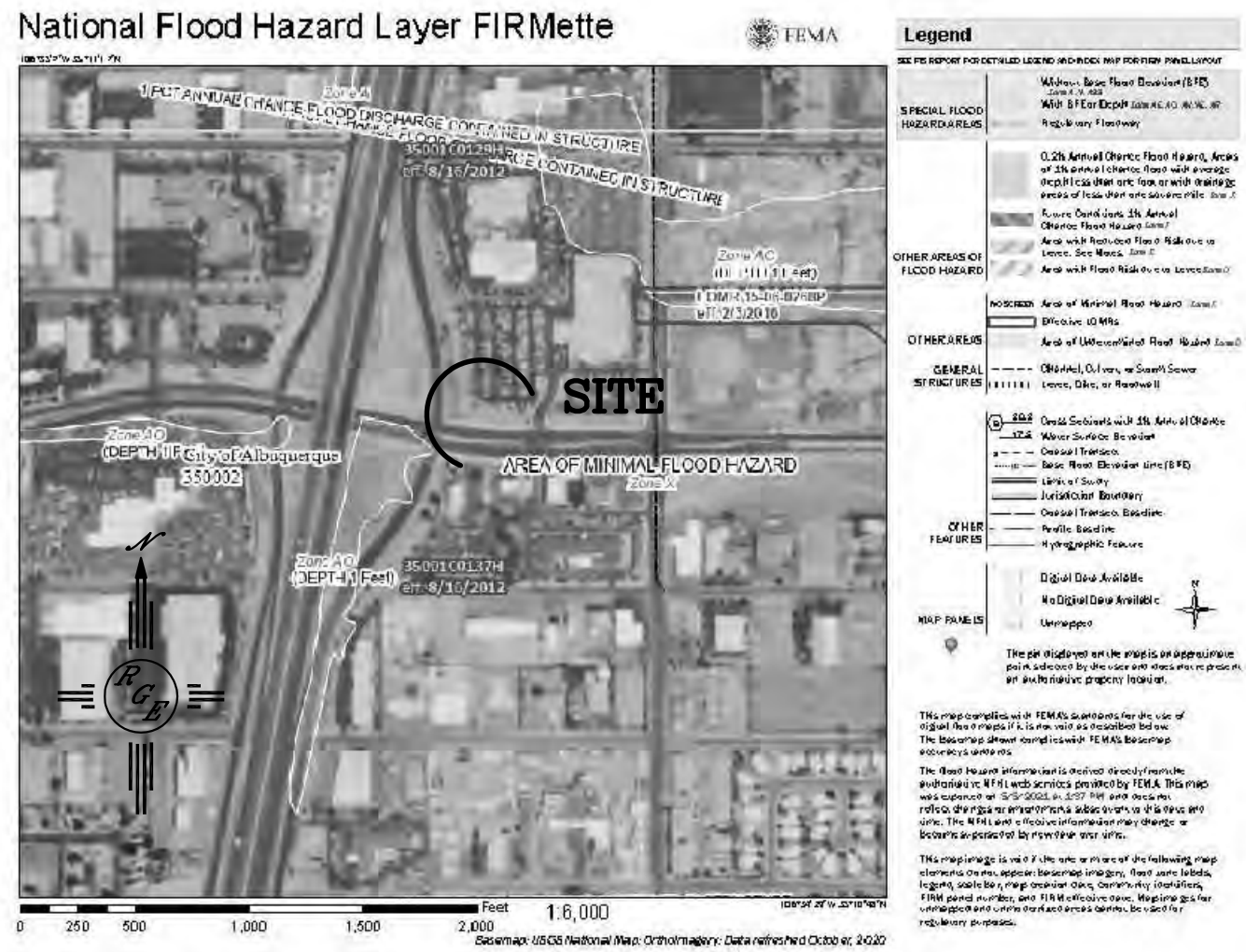
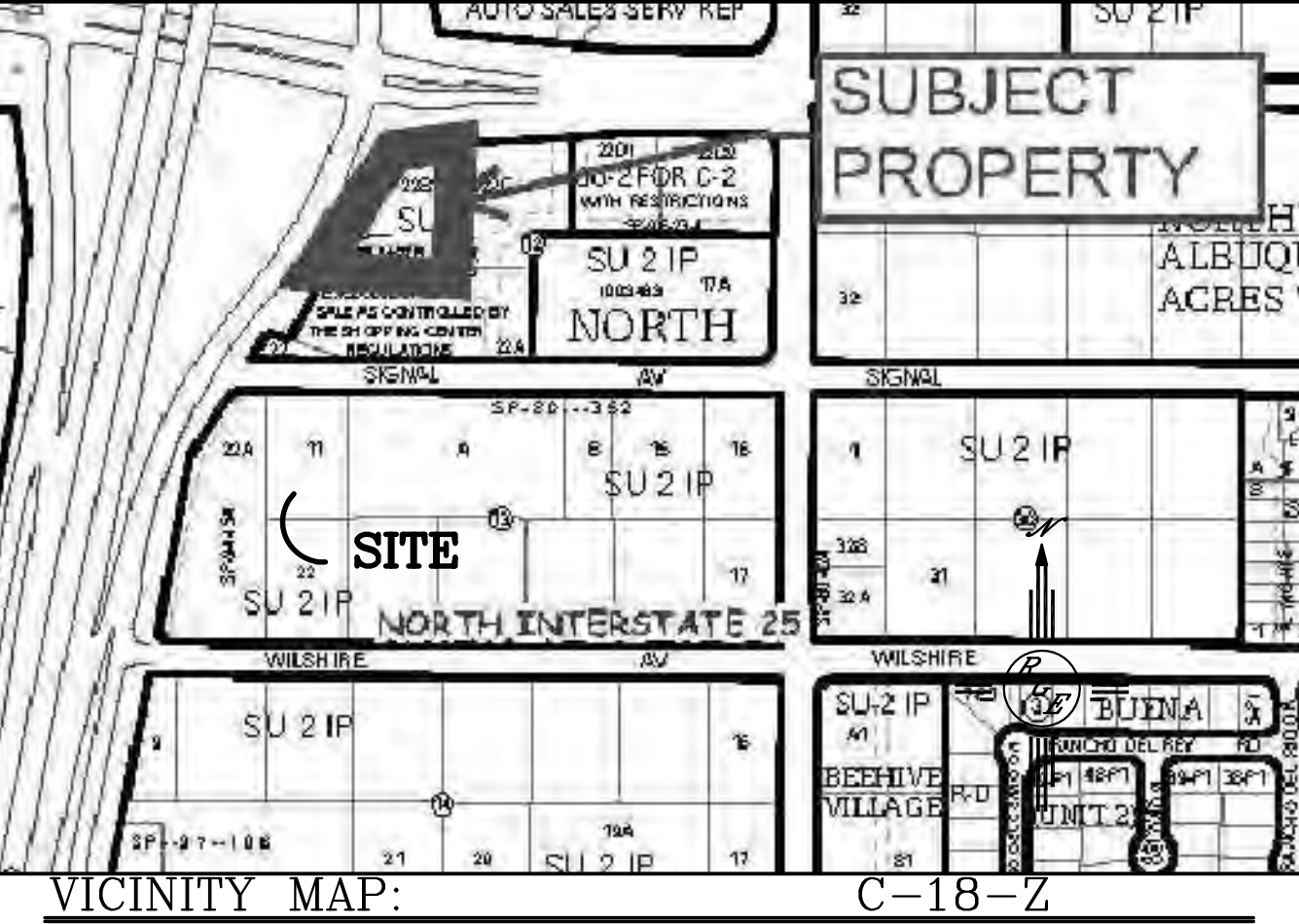
www.cabq.gov

DRAINAGE NARRATIVE

THIS SITE IS A FULLY DEVELOPED SITE THAT FREE DISCHARGES TO AND EXISTING RUNDOWN. THE AREA OF IMPROVEMENTS IS 100% IMPERVIOUS, THE REMOVAL OF BUILDING CONTAINING PLAY STRUCTURE AND ADDITION OF CURBS FOR DUEL DRIVE THROUGH LANE DOES NOT INCREASE OR CHANGE HISTORICAL FLOW OR PATTERNS. NO HYDRAULIC IMPACT DUE TO MODIFICATIONS PROPOSED WITH THIS REDEVELOPMENT. FIRST FLUSH IMPACT- 1417 SQUARE FEET OF REPURPOSED IMPERVIOUS AREA GENERATES 1417*.26/12=31 CUBIC FEET WATER QUALITY VOLUME REQUIRE DEVELOPER ELECTS TO PAY A FEE IN LIEU OF 31*8=\$248

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



FIRM MAP:

LEGAL DESCRIPTION:

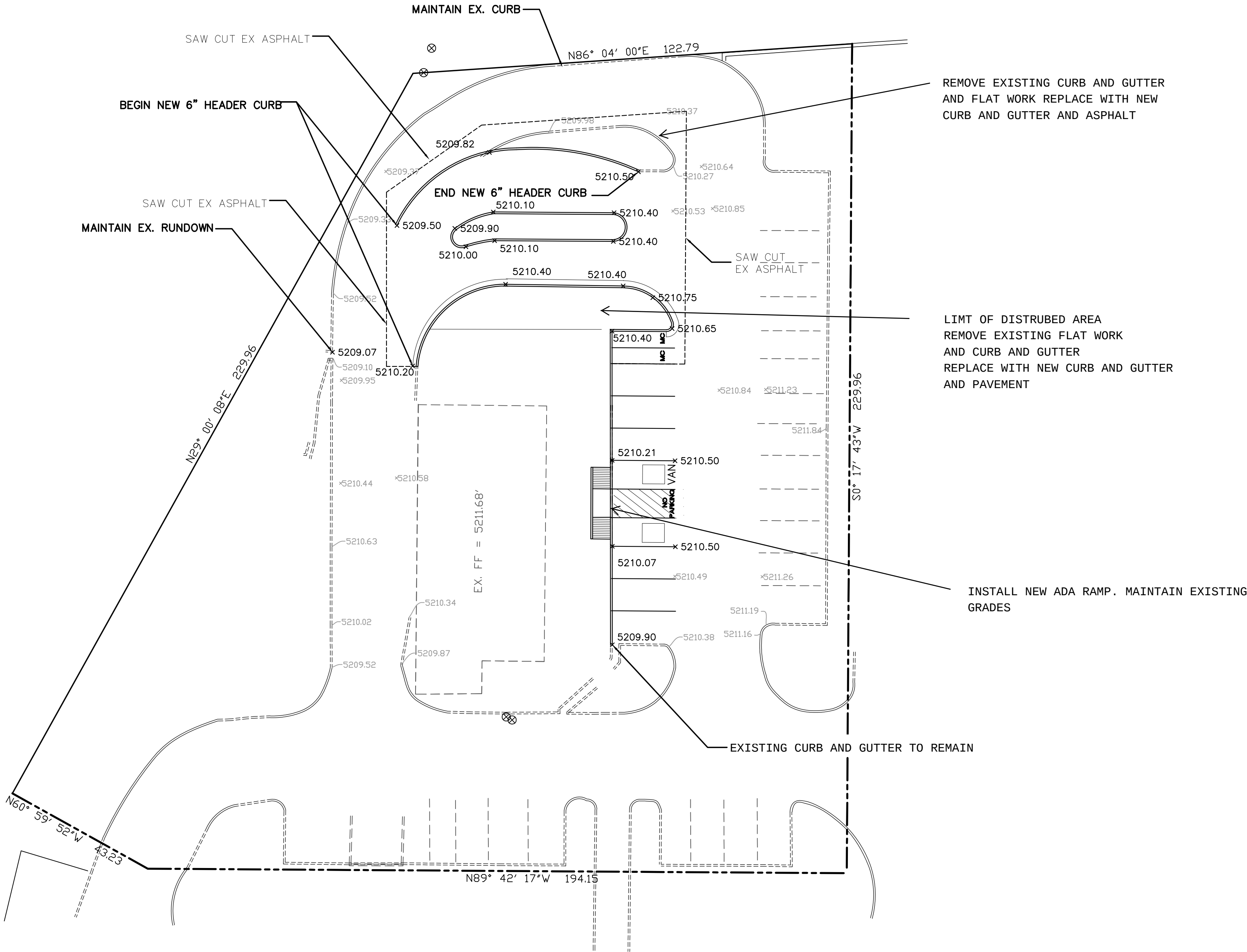
LOT 22B1- BLOCK 12, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

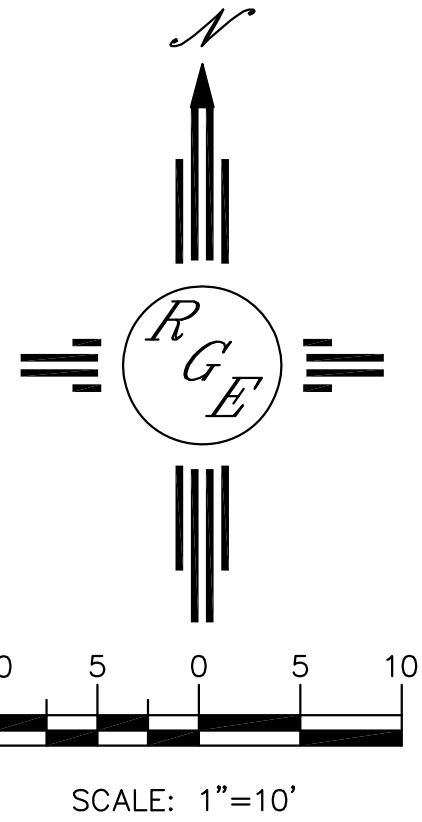
LEGEND

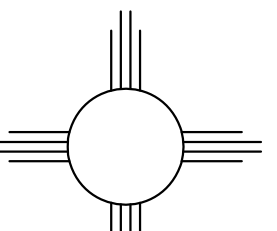
- XXXX----- EXISTING CONTOUR
- XXXX----- EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- XXXX----- SLOPE TIE
- + XXXX EXISTING SPOT ELEVATION
- + XXXX PROPOSED SPOT ELEVATION
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED 4" PVC SD
- GRAVEL LINED SWALE
- ===== EXISTING CURB AND GUTTER
- BERM



CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL  5/10/21 DAVID SOULE P.E. #14522	BURGER KING ALAMEDA		DRAWN BY: WCVJ
	5970 ALAMEDA BLVD NE		DATE 5-04-21
	GRADING AND DRAINAGE PLAN		210210048-LAYOUT-5-05-21
	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-5999		SHEET # —
		JOB # 21021048	