



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any): <u>Rupal Engineer, Design Plus</u>		Phone: (505) 843-7587
Address: 2415 Princeton Drive, NE		Email: rupal@designplusabq.com
City: Albuquerque	State: NM	Zip: 87107
Proprietary Interest in Site: Architect of record		List all owners: Art Gardenswartz, Hotel Circle ABQ, LLC

BRIEF DESCRIPTION OF REQUEST

Minor amendment to site plan for TI project for BP-2021-09598 to install new overhead garage door at rear of tenant's space and modify existing entry storefront system.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 4C1	Block: 0000	Unit:
Subdivision/Addition: Home Development Addn	MRGCD Map No.:	UPC Code: 102105711038020101
Zone Atlas Page(s): K-21-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M, no change
# of Existing Lots: 1	# of Proposed Lots: 1, no change	Total Area of Site (acres): 7.50

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 45 Hotel Circle	Between: Tomasita Street NE	and: Eubank Blvd NE
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-1661-3 and 8609495

Signature:	Date: 4.20.2021
Printed Name: Rupal Engineer, Design Plus	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00563	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2021-005382

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P3 at the front followed by the remaining documents *in the order provided on this form*.

ARCHEOLOGICAL CERTIFICATE

- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Archaeological Compliance Documentation Form with property information section completed

Note: Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- PDF of application as described above
 - Zone Atlas map with the entire site clearly outlined and labeled
 - Letter of authorization from the property owner if application is submitted by an agent
 - Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - One copy of all applicable sheets of the approved Site Plan being amended, folded
 - Copy of the Official Notice of Decision associated with the prior approval
 - Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO


- PDF of application as described above
 - Zone Atlas map with the entire site clearly outlined and labeled
 - Letter of authorization from the property owner if application is submitted by an agent
 - Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
 - One copy of all applicable sheets of the approved Site Development Plan being amended, folded
 - Copy of the Official Notice of Decision associated with the prior approval
 - Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.


Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

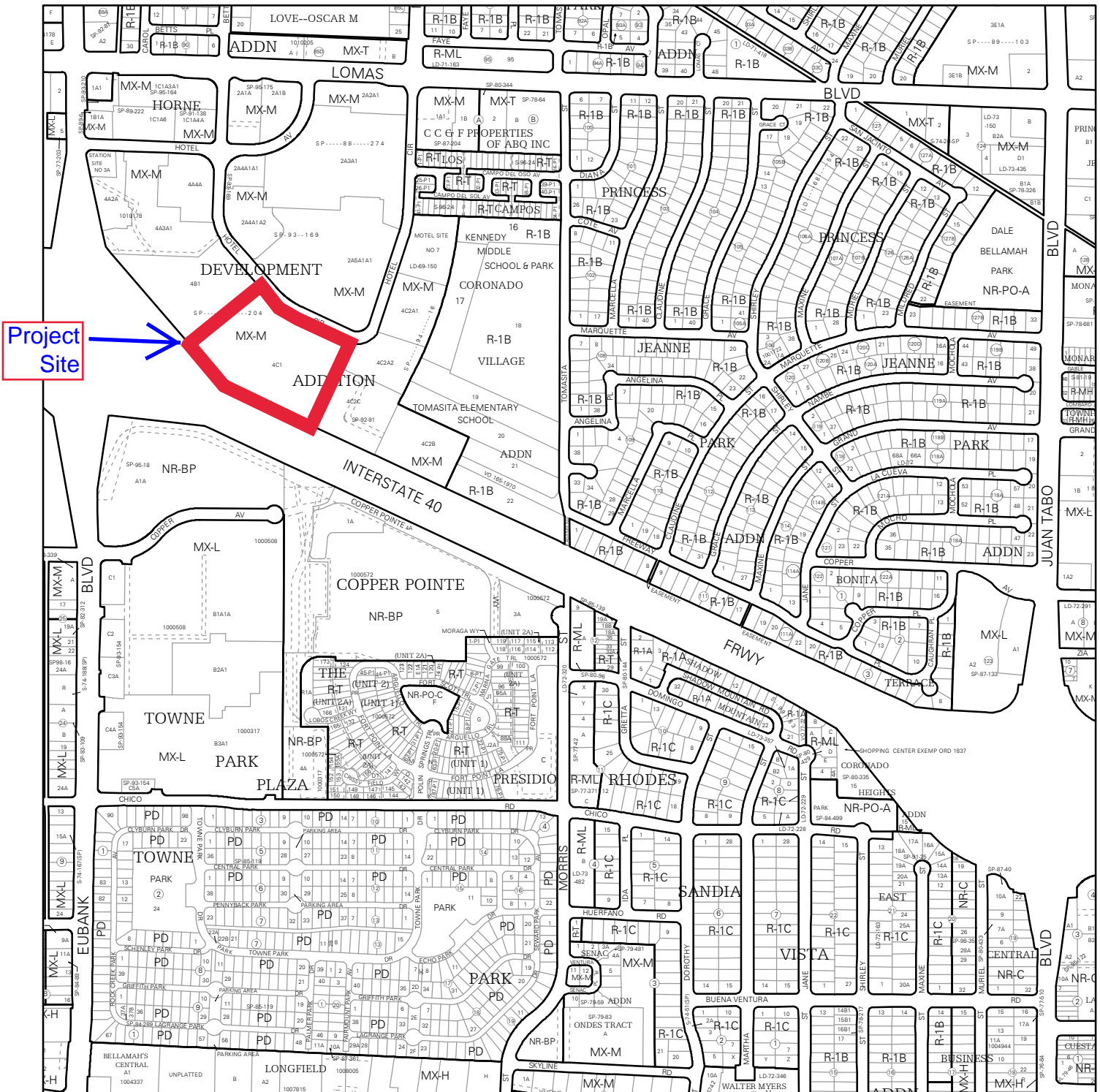
ALTERNATIVE SIGNAGE PLAN

- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 4.20.2021
Printed Name: Rupal Engineer, Design Plus	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
SI-2021-00563	PR-2021-005382
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
K-21-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

April 16, 2021

To Whom It May Concern:

I, Art Gardenswartz, of Hotel Circle ABQ, LLC hereby authorize Rupal S. Engineer of Design Plus, LLC to act as Owner's Agent for the project located at 45 Hotel Circle NE, Suite 200.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Art Gardenswartz', written over a horizontal line.

Art Gardenswartz

cc: Rupal S. Engineer

April 19, 2021

Via email to PLNDRS@cabq.gov

RE: BP-2021-09598 Minor Amendment to Site Development Plan # Z-1661-3/# 86-09495 approved prior to the effective date of the IDO, through the site plan administrative process.

To Whom It May Concern:

This letter is to justify the minor amendment through the site plan administrative process to the Site Development Plan # Z-1661-3/# 86-09495 on file with the city for the building located at 45 Hotel Circle NE, Albuquerque, NM 87123. The scope of work is proposed as part of the building permit BP-2021-09598 includes tenant improvement of a portion of the existing building.

The current owner of the building is Hotel Circle ABQ, LLC and the tenant is Verus Research. The existing suite for this improvement was previously a retail store; Babies R Us (See attachments E, F, G, and H for approved Babies R Us permit approvals, site plan, floor plan and exterior elevations). Previous to the Babies R Us retail store's use of the suite, the building was approved as part of a permit dated 1987 (See attachments A, B, C, and D for 1987 permit approvals, site plan, grading and drainage plan, and landscape plan). The 1987 approved permit was part of a development called Builders Square.

This request for amendment is for adding an overhead door at the rear of the suite/north of the building (see attachment J – BP-2021-09598 Exterior Elevations) and for the modification of the entrance storefront on the south side of the building (see attachment J – BP-2021-09598 Exterior Elevations). Therefore, this requested amendment does not alter the site in any way (easements, landscaping, parking, drive aisles, pedestrian circulation, utilities, grading and drainage). Please refer to the attachments for the existing site plans and landscape plan for approved locations of the parking, drive, aisles, pedestrian circulation, utilities, landscaped areas, grading and drainage (see attachments I and J).

Per the IDO section 16-6-4(Z)(1)(a) Minor Amendments, under the section heading "Amendments of Pre-IDO Approvals", the following numbered points (correlating to the numbered list in the IDO) explain why this request for amendment meets the criteria set forth in the IDO.

1. The existing site development plan was approved in 1987 and therefore met the requirements at the time of approval. The existing site development for this suite/tenant improvement was approved in 2001 and therefore met the requirements at the time of approval.
2. The requested change is within the thresholds for minor amendments established in Table 6-4-4:
 - a. Building Gross Floor Area: no changes, therefore meets threshold

- b. Front setback, minimum: no changes, therefore meets threshold
 - c. Site setback, minimum: no changes, therefore meets threshold
 - d. Rear setback, minimum: no changes, therefore meets threshold
 - e. Building height, maximum: no changes, therefore meets threshold
 - f. Wall and fence height: no changes, therefore meets threshold
3. The requested changes do not require major public infrastructure or significant changes to access or circulation patterns on the site as the work area is only interior and adding/changing the existing storefront entrance to the suite.
 4. No deviations, variances, or waivers are requested for this work area (and are not allowed).

Respectfully Submitted



Rupal S. Engineer

Enclosures: Attachment A – 1987 Permit - Approvals Cover Sheet
Attachment B – 1987 Permit - Grading and Drainage Plan
Attachment C – 1987 Permit - Site Plan
Attachment D – 1987 Permit - Landscape Plan
Attachment E – 2001 Permit – Approvals Cover Sheet
Attachment F – 2001 Permit – Site Plan
Attachment G – 2001 Permit – A4 Exterior Elevations
Attachment H – 2001 Permit – A5 Exterior Elevations
Attachment I – BP-2021-09598 – Site Plan
Attachment J – BP-2021-09598 – Exterior Elevations

CITY OF ALBUQUERQUE CODE ADMINISTRATION DIVISION

CONSTRUCTION ADDRESS #45 HOTEL CIRCLE N.E.

ALBUQUERQUE CODE ADMIN. SEC. 2-7-1988 UAC PLAN CODE SECTION

APPLICANT TO PROVIDE ALL INFORMATION BELOW: SPECS ON FILE. TYPE OF APPLICATION: REPAIR, DEMOLITION, OTHER. CONSTRUCTION DATA: NUMBER OF STORIES, SQUARE FOOTAGE, VALUATION OF WORK, NO. OF APARTMENT UNITS, NO. OF BUILDINGS.

Plan Check (Application) No. 860948. Plan Check (Application) Fee \$180.00. Valuation of Work \$1,750,000. Building Permit No. 338112. CITY ENGINEER: K-21. Address based on information furnished by Registrant: 12-17-86.

GENERAL NOTES

- 1. Plans and specifications must be kept at building or work site at all times during which the work authorized thereby is in progress.
2. City approved street and alley top of curb elevations shall be used when establishing lot grades at City approved street and alley top of curb elevations not be used.
3. Separate permits are required for plumbing, gas and electrical work.

1. ZONING 505-766-7474 and 2. REFUSE 505-766-7426

- 1. Caution on location of structures: City approval is contingent upon correct information being received from the contractor or owner.
2. Each customer shall provide their own container(s).
3. The Albuquerque Refuse Service should be contacted at least (30) days prior to occupancy to start service.

3. HYDROLOGY 505-766-7654

- Notes: 1. Advise Drainage Inspector when grading is completed.
2. Any deletions or modifications to approved drainage plans must receive prior approval from City Hydrology prior to final inspection.
PLANS DISAPPROVED: DATE 12/27/86. PLANS APPROVED: DATE 1/2/87.

4. TRAFFIC ENGINEERING 505-766-7425

- Overwidth curb cut, Underwidth curb cut, Too near corner, Insufficient standing curb, Insufficient Set Back, Too near property line, No curb cuts shown.

5. ENVIRONMENTAL HEALTH 505-766-7438

- Notes: 1. Control dust and debris during construction.
2. Top soil disturbance permit required.
3. Noise ordinance is applicable.

6. FIRE PREVENTION 505-766-7537

- Notes: 1. All apartment, commercial and public buildings are required to have a final inspection by the Fire Marshal's Office before a Certificate of Occupancy is issued.
2. Conditions, surrounding and arrangements to be in accordance with the Fire Prevention code regulations adopted by City Ordinance.
3. All items listed below shall be installed in accordance with applicable fire codes.

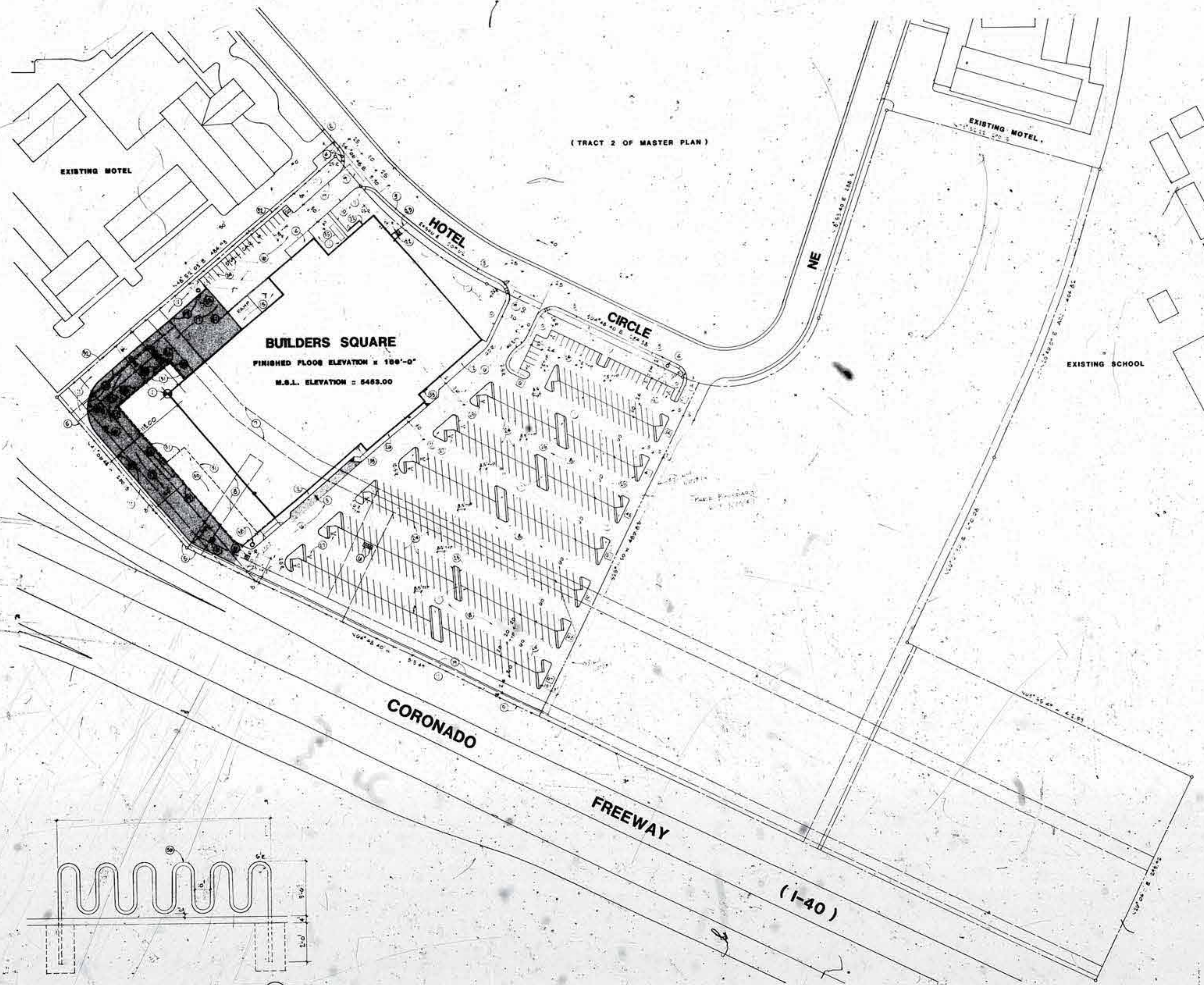
7. UNIFORM BUILDING CODE 505-766-7533

- Notes: 1. Premises shall not be occupied until a Certificate of Occupancy has been issued.
2. All windows and doors required to meet forced entry requirements shall bear identification indicating they conform to Ch. 41 of the New Mexico Uniform Building Code.
Description of Work: Retail Sales Bldg.

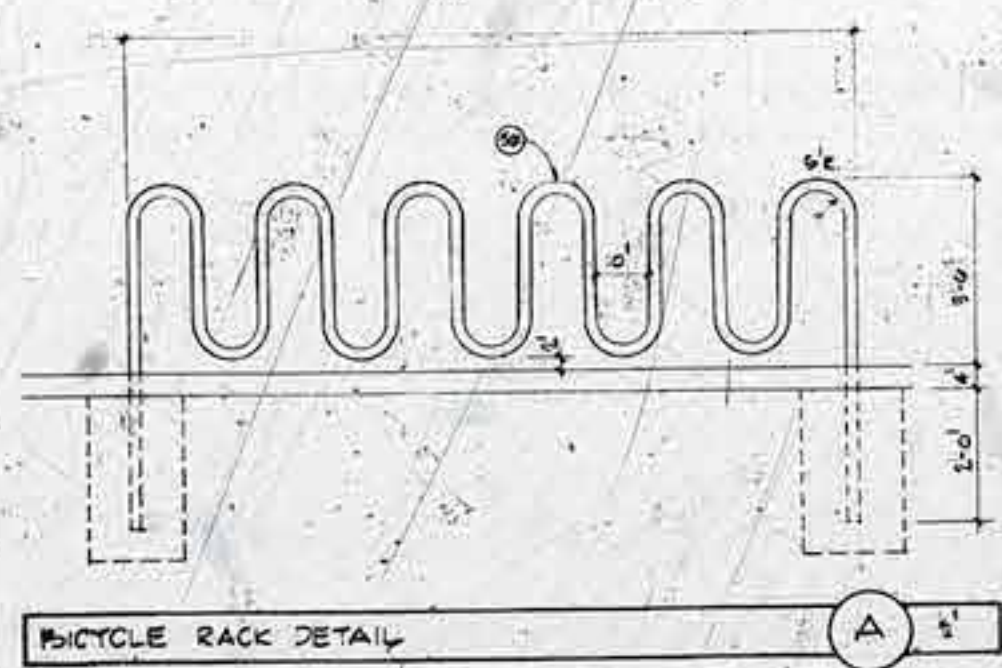
8. UPC, UMC, NEC. 505-766-7533

- Notes: 1. Every Furnace or water heater room shall have an opening or door and passageway thereto not less than 2 feet in width and large enough to permit removal of the largest furnace in such room.
2. Fire dampers shall be installed at each penetration through the wall.

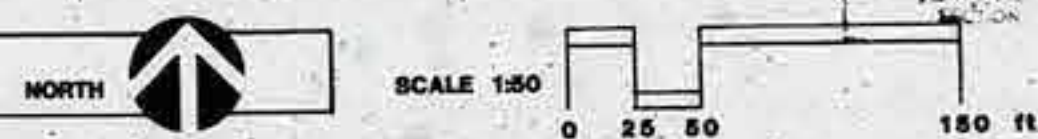
This certificate is certified to be a true and correct copy of the original as it appears in the files of the City of Albuquerque. I, [Signature], City Clerk.



- KEYED NOTES:**
1. POINT OF BEGINNING FOR BUILDING LAYOUT. SEE FOUNDATION PLAN.
 2. EXISTING CURB CUT.
 3. EXISTING 4" SIDEWALK.
 4. EXISTING FIRE HYDRANT TO BE RELOCATED.
 5. EXISTING 4" CHAIN LINK FENCE TO REMAIN. REPLACE ALL FENCE DAMAGED DURING CONSTRUCTION TO MATCH EXISTING.
 6. EXISTING GATE VALVE WITH COVER ON CONCRETE PAD.
 7. VACATED 24" WATER LINE LAYOUT WITH ABANDONED 12" DIA. CONCRETE CYLINDER. CAUTION: BURIED ELECTRICAL PRIMARY CABLE REMAINS IN VACATED EXISTING.
 8. VACATED WATER LINE AND GAS LAYOUT WITH ABANDONED 18" CAST IRON PIPE.
 9. NEW CURB CUT. EXISTING CURB AND SIDEWALK TO BE REMOVED.
 10. NEW 4" SIDEWALK WITH TUCK DOWN CURB.
 11. LANDSCAPE AREAS. SEE SHEET C-7 FOR DETAILS.
 12. NEW SIDEWALK WITH TUCK DOWN CURB. SEE FLOOR PLAN FOR WIDTH AND PATTERN.
 13. 6" CONCRETE PAVEMENT ON 8" OF COMPACTED SUBGRADE. SEE SPECS. PAINT 2" WIDE RED STRIPE AT EDGE OF CONCRETE. SEE FLOOR PLAN.
 14. CONCRETE SLAB. 5" THICK 6" ABOVE PAVEMENT. TUCKDOWN 2" BELOW PAVEMENT 8 1/2" WIDE. REINFORCE WITH 4 X 6 - 1/2" X 8' W.L. W.P. AND 2" X 4' CONTINUES AT PERIMETER.
 15. 7" CONCRETE SLAB - TRUCK WELL.
 16. 3" HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT ON 8" COMPACTED SUBGRADE. SEE SPECS.
 17. 8" CONCRETE PAVEMENT ON 8" OF COMPACTED SUBGRADE. SEE SPECS.
 18. 2" ASPHALTIC CONCRETE PAVEMENT ON 8" COMPACTED SUBGRADE. SEE SPECS.
 19. EXTENDED CURB. SEE SHEET C-7 FOR EXTENT.
 20. CONCRETE CURB AND OTHER. SEE SHEET C-2 FOR EXTENT.
 21. 8" DIA. CONCRETE FILLER LAYOUT. SEE DETAIL R-1.
 22. RETAINING WALL. SEE DETAIL R-1/A.
 23. 4" CONCRETE SIDEWALK WITH TUCKDOWN.
 24. 1" WIDE PAINTED PARKING STRIPE - WHITE.
 25. 1" WIDE CONC. SIDEWALK WITH EXTENDED CURB EDGE & PAVEMENT.
 26. STAMPED CONCRETE SIDEWALK KNOB. SEE FLOOR PLAN.
 27. PROVIDE PAINTED HANDBICAPPED SYMBOL AND FREE STANDING HANDBICAPPED SIGN PER CITY REQUIREMENTS AT ALL HANDBICAPPED SIDEWALKS.
 28. SLOPED PAVEMENT TO MATCH FINISH GRADE OF LEMBA STAGING / GROUND SURF SLAB.
 29. 10" HIGH CHAIN LINK FENCE. SEE FLOOR PLAN.
 30. 4" THICK CONCRETE SLAB WITH 6" HIGH METAL CURB. PROVIDE 5" EXPANSION MATERIAL BETWEEN SLAB AND PAVEMENT. SEE FLOOR PLAN.
 31. DASHED LINE INDICATES OVERHANG OF CANOPY ROOF AT LEMBA, STAIRS/GARAGE SHOW AREAS. SEE FLOOR PLAN.
 32. 30K 4" HIGH CHAIN LINK FENCE ALONG REAR PROPERTY LINE. REMOVE AREA - (1) SPACES. SEE DETAIL R/C-1.
 33. GAS METER LOCATION. SEE MECHANICAL.
 34. TRANSFORMER FOR LOCATION. SEE ELECTRICAL.
 35. 15" DIA. PIPERAIL SET IN 18" DIA. X 2'-6" DEEP CONCRETE FOOTING. PAINT. COLOR AS SELECTED BY ARCHITECT.
 36. EXTENDED CURB OF PARKING & DRIVEWAY OF SITE TO MATCH EXISTING SUBGRADE.
 37. NEW FIRE HYDRANT.



SITE PLAN



ALBUQUERQUE
CODE AVAIL.
CAN 021987
U.S.C.
PLAN CHECK
SECTION

Job Title BUILDERS SQUARE
PROJECT PROPOSITOR KATHY C. TITMANN, JR.
JOB NO. 8633
DATE 12/15/94
SHEET NO. 10
BY KCT
DATE

delatone + rahart pa
architects
2000 UNIVERSITY AVENUE, SUITE 200
ALBUQUERQUE, NM 87102-5562-0000

AL 210 Date 8-20-95 by DLM

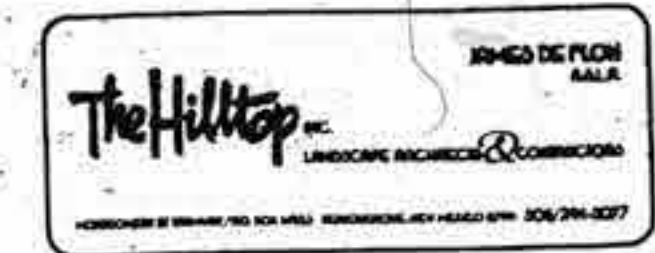
CITY OF ALBUQUERQUE

This microfilm is certified to be a complete and accurate copy of the original as it appears in the files of the Code Administration Div. and was filmed in the regular course of business. The photographic processes used meet the Basic Microfilm Standards of the National Microfilm Association (NS115-1977).

City Clerk

builders square

LANDSCAPING PLAN
 Keith C. Stewart
 E. Conant
 1-28-87



- 2 1/2" CAL SHADE TREE - 24" BOX: ASH, COTTONWOOD, LAUREL, LOCUST
- SPEC EVERGREEN: BLUE SPRUCE, PONDEROSA PINE
- 1 1/2" CAL FLOWERING PLUM
- 5" SPEC BIRCH - FORM GROVE - MIN. 1 1/2" CAL
- 5 GAL TAM JUNIPER
- 5 GAL LEYLANDII CYPRESS
- 5 GAL BORNWOOD
- STEEL EDGING
- SOD LAWN
- 1/2" GRAVEL / PLASTIC
- USE EXCESS ON-SITE SOIL TO FORM BERMS

- * TOTAL PAVED AREA WITHIN PROP. LINE - 217,750 SF
- * TOTAL LANDSCAPING REQ'D - 15,250 SF (7% OF TOTAL PAVED AREA WITHIN P.L.)
- * TOTAL LANDSCAPED AREA WITHIN PROPERTY LINE - 40,050 SF (18%)

MAINTENANCE / IRRIGATION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE IRRIGATION SYSTEM. ALL LANDSCAPING AND IRRIGATION SHALL BE COMPLETED BY THE TIME THE CURB IS SET TO THE CITY OF ALBUQUERQUE.

PLANTING GENERAL NOTES

* PLANTS OF ANY SIZE OTHER THAN THOSE INDICATED ON THE PLAN SHALL BE SUBMITTED TO THE CITY OF ALBUQUERQUE FOR APPROVAL PRIOR TO PLANTING.

* CONTRACTOR SHALL RECEIVE SITE GRADING TO 1/2" - 10 FEET. CONTRACTOR SHALL VERIFY GRADE BY MEANS OF A GRADE STAKE. GRADE SHALL BE ACCEPTED BY OWNER.

* PLANT MATERIAL SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY TO PROJECT SITE.

* BACKFILL ALL PLANTS WITH PROPOSED BACKFILL COMPOSITION OF THREE PARTS BROWN SOIL TO ONE PART ORGANIC MATERIAL.

* FOR ALL TREES TO BE PLANTED IN BERM, USE ORGANIC MULCH TO THE TOP SOIL AT A RATE OF ONE BAG PER 100 SQ. FT. AND FILL TO A DEPTH OF 2 1/2" TO 3". TOP BERM WITH SOIL AT A RATE OF ONE BAG PER 100 SQ. FT.

* FERTILIZER SHALL BE APPLIED TO ALL PLANTS (TREES, SHRUBS, BURNING) AT THE TIME OF PLANTING AT A RATE OF 1/2 LB. PER 100 SQ. FT.

* THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE YEAR FROM THE DATE OF PLANTING. THE CONTRACTOR SHALL MAINTAIN ALL PLANTS FOR ONE YEAR FROM THE DATE OF PLANTING. THE CONTRACTOR SHALL MAINTAIN ALL PLANTS FOR ONE YEAR FROM THE DATE OF PLANTING.

IRRIGATION GENERAL NOTES

* IRRIGATION SYSTEM WAS DESIGNED TO A BENTONITE PUMP AND 1/2" PIPING WITH A MAINLINE TO THE SYSTEM IS 4" DIA. SCHEDULE 40 STEEL PIPE FOR THE SYSTEM IS 4" DIA.

* IRRIGATION SYSTEM SHALL START WITH A 20" IRON TAP PROVIDED BY PLUMBING CONTRACTOR.

* ALL VALVE BOXES TO BE PLACED ON SURFACE WITH 4" DIA. COVER. COVER SHALL BE 1/2" ABOVE FINISHED GRADE.

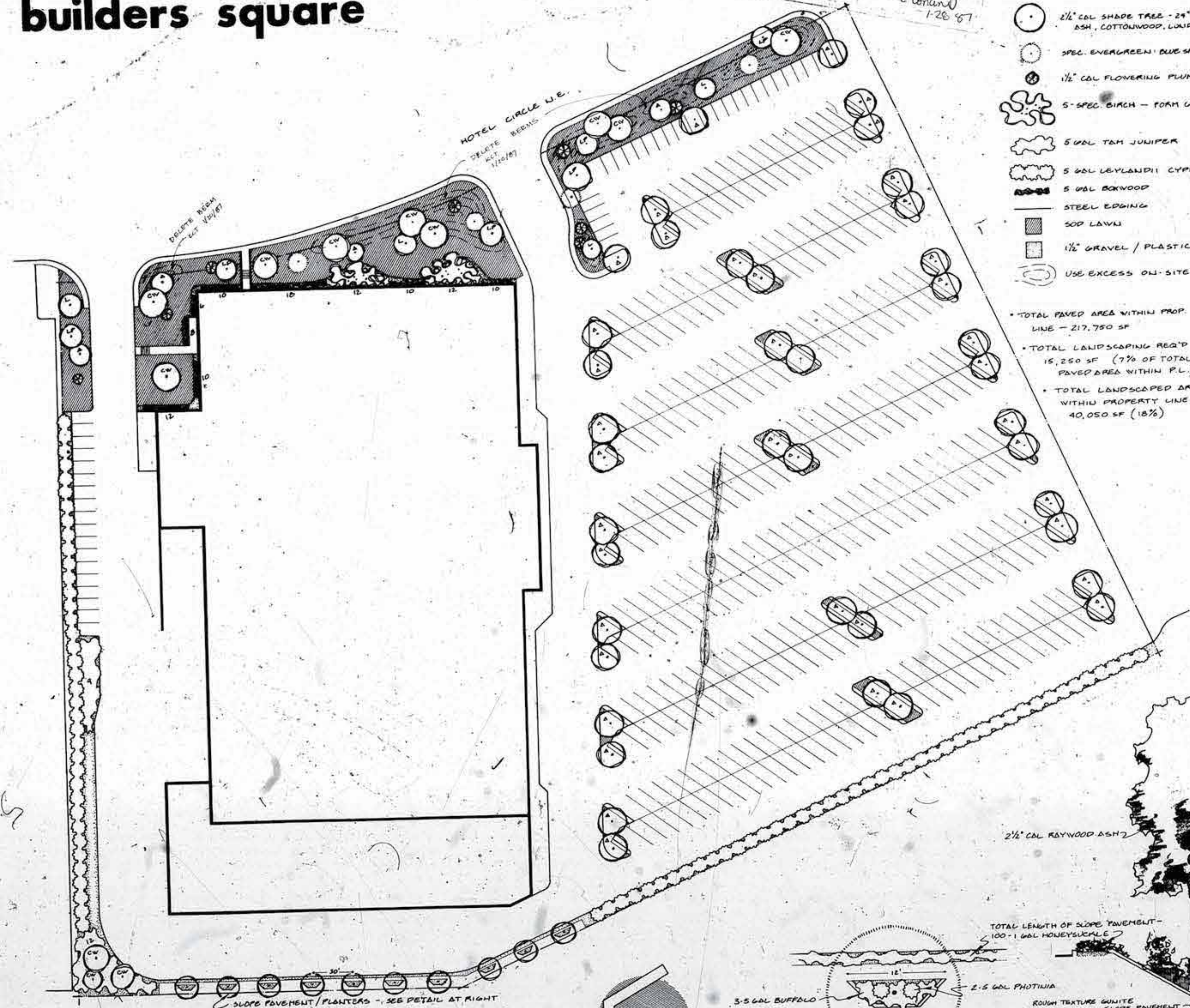
* FROM FIELD CONDITIONS MAY INDICATE CHANGING SLOPE, SLOPE OR PLANTING SHALL BE ADJUSTED TO SLOPE OF GRADE TO MAINTAIN SLOPE GRADING AND IRRIGATION.

* ALL PAVED AREAS TO BE SLOPED TO DRAIN TO A SIDEWALK OR DRIVE AT A RATE OF 1/4" PER FOOT.

* ALL LATERAL AND DISTRIBUTION LINES TO BE PLACED 30" BELOW FINISHED GRADE.

* ALL 20" IRON TAP SHALL BE SET TO THE TOP OF THE MAINLINE PIPE. THE TAP SHALL BE SET TO THE TOP OF THE MAINLINE PIPE. THE TAP SHALL BE SET TO THE TOP OF THE MAINLINE PIPE.

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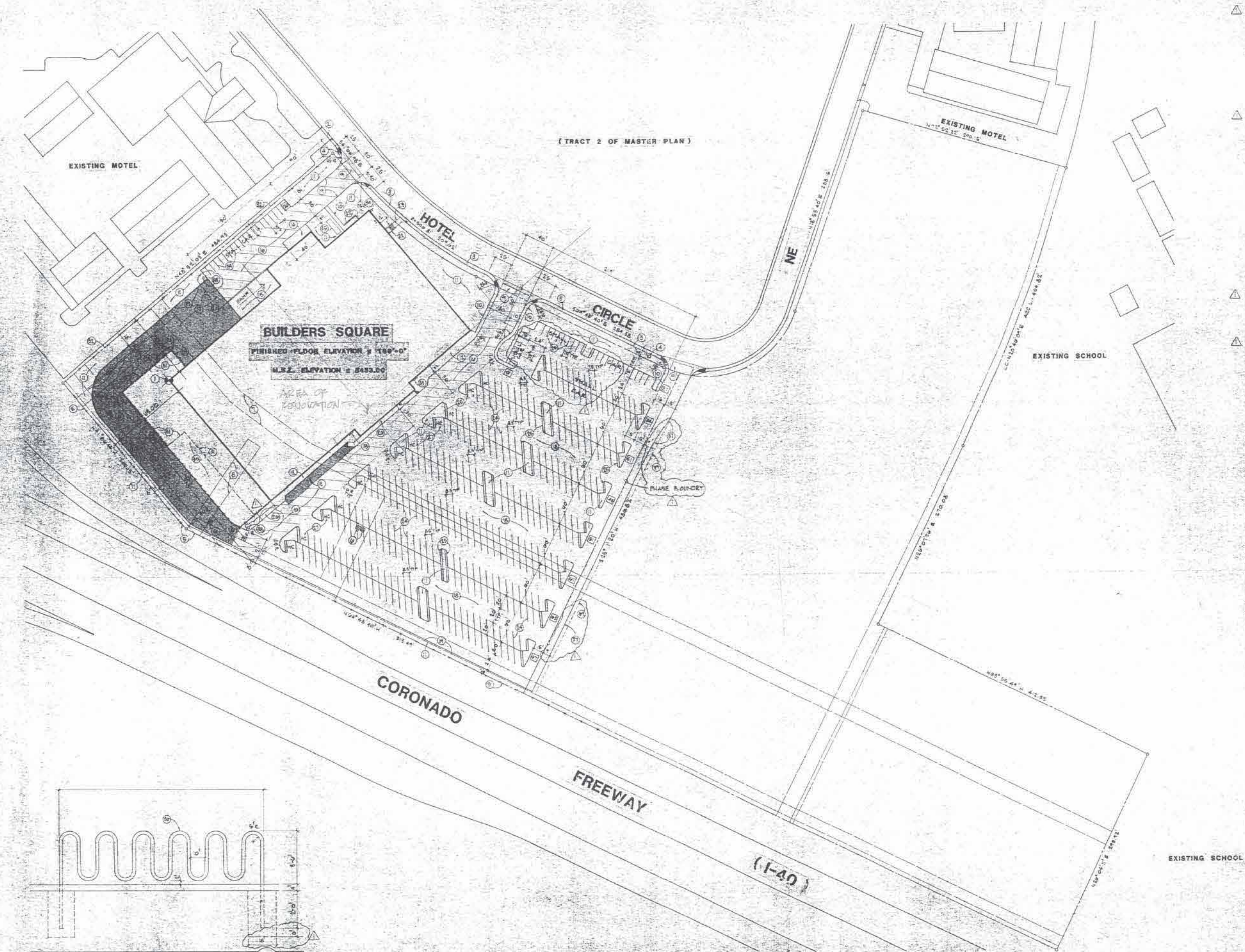
PROJECT CONSULTING	job no.	date
KEITH C. STEWART, INC.	1278	12/15/86
SHEET TITLE	BY	J.C.
LANDSCAPING PLAN		

delatome • rahnart pa
 architects
 2400 WOODLAND CANYON, P.O. BOX NO. 18000, SUITE 200
 ALBUQUERQUE, N.M. 87102-0000

APPROVED: [Signature]
 CITY CLERK

OFFICIAL SEAL
 CITY OF ALBUQUERQUE
 STATE OF NEW MEXICO
 Association (MS115-1977)
 2-16-88

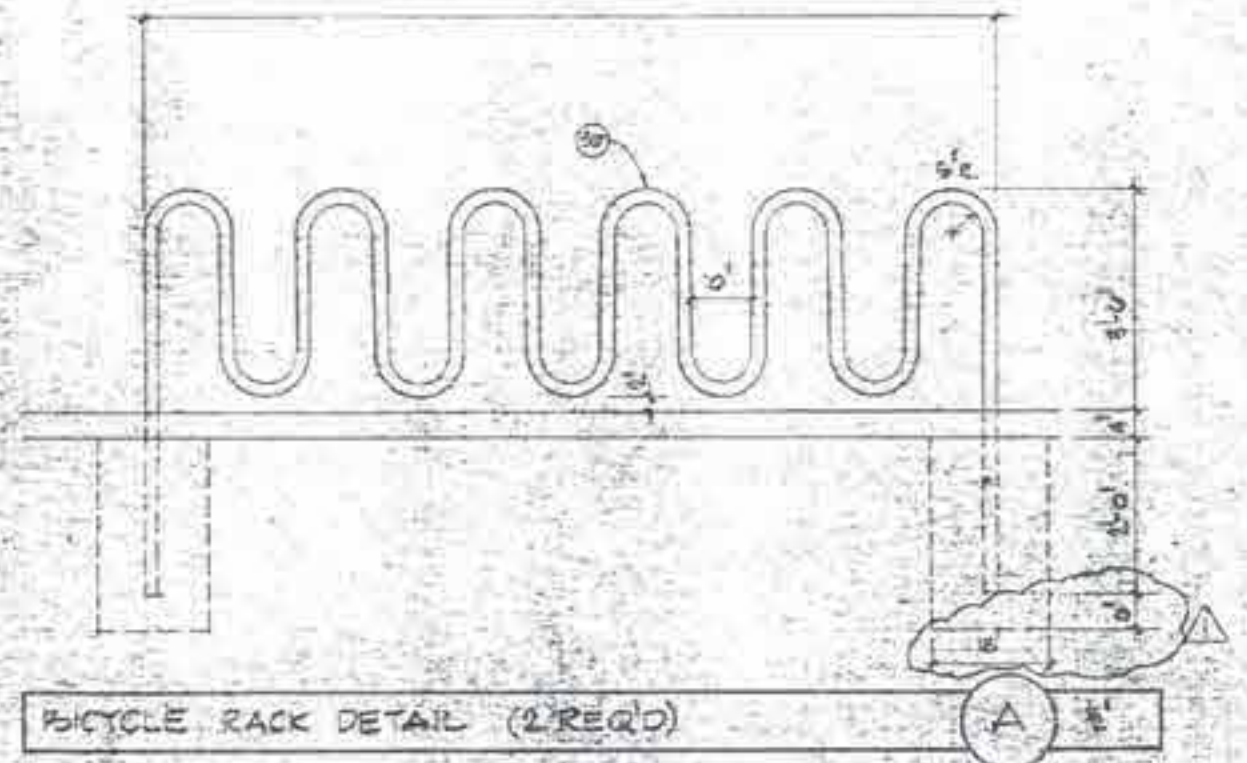
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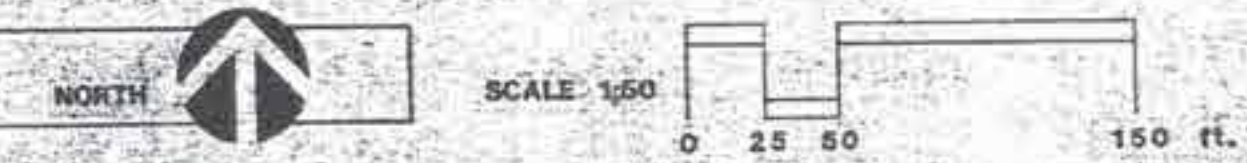
- REVISED NOTES:
1. POINT OF BEGINNING FOR BUILDING LAYOUT. SEE FOUNDATION PLAN.
 2. EXISTING CURB CUT.
 3. EXISTING 4" SIDEWALK.
 4. EXISTING FIRE MANSARD TO BE RELOCATED (REMOVED).
 5. EXISTING 6" CHAIN LINK FENCE TO REMAIN. REPLACE ALL FENCE DAMAGED DURING CONSTRUCTION TO MATCH EXISTING.
 6. EXISTING GATE TRAP WITH COVER ON CONCRETE PAD.
 7. VARYING 2" WATER LINE EASEMENT WITH ABANDONED 16" DIA. CONCRETE CULVERT. CAUTION: BURIED ELECTRICAL PRIMARY CABLE REMAINS IN VACATED EASEMENT. P.W. TO RELOCATE.
 8. VACATED WATER LINE AND GAS EASEMENT WITH ABANDONED 16" CAST IRON PIPE.
 9. NEW 8" DIA. EXISTING CURB AND SIDEWALK TO BE REMOVED.
 10. NEW 4" SIDEWALK WITH TURN DOWN CURB.
 11. LANDSCAPED AREA. SEE SHEET L-1 FOR DETAILS.
 12. NEW SIDEWALK WITH TURN DOWN CURB. SEE FLOOR PLAN FOR WIDTH AND PATTERN.
 13. 8" CONCRETE PAVEMENT ON 8" OF COMPACTED SUBGRADE. SEE SPECS. PAINT 4" WIDE RED STRIPE AT EDGE OF CONCRETE. SEE FLOOR PLAN.
 14. CONCRETE SLAB 6" THICK. PUSH HIGH PAVEMENT. REINFORCE WITH 5 X 6 - #1.3.7. WELLS U.V.F. AND 2" #4 CONTIGUOUS AT PERIMETER.
 15. 10" CONCRETE SLAB 3' TRAMP WELLS.
 16. 5" HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT ON 8" COMPACTED SUBGRADE. SEE SPECS.
 17. 6" CONCRETE PAVEMENT ON 8" OF COMPACTED SUBGRADE. SEE SPECS.
 18. 2" ASPHALTIC CONCRETE PAVEMENT ON 8" COMPACTED SUBGRADE. SEE SPECS.
 19. EXISTING CURB. SEE SHEET C-1 FOR DETAIL.
 20. CONCRETE CURB AND GUTTER. SEE SHEET C-2 FOR DETAIL.
 21. 8" DIA. CONCRETE FILLED GUARDPOST. SEE DETAIL G/P-1.
 22. WELDLINE WALL. SEE DETAIL W/W-1.
 23. 6" CONCRETE FURNACE WITH TURNDOWN.
 24. 1" WIDE PAINTED PARKING STRIPE - WHITE.
 25. 2" WIDE CONC. SIDEWALK WITH EXTRUDED CURB EDGE & PAVEMENT.
 26. SLOPED CONCRETE SIDEWALK RAMP. SEE FLOOR PLAN. 1% SLOPE.
 27. PROVIDE PAINTED HANDICAPPED SYMBOL AND FREE STANDING HANDICAPPED SIGN PER CITY REQUIREMENTS AT ALL HANDICAPPED STALLS.
 28. SLOPED PAVEMENT TO MATCH FINISH GRADE OF LIMEFR STAGING/GARDEN SHOP SLAB.
 29. 10" HIGH CHAIN LINK FENCE. SEE FLOOR PLAN.
 30. 6" THICK CONCRETE SLAB WITH 6" HIGH INTERNAL CURB. PROVIDE 1" EXPANSION MATERIAL BETWEEN SLAB AND PAVEMENT. SEE FLOOR PLAN.
 31. DASHED LINE INDICATES OVERHANG OF CANOPY ROOF AT LOWER STAGING/GARDEN SHOP AREAS. SEE FLOOR PLAN.
 32. NEW 6" HIGH CHAIN LINK FENCE ALONG REAR PROPERTY LINE.
 33. BICYCLE RACK (2) SPACES. SEE DETAIL B/R-1.
 34. GAS METER LOCATION. SEE MECHANICAL.
 35. TRANSFORMER PAD LOCATION. SEE ELECTRICAL.
 36. 1/2" DIA. PIPE RAIL SET IN 18" DIA. X 2'-0" DEEP CONCRETE FOOTING. PAINT. COLOR AS DIRECTED BY ARCHITECT.
 37. EXTEND EDGE OF PAVEMENT TO EAST OF SITE TO ALLOW TWO-WAY CIRCULATION.
 38. NEW FIRE HYDRANT.
 39. DASHED LINE INDICATES EDGE OF FUTURE INCREASE OF DRIVE TO 50' WIDTH.

PARKING REQUIREMENTS WILL BE ADDRESSED AT THE TIME OF SUBMITTAL FOR EXISTOR PERMIT. 7/19/01

[Signature]



SITE PLAN



REVISED 3/9/87.

JOB TITLE: BUILDERS SQUARE		
PROJECT COORDINATOR: KETIN C. LITZINGER, JR.	JOB NO: 8633	
SHEET NO: SITE PLAN	DATE: 12/15/88	BY: KCL

delatome • ramart pa architects

2100 UNIVERSITY CENTER ROAD, SUITE 200, ALBUQUERQUE, NM 87102-2000

Sheet 2 of 4



LEGEND

- NOT IN SCOPE, NO WORK IN THIS AREA
- WORK AREA
- LANDSCAPED AREA

GENERAL NOTES

- A. REFER TO M/E/P DRAWINGS FOR RELATED WORK REQUIRED FOR THIS PROJECT.
- B. ALL EXISTING EASEMENTS, UTILITIES, DRIVE AISLES, PARKING STALLS, CURBS, SIDEWALKS, LANDSCAPED AREAS, PEDESTRIAN CROSSWALKS, ETC. TO REMAIN AS IS. NOT SITE WORK IS PERFORMED AS PART OF THIS TENANT IMPROVEMENT PROJECT EXCEPT FOR NEW CONCRETE RAMP LEADING UP TO NEW OVERHEAD COILING DOOR AT NORTH REAR OF BUILDING FOR THIS SUITE.

SHEET KEYED NOTES

- 1 PROPERTY LINE.
- 2 EXISTING DRIVE AISLE TO REMAIN.
- 3 EXISTING VEHICULAR ENTRY/EXIT.
- 4 EXISTING HANDICAP ACCESSIBLE PARKING SPACE PER CABQ STANDARDS TO REMAIN.
- 5 EXISTING SMALL CAR PARKING SPACES TO REMAIN. TYPICAL.
- 6 EXISTING REGULAR SIZED PARKING STALLS TO REMAIN. TYPICAL.
- 7 EXISTING LANDSCAPED AREA TO REMAIN. TYPICAL.
- 8 EXISTING DELIVERY TRUCK RAMP DOWN TO OVERHEAD DOORS TO REMAIN.
- 9 EXISTING REFUSE CONTAINERS TO REMAIN.
- 10 EXISTING ADJACENT TENANT'S DELIVERY TRUCK LOADING/UNLOADING ZONE TO REMAIN.
- 11 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 12 EXISTING VEHICULAR DROP-OFF/UNLOADING/LOADING SPACE TO REMAIN.
- 13 EXISTING DELIVERY VEHICLES AND REFUSE VEHICLE DRIVE TO REMAIN.
- 14 NEW CONCRETE RAMP FOR NEW OVERHEAD COILING DOOR. REFER TO STRUCTURAL DRAWINGS.
- 15 EXISTING STOREFRONT SYSTEM TO BE MODIFIED PER EXTERIOR ELEVATIONS ON A-201.

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**IMPROVE GROUP
 VERUS RESEARCH**
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DATE: 3/2/2021

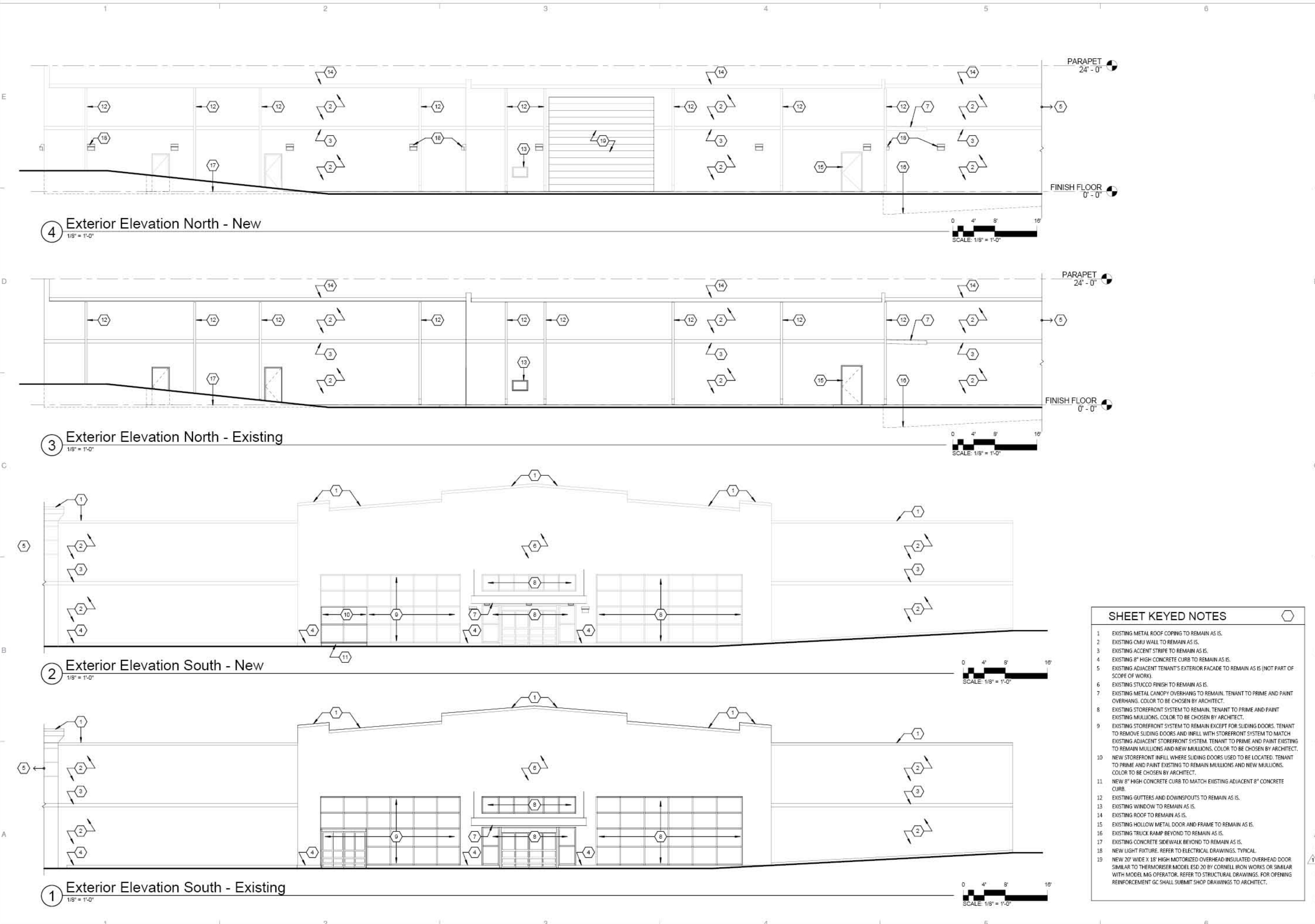
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1	4/19/2021

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 SHEET TITLE

SITE PLAN
AS-101

1 SITE PLAN
 1" = 50'-0"





4 Exterior Elevation North - New
1/8" = 1'-0"

3 Exterior Elevation North - Existing
1/8" = 1'-0"

2 Exterior Elevation South - New
1/8" = 1'-0"

1 Exterior Elevation South - Existing
1/8" = 1'-0"

SHEET KEYED NOTES	
1	EXISTING METAL ROOF COPING TO REMAIN AS IS.
2	EXISTING CMU WALL TO REMAIN AS IS.
3	EXISTING ACCENT STRIPE TO REMAIN AS IS.
4	EXISTING 8" HIGH CONCRETE CURB TO REMAIN AS IS.
5	EXISTING ADJACENT TENANT'S EXTERIOR FACADE TO REMAIN AS IS (NOT PART OF SCOPE OF WORK).
6	EXISTING STUCCO FINISH TO REMAIN AS IS.
7	EXISTING METAL CANOPY OVERHANG TO REMAIN. TENANT TO PRIME AND PAINT OVERHANG. COLOR TO BE CHOSEN BY ARCHITECT.
8	EXISTING STOREFRONT SYSTEM TO REMAIN. TENANT TO PRIME AND PAINT EXISTING MULLIONS. COLOR TO BE CHOSEN BY ARCHITECT.
9	EXISTING STOREFRONT SYSTEM TO REMAIN EXCEPT FOR SLIDING DOORS. TENANT TO REMOVE SLIDING DOORS AND INFILL WITH STOREFRONT SYSTEM TO MATCH EXISTING ADJACENT STOREFRONT SYSTEM. TENANT TO PRIME AND PAINT EXISTING TO REMAIN MULLIONS AND NEW MULLIONS. COLOR TO BE CHOSEN BY ARCHITECT.
10	NEW STOREFRONT INFILL WHERE SLIDING DOORS USED TO BE LOCATED. TENANT TO PRIME AND PAINT EXISTING TO REMAIN MULLIONS AND NEW MULLIONS. COLOR TO BE CHOSEN BY ARCHITECT.
11	NEW 8" HIGH CONCRETE CURB TO MATCH EXISTING ADJACENT 8" CONCRETE CURB.
12	EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN AS IS.
13	EXISTING WINDOW TO REMAIN AS IS.
14	EXISTING ROOF TO REMAIN AS IS.
15	EXISTING HOLLOW METAL DOOR AND FRAME TO REMAIN AS IS.
16	EXISTING TRUCK RAMP BEYOND TO REMAIN AS IS.
17	EXISTING CONCRETE SIDEWALK BEYOND TO REMAIN AS IS.
18	NEW LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS, TYPICAL.
19	NEW 20' WIDE X 18' HIGH MOTORIZED OVERHEAD INSULATED OVERHEAD DOOR SIMILAR TO THERMORISER MODEL ESD 20 BY CORNELL IRON WORKS OR SIMILAR WITH MODEL MG OPERATOR. REFER TO STRUCTURAL DRAWINGS. FOR OPENING REINFORCEMENT GC SHALL SUBMIT SHOP DRAWINGS TO ARCHITECT.

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STATE OF NEW MEXICO
 RUPAL S.
 ENGINEER
 No. 3230
 REGISTERED ARCHITECT
 4/19/2021

DATE: 3/2/2021

REVISIONS	
1	4/19/2021

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SHEET TITLE
EXTERIOR ELEVATIONS
A-201