



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
☐ Archaeological Certificate (Form P3)	☐ Site Plan – EPC including any Variances – EPC (Form P1)	☐ Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
☐ Historic Certificate of Appropriateness – Minor (Form L)	☐ Master Development Plan (Form P1)	☐ Adoption or Amendment of Historic Designation (Form L)
☐ Alternative Signage Plan (Form P3)	☐ Historic Certificate of Appropriateness – Major (Form L)	☐ Amendment of IDO Text (Form Z)
☒ Minor Amendment to Site Plan (Form P3)	☐ Demolition Outside of HPO (Form L)	☐ Annexation of Land (Form Z)
☐ WTF Approval (Form W1)	☐ Historic Design Standards and Guidelines (Form L)	☐ Amendment to Zoning Map – EPC (Form Z)
	☐ Wireless Telecommunications Facility Waiver (Form W2)	☐ Amendment to Zoning Map – Council (Form Z)
		Appeals
		☐ Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any): <u>Rupal Engineer, Design Plus</u>		Phone: <u>(505) 843-7587</u>
Address: <u>2415 Princeton Drive, NE</u>		Email: <u>rupal@designplusabq.com</u>
City: <u>Albuquerque</u>	State: <u>NM</u>	Zip: <u>87107</u>
Proprietary Interest in Site: <u>Architect of record</u>		List all owners: <u>Art Gardenswartz, Hotel Circle ABQ, LLC</u>

BRIEF DESCRIPTION OF REQUEST

Minor amendment to site plan for TI project for BP-2021-09598 to install new overhead garage door at rear of tenant's space and modify existing entry storefront system.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <u>4C1</u>	Block: <u>0000</u>	Unit:
Subdivision/Addition: <u>Home Development Addn</u>	MRGCD Map No.:	UPC Code: <u>102105711038020101</u>
Zone Atlas Page(s): <u>K-21-Z</u>	Existing Zoning: <u>MX-M</u>	Proposed Zoning: <u>MX-M, no change</u>
# of Existing Lots: <u>1</u>	# of Proposed Lots: <u>1, no change</u>	Total Area of Site (acres): <u>7.50</u>

LOCATION OF PROPERTY BY STREETS

Site Address/Street: <u>45 Hotel Circle</u>	Between: <u>Tomasita Street NE</u>	and: <u>Eubank Blvd NE</u>
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-1661-3 and 8609495

Signature:	Date: <u>4.20.2021</u>
Printed Name: <u>Rupal Engineer, Design Plus</u>	☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P3 at the front followed by the remaining documents *in the order provided on this form*.

☐ ARCHEOLOGICAL CERTIFICATE

- ☐ PDF of application as described above
 - ☐ Zone Atlas map with the entire site clearly outlined and labeled
 - ☐ Letter of authorization from the property owner if application is submitted by an agent
 - ☐ Archaeological Compliance Documentation Form with property information section completed
- Note: Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☐ PDF of application as described above
 - ☐ Zone Atlas map with the entire site clearly outlined and labeled
 - ☐ Letter of authorization from the property owner if application is submitted by an agent
 - ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - ☐ One copy of all applicable sheets of the approved Site Plan being amended, folded
 - ☐ Copy of the Official Notice of Decision associated with the prior approval
 - ☐ Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☒ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

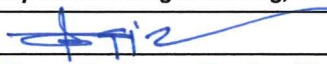
- ☐ PDF of application as described above
 - ☐ Zone Atlas map with the entire site clearly outlined and labeled
 - ☐ Letter of authorization from the property owner if application is submitted by an agent
 - ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
 - ☐ One copy of all applicable sheets of the approved Site Development Plan being amended, folded
 - ☐ Copy of the Official Notice of Decision associated with the prior approval
 - ☐ Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ALTERNATIVE SIGNAGE PLAN

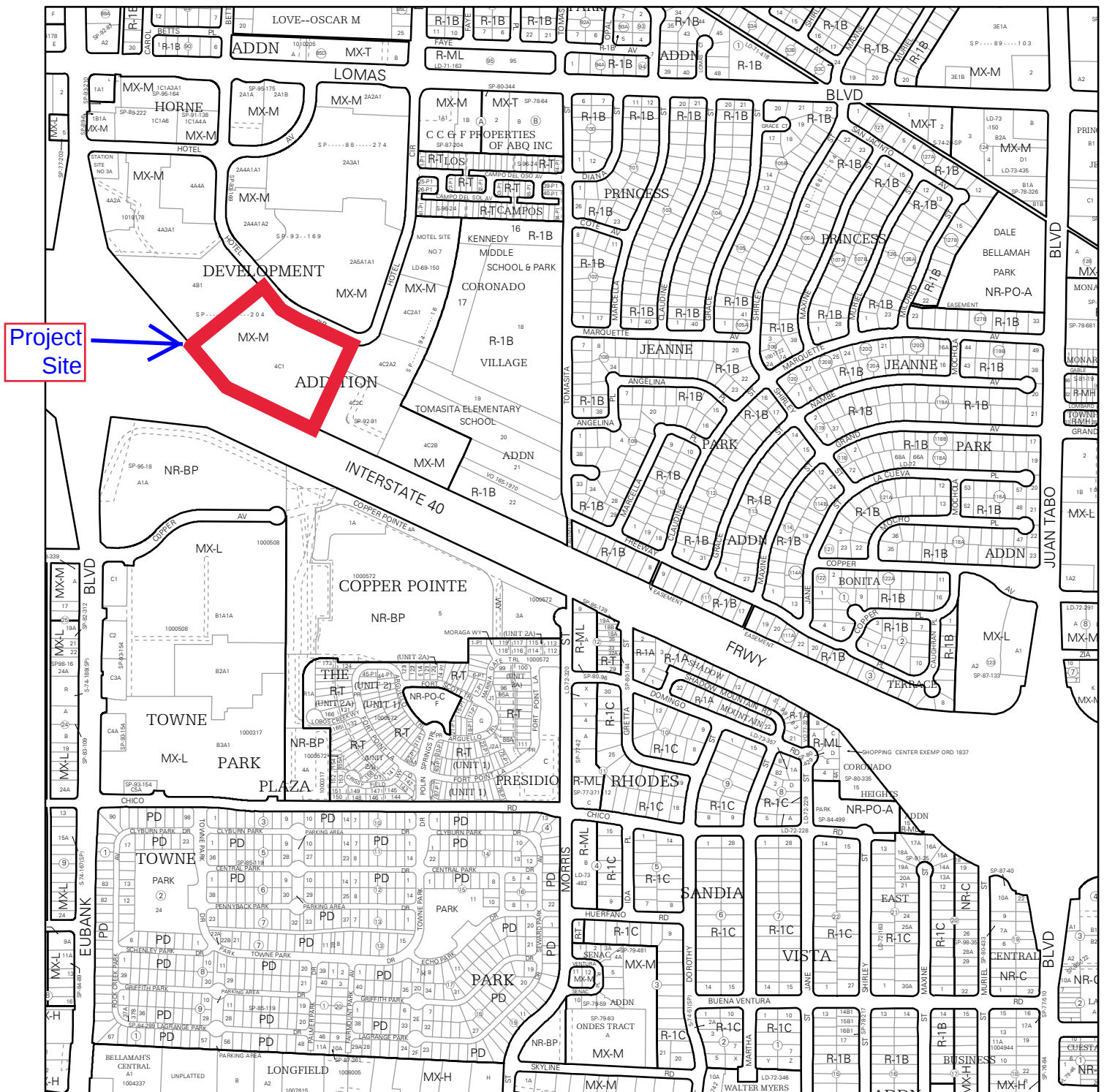
- ☐ PDF of application as described above
- ☐ Zone Atlas map with the entire site clearly outlined and labeled
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 4.20.2021
Printed Name: Rupal Engineer, Design Plus	☐ Applicant or ☒ Agent

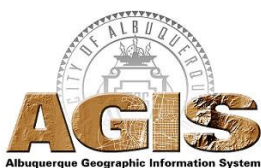
FOR OFFICIAL USE ONLY

Case Numbers:	Project Number:	
Staff Signature:		
Date:		

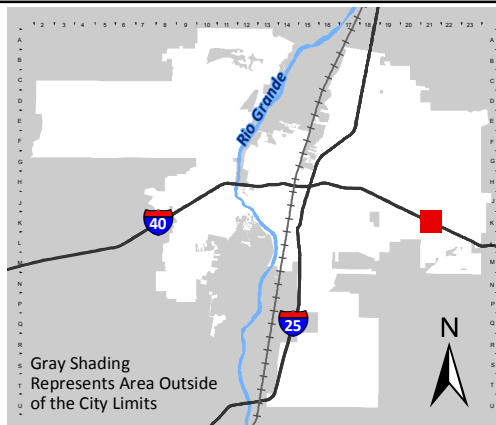


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-21-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

April 16, 2021

To Whom It May Concern:

I, Art Gardenswartz, of Hotel Circle ABQ, LLC hereby authorize Rupal S. Engineer of Design Plus, LLC to act as Owner's Agent for the project located at 45 Hotel Circle NE, Suite 200.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Art Gardenswartz', written over a horizontal line.

Art Gardenswartz

cc: Rupal S. Engineer

April 19, 2021

Via email to PLNDRS@cabq.gov

RE: BP-2021-09598 Minor Amendment to Site Development Plan # Z-1661-3/# 86-09495 approved prior to the effective date of the IDO, through the site plan administrative process.

To Whom It May Concern:

This letter is to justify the minor amendment through the site plan administrative process to the Site Development Plan # Z-1661-3/# 86-09495 on file with the city for the building located at 45 Hotel Circle NE, Albuquerque, NM 87123. The scope of work is proposed as part of the building permit BP-2021-09598 includes tenant improvement of a portion of the existing building.

The current owner of the building is Hotel Circle ABQ, LLC and the tenant is Verus Research. The existing suite for this improvement was previously a retail store; Babies R Us (See attachments E, F, G, and H for approved Babies R Us permit approvals, site plan, floor plan and exterior elevations). Previous to the Babies R Us retail store's use of the suite, the building was approved as part of a permit dated 1987 (See attachments A, B, C, and D for 1987 permit approvals, site plan, grading and drainage plan, and landscape plan). The 1987 approved permit was part of a development called Builders Square.

This request for amendment is for adding an overhead door at the rear of the suite/north of the building (see attachment J – BP-2021-09598 Exterior Elevations) and for the modification of the entrance storefront on the south side of the building (see attachment J – BP-2021-09598 Exterior Elevations). Therefore, this requested amendment does not alter the site in any way (easements, landscaping, parking, drive aisles, pedestrian circulation, utilities, grading and drainage). Please refer to the attachments for the existing site plans and landscape plan for approved locations of the parking, drive, aisles, pedestrian circulation, utilities, landscaped areas, grading and drainage (see attachments I and J).

Per the IDO section 16-6-4(Z)(1)(a) Minor Amendments, under the section heading "Amendments of Pre-IDO Approvals", the following numbered points (correlating to the numbered list in the IDO) explain why this request for amendment meets the criteria set forth in the IDO.

1. The existing site development plan was approved in 1987 and therefore met the requirements at the time of approval. The existing site development for this suite/tenant improvement was approved in 2001 and therefore met the requirements at the time of approval.
2. The requested change is within the thresholds for minor amendments established in Table 6-4-4:
 - a. Building Gross Floor Area: no changes, therefore meets threshold

- b. Front setback, minimum: no changes, therefore meets threshold
 - c. Site setback, minimum: no changes, therefore meets threshold
 - d. Rear setback, minimum: no changes, therefore meets threshold
 - e. Building height, maximum: no changes, therefore meets threshold
 - f. Wall and fence height: no changes, therefore meets threshold
3. The requested changes do not require major public infrastructure or significant changes to access or circulation patterns on the site as the work area is only interior and adding/changing the existing storefront entrance to the suite.
4. No deviations, variances, or waivers are requested for this work area (and are not allowed).

Respectfully Submitted



Rupal S. Engineer

Enclosures:

- Attachment A – 1987 Permit - Approvals Cover Sheet
- Attachment B – 1987 Permit - Grading and Drainage Plan
- Attachment C – 1987 Permit - Site Plan
- Attachment D – 1987 Permit - Landscape Plan
- Attachment E – 2001 Permit – Approvals Cover Sheet
- Attachment F – 2001 Permit – Site Plan
- Attachment G – 2001 Permit – A4 Exterior Elevations
- Attachment H – 2001 Permit – A5 Exterior Elevations
- Attachment I – BP-2021-09598 – Site Plan
- Attachment J – BP-2021-09598 – Exterior Elevations

**CITY OF ALBUQUERQUE
CODE ADMINISTRATION DIVISION**

CONSTRUCTION ADDRESS: #45 Hotel Circle N.E.

APPLICANT TO PROVIDE ALL INFORMATION BELOW: **SPECS ON FILE**

TYPE OF APPLICATION: ☒ NEW BUILDING ☐ REPAIR ☐ DEMOLITION ☐ OTHER

LOAN DESCRIPTION: None BLOCK NO. 100 LOT NO. 100 UNIT 100

OWNER: Johnson Development PHONE: 884-2930 ADDRESS: 3001 Louisiana Blvd. N.E. CITY: Albuquerque ZIP: 87107

ARCHITECT/ENGINEER: De la Torre & Associates PHONE: 842-9550 ADDRESS: 1000 Louisiana Blvd. Suite 200 CITY: Albuquerque ZIP: 87107

CONTRACTOR: James Corp PHONE: 545-8551 ADDRESS: 5900 Redwood Dr. CITY: Albuquerque ZIP: 87107

STATE LICENSE NO. 4866 STATE TAX NO. 712047 CITY TAX NO. 42177

CONSTRUCTION DATA: NUMBER OF STORIES: 2 SQUARE FOOTAGE: 82,560 VALUATION OF WORK: 1,750,000 NO. OF APARTMENT UNITS: 1 NO. OF BUILDINGS: 1 OWNERSHIP: ☒ PRIVATE ☐ PUBLIC DESCRIPTION OF WORK: BUILDERS SQUARES BUILDING USE: ☐ PUBLIC (BUILT WITH PUBLIC FUNDS) ☒ COMMERCIAL ☐ TRIPLEX ☐ FOURPLEX ☐ APARTMENT COMPLEX GREATER THAN FOUR UNITS ☐ FOUNDATION ONLY

Plan Check (Application) No. 860948 Plan Check (Application) Fee 100.00 Valuation of Work 2,107,800 Building Permit No. 338112 CITY ENGINEER: K-21 Address based on information furnished by Applicant: 12-17-86 In accordance with Albuquerque Ordinance Uniform Property Code: 1

APPROVAL REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY: ☒ Zoning ☒ Hydrology ☒ Refuse ☒ Traffic Engineering ☒ Environmental Health ☒ Fire Prevention ☒ Uniform Building Code ☒ Plumbing, Mechanical and Electrical: (a) Plumbing ☒ (b) Gas ☒ (c) Electrical ☒ (d) Boiler ☒ (e) Elevator ☒

GENERAL NOTES

- Plans and specifications must be kept at building or work site at all times during which the work authorized thereby is in progress.
- City approved street and alley top of curb elevations shall be used when establishing lot grades at front and rear property lines. Should these approved elevations not be used, the City assumes no responsibility for loss of access to property or damage to property line with construction of street and alley curbs.
- Separate permits are required for plumbing, gas and electrical work.
- The issuance of this building permit does not constitute a guarantee of water and sanitary sewer service. Such availability is determined by the Engineering Division, Water Resources Department, 7th floor, Western Bank Building, 505 Marquette, N.W., 766-7354. Construction hydrant shall be placed at least 10 feet away from water main.
- Lotteries shall not be placed on private or public property shall not arise over sidewalk, street, alley or public right of way.
- For foundation only permits additional plans must be submitted for approval before plumbing or electrical work is started in building slab. Include Uniform Building Code construction type on submittal.

1. ZONING

505-766-7474

Notes: 1. Cautions on location of structures: City approval is contingent upon correct information being received from the contractor or owner. Zoning approval is based on the information received from the contractor or owner. The front setback is measured from the lot line, which is not necessarily the curb or the edge of the sidewalk.

2. REFUSE

505-766-7426

Notes: 1. The Albuquerque Refuse Service should be contacted at least (30) days prior to occupancy to start service.

3. HYDROLOGY

505-766-7434

Notes: 1. Advise Drainage Inspector when grading is completed.

4. TRAFFIC ENGINEERING

505-766-7425

Notes: 1. Control dust and debris during construction.

5. ENVIRONMENTAL HEALTH

505-766-7435

Notes: 1. Every furnace or water heater room shall have an opening or door and passageway thereto not less than 2 feet in width and large enough to permit removal of the largest furnace in such room.

6. FIRE PREVENTION

505-766-7537

Notes: 1. All apartment, commercial and public buildings are required to have a final inspection by the Fire Marshal's Office before a certificate of occupancy is issued.

7. UNIFORM BUILDING CODE

505-766-7523

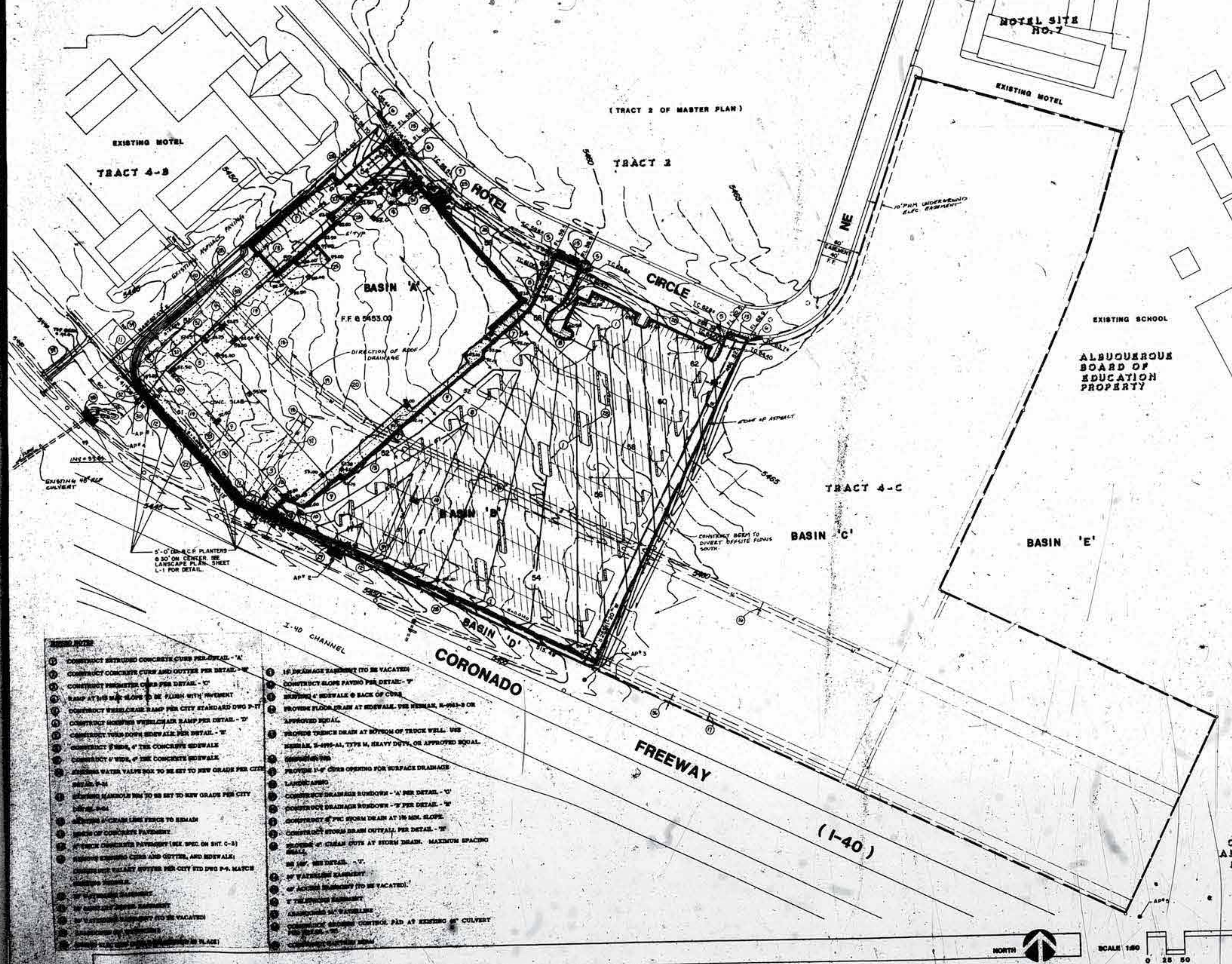
Notes: 1. Premises shall not be occupied until a Certificate of Occupancy has been issued.

8. UPC, UMC, NEC.

505-766-7523

Notes: 1. Every furnace or water heater room shall have an opening or door and passageway thereto not less than 2 feet in width and large enough to permit removal of the largest furnace in such room.

CURVE DATA	DELTA	RADIUS	LENGTH	TANGENT
CURVE NO. 1	23°41'56"	508.81'	209.82'	108.37'
2	09°28'02"	130.00'	81.44'	10.74'



VICINITY MAP-K-21
SCALE: 1"=800'

BENCHMARK:
THE STATION IS LOCATED 6.8 MILES EAST OF DOWNTOWN ALBUQUERQUE TO REACH THE STATION FROM THE INTERSECTION OF WYOMING BLVD. AND CENTRAL AVE. GO NORTH ON WYOMING TO THE STATION ON THE LEFT. THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED 1-1204 SET FLUSH WITH THE CURB. MELO ELEV. 5436.28

GENERAL NOTE:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE, 765-1214, FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND/OR VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES AND POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE PROJECT COORDINATOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION PRACTICE, HEALTH, AND SAFETY.
4. THE FOLLOWING SPECIFICATIONS SHALL BE CONSIDERED THE PROJECT SPECIFICATIONS FOR BUILDERS' SQUARE:
PROJECT SPECIFICATIONS FOR BUILDERS' SQUARE, PREPARED BY DE LA TORRE-SALDARRIAGA P.A.
SOIL AND FOUNDATION INVESTIGATION REPORT, BUILDERS' SQUARE, PREPARED BY GEO-TEST, NOVEMBER 25, 1986.
CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1983 EDITION.
NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1976 EDITION.
5. ALL WORK WITHIN NEW MEXICO STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH STATE HIGHWAY DEPARTMENT SPECIFICATIONS.
6. FOR HORIZONTAL SITE CONVEY, SEE SHEET C-1.
7. FOR SIDEWALK-LANDSCAPE/CONCRETE DETAIL ADJACENT TO ALL PROPOSED BUILDING AREAS SEE ARCHITECTURAL PLANS.
8. ALL SPOT ELEVATIONS SHOWN HEREON ARE TOP OF PAYMENT, UNLESS NOTED OTHERWISE.
9. THE CONTRACTOR SHALL OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH PRIOR TO PERFORMING ANY EARTH-WORK OPERATIONS.

LEGAL DESCRIPTION: TRACT 4-C1, HOME DEVELOPMENT ADDITION
PROJECT ADDRESS: 45 NORTON CIRCLE NE.

- NOTES:**
1. CONSTRUCT EXTRUDED CONCRETE CURBS PER DETAIL - "A"
 2. CONSTRUCT CONCRETE CURBS AND OUTLET PER DETAIL - "B"
 3. CONSTRUCT PRECASTER CURBS PER DETAIL - "C"
 4. RAMP AT THIS BASIN SHALL BE FLUSH WITH PAVEMENT
 5. CONSTRUCT WHEELCHAIR RAMP PER CITY STANDARD DWG P-17
 6. CONSTRUCT WHEELCHAIR RAMP PER DETAIL - "D"
 7. CONSTRUCT TREAD DOWN SIDEWALK PER DETAIL - "E"
 8. CONSTRUCT 8" DIA. 4" DEEP CONCRETE SIDEWALK
 9. CONSTRUCT 4" DIA. 4" DEEP CONCRETE SIDEWALK
 10. EXISTING WATER VALVE BOX TO BE SET TO NEW GRADE PER CITY STANDARD P-34
 11. EXISTING MANHOLE RIM TO BE SET TO NEW GRADE PER CITY STANDARD P-34
 12. EXISTING 8" CHAIN LINK FENCE TO REMAIN
 13. BURN OFF CONCRETE PAVEMENT
 14. EXISTING CONCRETE PAVEMENT (SEE SPEC ON SHEET C-3)
 15. EXISTING EXISTING CURBS AND OUTLET, AND SIDEWALK
 16. EXISTING EXISTING OUTLET PER CITY STD DWG P-4, MATCH EXISTING SIDEWALK
 17. 2" P.V. ELEVATION
 18. 2" P.V. ELEVATION
 19. 2" P.V. ELEVATION
 20. 2" P.V. ELEVATION
 21. 2" P.V. ELEVATION
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 100. 2" P.V. ELEVATION

LEGEND

SWALE	KEYED NOTE 1.0
SLOPE PAVING	
DRAINAGE BASIN BOUNDARY	
5460 EXISTING CONTOURS	
5460 PROPOSED CONTOURS	
350 EXISTING SPOT ELEVATIONS	
348 PROPOSED SPOT ELEVATIONS	
10 TOP OF CURB ELEVATIONS	
FL FLOW LINE ELEVATIONS	
EXISTING LIGHTPOLES	
EXISTING MANHOLE	
EXISTING FIRE HYDRANT	
EXISTING INLET	
EXISTING R.C.P. CULVERT	
EXISTING GATEVALVE W/COVER ON CONCRETE PAD	
WATER BLOCK	
CONCRETE	
LIMITS OF PROPOSED ASPHALT PAVEMENT (THICKNESS PER SHEET C-1)	
RETAINING WALL	
P.V. ELEVATION	

SEPEY, MUSTON AND ASSOC., INC.
ENGINEERS & ENVIRONMENTAL CONSULTANTS
200 COMMERCIAL ST. N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 261-1000

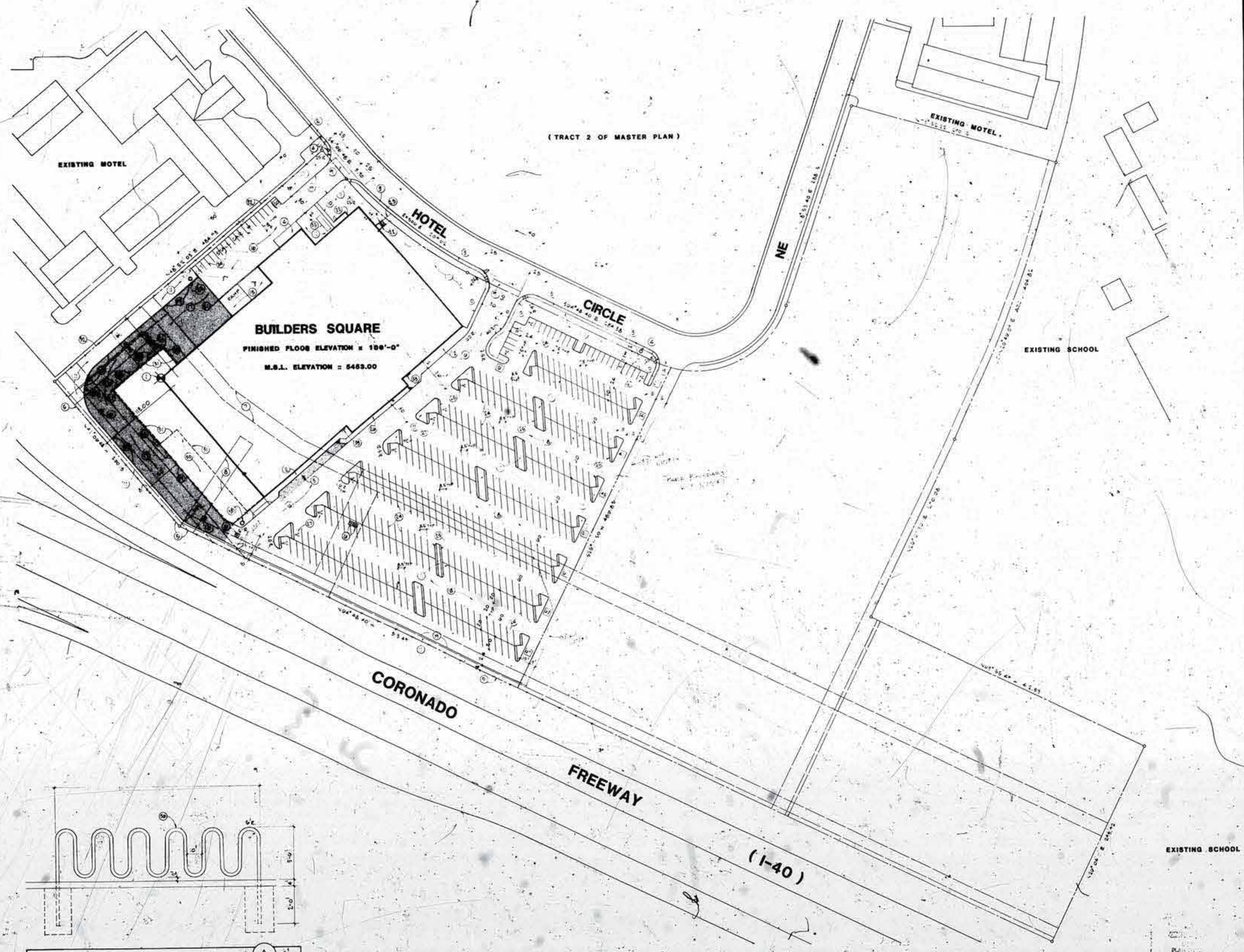
BUILDERS SQUARE

PROJECT COORDINATOR: JERRY L. SEPEY
DATE: 10/1/86
DRAWN BY: J. L. SEPEY
CHECKED BY: J. L. SEPEY
DATE: 10/1/86

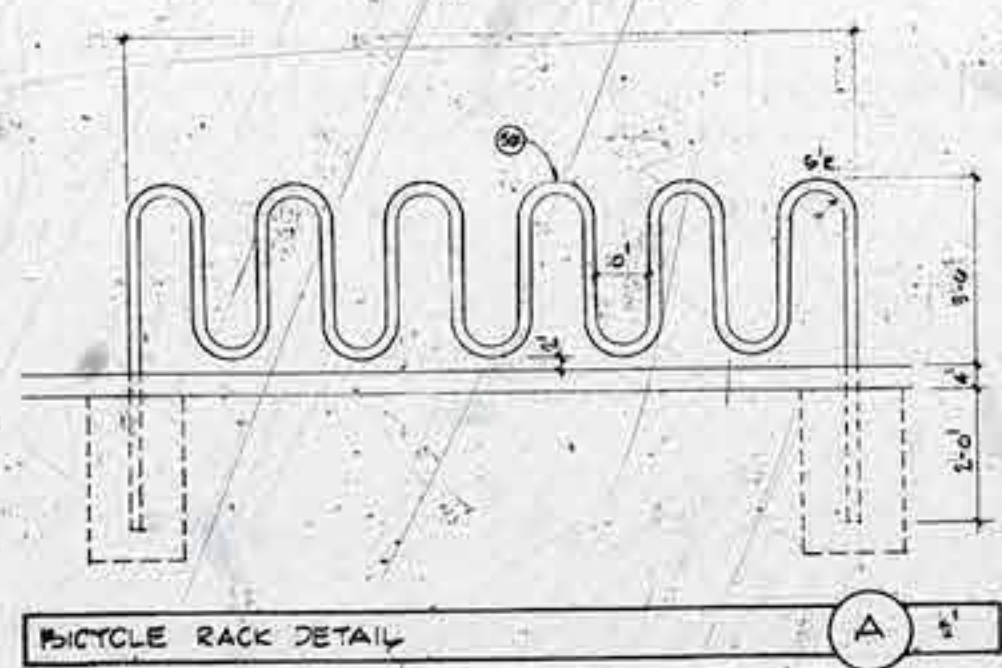
8-210 Date 8-21-86
CITY OF ALBUQUERQUE
This microfilm is certified to be a complete and accurate copy of the original as it appears in the files of the Code Administration Div. and was filed in the regular course of business. The photographic processes used meet the Basic Microfilm Standards of the Nat'l. Micrographics Association (M115-1977).

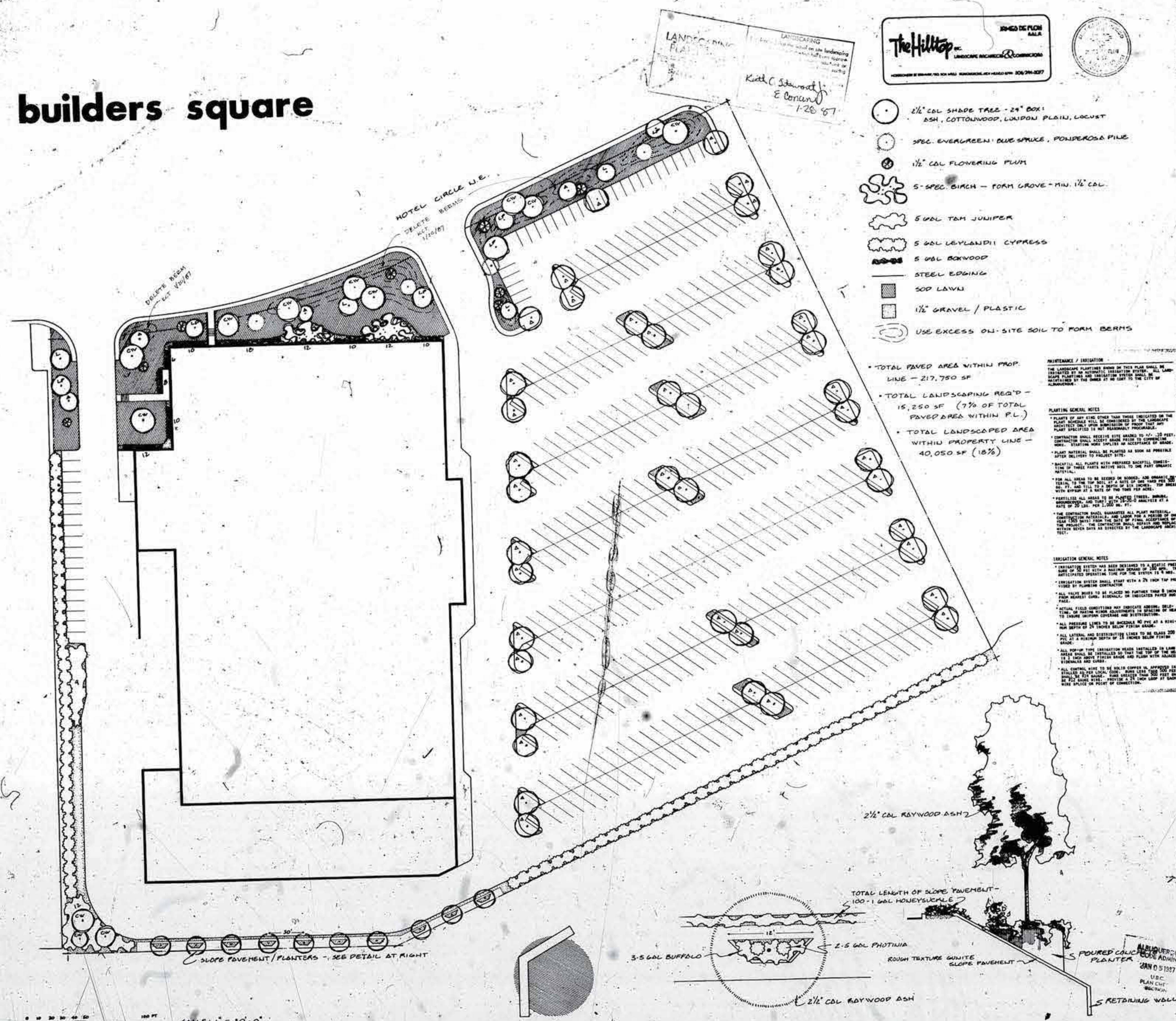
Clara H. Hines
City Clerk

Rafael H. Gomez
Rafael H. Gomez
Mayor
State of New Mexico
My Commission Expires: 2-11-88



- KEY NOTES:
1. POINT OF BEGINNING FOR BUILDING LAYOUT. SEE FOUNDATION PLAN.
 2. EXISTING CURB CUT.
 3. EXISTING 4" SIDEWALK.
 4. EXISTING FIRE HYDRANT TO BE RELOCATED.
 5. EXISTING 4" CHAIN LINK FENCE TO REMAIN. REPLACE ALL FENCE DAMAGED DURING CONSTRUCTION TO MATCH EXISTING.
 6. EXISTING GATE VALVE WITH COVER ON CONCRETE PAD.
 7. VACATED 24" WATER LINE EASMENT WITH ABANDONED 16" DIA. CONCRETE CULVERT. CAUTION: BURIED ELECTRICAL PRIMARY CABLE REMAINS IN VACATED EASMENT.
 8. VACATED WATER LINE AND GAS EASMENT WITH ABANDONED 16" CAST IRON PIPE.
 9. NEW CURB CUT. EXISTING CURB AND SIDEWALK TO BE REMOVED.
 10. NEW 4" SIDEWALK WITH TURNS DOWN CURB.
 11. LANDSCAPE AREA. SEE SHEET C-1 FOR DETAILS.
 12. NEW SIDEWALK WITH TURNS DOWN CURB. SEE FLOOR PLAN FOR WIDTH AND PATTERN.
 13. 4" CONCRETE PAVEMENT ON 8" OF COMPACTED SUBGRADE. SEE FLOOR PLAN.
 14. 4" CONCRETE PAVEMENT ON 8" OF COMPACTED SUBGRADE. SEE SPECS. PAINT 4" WIDE RED STRIPE AT EDGE OF CONCRETE.
 15. COMPACTOR SLAB. 5" THICK 6" ABOVE PAVEMENT. TURN DOWN 2" BELOW PAVEMENT & 12" WIDE. REINFORCE WITH 4" X 6" #4 @ 18" O.C. AND 2" #4 CONTINUOUS AT PERIMETER.
 16. 7" CONCRETE SLAB - TRUCK WELL.
 17. 3" HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT ON 8" COMPACTED SUBGRADE. SEE SPECS.
 18. 6" CONCRETE PAVEMENT ON 8" OF COMPACTED SUBGRADE. SEE SPECS.
 19. 2" ASPHALTIC CONCRETE PAVEMENT ON 8" COMPACTED SUBGRADE. SEE SPECS.
 20. EXISTING CURB. SEE SHEET C-2 FOR EXTENT.
 21. 4" DIA. CONCRETE FILLER CULVERT. SEE DETAIL 8A-1.
 22. RETAINING WALL. SEE DETAIL 8A-2.
 23. 4" CONCRETE SIDEWALK WITH TENDON.
 24. 1" WIDE PAINTED PARKING STRIPE - WHITE.
 25. 1" WIDE CONC. SIDEWALK WITH EXTENDED CURB EDGE & PAVING.
 26. STAMPED CONCRETE SIDEWALK. SEE FLOOR PLAN.
 27. PROVIDE PAINTED HANDICAPPED SYMBOL AND FREE STANDING HANDICAPPED SIGN PER CITY REQUIREMENTS AT ALL HANDICAPPED SLOPED.
 28. SLOPED PAVEMENT TO MATCH FINISH GRADE OF LUMBER STAGING / CONCRETE SLAB.
 29. 10" HIGH CHAIN LINK FENCE. SEE FLOOR PLAN.
 30. 4" THICK CONCRETE SLAB WITH 6" HIGH RETAINING CURB. PROVIDE 2" ADJUNCTION MATERIAL BETWEEN SLAB AND PAVEMENT. SEE FLOOR PLAN.
 31. DASHED LINE INDICATES OVERHANG OF CANOPY ROOF AT LUMBER STAGING / GARDEN SHOW AREAS. SEE FLOOR PLAN.
 32. 6" HIGH CHAIN LINK FENCE ALONG REAR PROPERTY LINE.
 33. BICYCLE RACK - 11 SPACES. SEE DETAIL 8A-3.
 34. GAS METER LOCATION. SEE MECHANICAL.
 35. TRANSFORMER FOR LIGHTING. SEE ELECTRICAL.
 36. 15" DIA. PIPE RAIL SET IN 18" DIA. & 2'-0" DEEP CONCRETE TRENCH. PAINT. COLOR AS SELECTED BY ARCHITECT.
 37. EXISTING CURB OF PARKING LOT. SEE SHEET C-1 FOR EXTENT.
 38. NEW FIRE HYDRANT.





CITY OF ALBUQUERQUE

88-210 Date 8-25-89 PLM

CITY OF ALBUQUERQUE

This microimage is certified to be a complete and accurate copy of the original as it appears in the files of the Code Administration Div. and was filmed in the regular course of business. The photographic processes used meet the basic microfilm standards of the Nat'l Micrographics Association (NS115-1977).

Shenbrot
City Clerk Recorder

Russell A. Gomez

OFFICIAL SEAL
RUSSELL A. GOMEZ
CLERK, PUBLIC
STATE OF NEW MEXICO
2-16-88

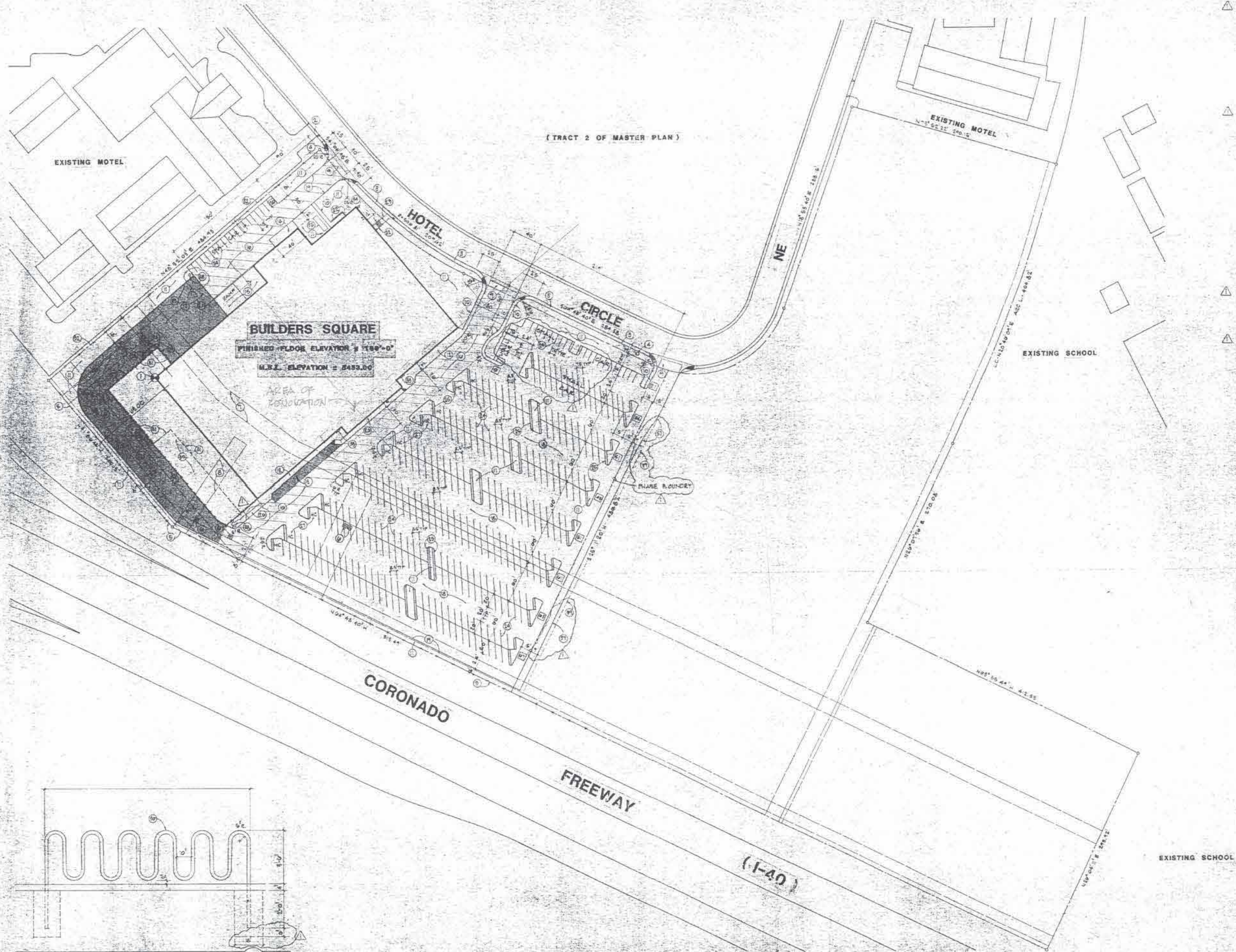
My Commission Expires

CERTIFICATE OF OCCUPANCY REQUIRED?	YES ☐	NO ☒
SHELL CERTIFICATE OF COMPLETION REQUIRED?	YES ☐	NO ☒
APPROVALS REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE:		
☐ ENVIRONMENTAL HEALTH	INITIALS <u> </u>	
☐ FIRE MARSHAL	<u> </u>	
☐ HYDROLOGY	<u> </u>	
☐ MECHANICAL	<u> </u>	
☐ PLUMBING	<u> </u>	
☐ ELECTRICAL	<u> </u>	
☐ BOILER	<u> </u>	
☐ ELEVATOR	<u> </u>	
☐ REFUSE	<u> </u>	
☐ TRANSPORTATION DEVELOPMENT	<u> </u>	
☐ BUILDING CODE	<u> </u>	
☐ ZONING	<u> </u>	

NOTE: Final inspections are required on all permitted work whether a Certificate of Occupancy is required or not.

GENERAL NOTES

1. The number of toilet fixtures do not comply with LBC Appendix 29A. Provide toilet fixture calculation.
2. Floor plans need to match between the different sheets within the plan set.
3. Backflow device serving the photo lab processors shall be either an RP or an SVBB.
4. Provide a backflow device at the photo processing lab for isolation purposes / the City of Albuquerque Backflow Ordinance.
5. Provide a backflow device at the water service entrance for containment purposes / the City of Albuquerque Backflow Ordinance.
6. Provide an approved double check backflow device on the fire riser to comply with the City of Albuquerque Cross Connection Control Ordinance.
7. Review to continue.



1. POINT OF BEGINNING FOR BUILDING LAYOUT. SEE FOUNDATION PLAN.
2. EXISTING CURB CUT.
3. EXISTING 4" SIDEWALK.
4. EXISTING FIRE HYDRANT TO BE RELOCATED (SEE REMARKS).
5. EXISTING 6" CHAIN LINK FENCE TO REMAIN. REPLACE ALL FENCE DAMAGED DURING CONSTRUCTION TO MATCH EXISTING.
6. EXISTING GATE TALKY WITH COVER ON CONCRETE PAD.
7. VARYING 24" WATER LINE EASEMENT WITH ABANDONED 36" DIA. CONCRETE CULVERT. CAUTION: BURIED ELECTRICAL PRIMARY CABLE REMAINS IN VACATED EASEMENT. REM TO RELOCATE.
8. VACATED WATER LINE AND SEE EASEMENT WITH ABANDONED 36" CAST IRON PIPE.
9. NEW 24" DIA. EXISTING CURB AND SIDEWALK TO BE REINFORCED WITH 1" STEELBAR WITH TURN DOWN CURB.
10. LANDSCAPED AREA. SEE SHEET L-1 FOR DETAILS.
11. NEW SIDEWALK WITH TURN DOWN CURB. SEE FLOOR PLAN FOR WIDTH AND PATTERN.
12. 8" CONCRETE PAVEMENT ON 8" OF COMPACTED SUBGRADE. SEE SPECS. PAINT 4" WIDE RED STRIPE AT EDGE OF CONCRETE. SEE FLOOR PLAN.
13. CONCRETE SLAB 4" THICK. FINISH WITH SANDWICH. REINFORCE WITH 5 X 6 - #11.3.7. WELL U.S.F. AND 2" - #4 CONTIGUOUS AT PERIMETER.
14. 5" HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT ON 8" COMPACTED SUBGRADE. SEE SPECS.
15. 6" CONCRETE PAVEMENT ON 8" OF COMPACTED SUBGRADE. SEE SPECS.
16. 24" ASPHALTIC CONCRETE PAVEMENT ON 8" COMPACTED SUBGRADE. SEE SPECS.
17. EXISTING CURB. SEE SHEET C-1 FOR EXTENT.
18. CONCRETE CURB AND GUTTER. SEE SHEET C-2 FOR EXTENT.
19. 8" DIA. CONCRETE FILLER GUARDPOST. SEE DETAIL 10/A.
20. 6" CONCRETE FURNISH WITH TURNING.
21. 3" WIDE PAINTED PARKING STRIPE - WHITE.
22. 2" WIDE CONC. SIDEWALK WITH EXTRUDED CURB EDGE & PAVEMENT.
23. FURTER CONCRETE SIDEWALK RAMP. SEE FLOOR PLAN. 1:8 SLOPE.
24. PROVIDE PAINTED HANDICAPPED SYMBOL AND FREE STANDING HANDICAPPED SIGN PER CITY REQUIREMENTS AT ALL HANDICAPPED STALLS.
25. SLOPED PAVEMENT TO MATCH FINISH GRADE OF LINDER STAGING/GARDEN SHOP SLAB.
26. 10" HIGH CHAIN LINK FENCE. SEE FLOOR PLAN.
27. 4" THICK CONCRETE SLAB WITH 4" HIGH INTERNAL CURB. PROVIDE 1/2" EXPANDING MATERIAL BETWEEN SLAB AND PAVEMENT. SEE FLOOR PLAN.
28. DASHED LINE INDICATES EXTENDING OF CANOPY ROOF AT LOWER STAGING/GARDEN SHOP AREAS. SEE FLOOR PLAN.
29. NEW 6" HIGH CHAIN LINK FENCE ALONG REAR PROPERTY LINE.
30. BICYCLE RACK (2) SPACES. SEE DETAIL 10/C-1.
31. GAS METER LOCATION. SEE MECHANICAL.
32. TRANSFORMER PAD LOCATION. SEE ELECTRICAL.
33. 14" DIA. PIPE RAIL SET IN 18" DIA. 2' X 2' - 4" DEEP CONCRETE FOOTING. PAINT - RED AS DIRECTED BY AGENCIES.
34. EXISTING EDGE OF PAVEMENT TO EAST OF SITE TO ALLOW TWO-WAY CIRCULATION.
35. NEW FIRE HYDRANT.
36. DASHED LINE INDICATES EDGE OF FUTURE INCREASE OF DRIVE TO 50' WIDTH.

PARKING REQUIRMENTS
WILL BE ADDRESSED AT
THE TIME OF SUBMITTAL
FOR EXISTING PERMIT.
7/19/01
J. Blum

REVISED 3/9/87

PROJECT INFORMATION			
PROJECT NO.	DATE	BY	CHECKED
117740000, JR.	8/23	12/15/88	
SHEET INFORMATION			
SHEET NO.	TITLE	DATE	BY
1	SITE PLAN	8/23	

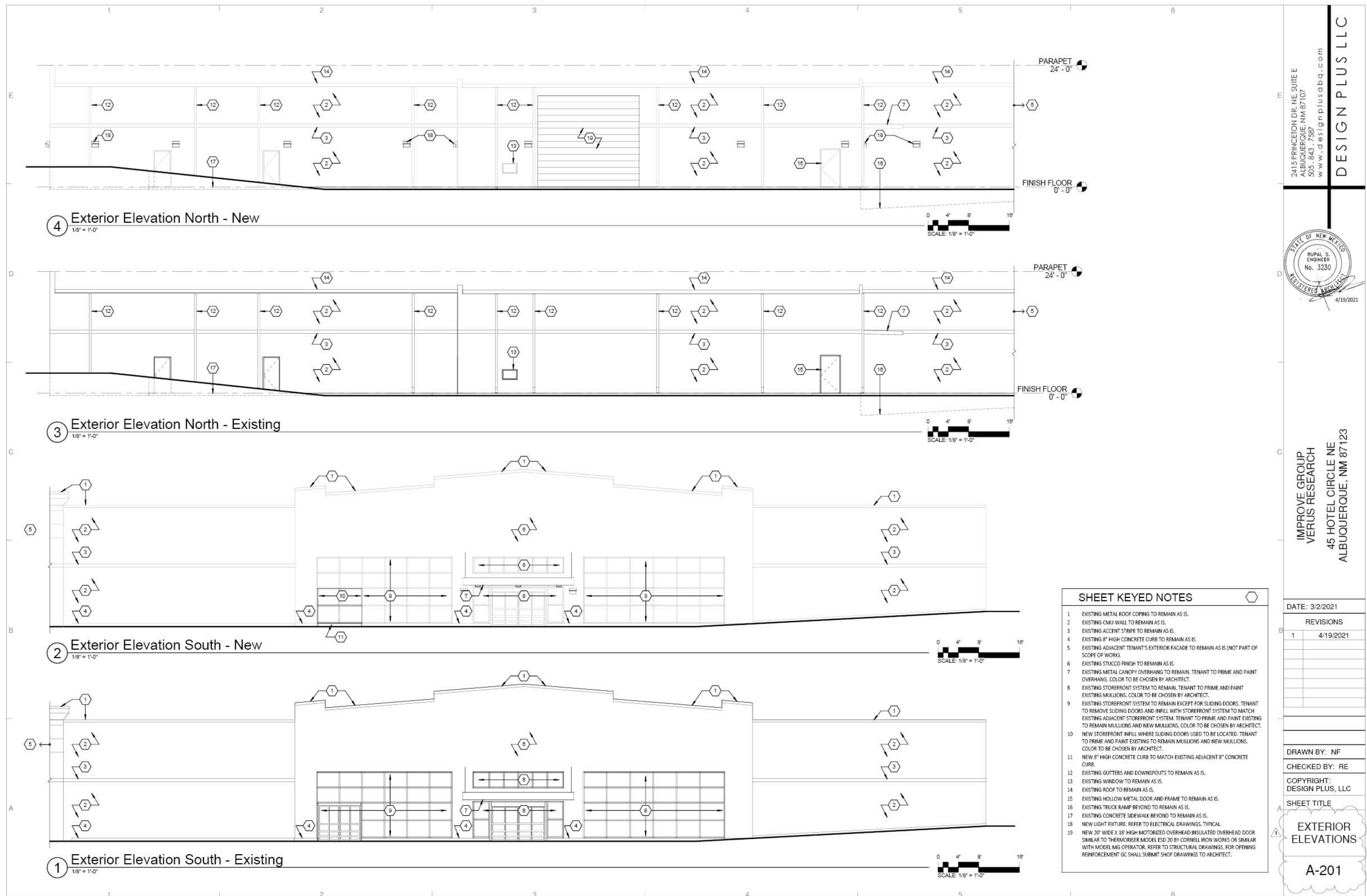
delatome + rainhart pa
architects

2000 woodward center 200 kansas no. suite 200
oklahoma city, ok 73102-2662

STATE OF NEW MEXICO
JOSÉ DE LA TORRE
NO. 860
REGISTERED ARCHITECT

sheet 2
C1





SHEET KEYED NOTES

- 1 EXISTING METAL ROOF COPING TO REMAIN AS IS.
- 2 EXISTING CMU WALL TO REMAIN AS IS.
- 3 EXISTING ACCENT STRIPE TO REMAIN AS IS.
- 4 EXISTING 8" HIGH CONCRETE CURB TO REMAIN AS IS.
- 5 EXISTING ADJACENT TENANT'S EXTERIOR FACADE TO REMAIN AS IS (NOT PART OF SCOPE OF WORK).
- 6 EXISTING STUCCO FINISH TO REMAIN AS IS.
- 7 EXISTING METAL CANOPY OVERHANG TO REMAIN. TENANT TO PRIME AND PAINT OVERHANG. COLOR TO BE CHOSEN BY ARCHITECT.
- 8 EXISTING STOREFRONT SYSTEM TO REMAIN. TENANT TO PRIME AND PAINT EXISTING MULLIONS. COLOR TO BE CHOSEN BY ARCHITECT.
- 9 EXISTING STOREFRONT SYSTEM TO REMAIN EXCEPT FOR SLIDING DOORS. TENANT TO REMOVE SLIDING DOORS AND INFILL WITH STOREFRONT SYSTEM TO MATCH EXISTING ADJACENT STOREFRONT SYSTEM. TENANT TO PRIME AND PAINT EXISTING TO REMAIN MULLIONS AND NEW MULLIONS. COLOR TO BE CHOSEN BY ARCHITECT.
- 10 NEW STOREFRONT INFILL WHERE SLIDING DOORS USED TO BE LOCATED. TENANT TO PRIME AND PAINT EXISTING TO REMAIN MULLIONS AND NEW MULLIONS. COLOR TO BE CHOSEN BY ARCHITECT.
- 11 NEW 8" HIGH CONCRETE CURB TO MATCH EXISTING ADJACENT 8" CONCRETE CURB.
- 12 EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN AS IS.
- 13 EXISTING WINDOW TO REMAIN AS IS.
- 14 EXISTING ROOF TO REMAIN AS IS.
- 15 EXISTING HOLLOW METAL DOOR AND FRAME TO REMAIN AS IS.
- 16 EXISTING TRUCK RAMP BEYOND TO REMAIN AS IS.
- 17 EXISTING CONCRETE SIDEWALK BEYOND TO REMAIN AS IS.
- 18 NEW LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS. TYPICAL.
- 19 NEW 20" WIDE X 18" HIGH MOTORIZED OVERHEAD INSULATED OVERHEAD DOOR SIMILAR TO THERMORISER MODEL ESD 20 BY CORNELL IRON WORKS OR SIMILAR WITH MODEL MG OPERATOR. REFER TO STRUCTURAL DRAWINGS. FOR OPENING REINFORCEMENT GC SHALL SUBMIT SHOP DRAWINGS TO ARCHITECT.

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ALBUQUERQUE, NM 87107
505.843.7587
www.designplusllc.com

DESIGN PLUS LLC



IMPROVE GROUP
VERUS RESEARCH
45 HOTEL CIRCLE NE
ALBUQUERQUE, NM 87123

DATE: 3/2/2021

REVISIONS

NO.	DATE	DESCRIPTION
1	4/19/2021	

DRAWN BY: NF

CHECKED BY: RE

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SHEET TITLE

EXTERIOR
ELEVATIONS

A-201