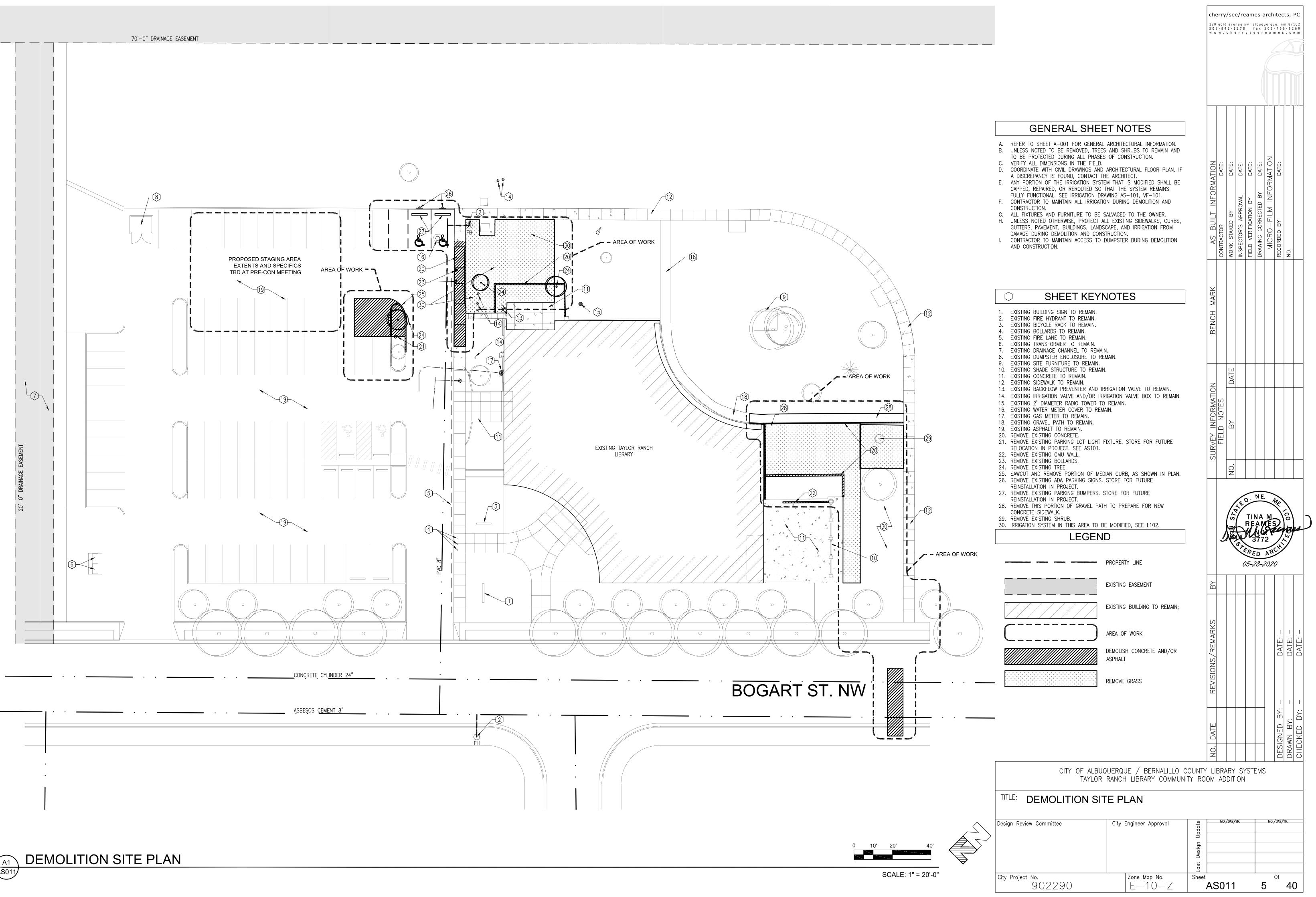
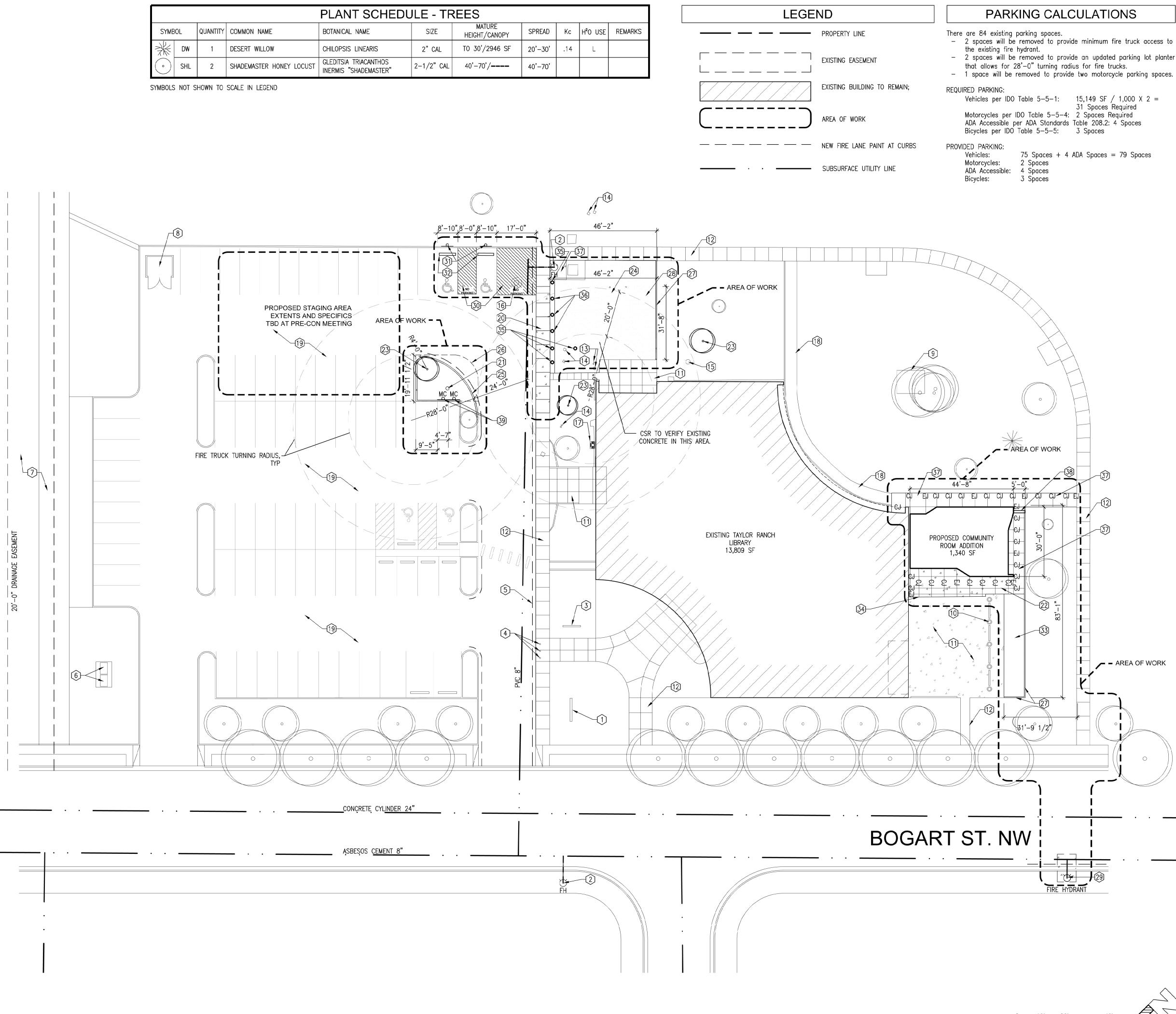
ADMINISTRAT	IVE AMENDMENT
FILE #F	PROJECT #
APPROVED B	Y DATE





				PLANT SCHEDU	ILE - TF	REES
SYME	BOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	MATURE HEIGHT/CAN
×	DW	1	DESERT WILLOW	CHILOPSIS LINEARIS	2"CAL	TO 30'/294
•	SHL	2	SHADEMASTER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS "SHADEMASTER"	2-1/2" CAL	40'-70'/ <b></b> -





TAYLOR RANCH LIBRARY - OVERALL SITE PLAN & LANDSCAPE PLAN

# 31 Spaces Required

75 Spaces + 4 ADA Spaces = 79 Spaces

#### **GENERAL SHEET NOTES**

cherry/see/reames architects, PC

220 gold avenue sw albuquerque, nm 87102 505-842-1278 fax 505-766-9269

www.cherryseereames.com

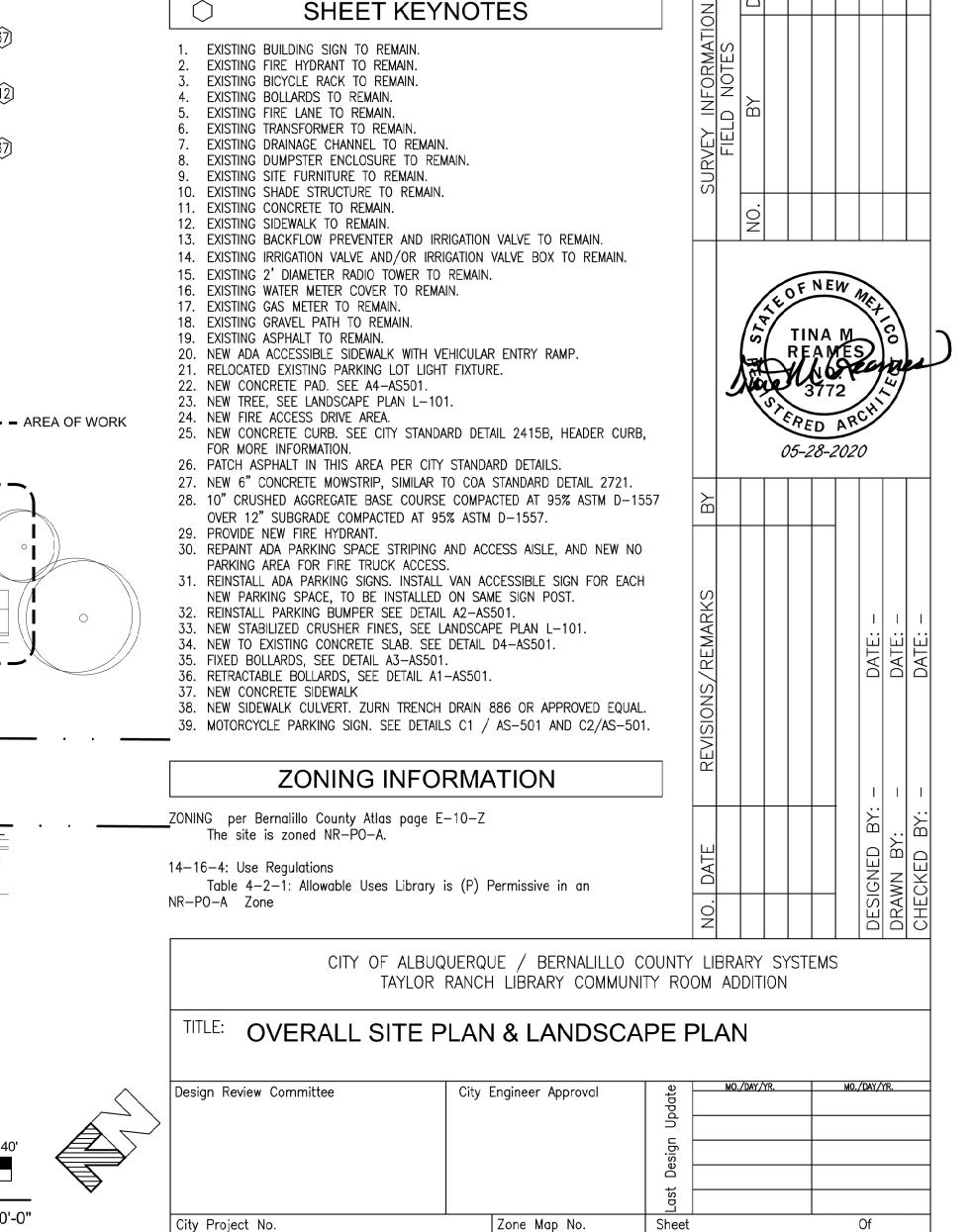
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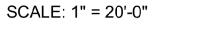
- A. REFER TO SHEET A-001 FOR GENERAL ARCHITECTURAL INFORMATION. B. COORDINATE WITH CIVIL DRAWINGS AND ARCHITECTURAL FLOOR PLANS. IF A DISCREPANCY IS FOUND, CONTACT THE ARCHITECT.
- C. GENERAL CONTRACTOR IS TO VISIT THE SITE PRIOR TO START OF WORK. D. ALL EXISTING TREES, SHRUBS AND GROUNDCOVERS WHICH DO NOT CONFLICT WITH NEW SITE IMPROVEMENTS SHALL REMAIN. CONTRACTOR SHALL PROTECT ALL EXISTING VEGETATION TO REMAIN, AND SHALL REPLACE DAMAGED VEGETATION AT NO ADDITIONAL COST TO THE OWNER. COORDINATE WITH SHEET ASO11.
- STRIPE ALL RESURFACED PAVING AND PARKING PER PLAN. PROTECT FROM DAMAGE ALL EXISTING SIDEWALKS, CURBS, GUTTERS, PAVEMENT, BUILDINGS, LANDSCAPE, & IRRIGATION TO REMAIN DURING DEMOLITION & CONSTRUCTION.
- G. VERIFY ALL DIMENSIONS IN FIELD.
- H. SELF LEVELING SEALANT TYPICAL AT ALL EXPANSION JOINTS. I. NEW ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS; LETTERS TO BE AT LEAST 1'-0" HIGH AND 2" WIDE, PAINTED AT THE REAR OF THE PARKING SPACE TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED: SEE PLAN.
- J. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING PLANTING OPERATIONS & SHALL NOTIFY THE CITY'S PM OF ANY CONDITIONS THAT CONFLICT W/ THE PROPOSED WORK.
- K. PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS AND DETAILS UNLESS NOTED OTHERWISE. MINIMIZE ANY DISTURBANCE TO AREAS OUTSIDE IMMEDIATE GRADING OR LANDSCAPE CONSTRUCTION AREAS.
- L. ALL PLANTING AREAS TO HAVE ALL WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO BEGINNING ANY PREPARATION FOR PLANTING. M. ALL PLANT SPECIMENS OF THE SAME SPECIES SHALL BE MATCHING IN
- PROPER AND APPROPRIATE SIZE AND CHARACTER AS PER THE AMERICAN NURSERYMEN'S ASSOCIATION STANDARDS. N. IN AREAS TO BE KEPT UNDISTURBED, LIMIT CONSTRUCTION TRAFFIC AND
- IRRIGATION OR UTILITY TRENCHING. 0. IF PLANT MATERIAL IS NOT AVAILABLE, SUBSTITUTIONS OF EQUAL OR GREATER TO BE APPROVED BY COA PARKS.

#### SHEET KEYNOTES

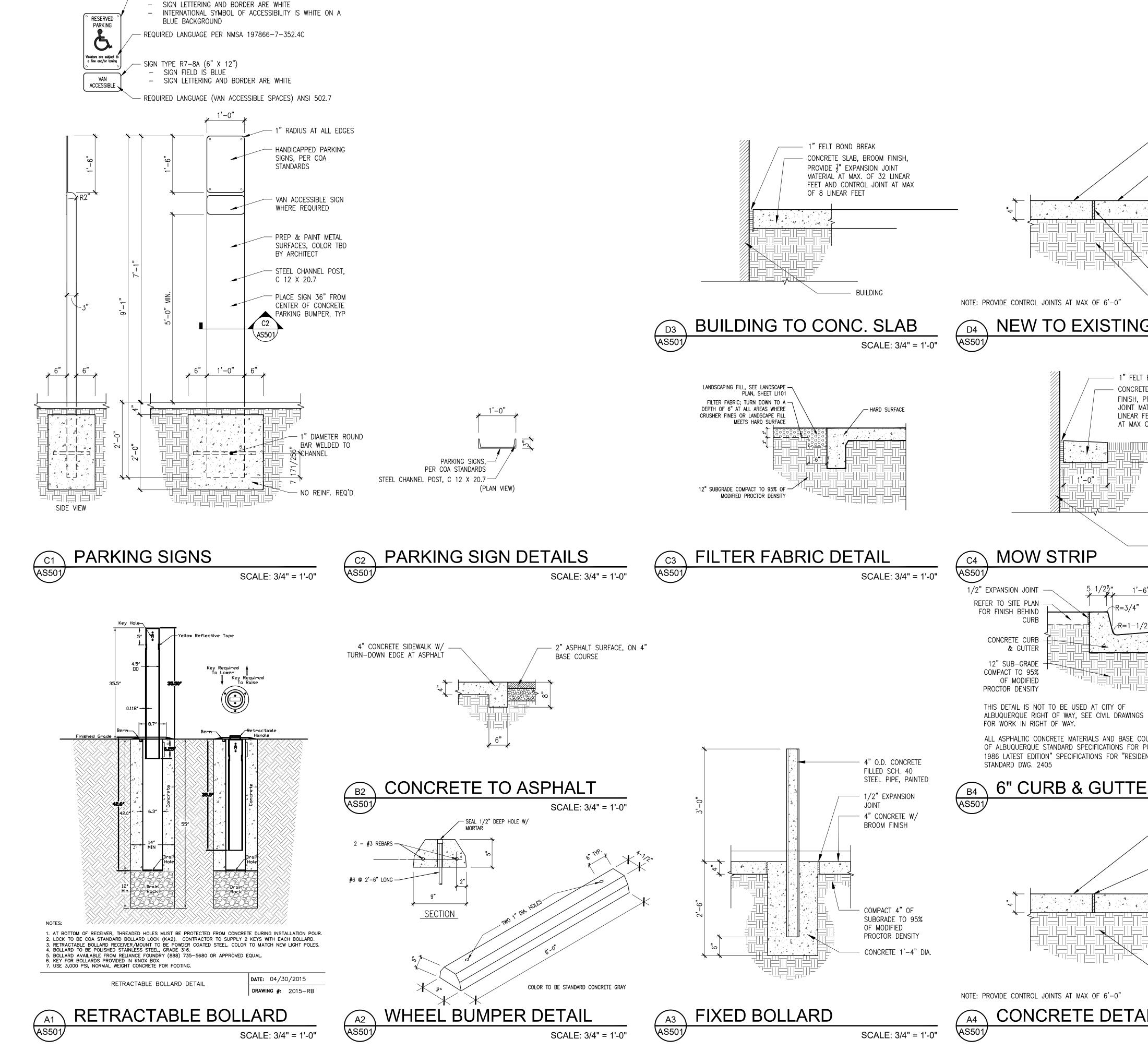


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AS102

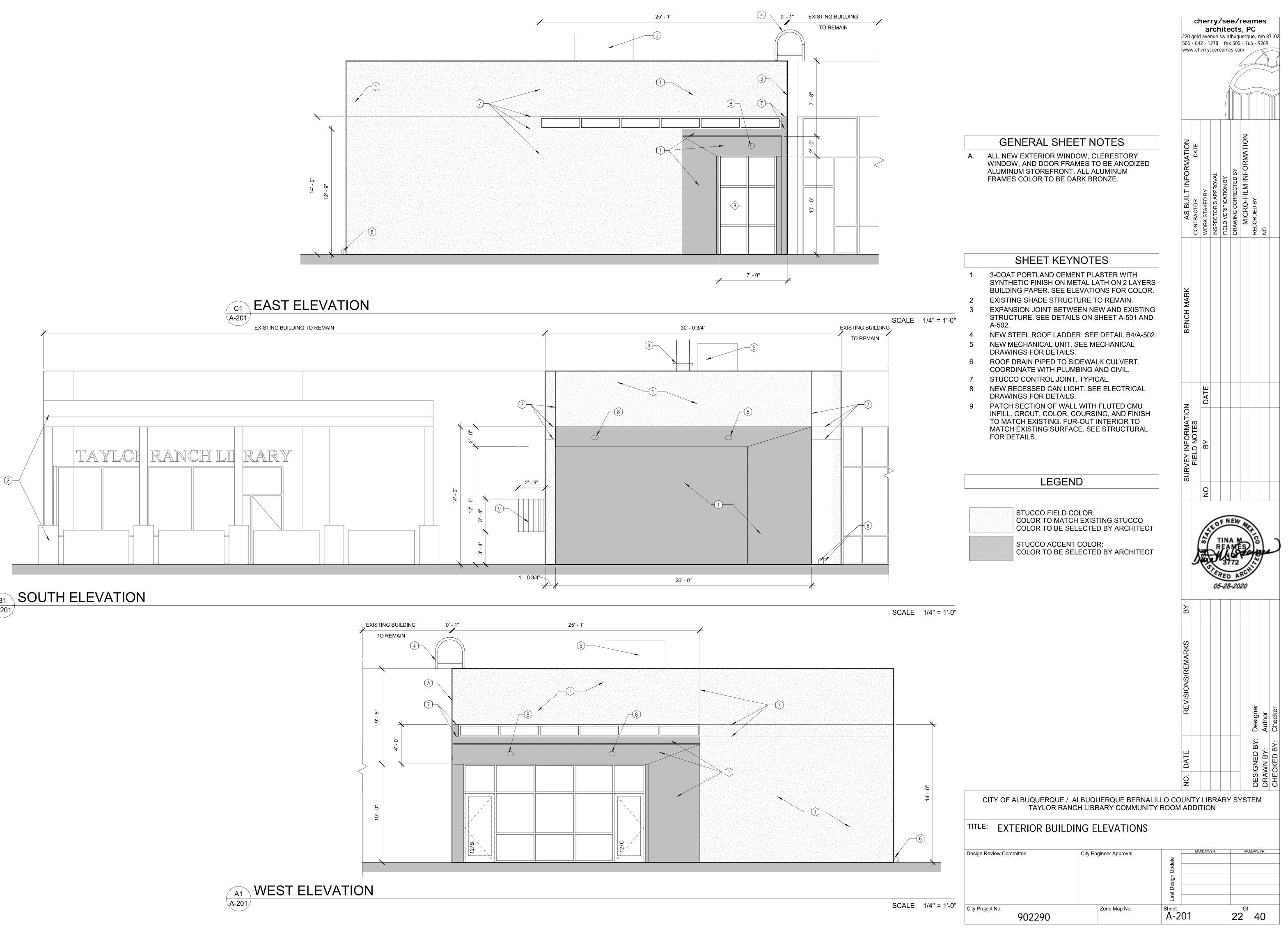


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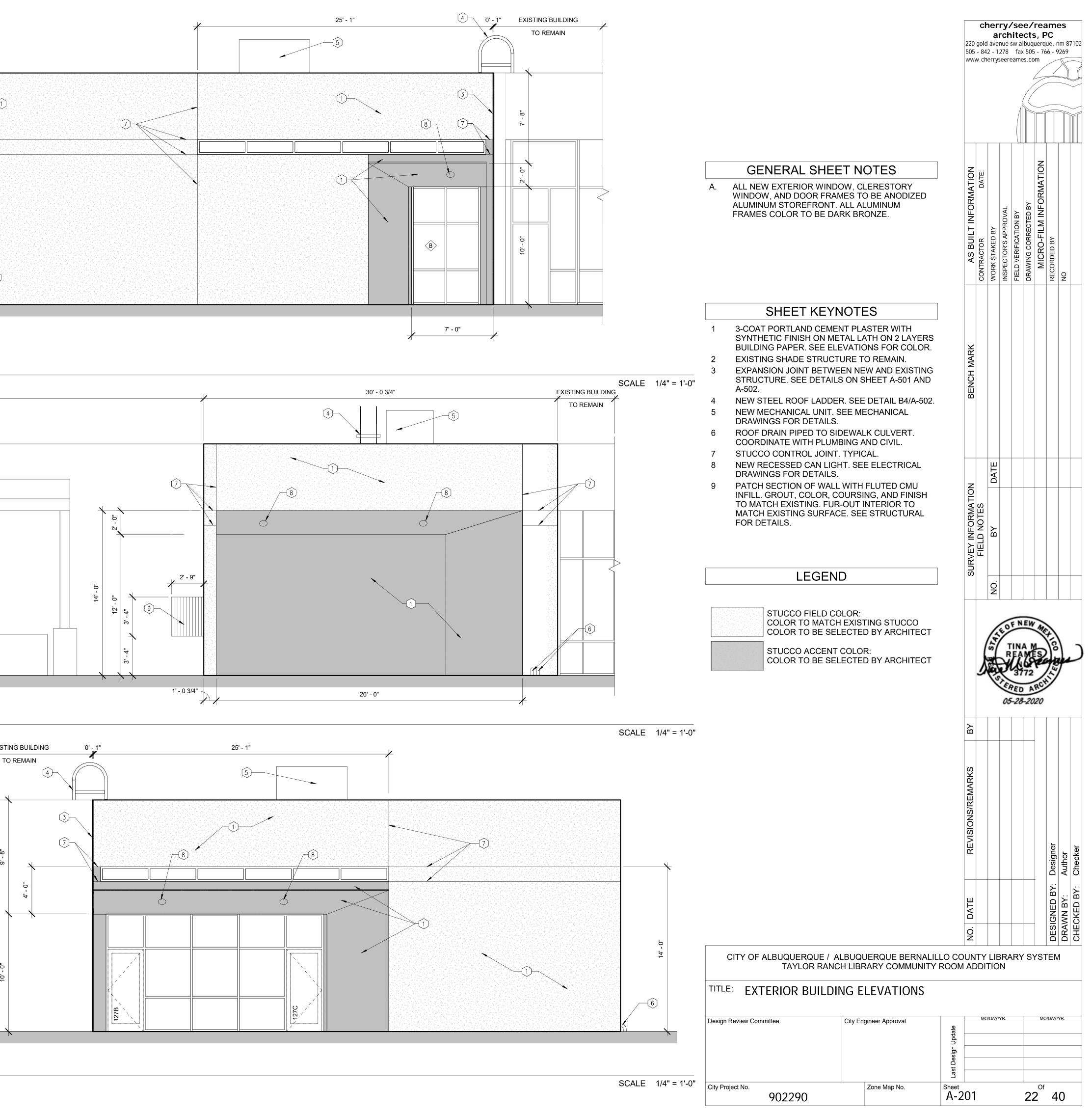
SIGN TYPE R7-8 (12"X18")
SIGN FIELD IS BLUE

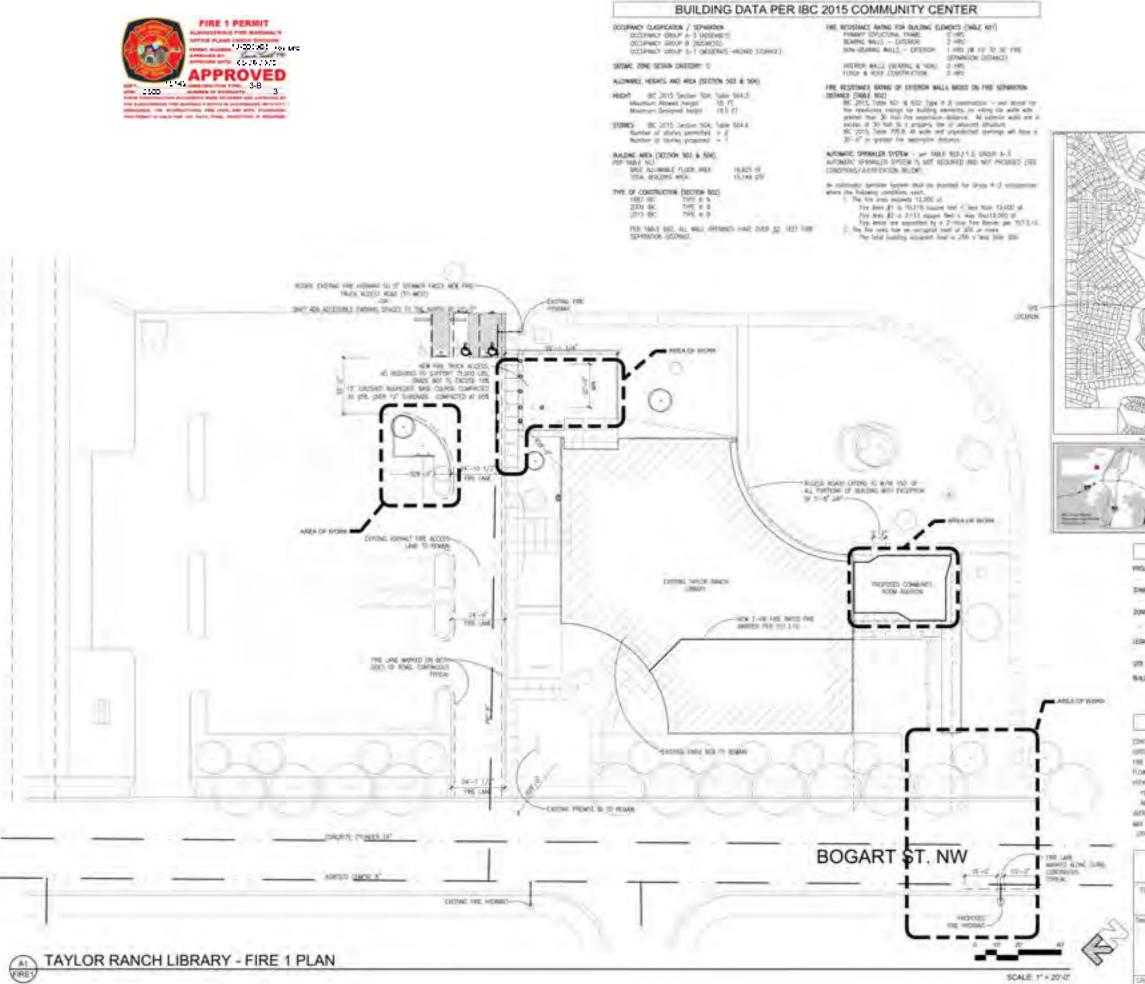
					220	gold i - 84	aver 2 - 1	nues 278	ame wall fa yse	buqu ax 5	ierqu 505-	e, nn -766	n 871 -92	102 69
– EXISTING CONCRETE SLAB – NEW CONCRETE SLAB	A. B. C.	<b>GENERAL SHEE</b> REFER TO SHEET A001 FOR GENERAL A ALL PORTLAND CEMENT CONCRETE EDG 3/8" RADIUS EDGING TOOL. PROVIDE SPACING, 1/2" EXP. JTS. AT CURB RE 40'. CONTROL JTS. SHALL BE EITHER 1" DEEP AT ALL FINISHED FACES. REII USED IN CUT-OFF WALLS. ALL ASPHALTIC CONCRETE MATERIALS A MEET "CITY OF ALBUQUERQUE STANDAR WORKS CONSTRUCTION 1986 LATEST ED "RESIDENTIAL TRAFFIC". USE COA STAN	ARCHITECTURAL INFORMATION. ES SHALL BE EDGED WITH A CONTROL JTS. AT 10' MAX., FURNS & AT A MAX. SPACING OF SAWED OR TOOLED A MINIMUM NFORCEMENT SHALL NOT BE ND BASE COURSE AGGREGATE TO D SPECIFICATIONS FOR PUBLIC DITION" SPECIFICATIONS FOR IDARD DWG. 2405.		-T INFORMATION	DATE:		OVAL	BY	D BY	FILM INFORMATION	DATE:		
	D. E.	ALL EXPOSED CONCRETE LIGHT POLE E AT ALL CONCRETE CONTINUOUS CURBS PROVIDE ½" EXPANSION JOINTS AT 40'-	AND BENCHES TO WALLS,		AS BUIL	CONTRACTOR	WORK STAKED	R'S		DRAWING CORR	MICRO-F	RECORDED BY	NO.	
I - 1/2" EXPANSION JOINT MATERIAL AT MAX OF 32'-0" - 12" SUBGRADE COMPACT TO 95% OF MODIFIED PROCTOR DENSITY <b>CONC. SLAB</b> SCALE: 3/4" = 1'-0"					BENCH MARK									
ND BREAK MOW STRIP BROOM IVIDE <sup>1</sup> / <sub>2</sub> " EXPANSION RIAL AT MAX. OF 32 T AND CONTROL JOINT 8 LINEAR FEET					SURVEY INFORMATION	FIELD NOTES	BY DATE							
- BUILDING SCALE: 3/4" = 1'-0" 3" ASPHALT CONCRETE AS SPECIFIED	•						NO.		FTINRUS REUS				CO 14	
6" BASE COURSE RECYCLED FROM GROUND UP PAVING FROM DEMOLITION TACK COAT					ARKS BY				5-20				I	
SE AGGREGATE TO MEET "CITY LIC WORKS CONSTRUCTION AL TRAFFIC". USE COA SCALE: 3/4" = 1'-0"	•				REVISIONS/REMARK							1	– DATE:	I
4" CONCRETE W/BROOM FINISH OR 3/8" EXPOSED AGGREGATE W/DAVIS COLOR, SEE SITE PLAN 1/2" EXPANSION JOINT MATERIAL AT MAX OF 32'-0"					NO. DATE							DESIGNED BY:	DRAWN BY:	CHECKED BY:
	TI		QUERQUE / BERNALILLO CO RANCH LIBRARY COMMUNIT			AD	DITI	ON	STE	.MS				
12" SUBGRADE COMPACT TO 95% OF MODIFIED PROCTOR DENSITY	Des	gn Review Committee	City Engineer Approval	Design Update		<u>MO.,</u>	/day/1	<u>(R.</u>			MO.,	/DAY/Y	Ŕ.	
L SCALE: 3/4" = 1'-0"	City	Project No. 902290	Zone Map No. E—10—Z	Tas Cast Sheet	AS	<b>6</b> 50	01			7		Of 4	40	











SCALE 1" = 2010"

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### CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



Mayor Timothy M. Keller

March 31, 2021

Scott McGee, P.E. 9700 Sand Verbena Trail NE Albuquerque, NM 87122

RE: Taylor Ranch Library Addition 5700 Bogart St. NW Grading and Drainage Plan Engineer's Stamp Date: 05/27/20 Hydrology File: E10D002I

Dear Mr. McGee:

PO Box 1293 Based upon the information provided in your submittal received 03/16/2021, the Grading and Drainage Plan is approved for Building Permit and Grading Permit.

Albuquerque Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

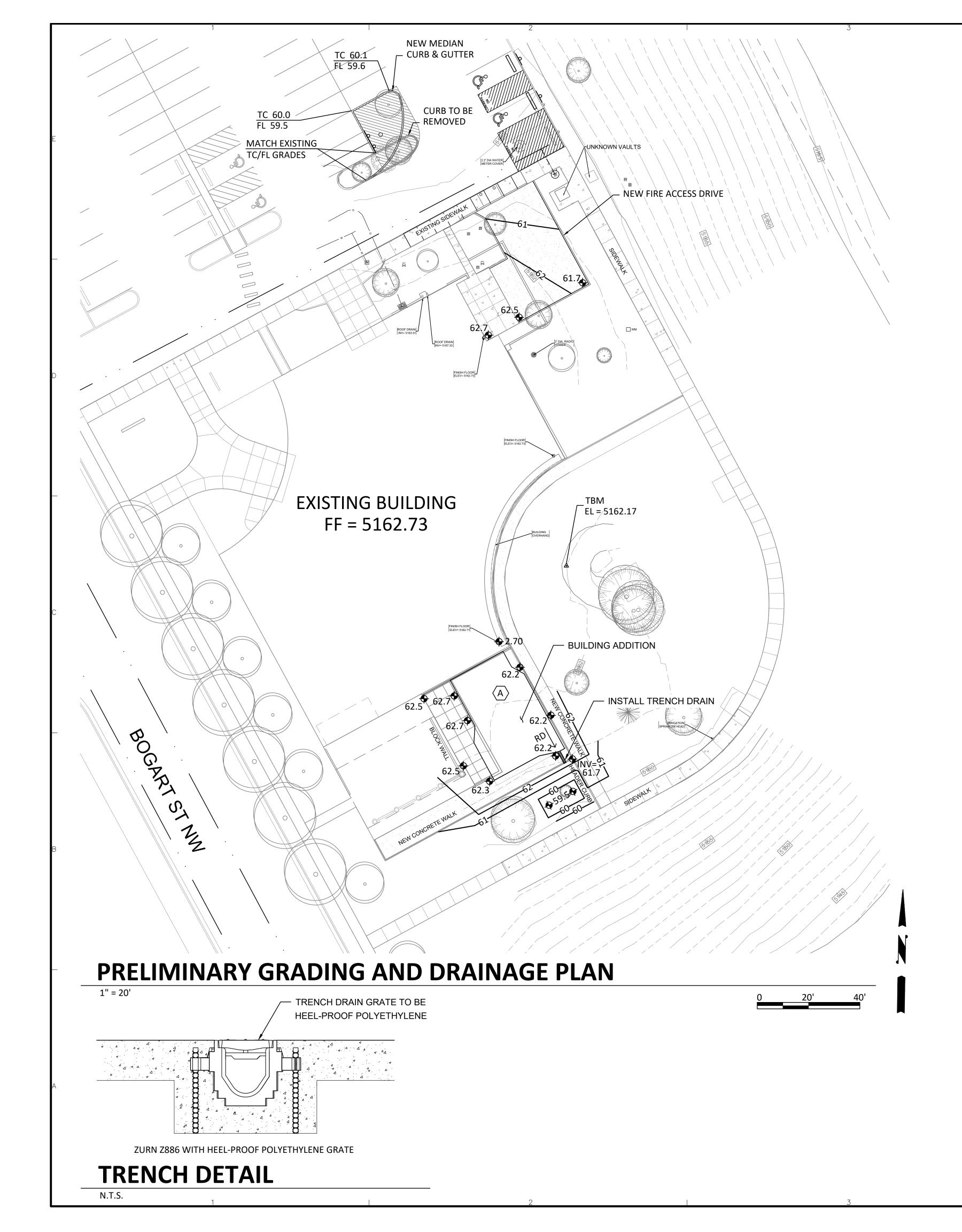
If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

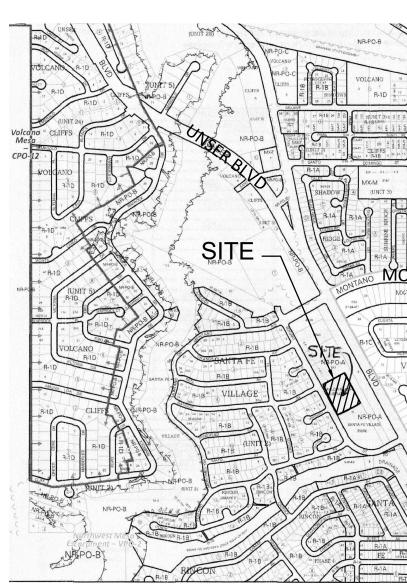
If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department





# VICINITY MAP

#### $\bigcirc$ KEYED NOTES

A. MATCH EXISTING BUILDING FINISH FLOOR EL

# LEGEND

<del>- (</del>36.5

FF=5162.73 PROPOSED BUILDING FI NEW SPOT ELEVATION

### DRAINAGE ANALYSIS

ADDRESS: 5700 Bogart Street NW, Albuquerque, NM

LEGAL DESCRIPTION: TAYLOR RANCH LIBRARY

DISTURBED AREA: 32,470 SF (0.745 acre)

BENCHMARK: City of Albuquerque Station '5-E10' bein 5160.499 (NAVD 1988)

SURVEYOR: Souder Miller dated September, 2019

PRECIPITATION ZONE: 1

FLOOD HAZARD: From FEMA Map 35001C0114H (8/1 as being within Zone 'X' which is determined to be ou floodplain.

OFFSITE FLOW: There is no offsite flow that enters the

EXISTING CONDITIONS: The site is a developed com the east side of Bogart Street.

PROPOSED IMPROVEMENTS: The proposed 1,250 SF added to the SE side of the existing building. Minor pa made to improve fire access to the building. The roof of the southeast end of the building through a sidewal

DRAINAGE APPROACH: The site drainage pattern will the incorporation of the onsite retention pond for the

Existing land treatment: 20% B, 30% C, and 50% D Q = [(.2)(2.03)+(.3)(2.87)+(0.5)(4.37)](0.745) = 2.6

Proposed land treatment: 20% B, 22% C and 58% D Q = [(0.2)(2.03)+(0.22)(2.87)+(0.58)(4.37)](0.745) =

The proposed below grade retention storage area will SWQV= (2,600)(0.34/12)=74 CF (120 > 74 OK)

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7 CFS       Image: City of Albuquerque / Bernalillo County Library Systems Taylor Ranch Library Community Room Addition         Title:       Title:	ИЕD ВҮ: - I ВҮ: -
rovide: CITY OF ALBUQUERQUE / BERNALILLO COUNTY LIBRARY SYSTEMS TAYLOR RANCH LIBRARY COMMUNITY ROOM ADDITION TITLE:	DESIGNED DRAWN BY
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