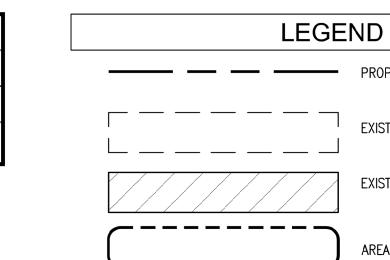


PLANT SCHEDULE - TREES												
SYMBOL		QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	MATURE HEIGHT/CANOPY	SPREAD	Кс	H²O USE	REMARKS		
*	DW	1	DESERT WILLOW	CHILOPSIS LINEARIS	2" CAL	TO 30'/2946 SF	20'-30'	.14	L			
0	SHL	2	SHADEMASTER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS "SHADEMASTER"	2-1/2" CAL	40'-70'/	40'-70'					

SYMBOLS NOT SHOWN TO SCALE IN LEGEND



PROPERTY LINE

EXISTING EASEMENT

AREA OF WORK

SUBSURFACE UTILITY LINE

EXISTING BUILDING TO REMAIN;

NEW FIRE LANE PAINT AT CURBS

# PARKING CALCULATIONS

#### There are 84 existing parking spaces.

- 2 spaces will be removed to provide minimum fire truck access to the existing fire hydrant. 2 spaces will be removed to provide an updated parking lot planter that allows for 28'-0" turning radius for fire trucks.

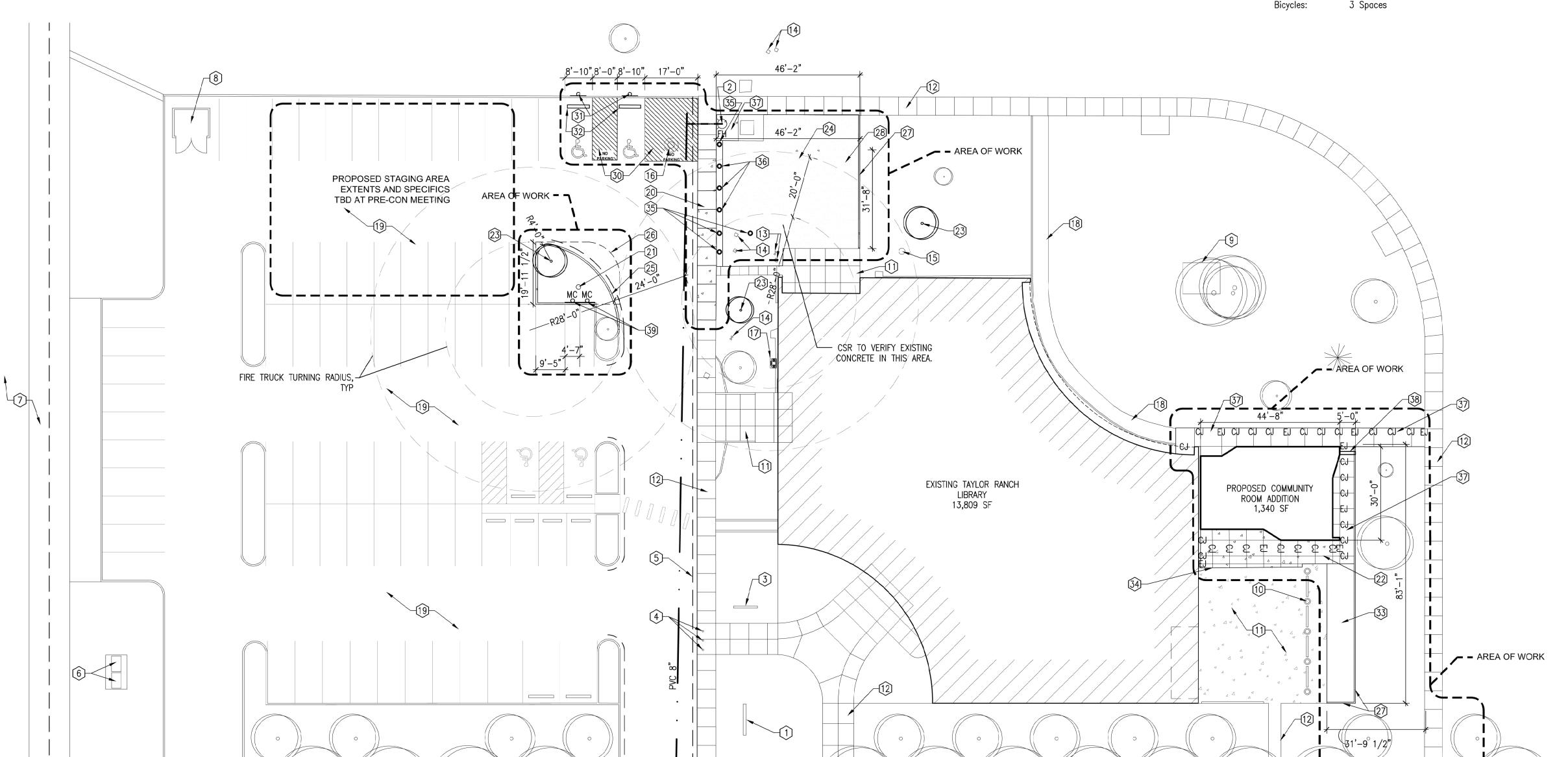
- 1 space will be removed to provide two motorcycle parking spaces.

#### REQUIRED PARKING:

Vehicles per IDO Table 5-5-1: 15,149 SF / 1,000 X 2 =31 Spaces Required Motorcycles per IDO Table 5-5-4: 2 Spaces Required ADA Accessible per ADA Standards Table 208.2: 4 Spaces Bicycles per IDO Table 5-5-5: 3 Spaces

#### PROVIDED PARKING:

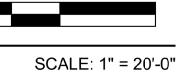
75 Spaces + 4 ADA Spaces = 79 Spaces Vehicles: Motorcycles: 2 Spaces ADA Accessible: 4 Spaces



BOGART ST. NW

OVERALL SITE PLAN & LANDSCAPE PLAN

City Engineer Approval Zone Map No. E-10-2AS102



\_CONCRETE CYL<u>INDER 24"</u>

ASBESOS CEMENT 8"

# **GENERAL SHEET NOTES**

cherry/see/reames architects, PC

220 gold avenue sw albuquerque, nm 87102 505-842-1278 fax 505-766-9269

www.cherryseereames.com

05-28-2020

- A. REFER TO SHEET A-001 FOR GENERAL ARCHITECTURAL INFORMATION. B. COORDINATE WITH CIVIL DRAWINGS AND ARCHITECTURAL FLOOR PLANS. IF A
- C. GENERAL CONTRACTOR IS TO VISIT THE SITE PRIOR TO START OF WORK. ALL EXISTING TREES, SHRUBS AND GROUNDCOVERS WHICH DO NOT CONFLICT WITH NEW SITE IMPROVEMENTS SHALL REMAIN. CONTRACTOR SHALL PROTECT ALL EXISTING VEGETATION TO REMAIN, AND SHALL REPLACE DAMAGED VEGETATION AT NO ADDITIONAL COST TO THE OWNER. COORDINATE
- STRIPE ALL RESURFACED PAVING AND PARKING PER PLAN. PROTECT FROM DAMAGE ALL EXISTING SIDEWALKS, CURBS, GUTTERS, PAVEMENT. BUILDINGS. LANDSCAPE. & IRRIGATION TO REMAIN DURING DEMOLITION & CONSTRUCTION.
- G. VERIFY ALL DIMENSIONS IN FIELD. H. SELF LEVELING SEALANT TYPICAL AT ALL EXPANSION JOINTS.

WITH SHEET ASO11.

DISCREPANCY IS FOUND, CONTACT THE ARCHITECT.

- I. NEW ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS; LETTERS TO BE AT LEAST 1'-0" HIGH AND 2" WIDE, PAINTED AT THE REAR OF THE PARKING SPACE TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED: SEE PLAN. J. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES
- PRIOR TO BEGINNING PLANTING OPERATIONS & SHALL NOTIFY THE CITY'S PM OF ANY CONDITIONS THAT CONFLICT W/ THE PROPOSED WORK. K. PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS AND DETAILS UNLESS NOTED
- OTHERWISE. MINIMIZE ANY DISTURBANCE TO AREAS OUTSIDE IMMEDIATE GRADING OR LANDSCAPE CONSTRUCTION AREAS. L. ALL PLANTING AREAS TO HAVE ALL WEEDS AND COMPETITIVE VEGETATION
- REMOVED PRIOR TO BEGINNING ANY PREPARATION FOR PLANTING. M. ALL PLANT SPECIMENS OF THE SAME SPECIES SHALL BE MATCHING IN PROPER AND APPROPRIATE SIZE AND CHARACTER AS PER THE AMERICAN
- NURSERYMEN'S ASSOCIATION STANDARDS. N. IN AREAS TO BE KEPT UNDISTURBED, LIMIT CONSTRUCTION TRAFFIC AND
- IRRIGATION OR UTILITY TRENCHING. O. IF PLANT MATERIAL IS NOT AVAILABLE, SUBSTITUTIONS OF EQUAL OR

#### SHEET KEYNOTES

- 1. EXISTING BUILDING SIGN TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN. EXISTING BICYCLE RACK TO REMAIN.

GREATER TO BE APPROVED BY COA PARKS.

- EXISTING BOLLARDS TO REMAIN.
- EXISTING FIRE LANE TO REMAIN.
- EXISTING TRANSFORMER TO REMAIN. EXISTING DRAINAGE CHANNEL TO REMAIN.
- EXISTING DUMPSTER ENCLOSURE TO REMAIN.
- 9. EXISTING SITE FURNITURE TO REMAIN. 10. EXISTING SHADE STRUCTURE TO REMAIN.
- 11. EXISTING CONCRETE TO REMAIN. 12. EXISTING SIDEWALK TO REMAIN.
- 13. EXISTING BACKFLOW PREVENTER AND IRRIGATION VALVE TO REMAIN.
- 14. EXISTING IRRIGATION VALVE AND/OR IRRIGATION VALVE BOX TO REMAIN. 15. EXISTING 2' DIAMETER RADIO TOWER TO REMAIN.
- 16. EXISTING WATER METER COVER TO REMAIN.
- 17. EXISTING GAS METER TO REMAIN. 18. EXISTING GRAVEL PATH TO REMAIN
- 19. EXISTING ASPHALT TO REMAIN. 20. NEW ADA ACCESSIBLE SIDEWALK WITH VEHICULAR ENTRY RAMP.
- 21. RELOCATED EXISTING PARKING LOT LIGHT FIXTURE.
- 22. NEW CONCRETE PAD. SEE A4-AS501. 23. NEW TREE, SEE LANDSCAPE PLAN L-101.
- 24. NEW FIRE ACCESS DRIVE AREA.
- 25. NEW CONCRETE CURB. SEE CITY STANDARD DETAIL 2415B, HEADER CURB, FOR MORE INFORMATION.
- 26. PATCH ASPHALT IN THIS AREA PER CITY STANDARD DETAILS. 27. NEW 6" CONCRETE MOWSTRIP, SIMILAR TO COA STANDARD DETAIL 2721.
- 28. 10" CRUSHED AGGREGATE BASE COURSE COMPACTED AT 95% ASTM D-1557 OVER 12" SUBGRADE COMPACTED AT 95% ASTM D-1557. 29. PROVIDE NEW FIRE HYDRANT.
- 30. REPAINT ADA PARKING SPACE STRIPING AND ACCESS AISLE, AND NEW NO PARKING AREA FOR FIRE TRUCK ACCESS. 31. REINSTALL ADA PARKING SIGNS. INSTALL VAN ACCESSIBLE SIGN FOR EACH
- NEW PARKING SPACE, TO BE INSTALLED ON SAME SIGN POST. 32. REINSTALL PARKING BUMPER SEE DETAIL A2-AS501.
- 33. NEW STABILIZED CRUSHER FINES, SEE LANDSCAPE PLAN L-101. 34. NEW TO EXISTING CONCRETE SLAB. SEE DETAIL D4-AS501.
- 35. FIXED BOLLARDS, SEE DETAIL A3-AS501.
- 36. RETRACTABLE BOLLARDS, SEE DETAIL A1-AS501.
- 37. NEW CONCRETE SIDEWALK
- 38. NEW SIDEWALK CULVERT. ZURN TRENCH DRAIN 886 OR APPROVED EQUAL. 39. MOTORCYCLE PARKING SIGN. SEE DETAILS C1 / AS-501 AND C2/AS-501.

#### **ZONING INFORMATION**

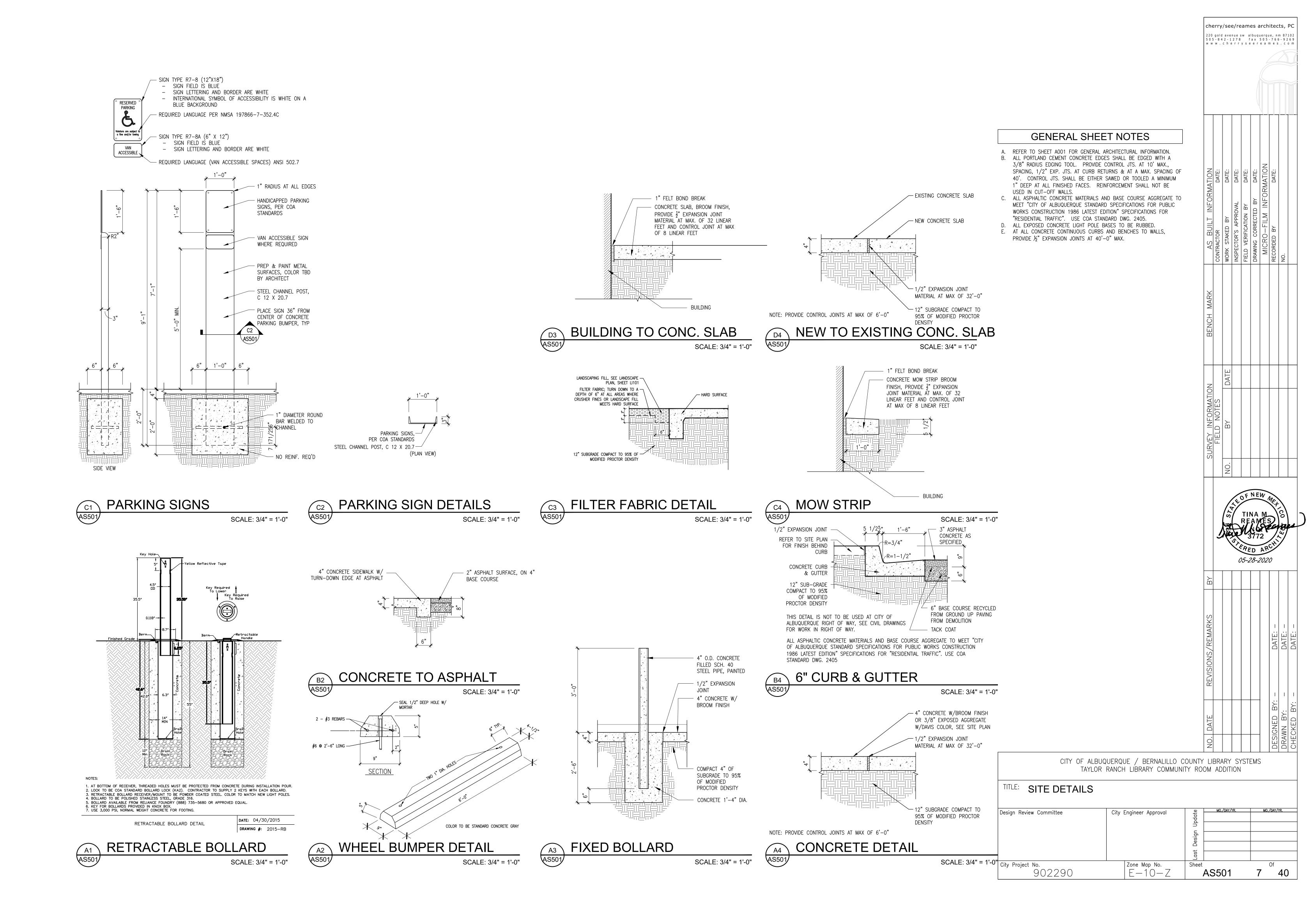
\_ZONING per Bernalillo County Atlas page E-10-Z The site is zoned NR-PO-A.

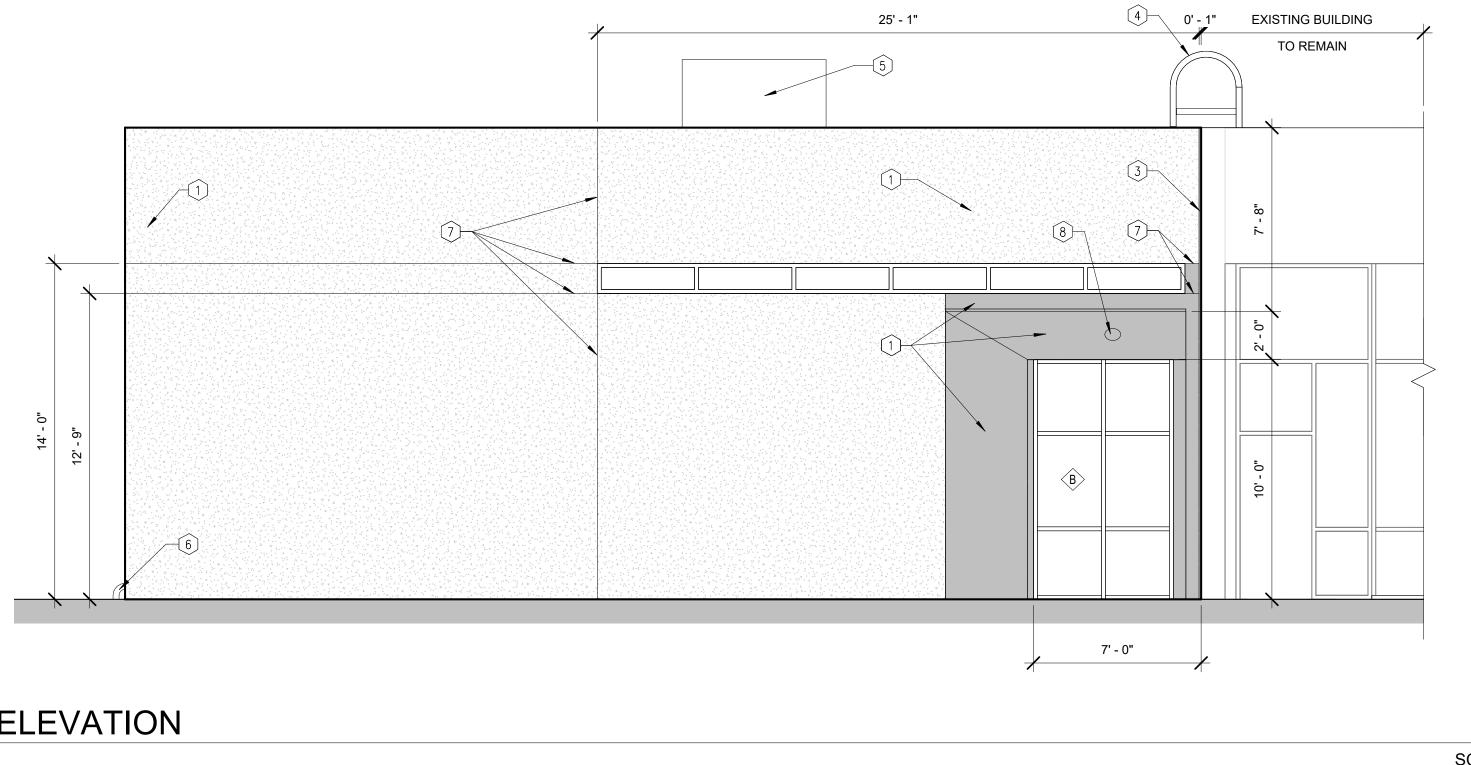
## 14-16-4: Use Regulations

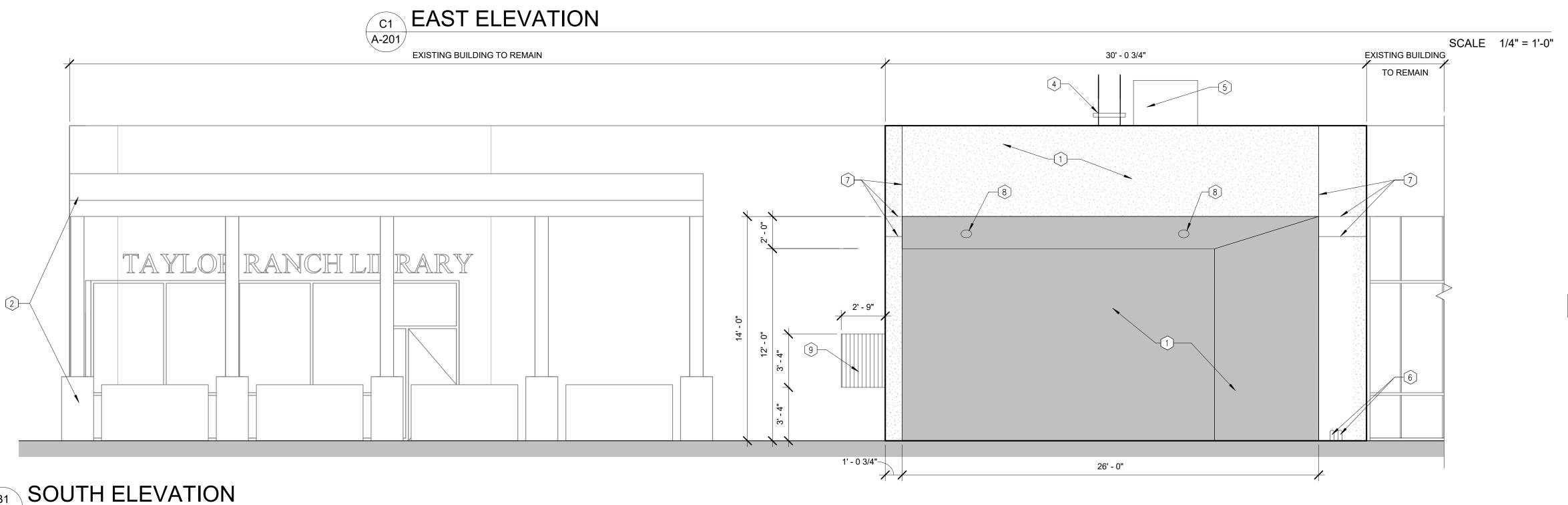
Table 4-2-1: Allowable Uses Library is (P) Permissive in an

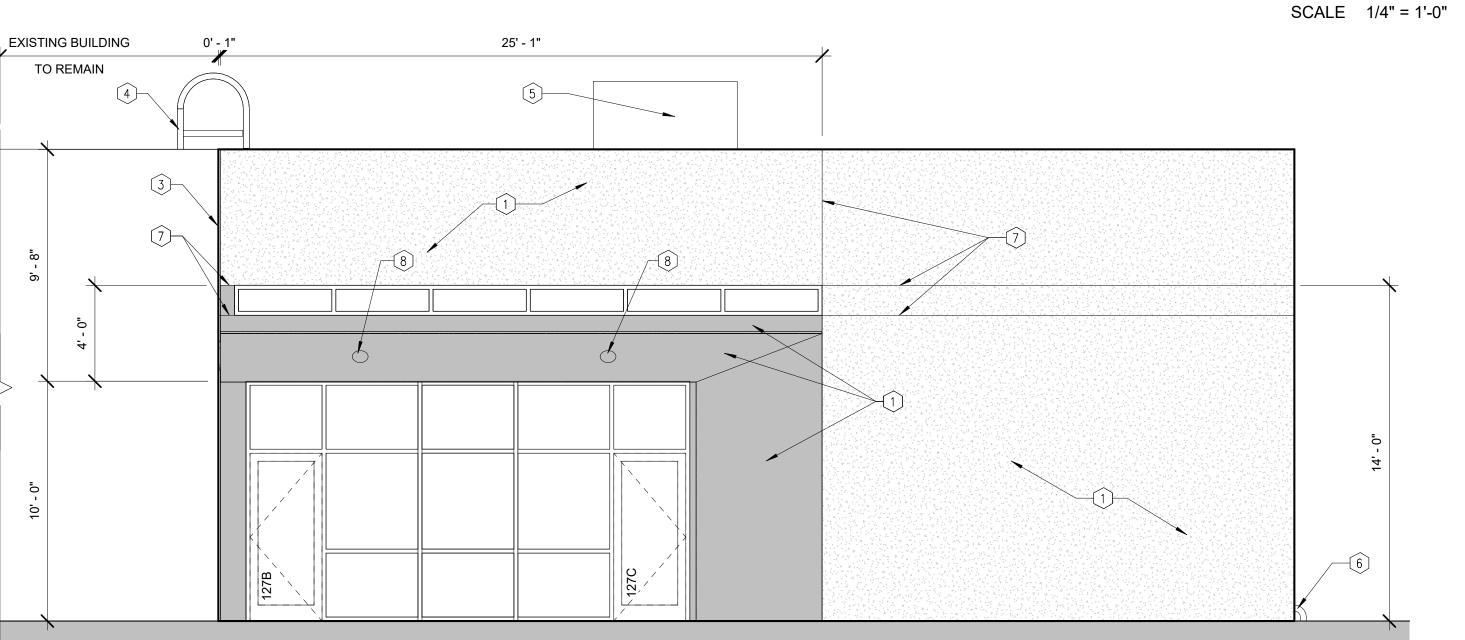
CITY OF ALBUQUERQUE / BERNALILLO COUNTY LIBRARY SYSTEMS TAYLOR RANCH LIBRARY COMMUNITY ROOM ADDITION

Design Review Committee City Project No.









#### **GENERAL SHEET NOTES**

ALL NEW EXTERIOR WINDOW, CLERESTORY WINDOW, AND DOOR FRAMES TO BE ANODIZED ALUMINUM STOREFRONT. ALL ALUMINUM FRAMES COLOR TO BE DARK BRONZE.

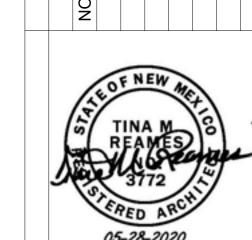
#### SHEET KEYNOTES

- 3-COAT PORTLAND CEMENT PLASTER WITH SYNTHETIC FINISH ON METAL LATH ON 2 LAYERS BUILDING PAPER. SEE ELEVATIONS FOR COLOR.
- EXISTING SHADE STRUCTURE TO REMAIN.
- EXPANSION JOINT BETWEEN NEW AND EXISTING STRUCTURE. SEE DETAILS ON SHEET A-501 AND
- NEW STEEL ROOF LADDER. SEE DETAIL B4/A-502. NEW MECHANICAL UNIT. SEE MECHANICAL
- DRAWINGS FOR DETAILS. ROOF DRAIN PIPED TO SIDEWALK CULVERT.
- COORDINATE WITH PLUMBING AND CIVIL.
- STUCCO CONTROL JOINT. TYPICAL. NEW RECESSED CAN LIGHT. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- PATCH SECTION OF WALL WITH FLUTED CMU INFILL. GROUT, COLOR, COURSING, AND FINISH TO MATCH EXISTING. FUR-OUT INTERIOR TO MATCH EXISTING SURFACE. SEE STRUCTURAL FOR DETAILS.

#### LEGEND

STUCCO FIELD COLOR:
COLOR TO MATCH EXISTING STUCCO
COLOR TO BE SELECTED BY ARCHITECT

STUCCO ACCENT COLOR: COLOR TO BE SELECTED BY ARCHITECT



SURVEY INFORMATIC FIELD NOTES BY

cherry/see/reames

architects, PC 220 gold avenue sw albuquerque, nm 87102 505 - 842 - 1278 fax 505 - 766 - 9269

www.cherryseereames.com

REMARKS						
REVISIONS/REMARKS				Designer	Author	Choolor
DATE				DESIGNED BY:	<b>JRAWN BY</b> :	
NO.				DESI	JRA/	

CITY OF ALBUQUERQUE / ALBUQUERQUE BERNALILLO COUNTY LIBRARY SYSTEM TAYLOR RANCH LIBRARY COMMUNITY ROOM ADDITION

TITLE: EXTERIOR BUILDING ELEVATIONS

MO/DAY/YR. Design Review Committee City Engineer Approval SCALE 1/4" = 1'-0" City Project No. 22° 40 Sheet A-201 Zone Map No. 902290

WEST ELEVATION
A-201



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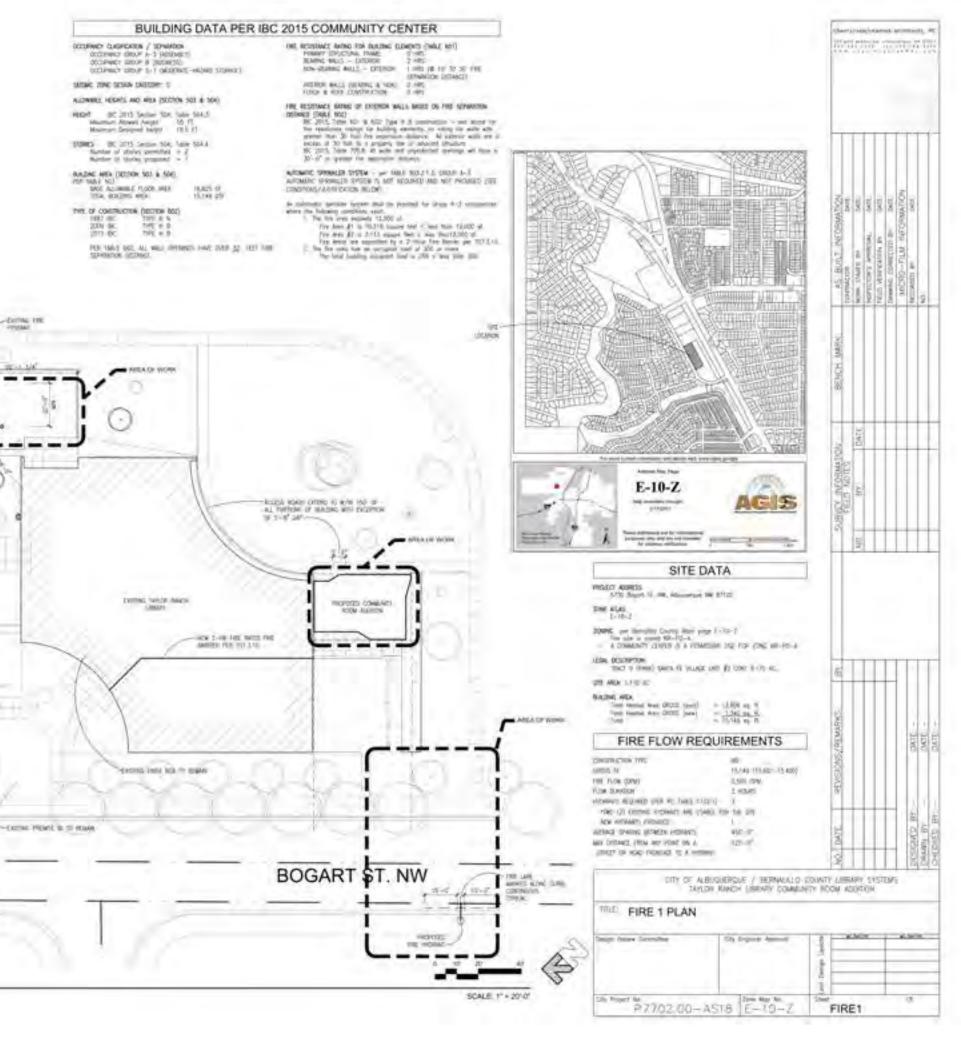
AREA OF WORK

ADDRESS GRAVE N.

TAYLOR RANCH LIBRARY - FIRE 1 PLAN

1-1616

DODGE WE HEMAD



# CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



March 31, 2021

Scott McGee, P.E. 9700 Sand Verbena Trail NE Albuquerque, NM 87122

**RE:** Taylor Ranch Library Addition

5700 Bogart St. NW

**Grading and Drainage Plan** 

Engineer's Stamp Date: 05/27/20

Hydrology File: E10D002I

Dear Mr. McGee:

Based upon the information provided in your submittal received 03/16/2021, the Grading and

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy

by Hydrology, Engineer Certification per the DPM checklist will be required.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality

Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth

disturbance.

Albuquerque

NM 87103

www.cabq.gov

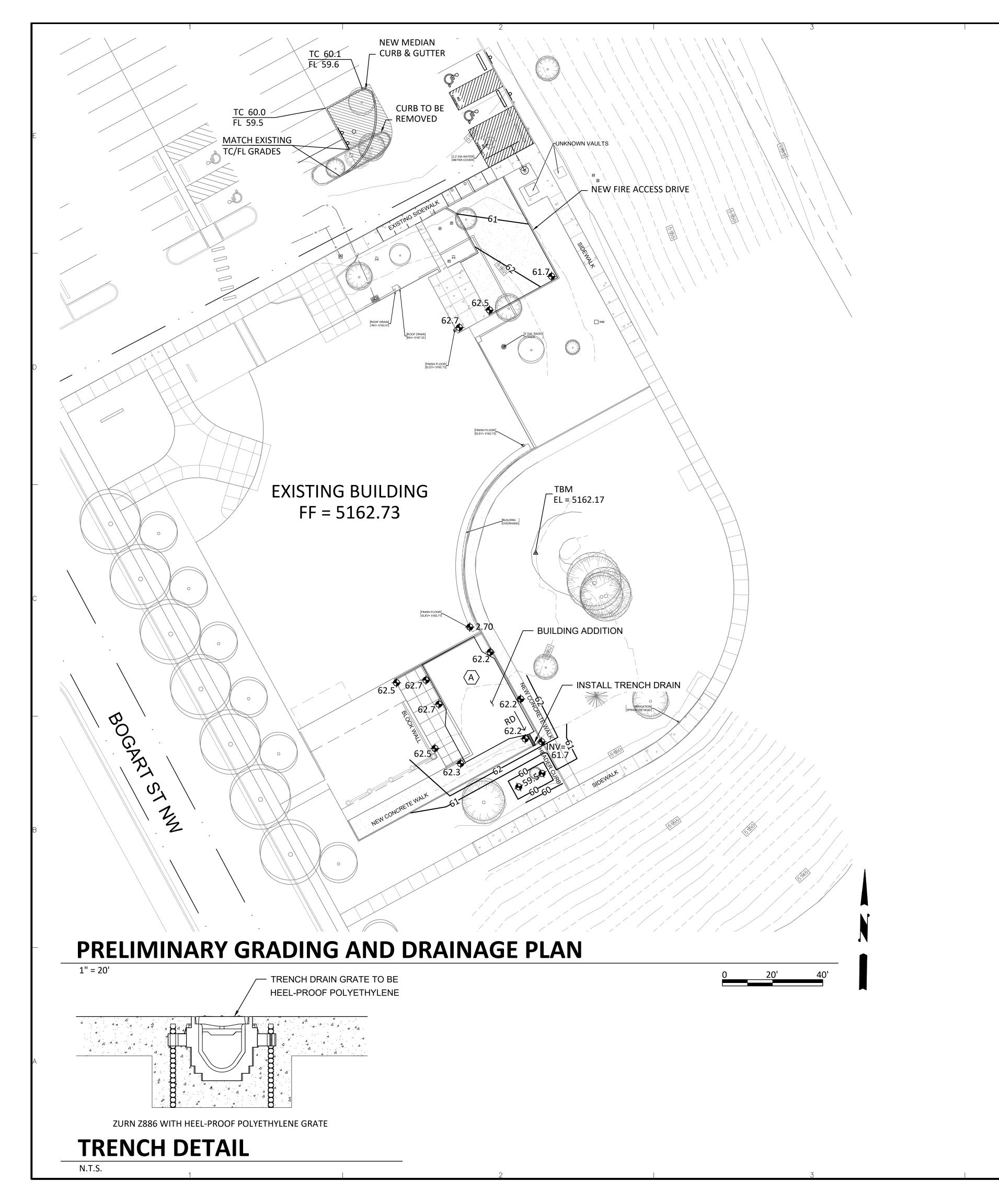
If you have any questions, please contact me at 924-3995 or <a href="mailto:rbrissette@cabq.gov">rbrissette@cabq.gov</a>.

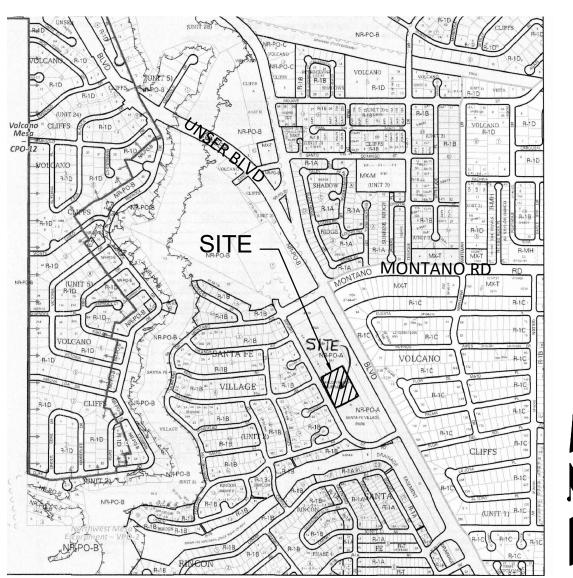
Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Renée C. Brissette

Planning Department





**VICINITY MAP** 

**F13** 

## **○ KEYED NOTES**

A. MATCH EXISTING BUILDING FINISH FLOOR ELEVATION WITH ADDITION.

### **LEGEND**

FF=5162.73 PROPOSED BUILDING FINISH FLOOR ELEV

♦36.5 NEW SPOT ELEVATION

# **DRAINAGE ANALYSIS**

ADDRESS: 5700 Bogart Street NW, Albuquerque, NM

LEGAL DESCRIPTION: TAYLOR RANCH LIBRARY

DISTURBED AREA: 32,470 SF (0.745 acre)

BENCHMARK: City of Albuquerque Station '5-E10' being a brass cap with ELEV= 5160.499 (NAVD 1988)

SURVEYOR: Souder Miller dated September, 2019

PRECIPITATION ZONE: 1

FLOOD HAZARD: From FEMA Map 35001C0114H (8/16/2012), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: There is no offsite flow that enters this site.

EXISTING CONDITIONS: The site is a developed commercial building located on the east side of Bogart Street.

PROPOSED IMPROVEMENTS: The proposed 1,250 SF building addition will be added to the SE side of the existing building. Minor parking lot modifications will be made to improve fire access to the building. The roof of the addition will discharge to the southeast end of the building through a sidewalk trench drain.

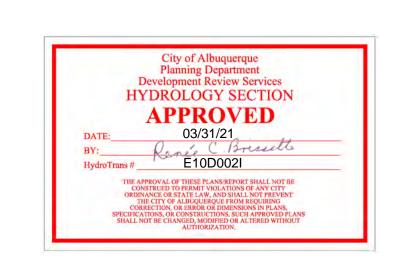
DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of the onsite retention pond for the first flush volume.

Existing land treatment: 20% B, 30% C, and 50% D Precipitation Zone: 1 Q = [(.2)(2.03)+(.3)(2.87)+(0.5)(4.37)](0.745) = 2.6 CFS

Proposed land treatment: 20% B, 22% C and 58% D Q = [(0.2)(2.03)+(0.22)(2.87)+(0.58)(4.37)](0.745)= 2.7 CFS

The proposed below grade retention storage area will provide: SWQV = (2,600)(0.34/12) = 74 CF (120 > 74 OK)





CITY OF ALBUQUERQUE / BERNALILLO COUNTY LIBRARY SYSTEMS
TAYLOR RANCH LIBRARY COMMUNITY ROOM ADDITION

cherry/see/reames architects, PG

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Design Review Committee

City Engineer Approval

Design Review Committee

City Engineer Approval

Design Review Committee

City Engineer Approval

Design Review Committee

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PO2290

Design Review Committee

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Of

E-10-Z