

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN
APPROVED PRIOR TO EFFECTIVE DATE OF IDO**

DESCRIPTION:
THIS MINOR AMENDMENT IS FOR THE CONSTRUCTION OF AN ADDITIONAL DRIVEWAY ENTRANCE INTO THE PROPERTY, RELOCATION OF THE PEDESTRIAN GATE AND SIDEWALK INTO THE PROPERTY, AND MINOR CHANGES TO THE LANDSCAPING TO ACCOMMODATE THE NEW DRIVEWAY.

DRB PROJECT NO. 1011638

ZONING:
AT TURN IN OF DRB APPLICATION SUBMITTAL: SU-2 / IP
CURRENT IDO ZONING: NR-BP
THERE IS NO MASTER DEVELOPMENT PLAN ON FILE.

LEGAL DESCRIPTION:
LOT 22-A, BLOCK NO. 8, ORIGINAL TOWNSITE OF WESTLAND, BEING A REPLAT OF LOT 22, BLOCK 8, WITHIN TOWN OF ATRISCO GRANT, BERNALILLO COUNTY.

THE USE OF THE NEW BUILDINGS SHALL REMAIN THE SAME AS PROPOSED IN THE ORIGINAL DRB APPLICATION:

BUILDING 'A'	
OFFICE BUILDING:	2,160 SF
PORTAL / COVERED PATIO:	1,032 SF
CARPORIT:	805 SF
BUILDING 'B'	
SHOP:	4,000 SF
SHADE STRUCTURE:	3,200 SF
FUTURE CARETAKER RESIDENCE:	
25' X 48' =	1,200 SF

SPECIFIC NOTES FOR THIS MINOR AMENDMENT:

- AN ADDITIONAL DRIVEWAY / CURB CUT WILL BE INSTALLED ON VOLCANO RD. NW. AN AUTOMATIC SLIDING GATE SHALL BE INSTALLED AT THAT ENTRANCE. THE ENTRANCE GATE ON 94TH ST. WILL BE A MANUAL SWING DOUBLE GATE.
- PEDESTRIAN ACCESS AND GATE WILL BE FROM VOLCANO RD. NW.
- ALL FENCING ALONG VOLCANO AND 94TH ST. WILL BE BROUGHT IRON. MASONRY WALLS WILL BE INSTALLED ON EACH SIDE OF THE VEHICLE GATES.
- FOUR INTERIOR PARKING SPACES WILL BE LOCATED NORTH OF THE HANDICAP PARKING SPACE.
- THE SHADE STRUCTURE IS A SEPARATE STRUCTURE FROM THE SHOP BUILDING PER THE APPROVED BUILDING PERMIT SET.

NOTE: LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

INDEX OF DRAWINGS:

1	AS-100.1	SITE PLAN
2	A-202.1	SITE DETAILS / SIGNAGE
3	C-100.1	GRADING AND DRAINAGE PLAN
4	A-200.1	BUILDING ELEVATIONS - SHOP / SHADE STRUCTURE
5	L-100.1	LANDSCAPING PLAN

LEGEND:

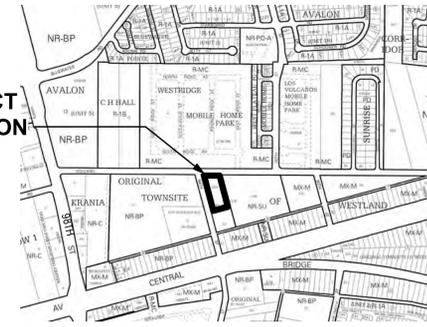
PARKING DATA:

- PARKING REQUIREMENT:**
- OFFICE PARKING:
 - 1 SPACE PER 200 OCCUPANTS: 2160 SF / 200 = 10.8, THEREFORE 11 SPACES REQUIRED
 - SHOP PARKING:
 - 1 SPACE PER 2000 OCCUPANTS: 4000 SF / 2000 = 2, THEREFORE 2 SPACES REQUIRED
- TOTAL NUMBER OF PARKING SPACES REQUIRED = 13
(NO BUS REDUCTION INCLUDED)
- PARKING PROVIDED:**
- 13 SPACES PROVIDED (INCLUDES 1 VAN ACCESSIBLE HC SPACE)
 - 1 MOTORCYCLE SPACE PROVIDED
 - BICYCLE RACK FOR 2 BICYCLES PROVIDED

SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEERING / HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PROJECT LOCATION



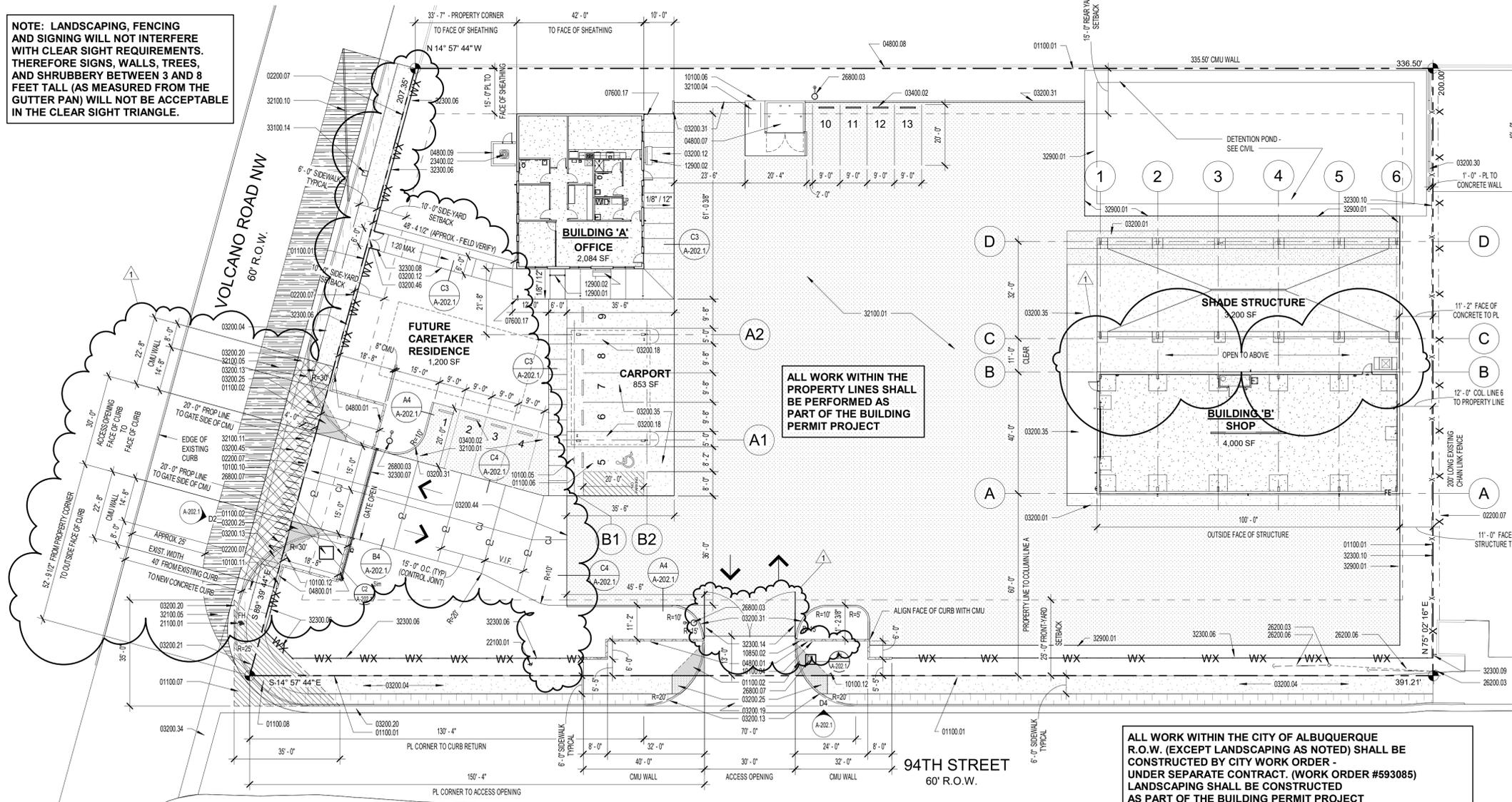
VICINITY MAP / ZONE ATLAS PAGE K-09-Z

GENERAL NOTES:

- ALL SIDEWALKS, RAMPS, CURB CUTS, CURB AND GUTTER SHALL BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS:
 - SIDEWALK (2430)
 - RAMPS (2440)
 - CURB CUTS (2426)
 - CURB AND GUTTER (2415)
- SEE GEOTECHNICAL ENGINEERING REPORT DATED JUNE 12, 2018 PREPARED BY TERRACON. TERRACON PROJECT NO. 66185086.

KEYED NOTES:

- PROPERTY LINE
- HATCHED AREA INDICATES 11' MINI CLEAR SIGHT TRIANGLE
- VAN ACCESSIBLE HC PARKING. 1% MIN. 2% MAX SLOPE
- INTERSECTION CLEAR SIGHT DISTANCE PER CITY OF ALBUQUERQUE TRAFFIC CODE, SECTION 8-2-2-15.
- EXISTING STOP SIGN. RELOCATE
- REMOVE EXISTING CHAIN LINK FENCE
- 4" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SIDEWALK OVER GRADE COMPACTED TO 95%. REINFORCE WITH 6X6-WX 1 X 2.1 W/MF. FLAT SHEETS ONLY. SLOPE AWAY FROM BUILDING AT 1/8" PER FOOT MINIMUM. LIGHT BROOM FINISH.
- NEW CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG. 2430. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
- 4" THICK 3000 PSI AIR-ENTRAINED CONCRETE SIDEWALK OVER GRADE COMPACTED TO 95%. REINFORCE WITH 6X6-10X10 W/MF. FLAT SHEETS ONLY. SLOPE IN DIRECTION OF TRAVEL SHALL NOT EXCEED 1:20 AND CROSS SLOPE SHALL NOT EXCEED 1:48.
- CONCRETE CURB AND CURB RAMP PER COA STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG. 2426. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
- 4,000 PSI AIR-ENTRAINED CONCRETE ISLAND WITH 3/4" AGGREGATE AND 6X6 - 10'10" W/MF.
- NEW CONCRETE CURB CUT / ENTRANCE DRIVE. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO STANDARD DETAIL DWG 2426. INSTALL TRUNCATED DOMES AT SIDEWALK CROSSING. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
- NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG 2415. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
- NEW MOUNTABLE CURB WHEELCHAIR RAMP AT NEW SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG 2418. INSTALL TRUNCATED DOMES ON RAMP. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
- ACCESSIBLE SIDEWALK RAMP WITH TRUNCATED DOMES. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
- CONCRETE CUT OFF WALL. SEE GRADING AND DRAINAGE PLAN.
- 6" WIDE CONCRETE HEADER CURB, TYPICAL. SEE DETAIL A41A-10.1.
- NEW CONCRETE VALLEY GUTTER - SEE GRADING AND DRAINAGE PLAN. REFER TO CITY STANDARD DETAIL DWG 2420. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
- 6" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 16" O.C., CENTERED IN SLAB.
- 8" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 12" O.C., CENTERED IN SLAB.
- CROSSHATCH INDICATES NEW CONCRETE CURB AND GUTTER. NEW SIDEWALK, NEW DRIVEWAY.
- EXTEND SIDEWALK TO EXISTING STREET SIDEWALK.
- 6'-0" LONG PRE-CAST CONCRETE WHEEL STOP, TYPICAL
- NEW 6" HIGH CMU WALL. 8"X8"X16" CMU BLOCK WITH 4" X 8" X 16" CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO). GROUT ALL CELLS SOLID.
- CMU REFUSE ENCLOSURE. 8" X 8" X 16" CMU BLOCK WITH 4" X 8" X 16" CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO).
- EXISTING 4'-8" HIGH CMU WALL. RAISE TO 6'-0" HIGH. MATCH STYLE AND COLOR OF EXISTING CMU.
- MECHANICAL EQUIPMENT SCREEN. 8"X8"X16" CMU. DARK GRAY COLOR (PETRO BLACK BY CREGO). 6'-0" HIGH ABOVE FINISH GRADE. SEE FOUNDATION PLAN ON SHEET S-101 AND DETAIL A4S-131.
- 3"X4" X 26 GA. GALVANIZED METAL DOWNSPOUT. SECURE TO WALL / COLUMN WITH GALVANIZED METAL STRAPS AT 6'-0" O.C. MAX.
- SIGNAGE: BUILDING ADDRESS NUMBER. CAST CONCRETE PANEL WITH RECESSED NUMBERS. INSTALL WITH OUTSIDE FACE OF CONCRETE FLUSH WITH CMU WALL.
- VAN ACCESSIBLE DISABLED PARKING SIGN. SEE DETAIL C4 / AS-101.
- MOTORCYCLE PARKING SIGN.
- SIGNAGE: BUSINESS SIGN. CAST CONCRETE PANEL WITH RECESSED LETTERS. INSTALL WITH OUTSIDE FACE OF CONCRETE FLUSH WITH CMU WALL.
- RELOCATE EXISTING SIGN "ROAD NARROWS" TO THIS LOCATION.
- SIGNAGE: "PRIVATE ENTRANCE ONLY".
- PROVIDE AND INSTALL RECESSED KNOX BOX. INSTALL 4" TO 6" ABOVE GRADE.
- BIKE RACK. SEE DETAILS ON SHEET AS-101. BASIS OF DESIGN IS SITESCAPES ECHO BIKE RACK "EC2-05-SM" SURFACE MOUNTED (S) BIKE TUBE RACK, OR EQUAL.
- BENCH
- NEW FIRE HYDRANT AS PART OF THIS PROJECT.
- GAS METER.
- HVAC CONDENSING UNIT. SEE MECHANICAL.
- EXISTING POWER POLE TO REMAIN.
- EXISTING POWER POLE GUY WIRE TO REMAIN.
- POLE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL.
- CONCRETE LIGHT BOLLARD. LIGHTS ON TWO SIDES. SEE DETAILS ON SHEET AS-101.1. SEE ELECTRICAL.
- 8" THICK AGGREGATE BASE COURSE (ABC) COMPACTED TO 95% MIN. DENSITY PER ASTM D-1557 OVER EXISTING GRADE COMPACTED TO 95% MIN. IN LIEU OF ABC, CRUSHED RECYCLED CONCRETE MAY BE USED.
- MOTORCYCLE PARKING SPACE. 4'-0" WIDE X 8'-0" LONG. MINIMUM.
- NEW ASPHALT PAVING PER COA STANDARD SPECIFICATIONS. WORK WITHIN THE CITY RIGHT-OF-WAY TO BE CONSTRUCTED UNDER A SEPARATE CONTRACT, PER COA WORK ORDER.
- EXISTING ASPHALT CURB.
- 4" WIDE ADA PATHWAY ACROSS DRIVE.
- 6" HIGH BLACK WROUGHT IRON METAL FENCE.
- 8'-0" HIGH SLIDING GATE WITH 30'-0" CLEAR OPENING. BASIS FOR DESIGN: HEAVY DUTY CANTILEVER SLIDE GATE WITH TFM-2000 OPERATOR BY TYPICAL CORP. 800.328.2333. GATE WILL OPEN TO THE RIGHT. SUBMIT SHOP DRAWINGS.
- (2) 3'-0" WIDE SWING GATES IN WROUGHT IRON FENCE WITH DROP BOLTS, HEAVY DUTY SELF-SEALED BALL HINGES, SLIDE BOLT LOCK, PADLOCK HASP AND HARDENED STEEL PADLOCK GUARD.
- WROUGHT IRON FENCE EXTENSION FROM NEW WROUGHT IRON FENCE TO EXISTING REFUSE ENCLOSURE.
- NEW 4'-0" HIGH STEEL POST FENCE WITH 14 GA. WIRE STRANDS AT 1'-0" O.C. INSTALL T-POSTS AT 8'-0" O.C. INSTALL FENCE FROM NEW WROUGHT IRON FENCE, ALONG SOUTH PROPERTY LINE, EXTENDING TO EXISTING CMU WALL AT EAST PROPERTY LINE.
- (2) 15'-0" WIDE X 6'-0" HIGH SWING GATES (MATCH WROUGHT IRON FENCE) WITH DROP BOLTS, HEAVY DUTY HINGES, SLIDE BOLT LOCK, PADLOCK HASP AND HARDENED STEEL PADLOCK GUARD. WELD HINGES TO 4X4X1/4 TUBE STEEL POST SET IN CONCRETE FOOTING.
- 4" HIGH METAL EDGING, CONTINUOUS. TOP OF EDGING FLUSH WITH TOP OF ABC.
- NEW WATER METER VALVE BOX.



ALL WORK WITHIN THE PROPERTY LINES SHALL BE PERFORMED AS PART OF THE BUILDING PERMIT PROJECT

ALL WORK WITHIN THE CITY OF ALBUQUERQUE R.O.W. (EXCEPT LANDSCAPING AS NOTED) SHALL BE CONSTRUCTED BY CITY WORK ORDER - UNDER SEPARATE CONTRACT. (WORK ORDER #593085) LANDSCAPING SHALL BE CONSTRUCTED AS PART OF THE BUILDING PERMIT PROJECT

1 Site Plan
1" = 20'-0"



LEE GAMESKY ARCHITECTS P.C.
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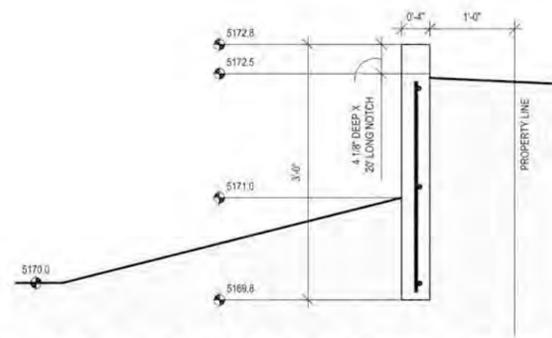
L&C TRANSPORT OFFICE AND SHOP
112 94th Street NW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT: LEE GAMESKY, AIA	Project #: Date: 22 APRIL 2021
MINOR AMENDMENT TO SITE PLAN / ADMINISTRATIVE AMENDMENT SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DRB PROJECT NO.: 1011638	

SITE PLAN

By: WTB	Sheet: Of:
	AS-100.1

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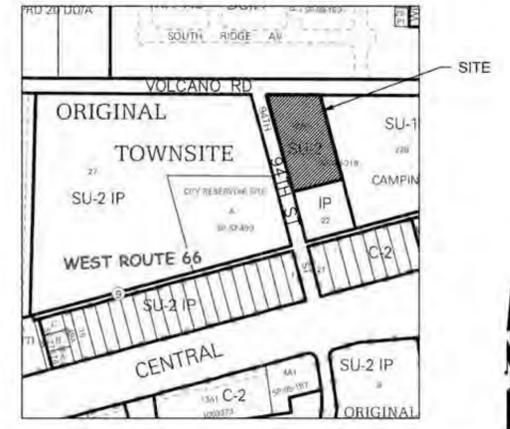


DETENTION POND CONCRETE CUT-OFF WALL

1" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5176.0 EXISTING BUILDING FINISH FLOOR ELEV
- ◆36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
- TW TOP OF WALL ELEVATION



VICINITY MAP

K09

DRAINAGE ANALYSIS

LEGAL: Lot 22-A, Block 8, Original Townsite of Westland

AREA: 1.6706 acres (72,770 SF)

BENCHMARK: ACS brass disk "12-K9"
ELEV= 5219.837 (NAVD 1988)

TBM: Top back of street curb opposite SW property corner of the site.
ELEV= 5174.71 (NAVD 1988)

SURVEYOR: The Survey Office dated December, 2017

FLOOD HAZARD: From FEMA Panel 35001C0328J (11/14/2016), this site is identified as being within Zone 'X' which is outside the 0.2% annual chance floodplain.

EXISTING CONDITIONS: The site is undeveloped and slopes down from the northwest to the southeast at 2%. It is bounded on the west by 94th Street, on the north by Volcano Road, on the east by a CMU wall, and on the south by a developed Century Link facility. The site discharges to the Century Link parcel.

FIRST FLUSH: $Q = (0.44 \cdot 0.10)(15,500)/12 = 439$ CF
This volume will be provided in the detention pond located at the SE corner of the site as the storage depth of 0.15' provides 600 CF storage volume.

OFFSITE FLOWS: A portion of the adjacent 94th Street R/W discharges to the site, but the proposed street curb will divert the offsite runoff to existing inlets on 94th Street located south of the site.

PROPOSED IMPROVEMENTS: The proposed development includes an office and shop buildings. A covered parking area, covered shade structure, and future residence are also included in the impervious area calculations.

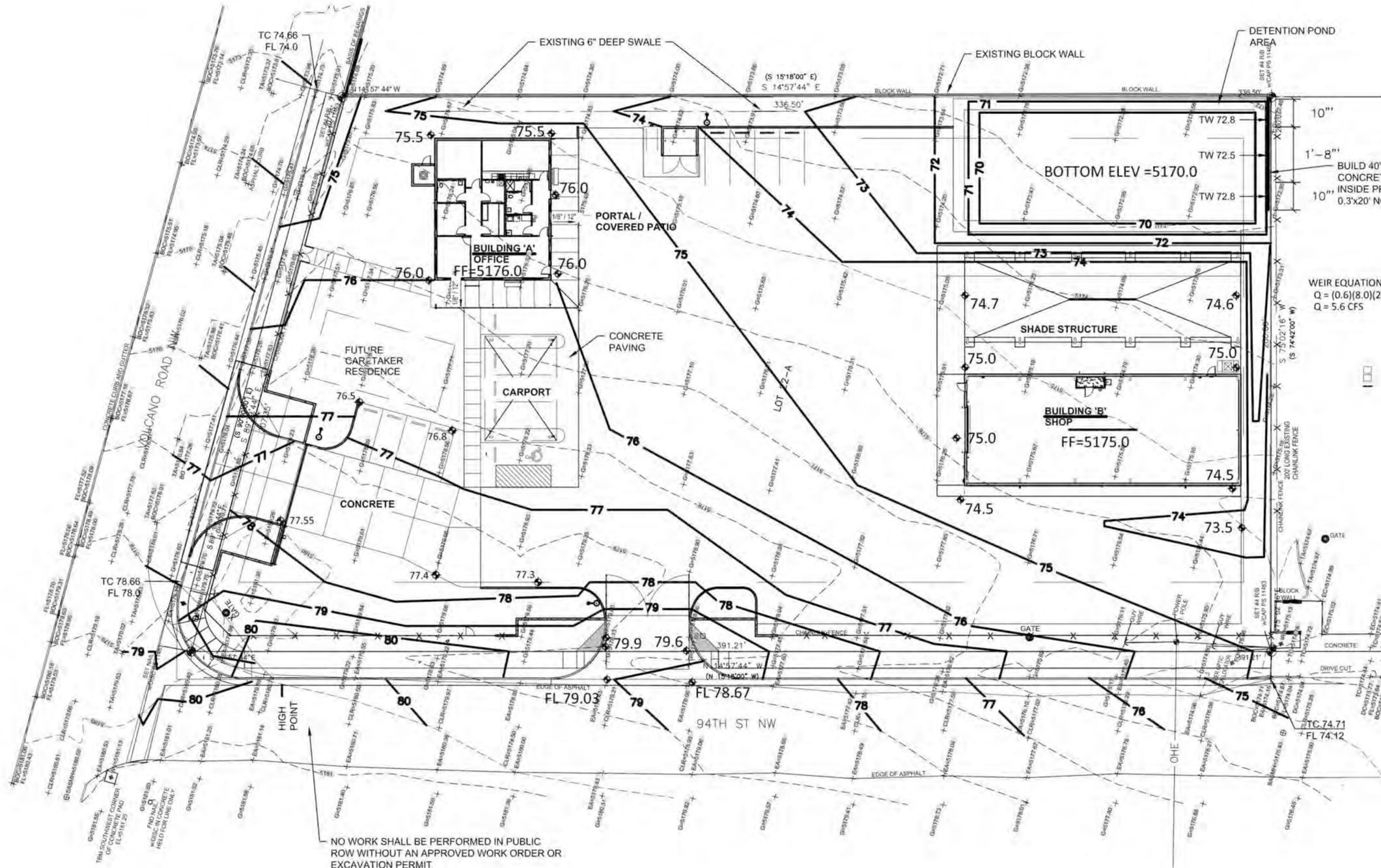
DRAINAGE APPROACH: The proposed drainage plan will follow historic flow paths. Building roof runoff will discharge to the east and south sides of the buildings. Site runoff will be carried overland to the SE corner. The proposed pond will contain the 10-day storage volume.

HYDROLOGY: For precipitation Zone 1 with 100% B land treatment
Existing $Q = (2.03)(1.67) = 3.4$ CFS

The proposed buildings and walks are 21% of the area with the balance of the site either base course or undeveloped considered as land treatment type 'C'.
Proposed $Q = (1.31)(2.87) + (0.36)(4.37) = 5.3$ CFS

The $V_{100} = (57,270)(.0825) + (15,500)(.1642) = 7,270$ CF
The $V_{10\text{-day}} = 7,270 + (15,500)(.1225) = 9,170$ CF

The retention pond volume provided is 9,200 CF at 2.1' depth



GRADING AND DRAINAGE PLAN

1" = 20'



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Albuquerque, New Mexico

PROJECT ARCHITECT:
LEE GAMELSKY, AIA
Project #:
Date: 19 MARCH 2018

GRADING PLAN

By: WTB
GRADING & DRAINAGE PLAN
Sheet: Of:
C-100



LANDSCAPE REQUIREMENTS PER MINOR AMENDMENT TO SITE PLAN / SITE PLAN AMENDMENT

REQUIRED: MINIMUM OF 15% OF NET LOT AREA

NET LOT AREA COMPUTATION:

GROSS LOT AREA:	1.6706 ACRES = 72,771 SF
MINUS BUILDING AREA:	10,137 SF
SUBTOTAL:	62,634 SF
MINUS R.O.W. LANDSCAPE AREA:	1,673 SF
SUBTOTAL:	60,961 SF
NET LOT AREA =	60,961 SF

REQUIRED LANDSCAPE AREA = 15% X 60,961 SF =	9,144 SF
REQUIRED VEGETATIVE COVER: 75% OF TOTAL LANDSCAPED AREA 75% X 9,144 SF =	6,858 SF
REQUIRED GROUND LEVEL PLANT COVERAGE: 30% OF VEGETATIVE COVERAGE 30% X 6,858 SF =	2,057 SF

REQUIRED LANDSCAPE AREA = 15% X 60,735 SF =	9,110.25 SF
REQUIRED VEGETATIVE COVER: 75% OF TOTAL LANDSCAPED AREA 75% X 9,110.25 SF =	6,833 SF
REQUIRED GROUND LEVEL PLANT COVERAGE: 30% OF VEGETATIVE COVERAGE 30% X 6,833 SF =	2,050 SF

LANDSCAPE AREA PROVIDED =

R.O.W. LANDSCAPE AREA = GRAY GRAVEL (12" DIA) =	1,673 SF
ASSORTED FLOWERS =	379 SF
VEGETATIVE COVER (TREE AND PLANT COVERAGE) =	41,056 SF
TOTAL =	42,728 SF

VEGETATIVE COVERAGE PROVIDED = 41,056 SF

GROUND LEVEL PLANT COVERAGE PROVIDED = 2,162 SF

LANDSCAPE REQUIREMENTS PER THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

REQUIRED LANDSCAPE AREA = 15% X 60,735 SF =	9,110.25 SF
REQUIRED VEGETATIVE COVER: 75% OF TOTAL LANDSCAPED AREA 75% X 9,110.25 SF =	6,833 SF
REQUIRED GROUND LEVEL PLANT COVERAGE: 30% OF VEGETATIVE COVERAGE 30% X 6,833 SF =	2,050 SF

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REQUIRED GROUND LEVEL PLANT COVERAGE: 30% OF VEGETATIVE COVERAGE 30% X 6,833 SF =	2,050 SF

LANDSCAPE AREA PROVIDED = 48,376 SF

VEGETATIVE COVERAGE PROVIDED = 41,056 SF

GROUND LEVEL PLANT COVERAGE PROVIDED = 2,162 SF

LANDSCAPE BUFFER REQUIREMENTS

REQUIRED FRONT BUFFER: 10'
PROVIDED FRONT BUFFER: 10'

REQUIRED SIDE BUFFER (WHERE ABUTS FRONTS A STREET): 8'
PROVIDED SIDE BUFFER (WHERE ABUTS FRONTS A STREET): 10'

SPECIAL BUFFER LANDSCAPING / SCREENING REQUIREMENT:
- THE SITE DOES NOT ABUT A RESIDENTIAL ZONE THEREFORE N/A.

LANDSCAPE STANDARDS/REQUIREMENTS

1. OFF STREET PARKING AREA LANDSCAPING REQUIREMENTS:

A. ONE TREE PER 10 PARKING SPACES
(13) PARKING SPACES PLUS (1) MOTORCYCLE / 10 = 1.4 TREES
NUMBER OF TREES PROVIDED = 6 TREES

B. ALL PARKING SPACES ARE WITHIN 100' OF A TREE TRUNK

C. REQUIRED: 75% OF PARKING AREA TREES TO BE DECIDUOUS
PROVIDED: ALL TREES ARE DECIDUOUS CANOPY TYPE TREES.

D. STREET TREES:

REQUIREMENTS: STREET TREES AT 25' O.C. MAX. ALONG STREET FRONTS
PROVIDED: (13) TREES ALONG 94TH STREET AND (7) TREES ALONG VOLCANO ROAD AT 25' O.C.
STREET TREES ARE PLANTED WITHIN THE 3'-6" WIDE PLANTING STRIP BETWEEN THE CURB AND SIDEWALK AND 2'-0" BACK FROM THE CURB.

ALL PROVIDED TREES ARE DECIDUOUS CANOPY TYPE TREES.

LANDSCAPE NOTES

- A. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- B. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE PLANTING RESTRICTION APPROACH.
- C. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE NOR DOES IT IMPLY EXEMPTION FROM WASTE WATER PROVISIONS OF THE WATER CONSERVATION LANDSCAPING WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS. (14-16-3-10).
- E. ALL LANDSCAPE MATERIAL SHALL BE WATERED BY A FULLY AUTOMATED IRRIGATION SYSTEM.
- F. CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. ALL SIGNS, FENCING, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE LOCATED WITHIN THIS AREA.

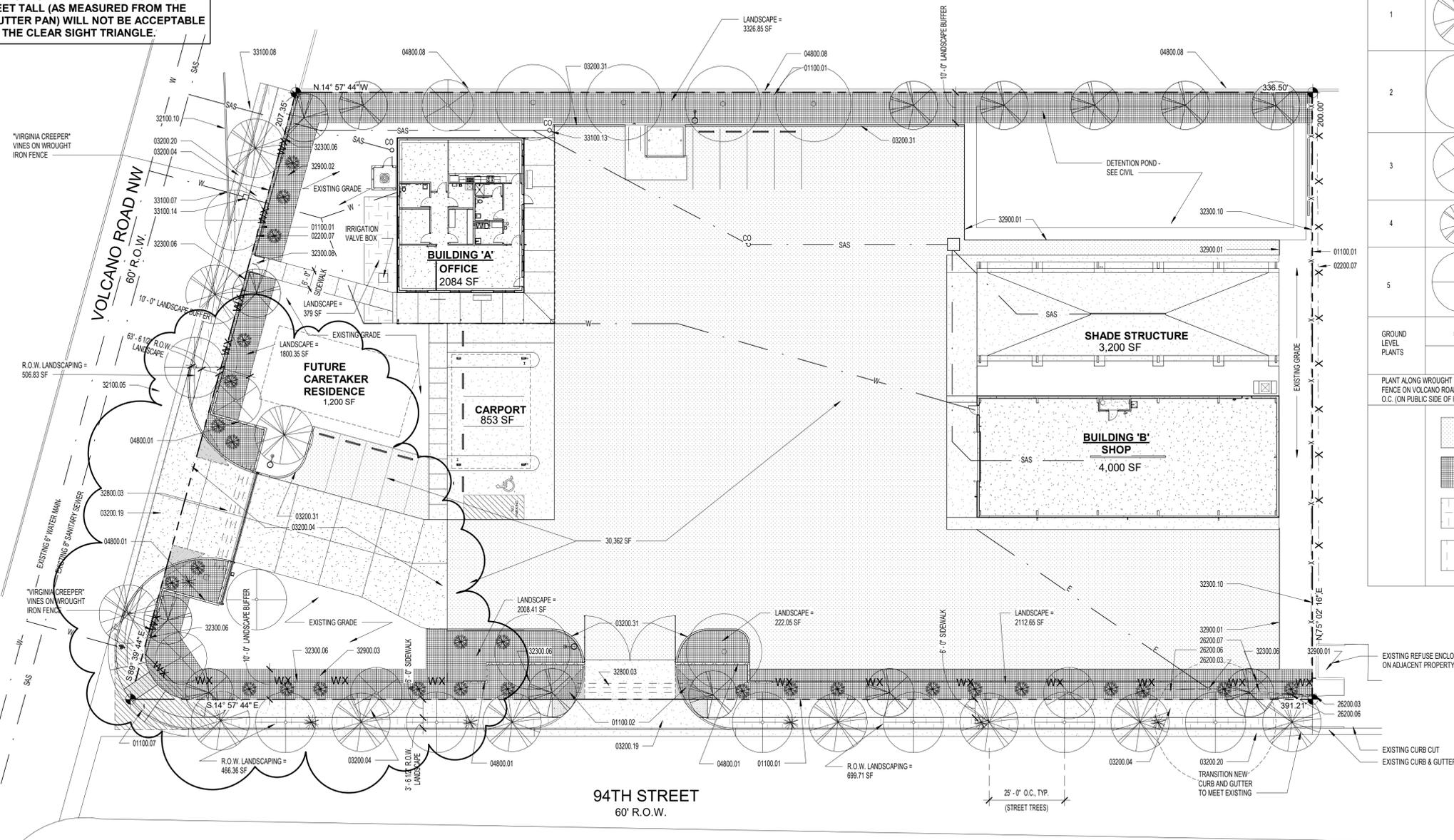
LEGEND

— E —	UNDERGROUND ELECTRICAL POWER LINE
— SAS —	SANITARY SEWER LINE
— W —	WATER LINE
CO	CLEAN OUT

KEYED NOTES:

- 01100.01 PROPERTY LINE
- 01100.02 HATCHED AREA INDICATES 11' MIN CLEAR SIGHT TRIANGLE
- 01100.07 INTERSECTION CLEAR SIGHT DISTANCE PER CITY OF ALBUQUERQUE TRAFFIC CODE, SECTION 8-2-2-15.
- 02200.07 REMOVE EXISTING CHAIN LINK FENCE.
- 03200.04 NEW CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG. 2430. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
- 03200.19 NEW CONCRETE CURB CUT / ENTRANCE DRIVE. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO STANDARD DETAIL DWG 2426. INSTALL TRUNCATED DOMES AT SIDEWALK CROSSING. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
- 03200.20 NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG 2415. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
- 03200.31 6" WIDE CONCRETE HEADER CURB, TYPICAL. SEE DETAIL 4414S-101.1
- 03200.44 8" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 12" O.C., CENTERED IN SLAB.
- 04800.01 NEW 6" HIGH CMU WALL. 8"X8"X16" CMU BLOCK WITH 4" X 8" X 16" CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO). GROUT ALL CELLS SOLID.
- 04800.08 EXISTING 4'-0" HIGH CMU WALL. RAISE TO 6'-0" HIGH. MATCH STYLE AND COLOR OF EXISTING CMU.
- 26200.03 EXISTING POWER POLE TO REMAIN.
- 26200.06 EXISTING OVERHEAD POWER LINE.
- 32100.05 NEW ASPHALT PAVING PER COA STANDARD SPECIFICATIONS. WORK WITHIN THE CITY RIGHT-OF-WAY TO BE CONSTRUCTED UNDER A SEPARATE CONTRACT, PER COA WORK ORDER.
- 32100.10 EXISTING ASPHALT CURB.
- 32300.06 6" HIGH BLACK WROUGHT IRON METAL FENCE.
- 32300.08 (2) 3'-0" WIDE SWING GATES IN WROUGHT IRON FENCE WITH DROP BOLTS. HEAVY DUTY SELF-SEALED BALL HINGES, SLIDE BOLT LOCK, PADLOCK HASP AND HARDENED STEEL PADLOCK GUARD.
- 32300.10 NEW 4'-0" HIGH STEEL T-POST FENCE WITH 14 GA. WIRE STRANDS AT 1'-0" O.C.. INSTALL T-POSTS AT 8'-0" O.C. INSTALL FENCE FROM NEW WROUGHT IRON FENCE, ALONG SOUTH PROPERTY LINE, EXTENDING TO EXISTING CMU WALL AT EAST PROPERTY LINE.
- 32900.03 PROVIDE (3) 2" DIA. SCHEDULE 40 PIPE SLEEVES. EXTEND OUT AT LEAST 5'-0" PAST EDGE OF CONCRETE DRIVE EACH SIDE.
- 32900.01 4" HIGH METAL EDGING, CONTINUOUS. TOP OF EDGING FLUSH WITH TOP OF ABC.
- 32900.02 GRAVEL (2" THICK) OVER GEOTEXTILE FILTER FABRIC/ WEED BARRIER.
- 32900.03 1/2" DIA. MAXIMUM SIZE GRAVEL, 3" THICK OVER GEOTEXTILE FILTER FABRIC/WEED BARRIER.
- 33100.07 NEW METERED WATER SERVICE.
- 33100.08 NEW 4" DIA. SEWER SERVICE.
- 33100.13 CLEAN OUT.
- 33100.14 NEW WATER METER VALVE BOX.

NOTE: LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



LANDSCAPE LEGEND / SCHEDULE

TREE SPECIES NUMBER	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	APPROX. MATURE SIZE	QTY	VEGETATIVE COVER
1		RAYWOOD ASH	FRAXINUS OXYCARPA	2" DIA.	35' H X 25' W	11	5,399 SF
2		LONDON PLANE TREE	PLATANUS ACERFOLIA	2" DIA.	70' H X 50' W	6	11,781 SF
3		WESTERN SOAPBERRY	SAPINUS DRUMMOND	2" DIA.	30' H X 30' W	5	3,534 SF
4		DESERT WILLOW	CHILOPSIS LINEARIS	2" (COMBINED TRUNK)	20' H X 25' W	14	6,870 SF
5		CHINQUAPIN OAK	QUERCUS MUEHLBERGII	2" DIA.	40' H X 40' W	9	11,310 SF
GROUND LEVEL PLANTS		FOUNTAIN BUTTERFLY BUSH	Buddleiacae ALTERNIFOLIA	1 GALLON	12" H X 10" W	27	2,120 SF
		AUTUMN SAGE	SALVIA GREGGII	1 GALLON	3" H X 3" W	6	42 SF
PLANT ALONG WROUGHT IRON FENCE ON VOLCANO ROAD @ 5'-0" O.C. (ON PUBLIC SIDE OF FENCE)		VIRGINIA CREEPER	PARTHENOCISSUS INSERTA	1 GALLON		37	
		AGGREGATE BASE COURSE (ABC) 8" THICK OVER COMPACTED GRADE TO 95% MINIMUM				30,362 SF	TOTAL VEGETATIVE COVERAGE: 41,056 SF
		GRAVEL (COLOR: GRAY), 1/2" MAXIMUM SIZE, 3" THICK OVER GEOTEXTILE FILTER FABRIC/ WEED BARRIER				9,470 SF	TOTAL GROUND LEVEL PLANT COVERAGE: 2,162 SF
		ASSORTED FLOWERS ANNUALS AND PERENNIALS				379 SF	
		R.O.W. LANDSCAPE: GRAVEL (COLOR: GRAY), 1/2" MAXIMUM SIZE, 3" THICK OVER GEOTEXTILE FILTER FABRIC/ WEED BARRIER				1,673 SF	

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LEE GAMELSKY, AIA

Project #:
Date: 22 APRIL 2021

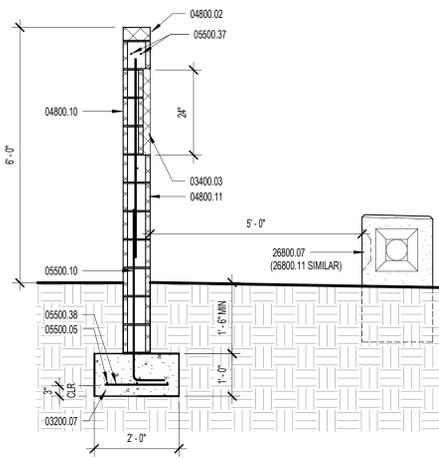
MINOR AMENDMENT TO SITE PLAN / ADMINISTRATIVE AMENDMENT
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.: 1011638

LANDSCAPING PLAN

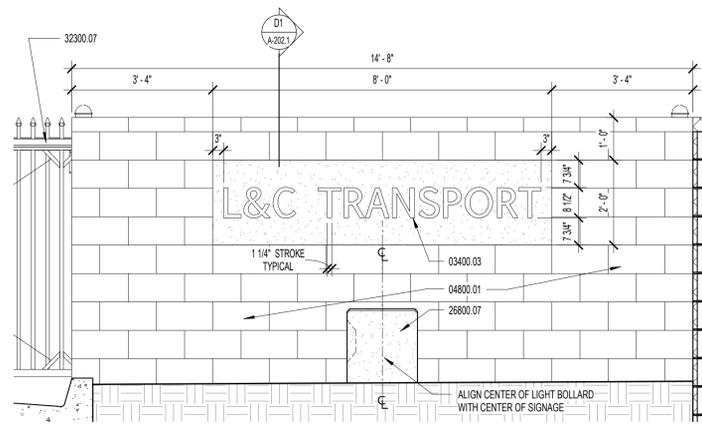
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1 Landscape Plan
1" = 20'-0"



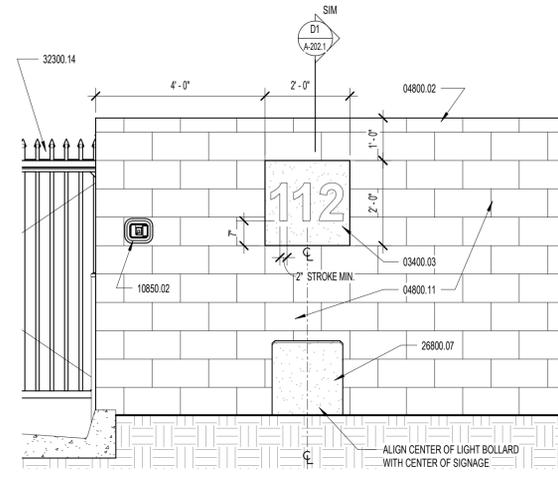


D1 WALL SECTION @ SIGN
1/2" = 1'-0"



D2 SIGN ELEVATION - BUSINESS SIGN
1/2" = 1'-0"

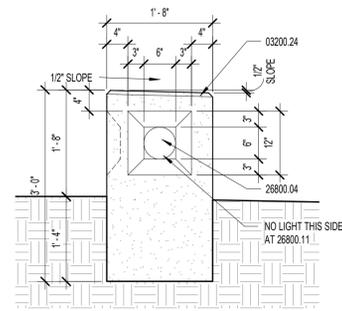
PER COA ZONING SECTION 14-16-3-5 (A-4-g)
"PERMANENT IDENTIFICATION SIGNS",
20 SF MAXIMUM AREA OF SIGN ALLOWED.
2'-0" X 8'-0" = 16 SF
16 SF < 20SF, THEREFORE OK.



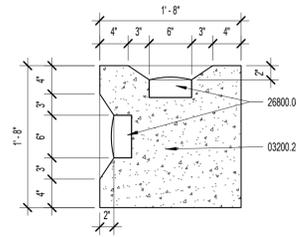
D4 SIGN ELEVATION - BUILDING ADDRESS NUMBER
1/2" = 1'-0"

KEYED NOTES:

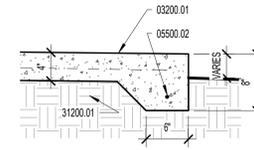
- 03200.01 4" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SIDEWALK OVER GRADE COMPACTED TO 95%. REINFORCE WITH 6X6-W2.1 X W2.1 WWF. FLAT SHEETS ONLY. SLOPE AWAY FROM BUILDING AT 1/8" PER FOOT MINIMUM. LIGHT BROOM FINISH.
- 03200.07 4,000 PSI AIR-ENTRAINED CONCRETE CONTINUOUS FOOTING.
- 03200.24 4,000 PSI AIR-ENTRAINED CONCRETE BOLLARD. CHAMFER TOP EDGE ALL AROUND. SLOPE TOP 1/2" MIN.
- 03200.31 6" WIDE CONCRETE HEADER CURB. TYPICAL. SEE DETAIL A4/A5-101.1.
- 03200.44 8" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 12" O.C., CENTERED IN SLAB.
- 03400.03 PRE-CAST CONCRETE SIGN. 2" THICK CONCRETE PANEL WITH RECESSED LETTERS CAST 1" DEEP. CONFIRM SIGN NUMBER PRIOR TO FABRICATION.
- 04800.01 NEW 6" HIGH CMU WALL. 8"X8"X16" CMU BLOCK WITH 4" X 8" X 16" CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO). GROUT ALL CELLS SOLID.
- 04800.02 4" X 8" X 16" SOLID CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO)
- 04800.10 6" X 8" X 16" CMU. GROUT ALL CELLS SOLID. DARK GRAY COLOR (PETRO BLACK BY CREGO)
- 04800.11 8" X 8" X 16" CMU WITH HORIZONTAL JOINT REINFORCING @ 16" O.C. GROUT ALL REINFORCED CELLS AND C'ELLS BELOW GRADE SOLID. DARK GRAY COLOR (PETRO BLACK BY CREGO)
- 05500.02 #4 CONTINUOUS REBAR.
- 05500.05 (3) #4 CONTINUOUS REBAR.
- 05500.10 #5 VERTICAL DOVEL WITH HOOK @ 32" O.C.
- 05500.29 (2) #4 CONTINUOUS.
- 05500.37 (2) #4 REBAR @ CONTINUOUS BOND BEAM.
- 05500.38 #4 TRANSVERSE @ 32" O.C.
- 10850.02 PROVIDE AND INSTALL RECESSED KNOX BOX. INSTALL 4" TO 6" ABOVE GRADE.
- 26800.04 RECESSED EXTERIOR LIGHT FIXTURE SEE ELECTRICAL.
- 26800.07 CONCRETE LIGHT BOLLARD. LIGHTS ON TWO SIDES. SEE DETAILS ON SHEET AS-101.1. SEE ELECTRICAL.
- 31200.01 GRADE COMPACTED TO 95%.
- 31200.08 FINISH GRADE.
- 32100.01 8" THICK AGGREGATE BASE COURSE (ABC) COMPACTED TO 95% MIN. DENSITY PER ASTM D-1557 OVER EXISTING GRADE COMPACTED TO 95% MIN. IN LIEU OF ABC, CRUSHED RECYCLED CONCRETE MAY BE USED.
- 32300.07 6'-0" HIGH SLIDING GATE WITH 30'-0" CLEAR OPENING. BASIS FOR DESIGN: HEAVY DUTY CANTILEVER SLIDE GATE WITH TYM-2000 OPERATOR BY TYMETAL CORP. 800.328.4283. GATE WILL OPEN TO THE RIGHT. SUBMIT SHOP DRAWINGS.
- 32300.14 (2) 15'-0" WIDE X 8'-0" HIGH SWING GATES (MATCH WROUGHT IRON FENCE) WITH DROP BOLTS, HEAVY DUTY HINGES, SLIDE BOLT LOCK, PADLOCK HASP AND HARDENED STEEL PADLOCK GUARD. WELD HINGES TO 4X4X1/4 TUBE STEEL POST SET IN CONCRETE FOOTINGS.



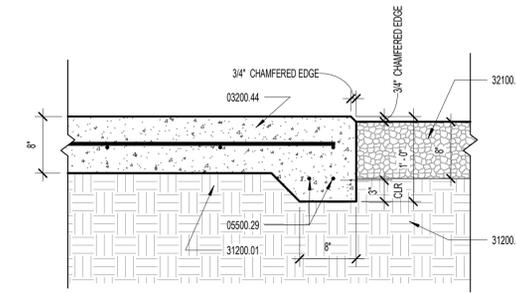
C1 LIGHT BOLLARD ELEVATION
3/4" = 1'-0"



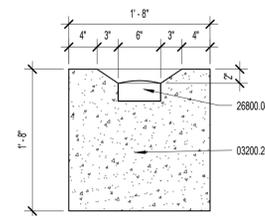
C2 LIGHT BOLLARD PLAN (TWO LIGHTS)
1" = 1'-0"



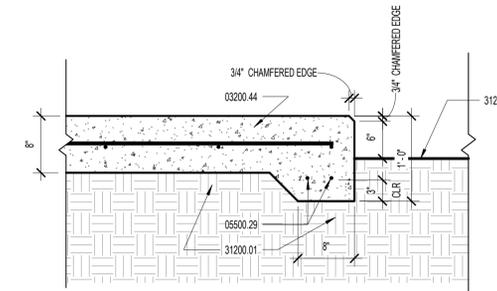
C3 TYPICAL EDGE @ SIDEWALK
1" = 1'-0"



C4 DETAIL - CONCRETE DRIVE EDGE
1" = 1'-0"



B3 LIGHT BOLLARD PLAN (ONE LIGHT)
1" = 1'-0"



B4 DETAIL - CONCRETE DRIVE EDGE (LANDSCAPE EDGE)
1" = 1'-0"

PROPOSED CHANGES PER THE MINOR AMENDMENT TO SITE DEVELOPMENT PLAN INDICATED BY THIS SHEET

1. NEW DETAILS FOR NEW CONCRETE DRIVE
2. REVISED PRE-CAST CONCRETE ADDRESS SIGN AND NUMBER.

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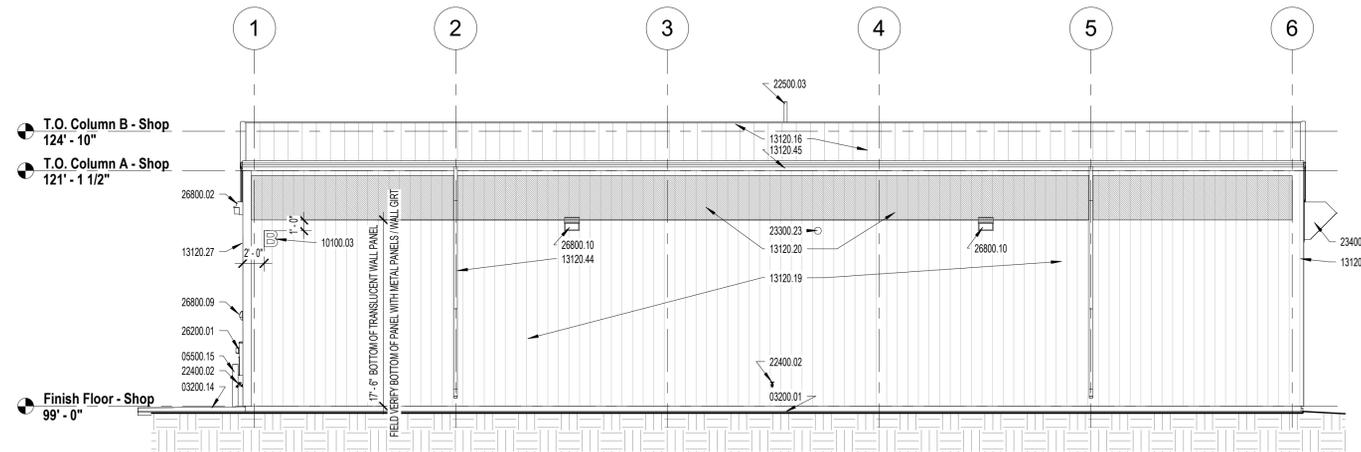
PROJECT ARCHITECT: LEE GAMELSKY, AIA
MINOR AMENDMENT TO SITE PLAN / ADMINISTRATIVE AMENDMENT
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.: 1011638
SITE DETAILS / SIGNAGE

By: WTB
Sheet: Of:
A-202.1

A4 TYPICAL HEADER CURB
1 1/2" = 1'-0"

KEYED NOTES:

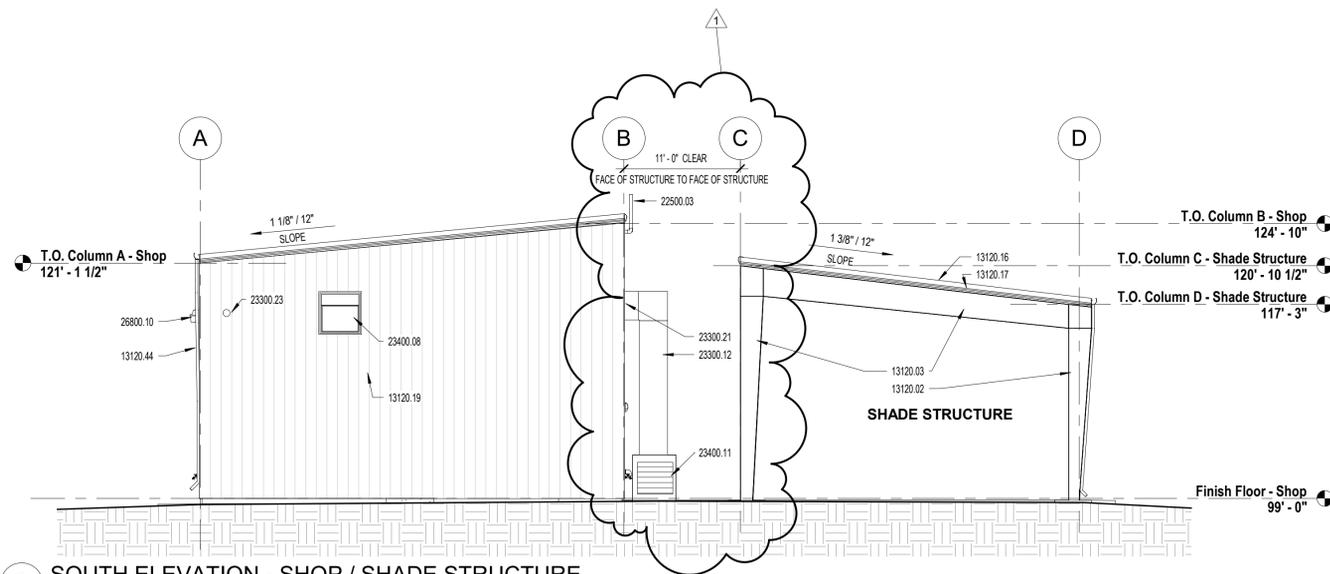
- 03200.01 4" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SIDEWALK OVER GRADE COMPACTED TO 95%. REINFORCE WITH 616-W2.1 X W2.1 WWF. FLAT SHEETS ONLY. SLOPE AWAY FROM BUILDING AT 1/8" PER FOOT MINIMUM. LIGHT BROOM FINISH.
- 03200.11 CONCRETE PIER FOOTING - SEE STRUCTURAL.
- 03200.14 6" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 16" O.C., CENTERED IN SLAB. SLOPE AT 1/8" PER FOOT MINIMUM AWAY FROM BUILDING.
- 03200.23 6" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 16" O.C., CENTERED IN SLAB. SLOPE TO DRAIN.
- 05500.15 6" Ø X 7'-0" LONG STEEL PIPE BOLLARD FILLED WITH CONCRETE, TYPICAL AT EACH SIDE OF COILING OVERHEAD DOOR. EXTEND 3'-0" BELOW GRADE AND ENCASE IN 12" CONCRETE ALL AROUND. TOP OF BOLLARD AT 4'-0" AFF. PRIME AND PAINT YELLOW.
- 08300.02 AUTOMATIC COILING OVERHEAD DOOR. SEE DOOR SCHEDULE.
- 10100.03 BUILDING I.D. LETTER. 18" HIGH LETTER WITH MINIMUM 3" STROKE. I.D. LETTER SHALL BE PURPLE COLOR.
- 13120.01 STEEL COLUMN. SEE PRE-ENGINEERED METAL BUILDING STRUCTURAL DESIGN DATA. PRIME AND PAINT.
- 13120.02 REVERSE TAPERED STEEL COLUMN. SEE PRE-ENGINEERED METAL BUILDING STRUCTURAL DESIGN DATA. PRIME AND PAINT.
- 13120.03 STEEL BEAM. PART OF PRE-ENGINEERED METAL BUILDING. PRIME AND PAINT.
- 13120.16 STANDING SEAM ROOF PANELS. BASIS OF DESIGN: VARCO PRUDEN "SLR II", SILVER METALLIC COLOR.
- 13120.17 RAKE TRIM - METAL BUILDING MANUFACTURER'S STANDARD TRIM. SILVER METALLIC COLOR.
- 13120.18 HIGH EAVE TRIM - METAL BUILDING MANUFACTURER'S STANDARD TRIM. SILVER METALLIC COLOR.
- 13120.19 METAL WALL PANELS. BASIS OF DESIGN: VARCO PRUDEN "PANEL RIB". SILVER METALLIC COLOR. REFER TO DETAILS ON SHEET A-21 AND METAL BUILDING MANUFACTURER'S REQUIREMENTS.
- 13120.20 TRANSLUCENT WALL PANEL: VARCO PRUDEN "PANEL RIB WALLITE".
- 13120.22 PROVIDE AND INSTALL METAL BUILDING MANUFACTURER'S STANDARD TRIM AT PENETRATION THROUGH WALL. SEAL ALL SIDES OF PENETRATION.
- 13120.27 WALL CORNER TRIM - METAL BUILDING MANUFACTURER'S STANDARD TRIM. SILVER METALLIC COLOR.
- 13120.44 GALVANIZED METAL DOWN LEADER PIPE ATTACHED TO WALL. SEE DETAILS ON SHEET A-196.
- 13120.45 LOW EAVE TRIM AND GUTTER ATTACHED PER METAL BUILDING MANUFACTURER'S REQUIREMENTS. SEE DETAILS ON SHEET A-196. SILVER METALLIC COLOR.
- 22400.02 FROST PROOF WALL HYDRANT. SEE PLUMBING.
- 22500.03 PLUMBING VENT STACK. INSTALL THROUGH WALL. DO NOT PENETRATE ROOF. SEE PLUMBING.
- 23300.12 EVAPORATIVE COOLER SUPPLY DUCT. SEE MECHANICAL.
- 23300.17 AIR INTAKE FOR COMPRESSOR. SEE MECHANICAL.
- 23300.21 SUPPLY DUCT PENETRATES METAL PANEL. INSTALL FLASHING AND SEAL ALL AROUND WALL OPENING. SEE MECHANICAL.
- 23300.23 HEATER EXHAUST OUTLET TUBES. SEE MECHANICAL.
- 23400.08 SIDEWALL EXHAUST VENTILATOR. SEE MECHANICAL.
- 23400.11 PAD MOUNTED TOP DRAFT EVAPORATIVE COOLER. SEE MECHANICAL.
- 26200.01 ELECTRIC SERVICE AND METER. SEE ELECTRICAL.
- 26800.02 WALL MOUNTED LIGHT FIXTURE. 20'-0" MAX. ABOVE FINISHED GRADE. SEE ELECTRICAL.
- 26800.09 WALL MOUNTED EMERGENCY LIGHT FIXTURE. SEE ELECTRICAL.
- 26800.10 WALL MOUNTED LIGHT FIXTURE. SEE ELECTRICAL. MOUNT AT BOTTOM OF TRANSLUCENT PANEL.



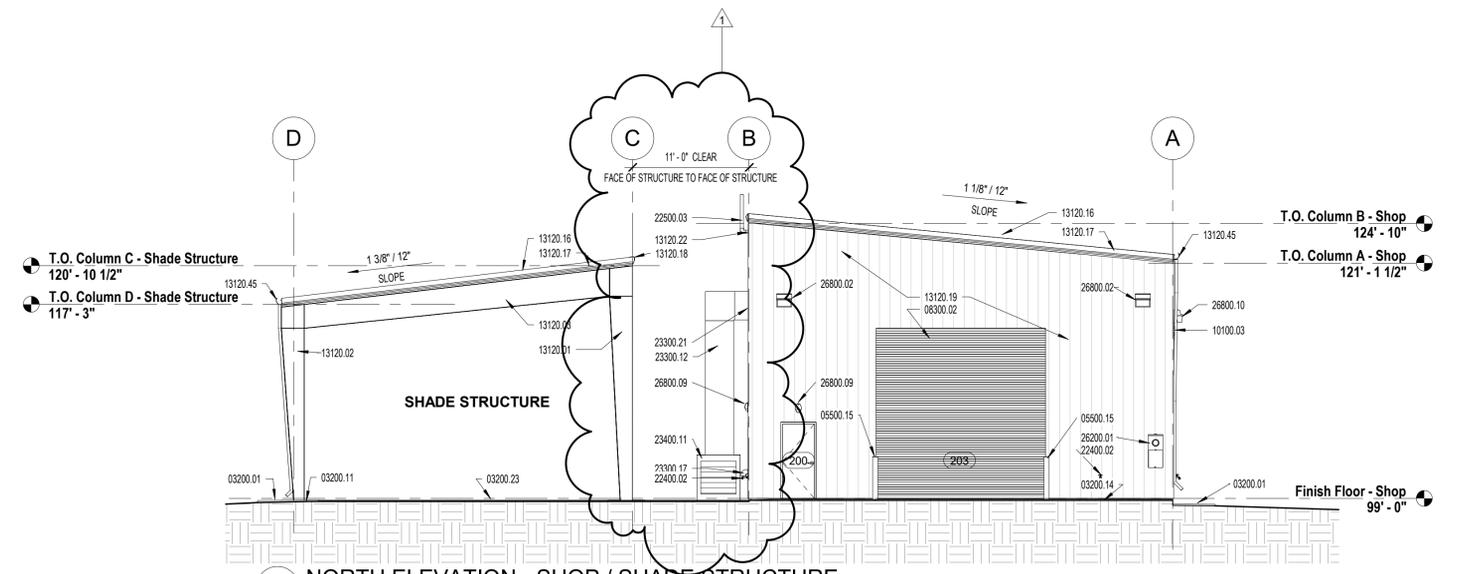
1 WEST ELEVATION - SHOP
1/8" = 1'-0"

PROPOSED CHANGES PER THE MINOR AMENDMENT TO SITE DEVELOPMENT PLAN INDICATED BY THIS SHEET

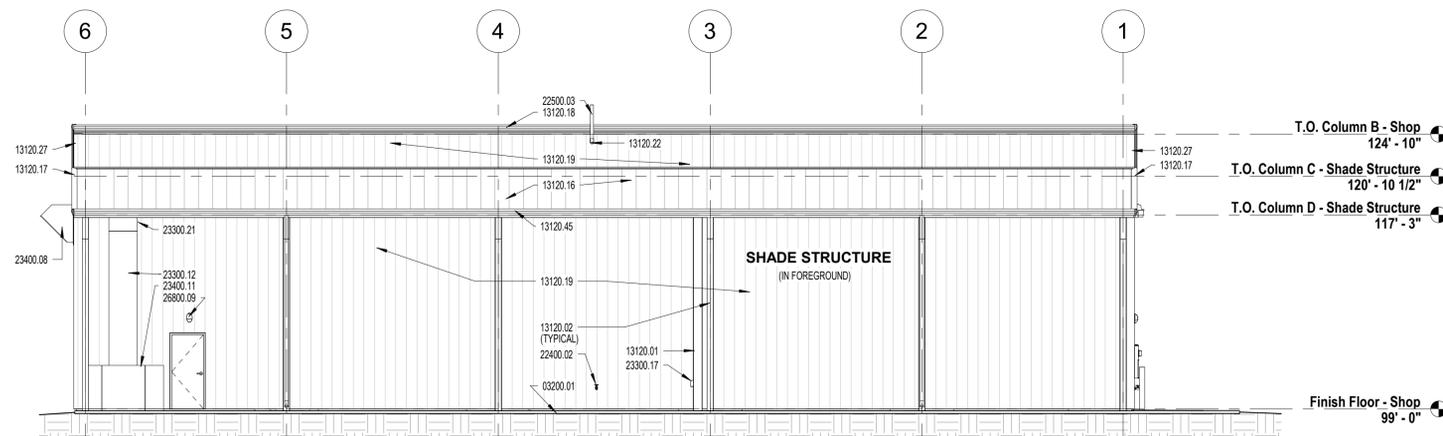
- 1. THE SHADE STRUCTURE IS A SEPARATE STRUCTURE FROM THE SHOP BUILDING PER THE APPROVED BUILDING PERMIT SET.



2 SOUTH ELEVATION - SHOP / SHADE STRUCTURE
1/8" = 1'-0"



3 NORTH ELEVATION - SHOP / SHADE STRUCTURE
1/8" = 1'-0"



4 EAST ELEVATION - SHOP / SHADE STRUCTURE
1/8" = 1'-0"

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MINOR AMENDMENT TO SITE PLAN / ADMINISTRATIVE AMENDMENT
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.: 1011638
BUILDING ELEVATIONS - SHOP / SHADE STRUCTURE

By: WTB
Sheet: Of:
A-200.1