



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: L4C TRANSPORT		Phone: 905 440 8131
Address: 927 Sunwest Dr. SW		Email: lorenaj89@gmail.com
City: ABQ	State: NM	Zip: 87121
Professional/Agent (if any): LEE GAMELSKY Architects P.C.		Phone: 905 842 8865
Address: 2412 Miles Rd SE		Email: lee@lganm.com
City: ABQ	State: NM	Zip: 87106
Proprietary Interest in Site: Architect		List all owners: LORENA JACQUEZ

BRIEF DESCRIPTION OF REQUEST

TO Construct An Additional Driveway into the site / Property.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 22-A	Block: 8	Unit:
Subdivision/Addition: Townsite of Westland	MRGCD Map No.:	UPC Code: 100905720810830525
Zone Atlas Page(s): K-09	Existing Zoning: NR-BP	Proposed Zoning: NR-BP
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 1.67

LOCATION OF PROPERTY BY STREETS

Site Address/Street: **11294th St. NW** Between: **VOLCANO RD. NW** and: **CENTRAL AVE. NW.**

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

DRB 1011638

Signature: L. Gamelsky	Date: 22 April 2021
Printed Name: LEE GAMELSKY	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00615	AA				
	Type text here				
Meeting/Hearing Date:				Fee Total:	
Staff Signature:		Date:		Project # PR-2021-00615	

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☐ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☒ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☒ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ACCELERATED EXPIRATION SITE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - ☐ Sign Posting Agreement
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

☐ ALTERNATIVE LANDSCAPE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: [Signature]
Printed Name: LEE GAMBOWSKY

Date: 22 April 2021
☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:	Case Numbers
PR-2021-005410	SI-2021-00615
Staff Signature:	
Date:	



30 April 2018

Re: 108 94 St. NW

Lot 22 -A , Block 8, of Original Townsite of Westland

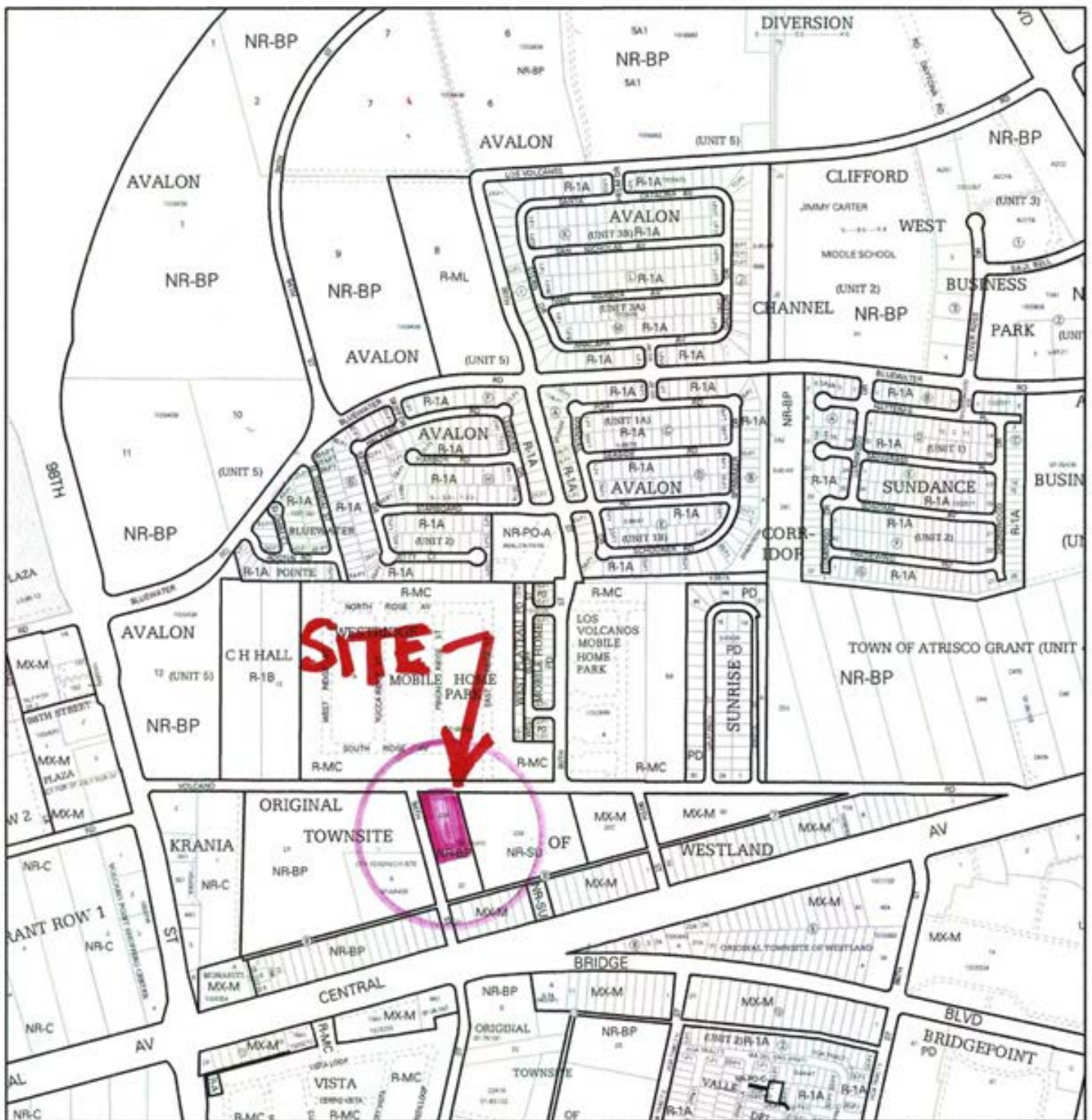
City of Albuquerque
Planning Department
600 2 nd St. NW
Albuquerque , NM 87102

To Whom it May Concern:

As the property Owner of the above referenced Property , I authorize Lee Gamelsky of Lee Gamelsky Architects P.C. to act as my agent for City of Albuquerque Planning Actions on my property.

A handwritten signature in black ink, appearing to read "Trinidad Lorena Jaquez", with a stylized flourish at the end.

Trinidad Lorena Jaquez
L & C Transport

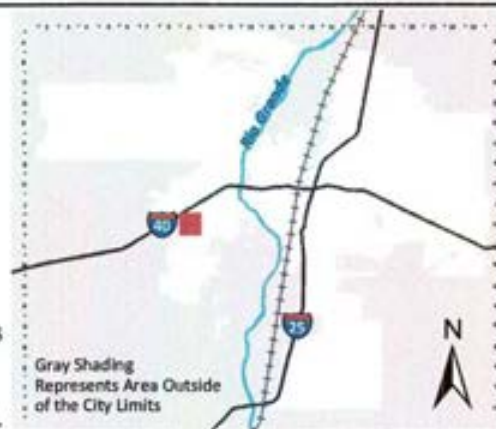


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

20 April 2021

**JUSTIFICATION LETTER FOR MINOR AMENDMENT TO SITE DEVELOPMENT PLAN
APPROVAL PRIOR TO EFFECTIVE DATE OF THE IDO.**

DRB No.: 1011638
IDO Zoning: NR-BP
Legal Description: Lot 22-A, Block No. 8, original Townsite of Westland, being a replat of Lot 22, Block 8 within Town of Atrisco Grant, Bernalillo County.

This request for a Minor Amendment to the Site Development Plan is to allow the construction/installation of an additional driveway to serve the property, to be located along Volcano Road NW.

The original DRB Submittal identifies a driveway into the site along 94th Street. During construction of 94th Street, as part of the Work Order associated with the project, the elevation of 94th Street and the driveway into the site was raised at the direction of the City Engineer. Being that the buildings were already constructed, it creates an unworkable condition whereby the semi-truck-car trailers in which this project is designed for are unable to drive into the site as they bottom out at the driveway and are therefore unable to access-egress the site.

The existing new driveway along 94th Street will remain for personal sized vehicles. The pedestrian access and gate into the property will be moved to Volcano NW for ADA access, internal parking will be moved, the proposed chain link fencing along Volcano will be changed to wrought iron, and the landscape materials will be modified to allow for the new driveway. The gate along 94th Street will be a manual double swing gate, and the motorized sliding gate moved to the Volcano entrance. The future caretaker's residence may be located north of the carport.

Compliance with IDO 14-16-60-4(Z)(1)(a) Criteria:

1. The requested change still meets the original requirements of the approved DRB Site Development Plan.
2. The requested change is within the thresholds for Minor Amendments as established in Table 6-4-4. There will be no change in building area, heights, or setbacks, or landscape area.
3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns.
4. No deviations, variances, or waivers are being requested.

If you have any questions or comments, please feel free to contact me.

Sincerely,



Lee Gamelsky AIA, LEED AP BD+C, Principal

LEGAL DESCRIPTION:

LOT 22-A, BLOCK NO. 8, ORIGINAL TOWNSITE OF WESTLAND, BEING A REPLAT OF LOT 22, BLOCK 8, WITHIN TOWN OF ATRISCO GRANT, BERNALILLO COUNTY.

PARKING DATA:

PARKING REQUIREMENT:

OFFICE PARKING:
1 SPACE PER 200 OCCUPANTS: 2160 SF / 200 = 10.8, THEREFORE 11 SPACES REQUIRED

SHOP PARKING:
1 SPACE PER 2000 OCCUPANTS: 4000 SF / 2000 = 2, THEREFORE 2 SPACES REQUIRED

TOTAL NUMBER OF PARKING SPACES REQUIRED = 13
(NO BUS REDUCTION INCLUDED)

PARKING PROVIDED:

- 13 SPACES PROVIDED (INCLUDES 1 VAN ACCESSIBLE HC SPACE)
- 1 MOTORCYCLE SPACE PROVIDED
- BICYCLE RACK FOR 2 BICYCLES PROVIDED

PROJECT SUMMARY: PROPOSED NEW STRUCTURES

PROJECT DESCRIPTION:

A NEW SMALL OFFICE AND SHOP AREA FOR A VEHICLE TRANSPORT COMPANY. VEHICLE MAINTENANCE WILL BE PERFORMED INSIDE OF THE SHOP BUILDING. NO MAINTENANCE WILL BE PERFORMED OUTSIDE. THERE IS NO OUTSIDE STORAGE OR DISPLAY OF MERCHANDISE OR EQUIPMENT ON SITE.

BUILDING 'A'
OFFICE BUILDING: 2,160 SF
PORTAL / COVERED PATIO: 1,032 SF

CARPORT: 805 SF

BUILDING 'B'
SHOP: 4,000 SF
SHADE STRUCTURE: 3,200 SF

FUTURE CARETAKER RESIDENCE:
30' X 50' = 1,500 SF

ZONING:

ZONING: AT TIME OF APPLICATION SUBMITTAL: SU-2/1P

NEW ZONING: PER IDO: NR-BP

NOTE: THERE IS NO MASTER DEVELOPMENT PLAN ON FILE

GENERAL NOTES:

ALL SIDEWALKS, RAMPS, CURB CUTS, CURB AND GUTTER SHALL BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.
SIDEWALK (2430)
RAMPS (2440)
CURB CUTS (2426)
CURB AND GUTTER (2415)

INDEX OF DRAWINGS:

- | | |
|----------|---|
| 1 AS-100 | SITE PLAN |
| 2 AS-101 | SITE DETAILS |
| 3 L-100 | LANDSCAPING PLAN |
| 4 C-100 | CONCEPTUAL GRADING AND DRAINAGE PLAN |
| 5 C-101 | CONCEPTUAL UTILITY PLAN |
| 6 A-200 | EXTERIOR ELEVATIONS - OFFICE BLDG & REFUSE ENCLOSURE |
| 7 A-201 | EXTERIOR ELEVATIONS - PRE-ENGINEERED METAL BUILDING & CARPORT |
| 8 A-202 | SIGNAGE |
| 9 R-100 | RENDERING 1 (8-1/2 X 11) |
| 10 R-101 | RENDERING 2 (8-1/2 X 11) |

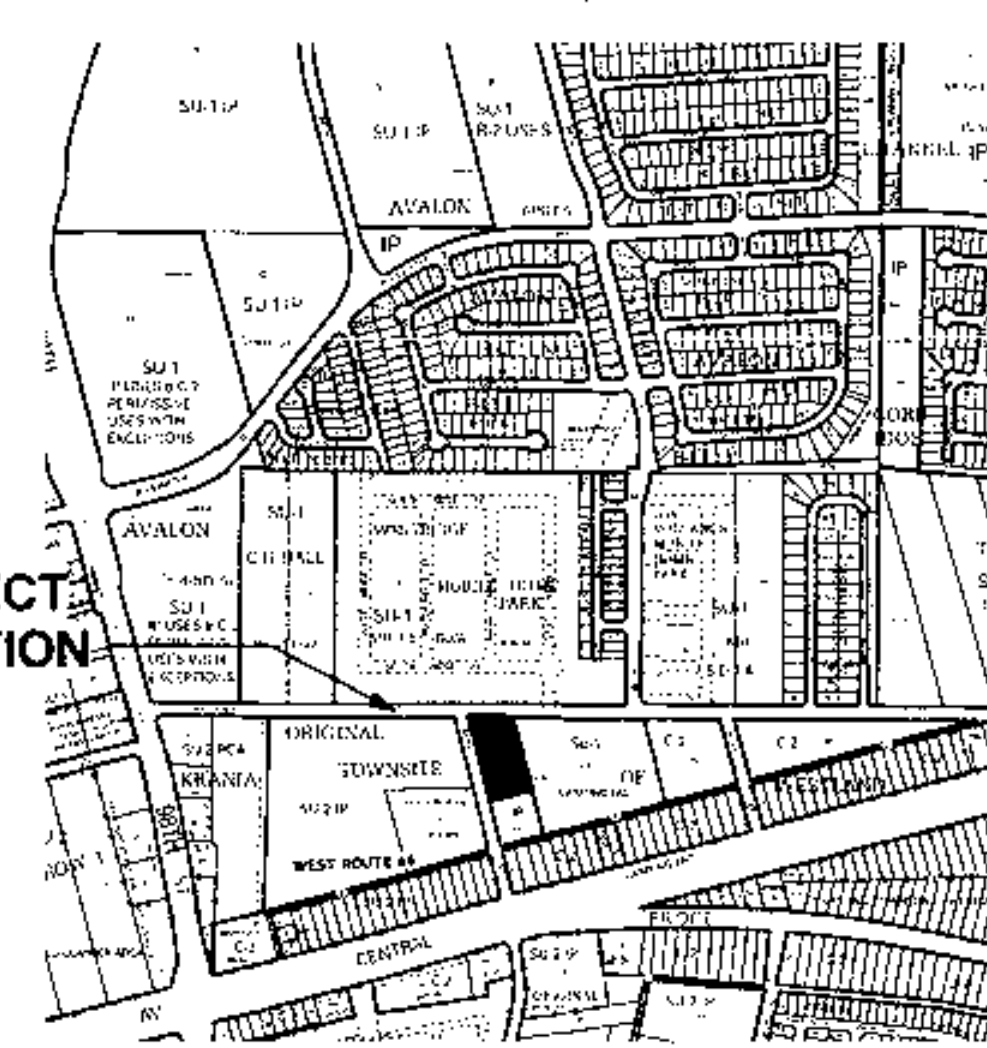
LEGEND:

- | | |
|--|--|
| | ROW LANDSCAPE
GRAVEL, 3" THICK, OVER GEOTEXTILE
FILTER FABRIC / WEED BARRIER, 1/2"
MAXIMUM SIZE |
| | CONCRETE SIDEWALK / DRIVE / SLAB |
| | EXISTING 6' HIGH CHAIN LINK FENCE TO REMAIN |
| | NEW 6' HIGH WROUGHT IRON GATE
PAINTED BLACK |
| | 8" THICK AGGREGATE BASE COURSE
COMPACTED TO 95% MIN. OVER EXISTING GRADE
COMPACTED TO 95% MIN. |
| | NEW ASPHALT PAVING PER COA
STANDARD SPECIFICATIONS |

DRB SITE DEVELOPMENT PLAN APPROVAL

	6/27/18
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
	6/27/18
ABCDWA	DATE
	6/27/18
PARKS AND RECREATION DEPARTMENT	DATE
	6/27/18
CITY ENGINEERING / HYDROLOGY	DATE
	6/27/18
CODE ENFORCEMENT	DATE
	6/27/18
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
	6/27/18
SOLID WASTE MANAGEMENT	DATE
	6/27/18
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

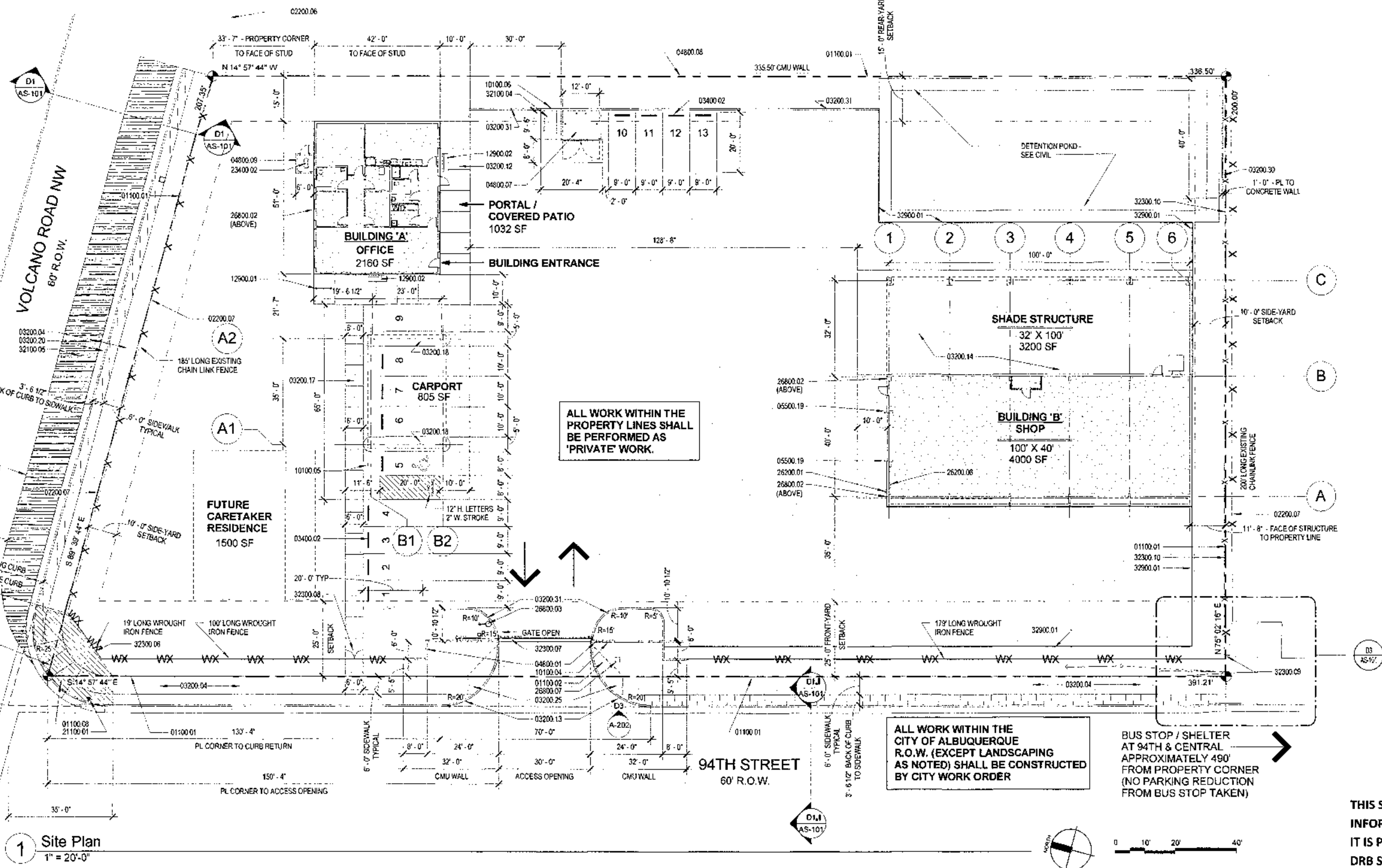
PROJECT LOCATION



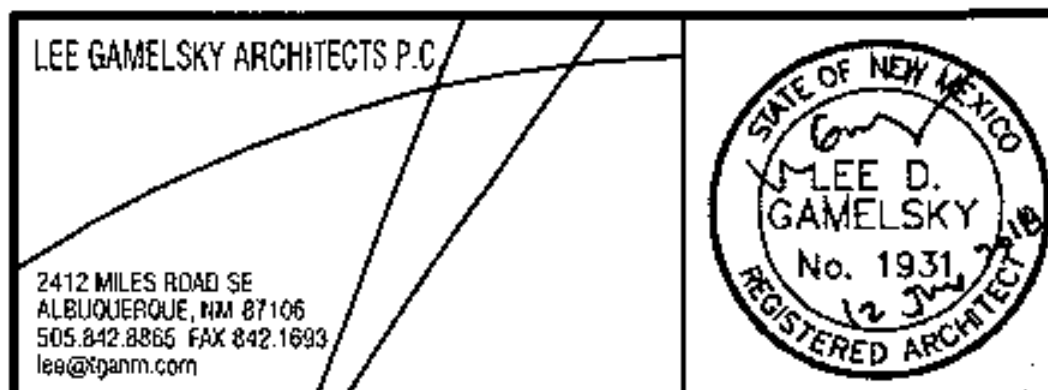
VICINITY MAP / ZONE ATLAS PAGE K-09-Z

KEYED NOTES:

- 01100.01 PROPERTY LINE.
01100.02 HATCHED AREA INDICATES 11' MIN. CLEAR SIGHT TRIANGLE.
01100.06 VAN ACCESSIBLE HC PARKING. 1% MIN. 2% MAX. SLOPE.
01100.07 INTERSECTION CLEAR SIGHT DISTANCE PER CITY OF ALBUQUERQUE TRAFFIC CODE, SECTION 8-2.2-15.
01100.08 EXISTING STOP SIGN. RELOCATE.
02200.06 EXISTING CMU WALL TO REMAIN.
02200.07 EXISTING CHAINLINK FENCE TO REMAIN.
03200.04 NEW CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG 2430.
03200.12 4" THICK 3000 PSI AIR ENTRAINED CONCRETE SIDEWALK OVER GRADE COMPACTED TO 95%. REINFORCE WITH 6X6-10X10 WWM FLAT SHEETS ONLY. SLOPE IN DIRECTION OF TRAVEL SHALL NOT EXCEED 1:20 AND CROSS SLOPE SHALL NOT EXCEED 1:48.
03200.13 CONCRETE CURB PER COA STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG 2426.
03200.14 6" THICK 4,000 PSI CONCRETE SLAB WITH #4 REBAR EACH WAY AT 18" O.C. CENTERED IN SLAB. SLOPE AT 1/8" PER FOOT MINIMUM AWAY FROM BUILDING.
03200.17 CONCRETE SIDEWALK.
03200.18 2,000 PSI AIR ENTRAINED CONCRETE ISLAND. 8" HIGH.
03200.19 NEW CONCRETE CURB CUT / ENTRANCE DRIVE. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO STANDARD DETAIL DWG 2428. INSTALL TRUNCATED DOMES AT SIDEWALK CROSSING.
03200.20 NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG 2415.
03200.21 NEW MOUNTABLE CURB WHEELCHAIR RAMP AT NEW SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG 2418. INSTALL TRUNCATED DOMES ON RAMP.
03200.25 ACCESSIBLE SIDEWALK RAMP WITH TRUNCATED DOMES.
03200.30 CONCRETE CUT OFF WALL. SEE GRADING AND DRAINAGE PLAN.
03200.31 6" WIDE X 6" HIGH MIN. 8" HIGH MAX. CONCRETE HEADER CURB. SEE DETAIL D4 / AS-101.
03200.34 NEW CONCRETE VALLEY GUTTER. SEE GRADING AND DRAINAGE PLAN. REFER TO CITY STANDARD DETAIL DWG 2429.
03200.02 6" LONG PRE-CAST CONCRETE WINGWALL STOP. TYPICAL.
04800.01 NEW 6' HIGH CMU WALL. 8"X8"X16" CMU BLOCK WITH 4" X 8" X 16" CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO).
04800.07 CMU REFUSE ENCLOSURE. 8" X 8" X 16" CMU BLOCK WITH 4" X 8" X 16" CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO).
04800.08 EXISTING 4'-8" HIGH CMU WALL. RAISE TO 6'-0" H.S.G. MATCH STYLE AND COLOR OF EXISTING CMU.
04800.09 MECHANICAL EQUIPMENT SCREEN. 8'X8'X16" CMU. DARK GRAY COLOR (PETRO BLACK BY CREGO). 6'-0" HIGH ABOVE FINISH GRADE.
05500.19 8" O.D. STEEL PIPE BOLLARD FILLED WITH CONCRETE. TYPICAL. PRIME AND PAINT YELLOW.
01000.04 SIGNAGE. BUILDING ADDRESS NUMBER AND BUSINESS SIGN. CAST CONCRETE PANEL WITH RECESSED NUMBERS AND LETTERS. INSTALL FLUSH WITH CMU WALL.
10100.05 VAN ACCESSIBLE DISABLED PARKING SIGN. SEE DETAIL C4 / AS-101.
10100.06 MOTORCYCLE PARKING SIGN.
10850.01 PROVIDE WALL MOUNTED KNOX BOX WITH KEYS WITH SWITCH AND KEY BOX FOR BUILDINGS. INSTALL AT 4' ABOVE GRADE.
12900.01 BIKE RACK. SEE DETAILS ON SHEET AS-101. BASIS OF DESIGN IS SITESCAPES ECHO BIKE RACK "EC2-05-SM" SURFACE MOUNTED (5) BIKE TUBE RACK OR EQUAL.
12900.02 BENCH.
21100.01 NEW PUBLIC FIRE HYDRANT AS PART OF THIS PROJECT.
23400.02 HVAC CONDENSING UNIT.
26200.01 ELECTRIC SERVICE AND METER. SEE ELECTRICAL.
26200.03 EXISTING POWER POLE TO REMAIN.
26200.06 EXISTING POWER POLE GUY WIRE TO REMAIN.
26200.07 EXISTING OVERHEAD POWER LINE.
26200.08 MAIN DISTRIBUTION PANEL. SEE ELECTRICAL.
26800.02 WALL MOUNTED LIGHT FIXTURE. 20'-0" MAX. ABOVE FINISHED GRADE. SEE ELECTRICAL.
26800.03 POLE MOUNTED LIGHT FIXTURE. 24'-0" ABOVE FINISHED GRADE. SEE ELECTRICAL.
26800.07 CONCRETE LIGHT BOLLARD.
32100.01 8" THICK AGGREGATE BASE COURSE (ABC) COMPACTED TO 95% MIN. DENSITY PER ASTM D-1557 OVER EXISTING GRADE. COMPACTED TO 95% MIN. IN LIEU OF ABC, CRUSHED RECYCLED CONCRETE MAY BE USED.
32100.04 MOTORCYCLE PARKING SPACE. 4'-0" WIDE X 8'-0" LONG. MINIMUM.
32100.05 NEW ASPHALT PAVING PER COA STANDARD SPECIFICATIONS.
32300.05 NEW 6' HIGH SLIDING GATE WITH 30'-0" CLEAR OPENING. BASIS FOR DESIGN. HEAVY DUTY CANTILEVER SLIDE GATE WITH TTM-1000 OPERATOR BY TTMETAL CORP. 800-228-4283.
32300.08 (2) 3'-0" WIDE SWING GATES WITH DROP BOLTS IN WROUGHT IRON FENCE.
32300.09 PROPOSED WROUGHT IRON FENCE EXTENSION FROM NEW WROUGHT IRON FENCE TO EXISTING REFUSE ENCLOSURE.
32300.10 NEW 4'-0" HIGH STEEL TPOST FENCE WITH 14 GA. WIRE STRANDS AT 1'-0" O.C. INSTALL T-POSTS AT 8'-0" O.C. INSTALL FENCE FROM NEW WROUGHT IRON FENCE, ALONG SOUTH PROPERTY LINE, EXTENDING TO EXISTING CMU WALL AT EAST PROPERTY LINE.
32900.01 5' HIGH METAL EDGING, CONTINUOUS.
33100.14 NEW WATER METER VALVE BOX.



1 Site Plan
1" = 20'-0"



L&C TRANSPORT OFFICE AND SHOP

108 94th St. NW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT: LEE GAMESKY, AIA
Date: 12 JUNE 2018

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.: 1011638

SITE PLAN

By: WTB
SITE DEVELOPMENT PLAN
Sheet 64 of 73
AS-100



DEVELOPMENT REVIEW BOARD

Agenda

Plaza del Sol Building Basement Hearing Room


June 27, 2018

Kym Dicome..... DRB Chair
Racquel Michel Transportation Development
Jon Ertsgaard Water Authority
Doug HughesCity Engineer/Hydrology
Jason Coffey..... Parks & Recreation
Ben McIntosh.....Code Enforcement

Angela Gomez ~ Administrative Assistant

PUBLIC HEARING

1. Project # 001255

VA-2018-00026 - VARIANCE 

AUSTIN'S CARPORTS agent(s) for **BERNICE M. SANCHEZ** request(s) the aforementioned action(s) for all or a portion of: LOT 14, BLOCK 72, PRINCESS JEANNE PARK ADDN, zoned R-1B, located at 1717 SHIRLEY ST NE, Albuquerque, NM, containing approximately .149 acre(s). (J-21)

PROPERTY OWNERS: BERNICE M. SANCHEZ


REQUEST: CARPORT WITHIN REQUIRED SETBACK(S)

THE VARIANCE WAS APPROVED.

2. Project# 1010656

18DRB-70160 MAJOR - PRELIMINARY
PLAT APPROVAL

18DRB-70161 MAJOR - SDP FOR
BUILDING PERMIT

18DRB-70162 MINOR - TEMP DEFR SWDK
CONST 

THE GROUP agent(s) for **PASHTOON KHALID A & NAFEESA** request(s) the above action(s) for all or a portion of Lot(s) 28-30, Block(s) 30, NORTH ALBUQUERQUE ACRES Unit(s) B TRACT A, zoned NR-BP (SU-2/IP), located on WILSHIRE AVE NE between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 3 acre(s). (C-18)[Deferred from 6/6/18]

DEFERRED TO JULY 18TH, 2018.

3. **Project# 1011638**
18DRB-70148 MAJOR - SDP FOR
BUILDING PERMIT 

LEE GAMELSKY ARCHITECTS PC agent(s) for **L & C TRANSPORT** request(s) the above action(s) for all or a portion of Lot(s) 22-A, Block(s) 8, ORIGINAL TOWNSITE OF WESTLAND zoned NR-BP (SU-2/IP), located on 94TH ST NW between CENTRAL AVE NW and VOLCANO RD NW containing approximately 1.6 acre(s). (K-9) *[Deferred from 6/6/18]*


WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED JUNE 27, 2018, THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING.

4. **Project# 1000874**
18DRB-70135
VACATION OF PUBLIC EASEMENT
18DRB-70136
MINOR - PRELIMINARY/FINAL PLAT
APPROVAL

TIERRA WEST LLC agent(s) for **MONTANO I-25.BEACH AQUISITION PROPERTY LLC** request(s) the above action(s) for all or a portion of Lot(s) B-1, RENAISSANCE CENTER III zoned NR-C (SU-1 FOR IP & AMUSEMENT FACILITY OF A PERMANENT CHARACTOR (NOT ADULT ESTABLISHMENT)), located on DESERT SURF CIRCLE NE between ALEXANDER BLVD NE and MONTANO RD NE containing approximately 23.87 acre(s). (F-16) *[Deferred on 5/16/18, 5/23/18, 6/6/18]*

DEFERRED JULY 18, 2018.

MINOR CASES

5. **Project # 001226**
SD-2018-00031 – PRELIMINARY/
FINAL PLAT 

ARCH + PLAN LAND USE CONSULTANTS agent(s) for **AGIOLA BEJKO** request(s) the aforementioned action(s) for all or a portion of: LOTS 7 & 8, BLOCK 32, PEREA ADDN, zoned R1-A, located at 608 15TH ST NW, Albuquerque, NM, containing approximately .16 acre(s). (J-13)

PROPERTY OWNERS: AGIOLA BEJKO
REQUEST: CONSOLIDATION OF 2 LOTS INTO 1

WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED THE PRLIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN/OFF DELEGATED TO TRANSPORTATION AND TO PLANNING.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN
APPROVED PRIOR TO EFFECTIVE DATE OF IDO

DESCRIPTION:
THIS MINOR AMENDMENT IS FOR THE CONSTRUCTION OF AN ADDITIONAL DRIVEWAY
ENTRANCE INTO THE PROPERTY, RELOCATION OF THE PEDESTRIAN GATE AND SIDEWALK
INTO THE PROPERTY, AND MINOR CHANGES TO THE LANDSCAPING TO ACCOMMODATE THE
NEW DRIVEWAY.

DRB PROJECT NO. 1011638

ZONING:
AT TURN IN OF DRB APPLICATION SUBMITTAL: SU-2 / IP
CURRENT IDO ZONING: NR-BP
THERE IS NO MASTER DEVELOPMENT PLAN ON FILE.

LEGAL DESCRIPTION:
LOT 22-A, BLOCK NO. 8, ORIGINAL TOWNSITE OF WESTLAND, BEING A REPLAT OF LOT 22,
BLOCK 8, WITHIN TOWN OF ATRISCO GRANT, BERNALILLO COUNTY.

THE USE OF THE NEW BUILDINGS SHALL REMAIN THE SAME AS PROPOSED IN THE ORIGINAL
DRB APPLICATION:

BUILDING 'A':
OFFICE BUILDING: 2,160 SF
PORTAL / COVERED PATIO: 1,032 SF

CARPORT: 805 SF

BUILDING 'B':
SHOP: 4,000 SF
SHADE STRUCTURE: 3,200 SF

FUTURE CARETAKER RESIDENCE:
25' X 48' = 1,200 SF

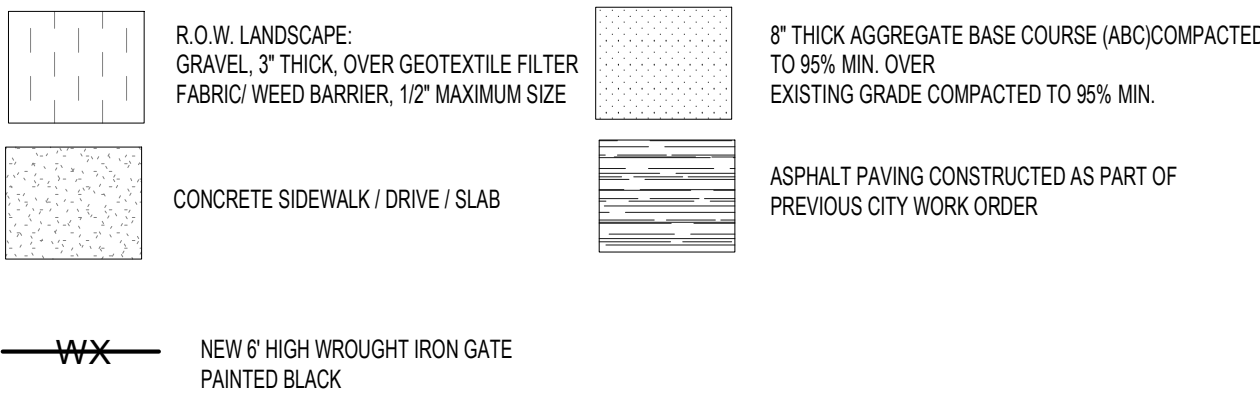
SPECIFIC NOTES FOR THIS MINOR AMENDMENT: 1

- AN ADDITIONAL DRIVEWAY / CURB CUT WILL BE INSTALLED ON VOLCANO RD. NW.
AN AUTOMATIC SLIDING GATE SHALL BE INSTALLED AT THAT ENTRANCE. THE
ENTRANCE GATE ON 94TH ST. WILL BE A MANUAL SWING DOUBLE GATE.
- PEDESTRIAN ACCESS AND GATE WILL BE FROM VOLCANO RD. NW.
- ALL FENCING ALONG VOLCANO AND 94TH ST. WILL BE WROUGHT IRON.
MASONRY WALLS WILL BE INSTALLED ON EACH SIDE OF THE VEHICLE GATES.
- FOUR INTERIOR PARKING SPACES WILL BE LOCATED NORTH OF THE HANDICAP
PARKING SPACE.
- THE SHADE STRUCTURE IS A SEPARATE STRUCTURE FROM THE SHOP BUILDING PER
THE APPROVED BUILDING PERMIT SET.

INDEX OF DRAWINGS:

1	AS-100.1	SITE PLAN
2	A-202.1	SITE DETAILS / SIGNAGE
3	C-100.1	GRADING AND DRAINAGE PLAN
4	A-200.1	BUILDING ELEVATIONS - SHOP / SHADE STRUCTURE
5	L-100.1	LANDSCAPING PLAN

LEGEND:



PARKING DATA:

PARKING REQUIREMENT:

- OFFICE PARKING:
• 1 SPACE PER 200 OCCUPANTS: 2160 SF / 200 = 10.8, THEREFORE 11 SPACES
REQUIRED

- SHOP PARKING:
• 1 SPACE PER 2000 OCCUPANTS: 4000 SF / 2000 = 2, THEREFORE 2 SPACES
REQUIRED

TOTAL NUMBER OF PARKING SPACES REQUIRED = 13

(NO BUS REDUCTION INCLUDED)

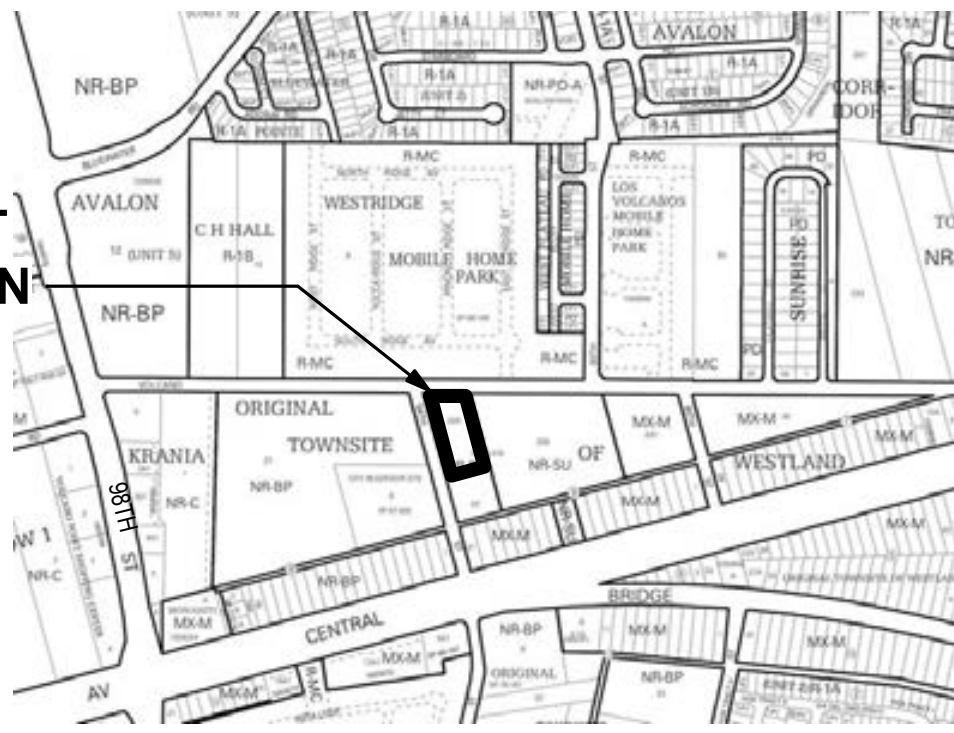
PARKING PROVIDED:

- 13 SPACES PROVIDED (INCLUDES 1 VAN ACCESSIBLE HC SPACE)
- 1 MOTORCYCLE SPACE PROVIDED
- BICYCLE RACK FOR 2 BICYCLES PROVIDED

SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABOWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEERING / HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PROJECT
LOCATION



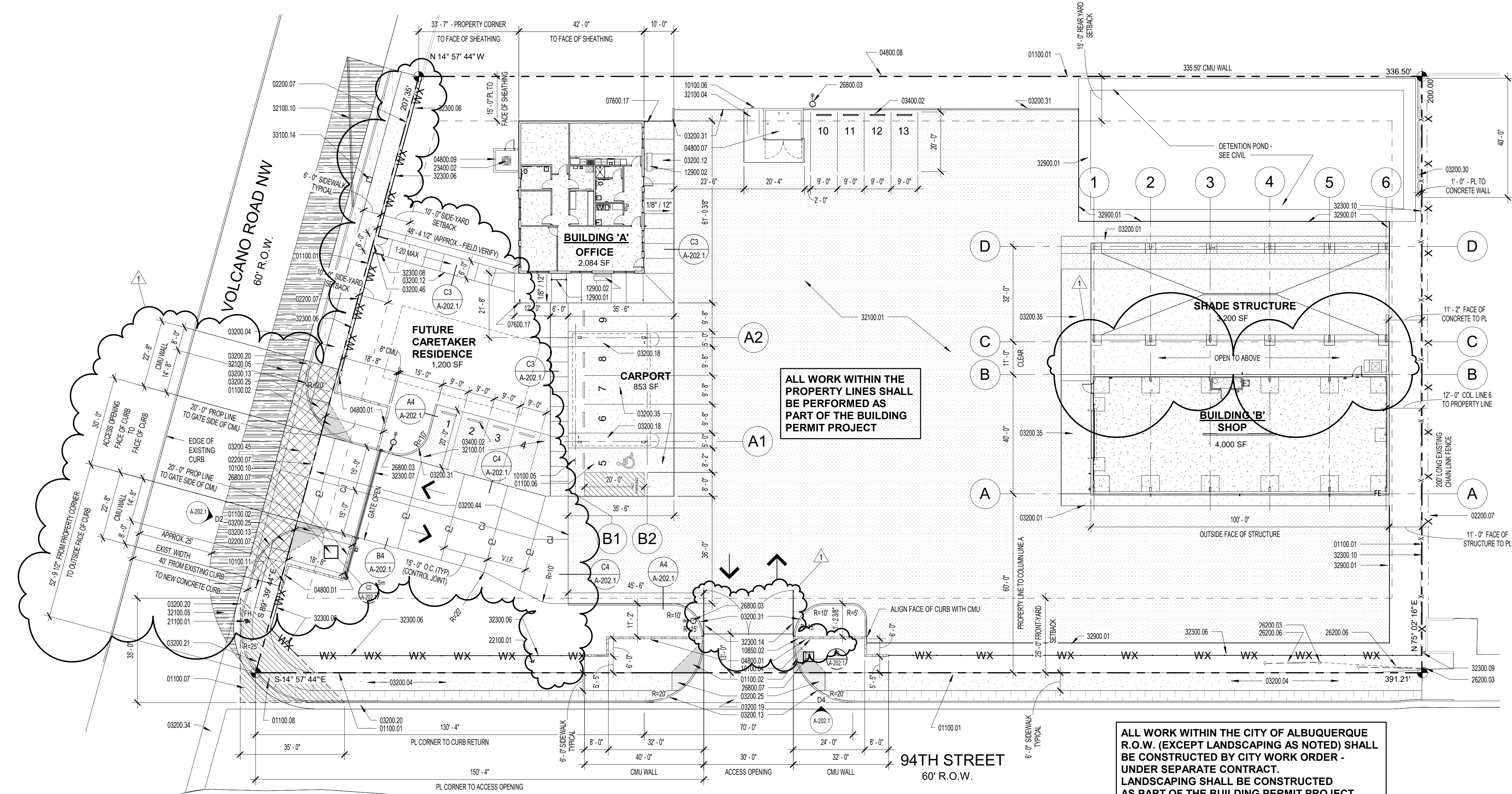
VICINITY MAP / ZONE ATLAS PAGE K-09-Z

GENERAL NOTES:

- A. ALL SIDEWALKS, RAMPS, CURB CUTS, CURB AND GUTTER SHALL BE CONSTRUCTED PER CITY
OF ALBUQUERQUE STANDARD DRAWINGS:
SIDEWALK (2430)
• RAMPS (2440)
• CURB CUTS (2426)
• CURB AND GUTTER (2415)
- B. SEE GEOTECHNICAL ENGINEERING REPORT DATED JUNE 12, 2018 PREPARED BY TERRACON.
TERRACON PROJECT NO. 66185086.

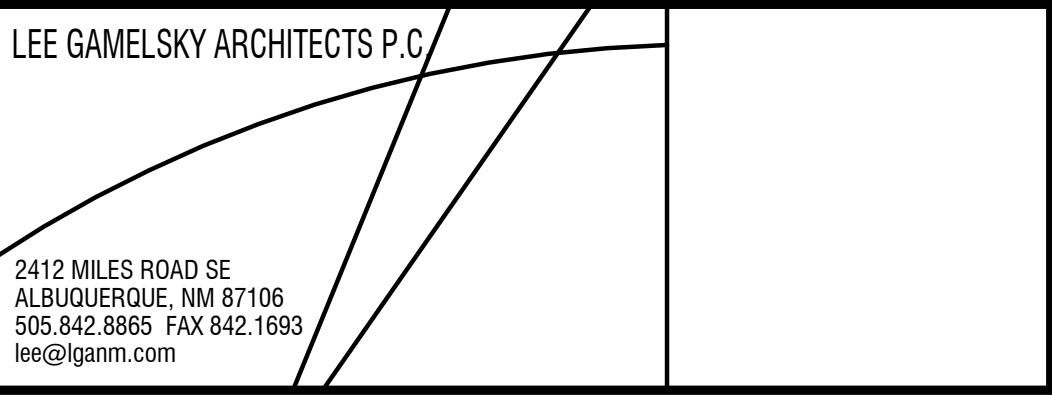
KEYED NOTES:

- 01100.01 PROPERTY LINE
01100.02 HATCHED AREA INDICATES 11' MINI CLEAR SIGHT TRIANGLE.
01100.06 VAN ACCESSIBLE HC PARKING. 1% MIN. 2% MAX SLOPE.
01100.07 INTERSECTION CLEAR SIGHT DISTANCE PER CITY OF ALBUQUERQUE TRAFFIC CODE, SECTION 8-2-2-15.
01100.08 EXISTING STOP SIGN, RELOCATE.
02200.07 REMOVE EXISTING CHAIN LINK FENCE.
03200.01 4" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SIDEWALK OVER GRADE COMPACTED TO 95%. REINFORCE WITH 6X6-W2 1 X W2.1WVF.
FLAT SHEETS ONLY. SLOPE AWAY FROM BUILDING AT 1/8" PER FOOT MINIMUM. LIGHT BROOK FINISH.
03200.04 NEW CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG. 2430.
THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
03200.12 4" THICK 3000 PSI AIR-ENTRAINED CONCRETE SIDEWALK OVER GRADE COMPACTED TO 95%. REINFORCE WITH 6X6-10X10 WWM. FLAT
SHEETS ONLY. SLOPE IN DIRECTION OF TRAVEL SHALL NOT EXCEED 1:20 AND CROSS SLOPE SHALL NOT EXCEED 1:48.
03200.13 CONCRETE CURB PER COA STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG 2426. THIS WORK TO BE CONTRACTED
UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
03200.18 4,000 PSI AIR-ENTRAINED CONCRETE ISLAND WITH 3/4" AGGREGATE AND 6X6-10X10 WWM.
03200.19 NEW CONCRETE CURB CUT / ENTRANCE DRIVE. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO STANDARD DETAIL
DWG 2426. INSTALL TRUNCATED DOMES AT SIDEWALK CROSSING. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER
COA WORK ORDER.
03200.20 NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG 2415. THIS
WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
03200.21 NEW MOUNTABLE CURB WHEEL CHAIR RAMP AT NEW SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO
CITY STANDARD DETAIL DWG 2416. INSTALL TRUNCATED DOMES ON RAMP. THIS WORK TO BE CONTRACTED UNDER A SEPARATE
CONTRACT PER COA WORK ORDER.
03200.25 ACCESSIBLE SIDEWALK RAMP WITH TRUNCATED DOMES. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA
WORK ORDER.
03200.30 CONCRETE CUT OFF WALL. SEE GRADING AND DRAINAGE PLAN.
03200.31 6" WIDE CONCRETE HEADER CURB. TYPICAL. SEE DETAIL A/AS-101.1.
03200.34 NEW CONCRETE VALLEY GUTTER - SEE GRADING AND DRAINAGE PLAN. REFER TO CITY STANDARD DETAIL DWG 2420. THIS WORK TO BE
CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
03200.35 6" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 16" O.C., CENTERED IN SLAB.
03200.44 8" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 12" O.C., CENTERED IN SLAB.
03200.45 CROSSHATCH INDICATES NEW CONCRETE CURB AND GUTTER, NEW SIDEWALK, NEW DRIVEWAY.
03200.46 EXTEND SIDEWALK TO EXISTING STREET SIDEWALK.
03400.02 6'-0" LONG PRE-CAST CONCRETE WHEEL STOP. TYPICAL.
04800.01 NEW 6' HIGH CMU WALL. 8'X8'X16" CMU BLOCK WITH 4" X 8' X 16" CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO). GROUT ALL
CELLS SOLID.
04800.07 CMU REFUSE ENCLOSURE. 8' X 8' X 16" CMU BLOCK WITH 4" X 8' X 16" CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO).
EXISTING 6'-8" HIGH CMU WALL. RAISE TO 6'-0" HIGH. MATCH STYLE AND COLOR OF EXISTING CMU.
04800.08 MECHANICAL EQUIPMENT SCREEN. 8'X8'X16" CMU. DARK GRAY COLOR (PETRO BLACK BY CREGO). 6'-0" HIGH ABOVE FINISH GRADE. SEE
FOUNDATION PLAN ON SHEET S-101 AND DETAIL A/AS-131.
07600.17 3'X4' X 26 GA. GALVANIZED METAL DOWNSPOUT. SECURE TO WALL / COLUMN WITH GALVANIZED METAL STRAPS AT 6'-0" O.C. MAX.
10100.04 SIGNAGE: BUILDING ADDRESS NUMBER. CAST CONCRETE PANEL WITH RECESSED NUMBERS. INSTALL WITH OUTSIDE FACE OF
CONCRETE FLUSH WITH CMU WALL.
10100.05 VAN ACCESSIBLE DISABLED PARKING SIGN. SEE DETAIL C4 / AS-101.
10100.06 MOTORCYCLE PARKING SIGN.
10100.10 SIGNAGE: BUSINESS SIGN. CAST CONCRETE PANEL WITH RECESSED LETTERS. INSTALL WITH OUTSIDE FACE OF CONCRETE FLUSH WITH
CMU WALL.
10100.11 RELOCATE EXISTING SIGN "ROAD NARROWS" TO THIS LOCATION.
10850.02 PROVIDE AND INSTALL RECESSED KNOX BOX. INSTALL 4' TO 6' ABOVE GRADE.
12900.01 BIKE RACK. SEE DETAILS ON SHEET AS-101. BASIS OF DESIGN IS SITESCAPES ECHO BIKE RACK "EC2-05-5M" SURFACE MOUNTED (S) BIKE
TUBE RACK, OR EQUAL.
12900.02 BENCH.
21100.01 NEW FIRE HYDRANT AS PART OF THIS PROJECT.
21100.01 GAS METER.
23400.02 HVAC CONDENSING UNIT. SEE MECHANICAL.
26200.03 EXISTING POWER POLE TO REMAIN.
26200.06 EXISTING POWER POLE GUY WIRE TO REMAIN.
26800.03 POLE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL.
26800.07 CONCRETE LIGHT BOLLARD. LIGHTS ON TWO SIDES. SEE DETAILS ON SHEET AS-101.1. SEE ELECTRICAL.
32100.01 8" THICK AGGREGATE BASE COURSE (ABC) COMPACTED TO 95% MIN. DENSITY PER ASTM D-1557 OVER EXISTING GRADE COMPACTED TO
95% MIN. IN LIEU OF ABC, CRUSHED RECYCLED CONCRETE MAY BE USED.
32100.04 MOTORCYCLE PARKING SPACE, 4'-0" WIDE X 6'-0" LONG. MINIMUM.
32100.05 NEW ASPHALT PAVING PER COA STANDARD SPECIFICATIONS. WORK WITHIN THE CITY RIGHT-OF-WAY TO BE CONSTRUCTED UNDER A
SEPARATE CONTRACT, PER COA WORK ORDER.
32100.10 EXISTING ASPHALT CURB.
32300.06 6' HIGH BLACK WROUGHT IRON METAL FENCE.
32300.07 6'-0" HIGH SLIDING GATE WITH 30'-0" CLEAR OPENING. BASIS FOR DESIGN: HEAVY DUTY CANTILEVER SLIDE GATE WITH TYM-2000
OPERATOR BY TYMETAL CORP. 800.328.4283. GATE WILL OPEN TO THE RIGHT. SUBMIT SHOP DRAWINGS.
32300.08 (2) 3'-0" WIDE SWING GATES IN WROUGHT IRON FENCE WITH DROP BOLTS. HEAVY DUTY SELF-SEALED BALL HINGES. SLIDE BOLT LOCK,
PADLOCK HASP AND HARDENED STEEL PADLOCK GUARD.
32300.09 WROUGHT IRON FENCE EXTENSION FROM NEW WROUGHT IRON FENCE TO EXISTING REFUSE ENCLOSURE.
32300.10 NEW 4'-0" HIGH STEEL T-POST FENCE WITH 14 GA. WIRE STRANDS AT 1'-0" O.C. INSTALL T-POSTS AT 8'-0" O.C. INSTALL FENCE FROM NEW
WROUGHT IRON FENCE, ALONG SOUTH PROPERTY LINE, EXTENDING TO EXISTING CMU WALL AT EAST PROPERTY LINE.
32300.14 (2) 15'-0" WIDE X 6'-0" HIGH SWING GATES (MATCH WROUGHT IRON FENCE) WITH DROP BOLTS. HEAVY DUTY HINGES, SLIDE BOLT LOCK,
PADLOCK HASP AND HARDENED STEEL PADLOCK GUARD. WELD HINGES TO 4X4X1/4 TUBE STEEL POST SET IN CONCRETE FOOTING.
32900.01 4" HIGH METAL EDGING. CONTINUOUS. TOP OF EDGING FLUSH WITH TOP OF ABC.
33100.14 NEW WATER METER VALVE BOX.



ALL WORK WITHIN THE
PROPERTY LINES SHALL
BE PERFORMED AS
PART OF THE BUILDING
PERMIT PROJECT

ALL WORK WITHIN THE CITY OF ALBUQUERQUE
R.O.W. (EXCEPT LANDSCAPING AS NOTED) SHALL
BE CONSTRUCTED BY CITY WORK ORDER -
UNDER SEPARATE CONTRACT.
LANDSCAPING SHALL BE CONSTRUCTED
AS PART OF THE BUILDING PERMIT PROJECT



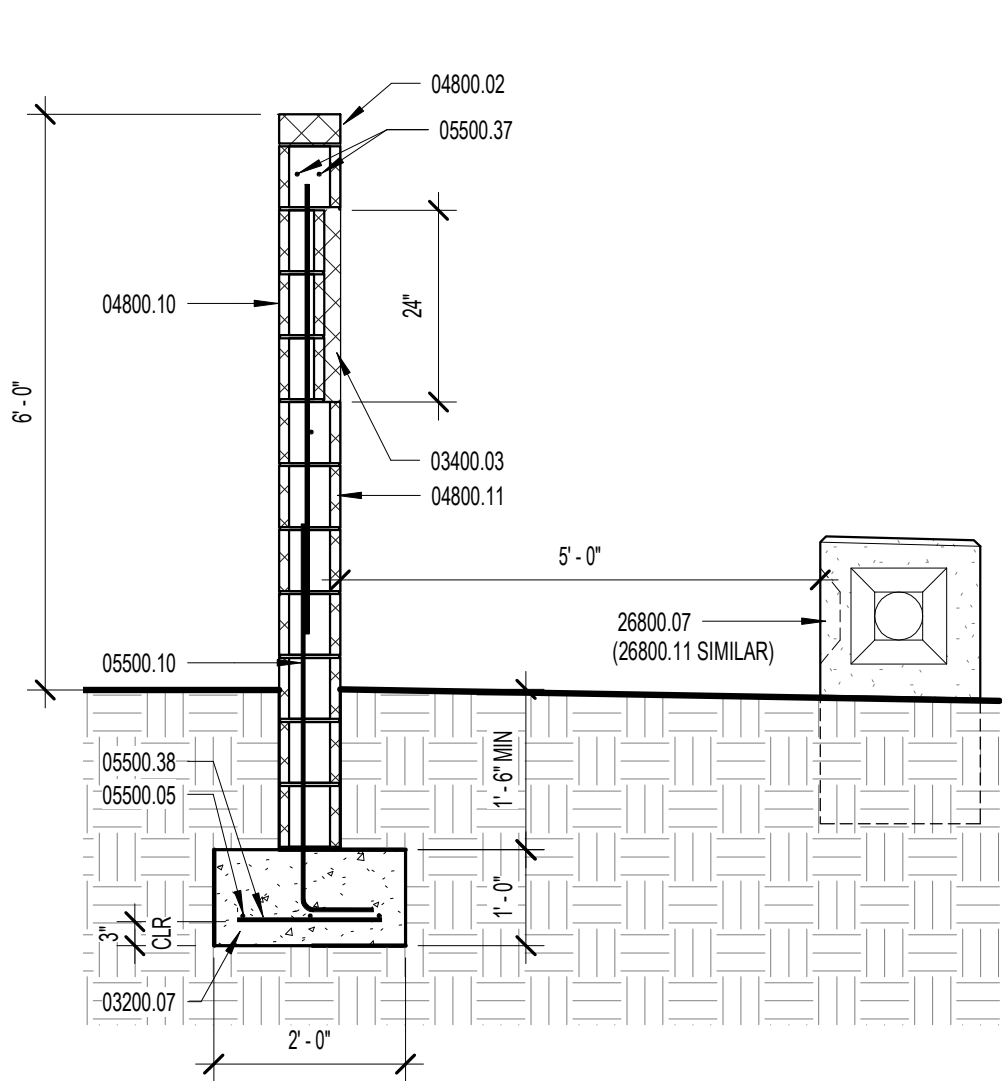
LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 642.1693
lee@lgame.com

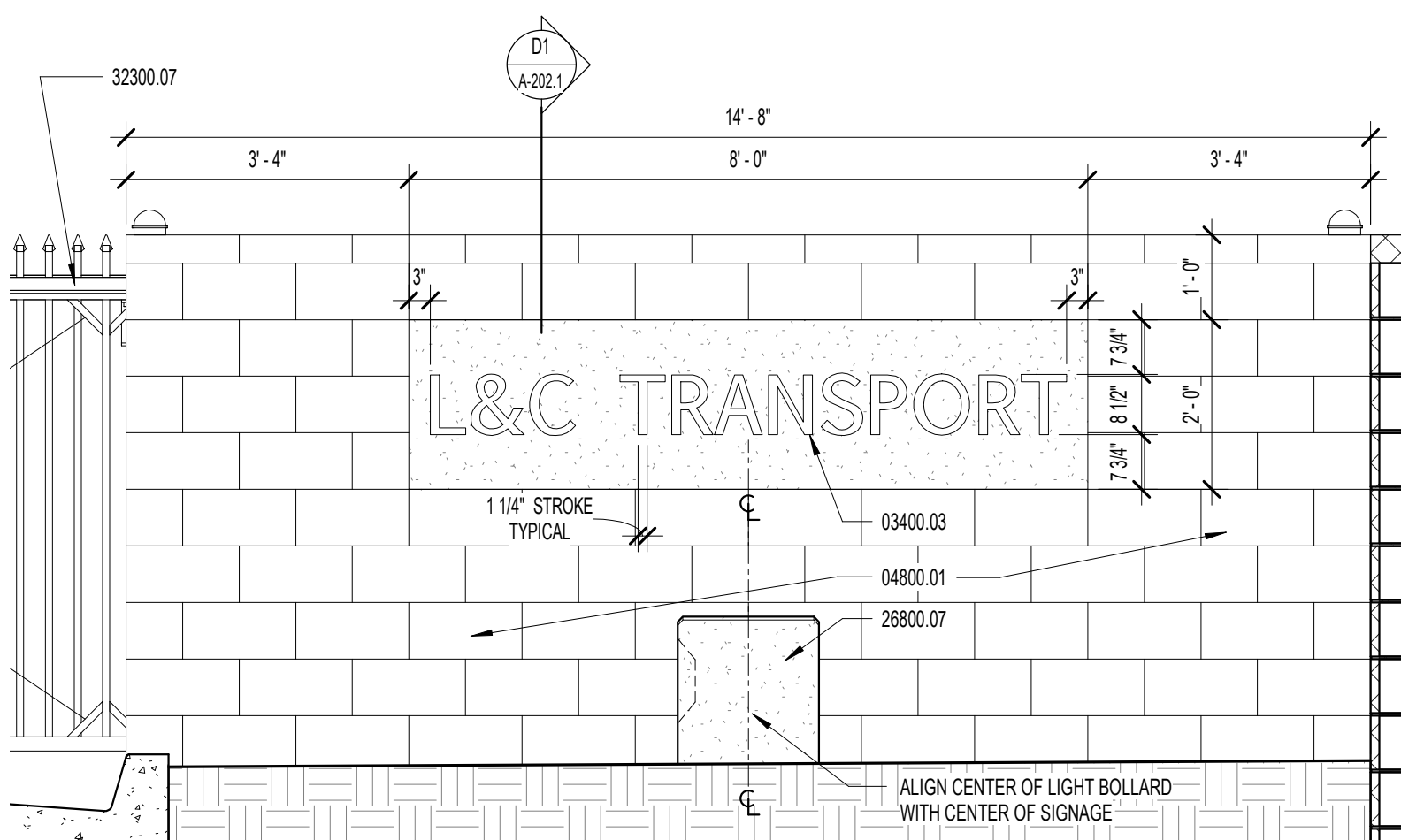
L&C TRANSPORT OFFICE AND SHOP
112 94th Street NW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT:
LEE GAMESKY, AIA
PROJECT #:
Date: 22 APRIL 2021
MINOR AMENDMENT TO SITE PLAN / ADMINISTRATIVE
AMENDMENT
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.: 1011638

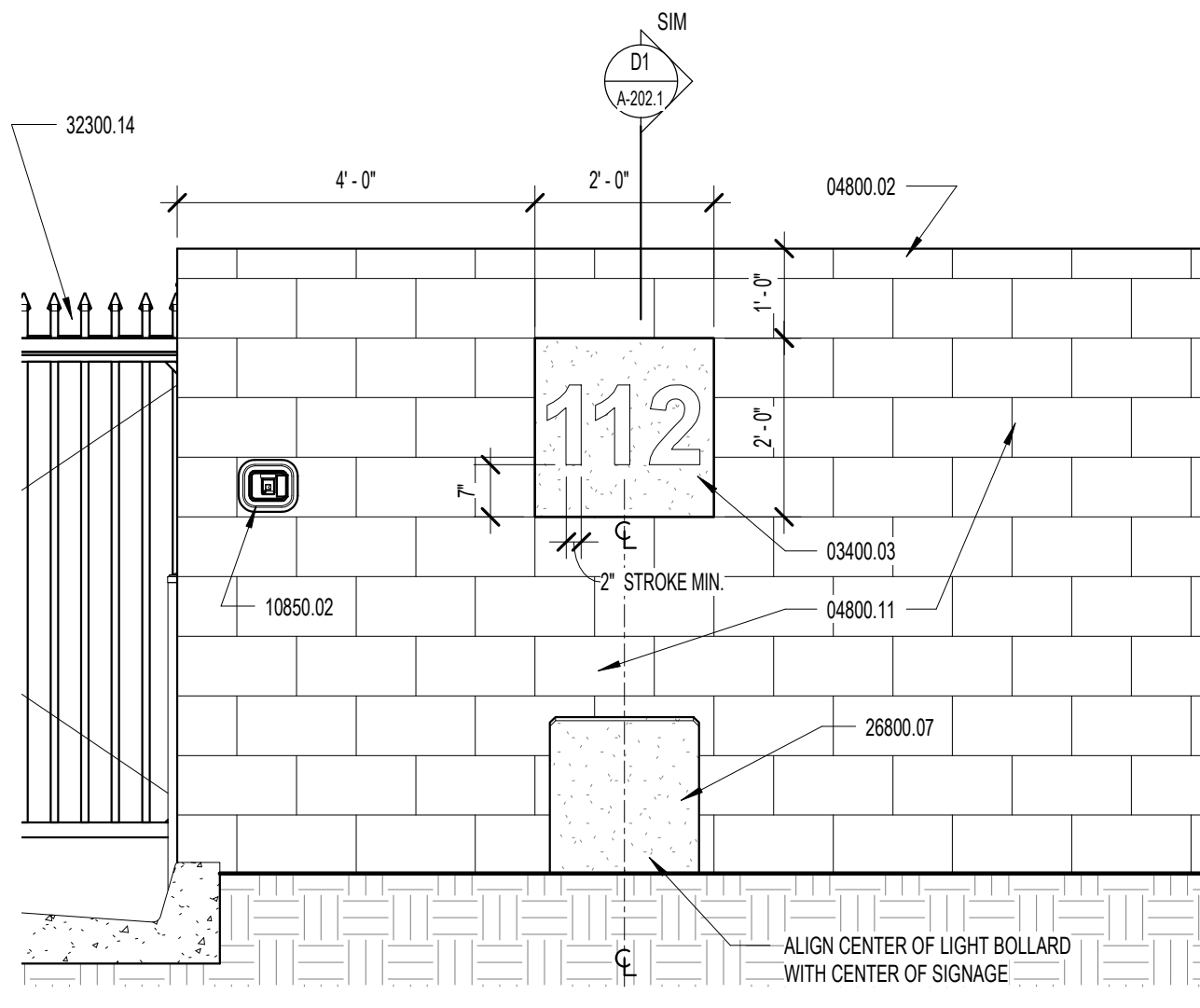
SITE PLAN



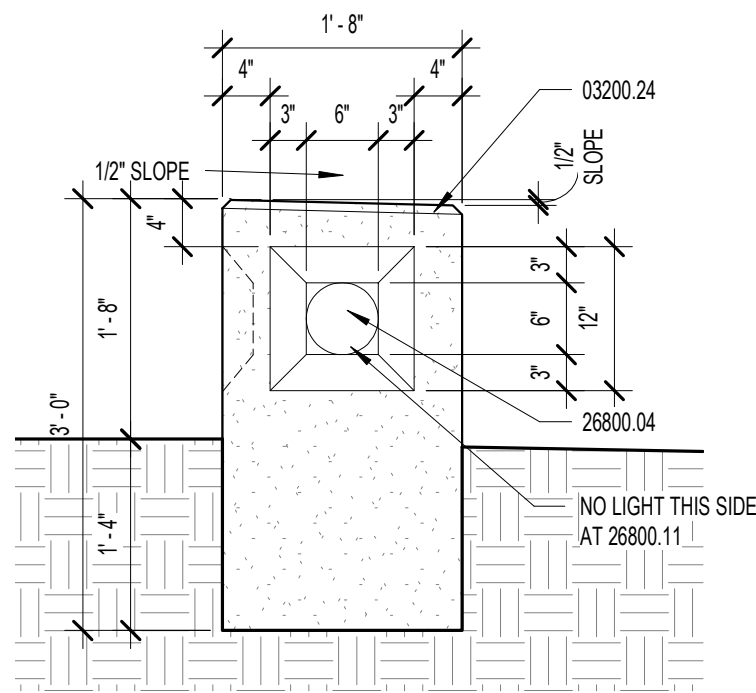
D1 WALL SECTION @ SIGN
1/2" = 1'-0"



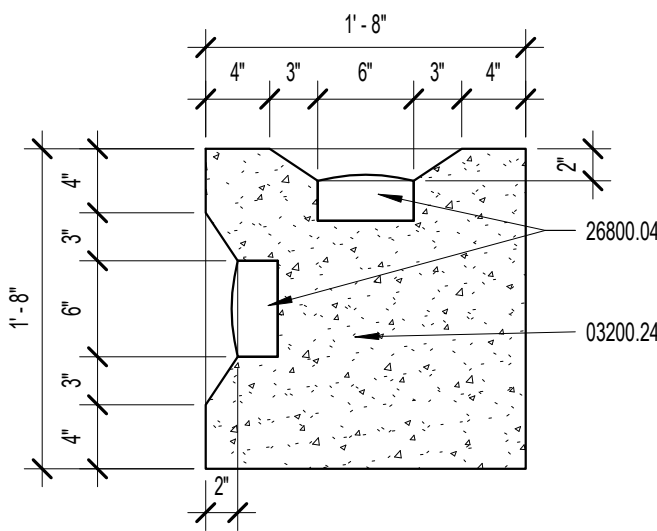
D2 SIGN ELEVATION - BUSINESS SIGN
1/2" = 1'-0"



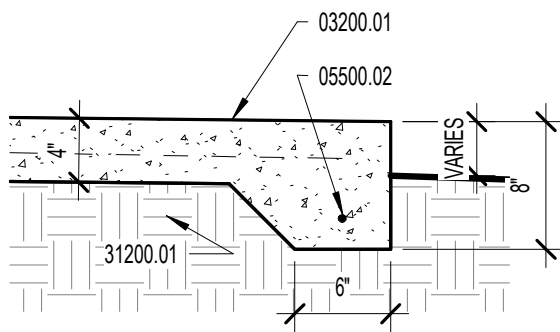
D4 SIGN ELEVATION - BUILDING ADDRESS NUMBER
1/2" = 1'-0"



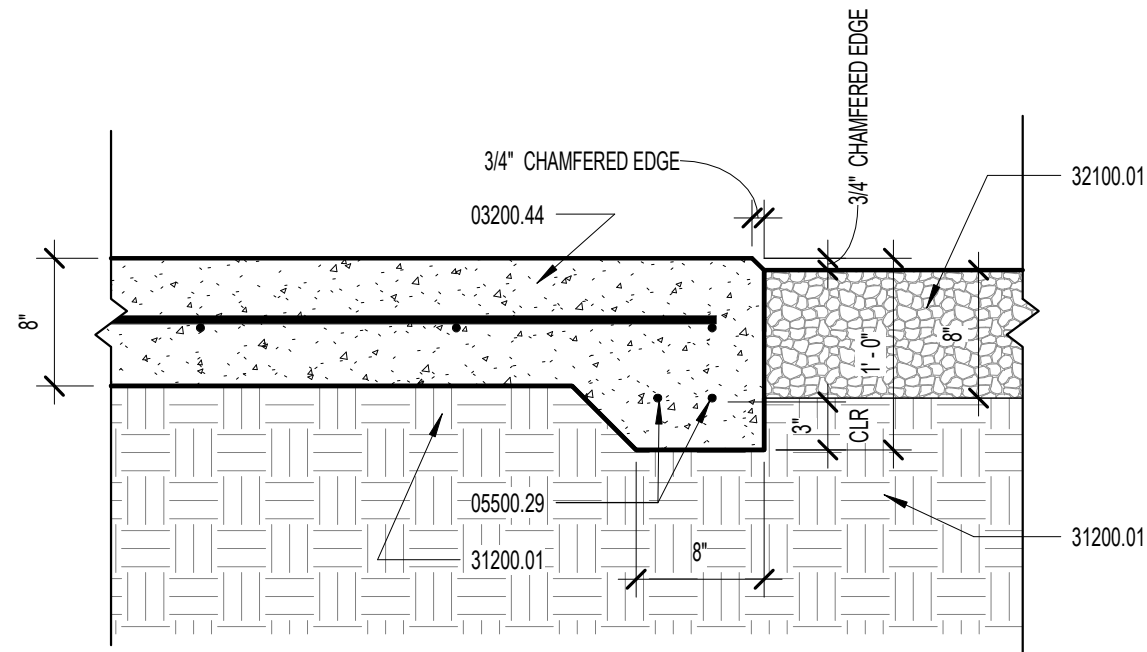
C1 LIGHT BOLLARD ELEVATION
3/4" = 1'-0"



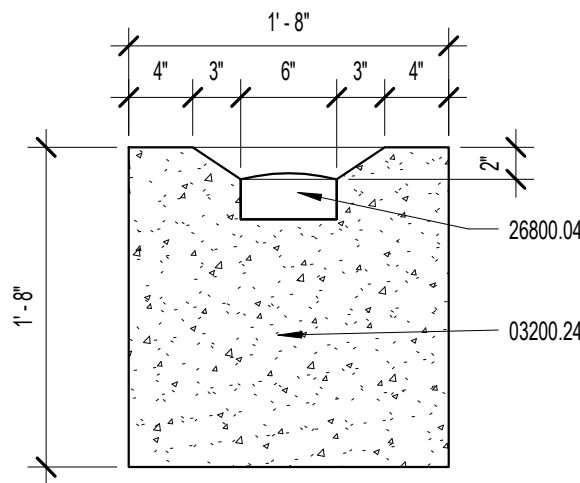
C2 LIGHT BOLLARD PLAN (TWO LIGHTS)
1" = 1'-0"



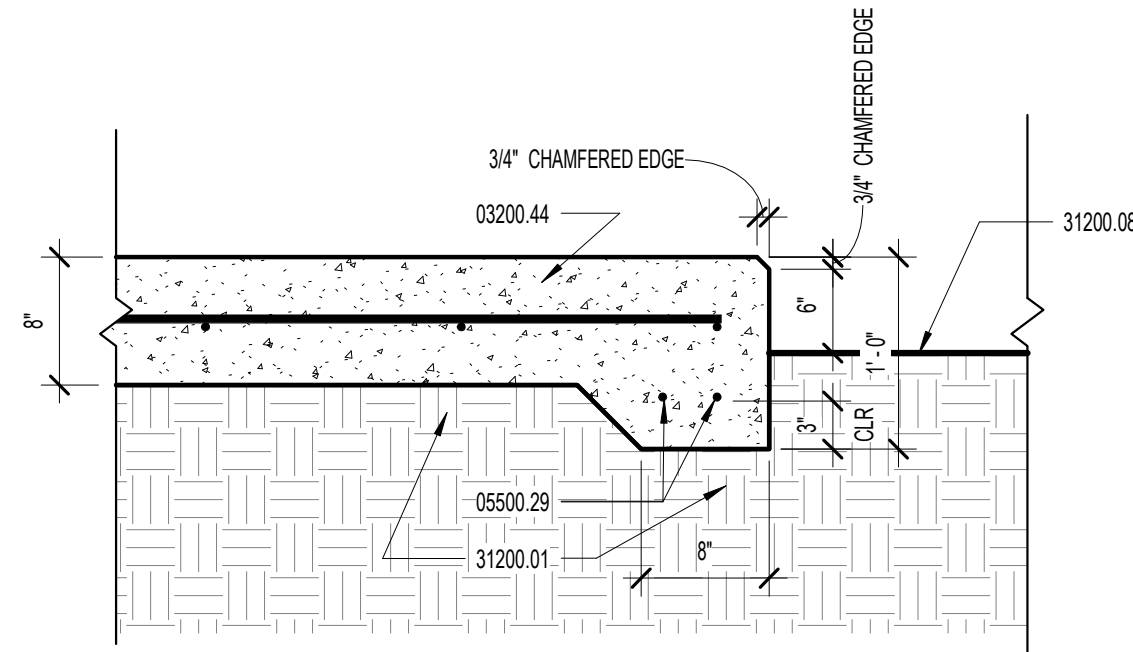
C3 TYPICAL EDGE @ SIDEWALK
1" = 1'-0"



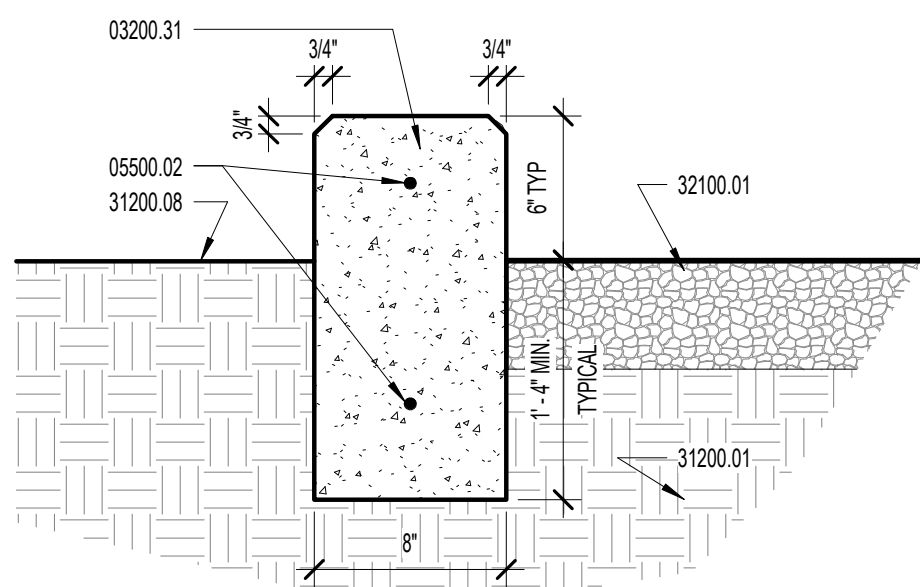
C4 DETAIL - CONCRETE DRIVE EDGE
1" = 1'-0"



B3 LIGHT BOLLARD PLAN (ONE LIGHT)
1" = 1'-0"



B4 DETAIL - CONCRETE DRIVE EDGE (LANDSCAPE EDGE)
1" = 1'-0"



A4 TYPICAL HEADER CURB
1 1/2" = 1'-0"

KEYED NOTES:

- 03200.01 4" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SIDEWALK OVER GRADE COMPACTED TO 95%, REINFORCE WITH 6X6-W2.1 X W2.1WWF, FLAT SHEETS ONLY. SLOPE AWAY FROM BUILDING AT 1/8" PER FOOT MINIMUM. LIGHT BROOM FINISH.
- 03200.07 4,000 PSI AIR-ENTRAINED CONCRETE CONTINUOUS FOOTING.
- 03200.24 4,000 PSI AIR-ENTRAINED CONCRETE BOLLARD, CHAMFER TOP EDGE ALL AROUND. SLOPE TOP 1/2" MIN.
- 03200.31 6" WIDE CONCRETE HEADER CURB, TYPICAL. SEE DETAIL A4AS-101.1.
- 03200.44 8" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 12" O.C., CENTERED IN SLAB.
- 03400.03 PRE-CAST CONCRETE SIGN: 2" THICK CONCRETE PANEL WITH RECESSED LETTERS CAST 1" DEEP. CONFIRM SIGN NUMBER PRIOR TO FABRICATION.
- 04800.01 NEW 6' HIGH CMU WALL: 8"X8"X16" CMU BLOCK WITH 4" X 8" X 16" CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO). GROUT ALL CELLS SOLID.
- 04800.02 4" X 8" X 16" SOLID CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO).
- 04800.10 6" X 8" X 16" CMU. GROUT ALL CELLS SOLID. DARK GRAY COLOR (PETRO BLACK BY CREGO).
- 04800.11 8" X 8" X 16" CMU WITH HORIZONTAL JOINT REINFORCING @ 16" O.C. GROUT ALL REINFORCED CELLS AND C'ELLS BELOW GRADE SOLID. DARK GRAY COLOR (PETRO BLACK BY CREGO).
- 05500.02 #4 CONTINUOUS REBAR.
- 05500.05 (3) #4 CONTINUOUS REBAR.
- 05500.10 #5 VERTICAL DOWEL WITH HOOK @ 32" O.C.
- 05500.29 (2) #4 CONTINUOUS.
- 05500.37 #4 REBAR @ CONTINUOUS BOND BEAM.
- 05500.38 #4 TRANSVERSE @ 32" O.C.
- 10850.02 PROVIDE AND INSTALL RECESSED KNOX BOX. INSTALL 4" TO 6" ABOVE GRADE.
- 26800.04 RECESSED EXTERIOR LIGHT FIXTURE SEE ELECTRICAL.
- 26800.07 CONCRETE LIGHT BOLLARD, LIGHTS ON TWO SIDES. SEE DETAILS ON SHEET AS-101.1. SEE ELECTRICAL.
- 31200.01 GRADE COMPACTED TO 95%.
- 31200.08 FINISH GRADE.
- 32100.01 8" THICK AGGREGATE BASE COURSE (ABC) COMPACTED TO 95% MIN. DENSITY PER ASTM D-1557 OVER EXISTING GRADE COMPACTED TO 95% MIN. IN LIEU OF ABC, CRUSHED RECYCLED CONCRETE MAY BE USED.
- 32300.07 6'-0" HIGH SLIDING GATE WITH 30'-0" CLEAR OPENING. BASIS FOR DESIGN: HEAVY DUTY CANTILEVER SLIDE GATE WITH TYM-2000 OPERATOR BY TYMETAL CORP. 800.328.4283. GATE WILL OPEN TO THE RIGHT. SUBMIT SHOP DRAWINGS.
- 32300.14 (2) 15'-0" WIDE X 8'-0" HIGH SWING GATES (MATCH WROUGHT IRON FENCE) WITH DROP BOLTS, HEAVY DUTY HINGES, SLIDE BOLT LOCK, PADLOCK HASP AND HARDENED STEEL PADLOCK GUARD. WELD HINGES TO 4X4X1/4 TUBE STEEL POST SET IN CONCRETE FOOTING.

PROPOSED CHANGES PER THE MINOR AMENDMENT TO SITE DEVELOPMENT PLAN INDICATED BY THIS SHEET

- NEW DETAILS FOR NEW CONCRETE DRIVE
- REVISED PRE-CAST CONCRETE ADDRESS SIGN AND NUMBER.

LEE GAMELSKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 642.1693
lee@lganm.com

L&C TRANSPORT OFFICE AND SHOP

112 94th Street NW, Albuquerque, New Mexico 87121

PROJECT ARCHITECT:
LEE GAMELSKY, AIA

Project #:
Date: 22 APRIL 2021

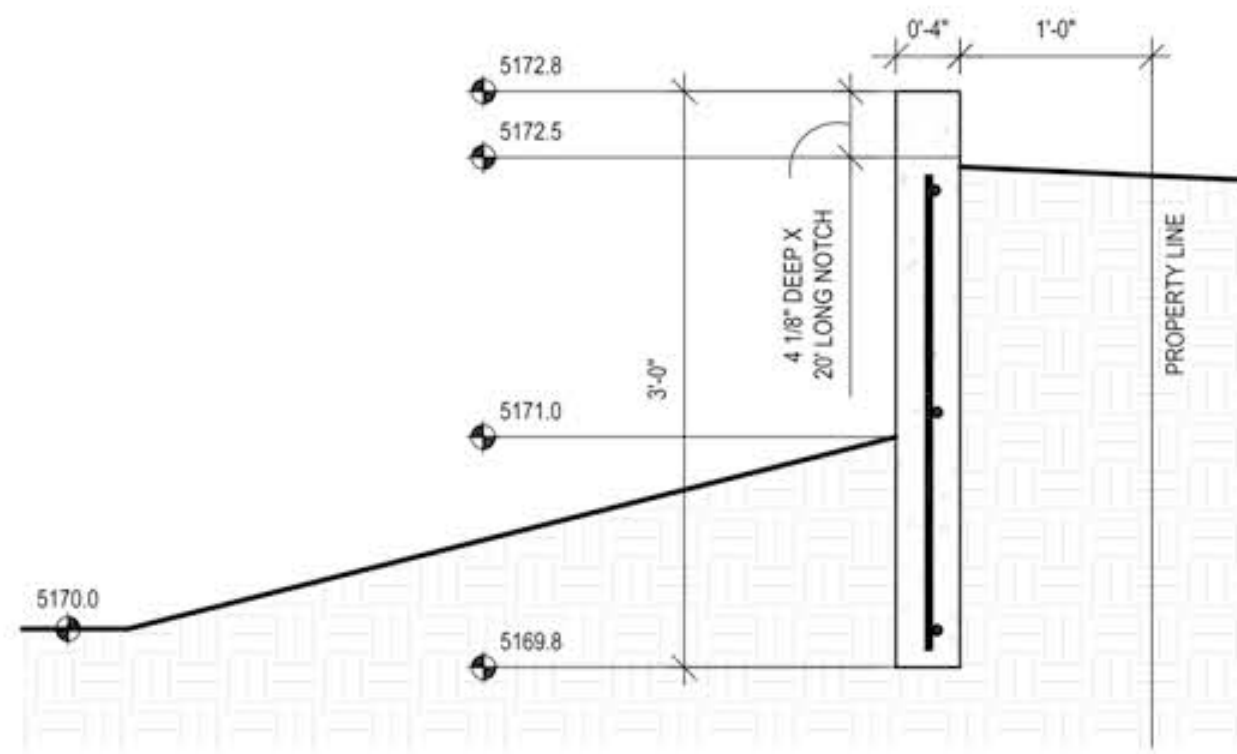
MINOR AMENDMENT TO SITE PLAN / ADMINISTRATIVE
AMENDMENT
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.: 1011638

SITE DETAILS / SIGNAGE

By: WTB

Sheet: Of:

A-202.1

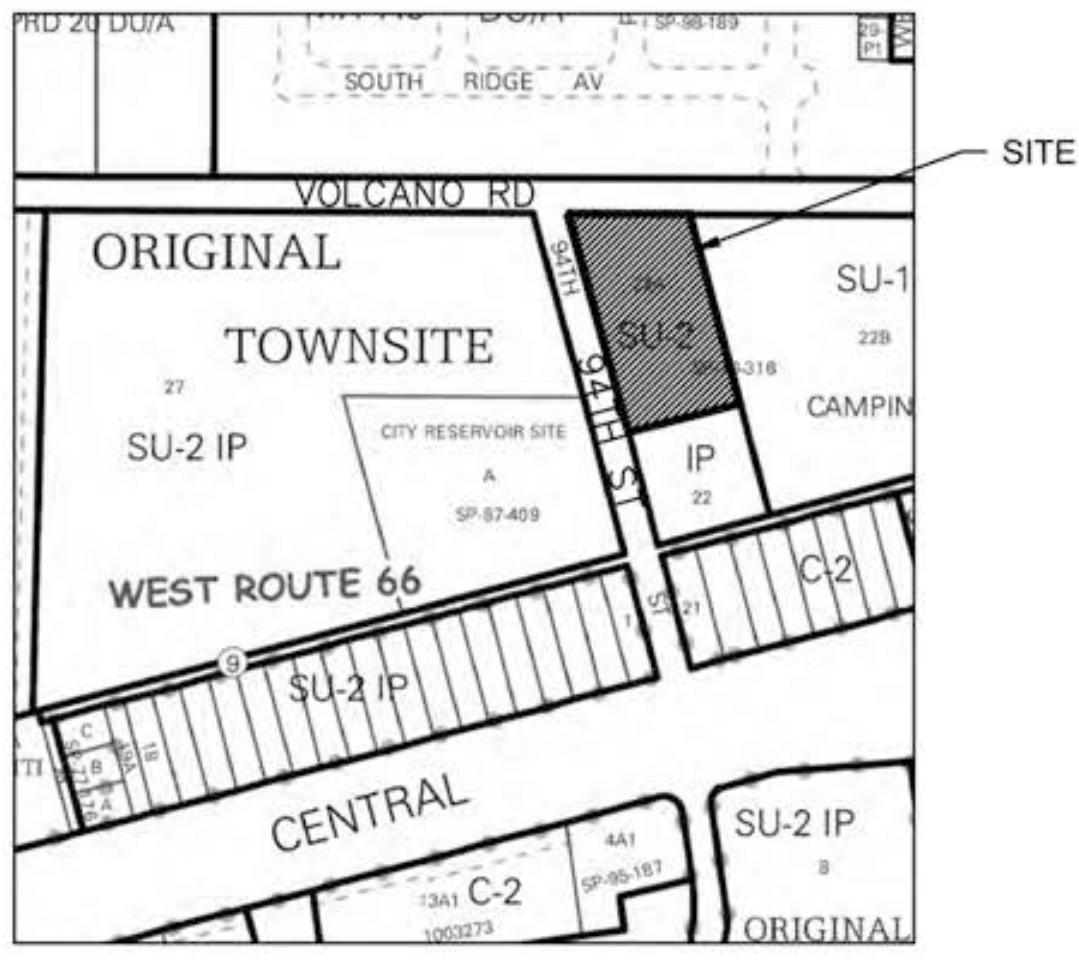


DETENTION POND CONCRETE CUT-OFF WALL

1" = 1'-0"

LEGEND

	EXISTING CONSTRUCTION
	NEW CONTOUR
	EXISTING BUILDING FINISH FLOOR ELEV
	NEW SPOT ELEVATION
	NEW CONSTRUCTION
	RD ROOF DRAIN
	TC TOP OF CURB
	TW TOP OF WALL ELEVATION



VICINITY MAP

K09

DRAINAGE ANALYSIS

LEGAL: Lot 22-A, Block 8, Original Townsite of Westland

AREA: 1.6706 acres (72,770 SF)

BENCHMARK: ACS brass disk "12-K9"
ELEV= 5219.837 (NAVD 1988)

TBM: Top back of street curb opposite SW property corner of the site.
ELEV= 5174.71 (NAVD 1988)

SURVEYOR: The Survey Office dated December, 2017

FLOOD HAZARD: From FEMA Panel 35001C0328J (11/14/2016), this site is identified as being within Zone 'X' which is outside the 0.2% annual chance floodplain.

EXISTING CONDITIONS: The site is undeveloped and slopes down from the northwest to the southeast at 2%. It is bounded on the west by 94th Street, on the north by Volcano Road, on the east by a CMU wall, and on the south by a developed Century Link facility. The site discharges to the Century Link parcel.

FIRST FLUSH: $Q = (0.44 \times 0.10) \times (15,500) / 12 = 439$ CF
This volume will be provided in the detention pond located at the SE corner of the site as the storage depth of 0.15' provides 600 CF storage volume.

OFFSITE FLOWS: A portion of the adjacent 94th Street R/W discharges to the site, but the proposed street curb will divert the offsite runoff to existing inlets on 94th Street located south of the site.

PROPOSED IMPROVEMENTS: The proposed development includes an office and shop buildings. A covered parking area, covered shade structure, and future residence are also included in the impervious area calculations.

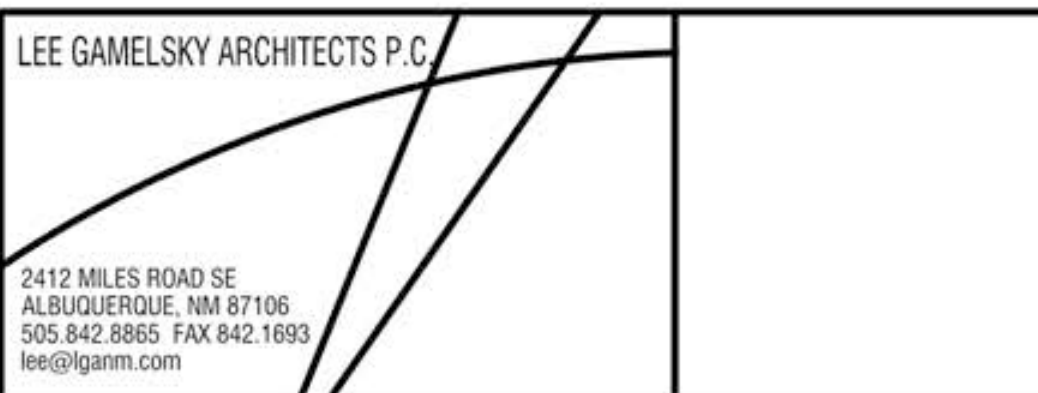
DRAINAGE APPROACH: The proposed drainage plan will follow historic flow paths. Building roof runoff will discharge to the east and south sides of the buildings. Site runoff will be carried overland to the SE corner. The proposed pond will contain the 10-day storage volume.

HYDROLOGY: For precipitation Zone 1 with 100% B land treatment
Existing $Q = (2.03)(1.67) = 3.4$ CFS

The proposed buildings and walks are 21% of the area with the balance of the site either base course or undeveloped considered as land treatment type 'C'.
Proposed $Q = (1.31)(2.87) + (0.36)(4.37) = 5.3$ CFS

The $V_{100} = (57,270)(.0825) + (15,500)(.1642) = 7,270$ CF
The $V_{10\text{-day}} = 7,270 + (15,500)(.1225) = 9,170$ CF

The retention pond volume provided is 9,200 CF at 2.1' depth



L&C TRANSPORT OFFICE AND SHOP
Albuquerque, New Mexico

PROJECT ARCHITECT:
LEE GAMESKY, AIA

Project #:
Date: 19 MARCH 2018

GRADING PLAN

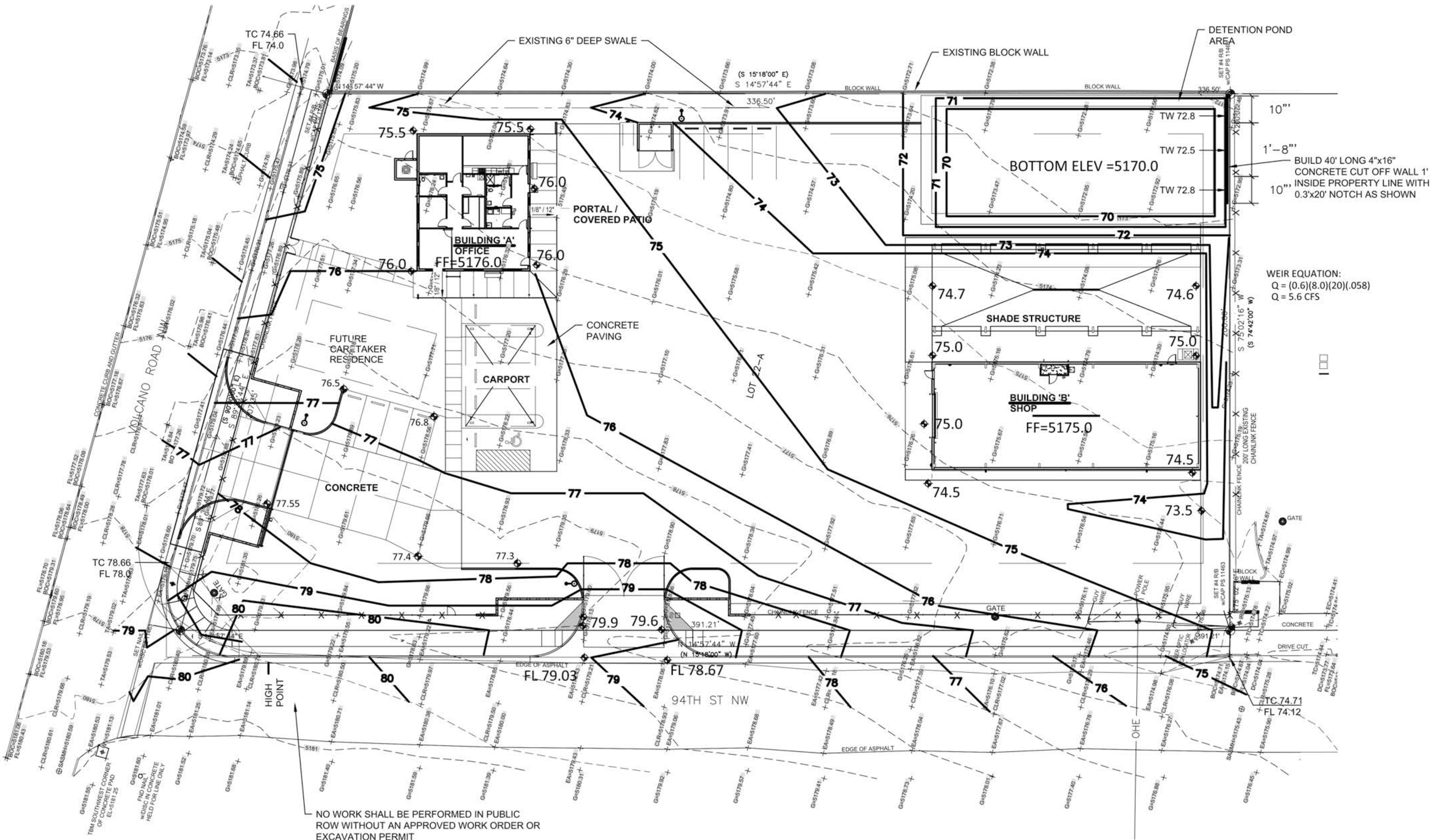
By: WTB
GRADING & DRAINAGE PLAN

Sheet: Of:
C-100

GRADING AND DRAINAGE PLAN

1" = 20'

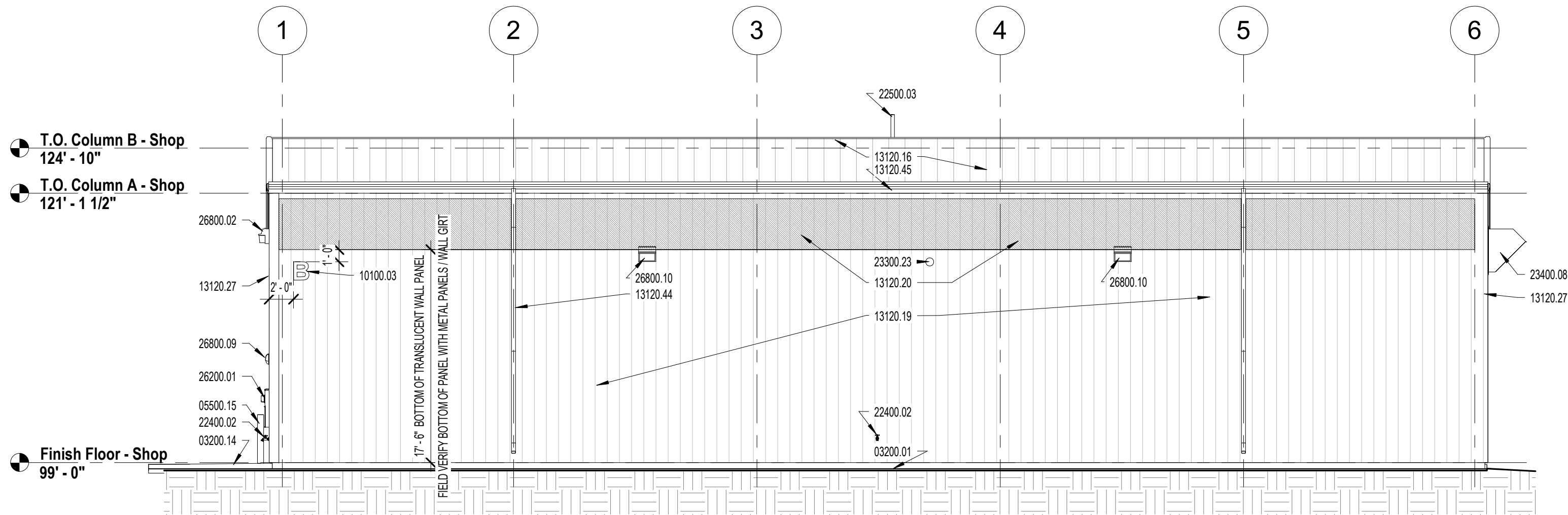
0 20' 40'



NO WORK SHALL BE PERFORMED IN PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT

KEYED NOTES:

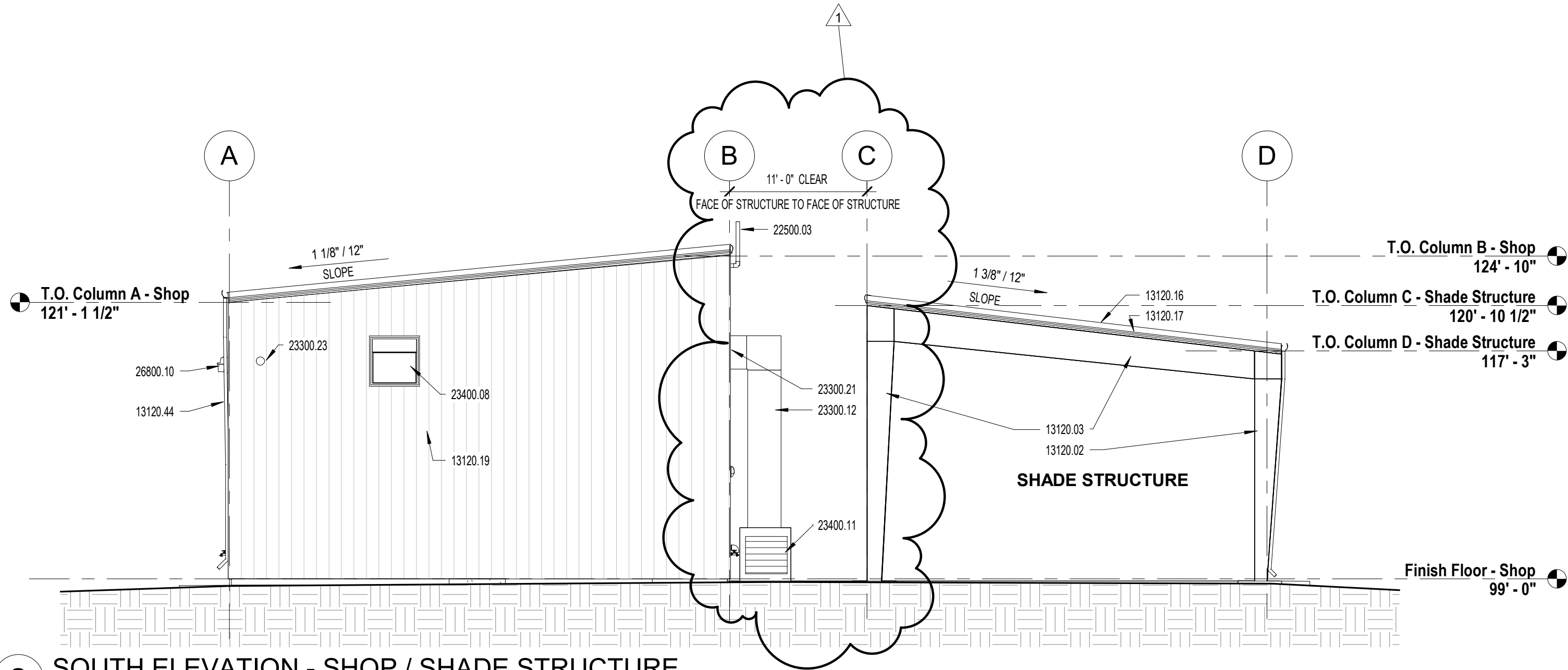
- 03200.01 4" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SIDEWALK OVER GRADE COMPACTED TO 95%, REINFORCE WITH 6X6-W2.1 X W2.1 WWF, FLAT SHEETS ONLY. SLOPE AWAY FROM BUILDING AT 1/8" PER FOOT MINIMUM. LIGHT BROOM FINISH.
- 03200.11 CONCRETE PIER FOOTING - SEE STRUCTURAL.
- 03200.14 6" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 16" O.C., CENTERED IN SLAB. SLOPE AT 1/8" PER FOOT MINIMUM AWAY FROM BUILDING.
- 03200.23 6" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 16" O.C., CENTERED IN SLAB. SLOPE TO DRAIN.
- 05500.15 6" Ø X 7'-0" LONG STEEL PIPE BOLLARD FILLED WITH CONCRETE, TYPICAL AT EACH SIDE OF COILING OVERHEAD DOOR. EXTEND 3'-0" BELOW GRADE AND ENCASE IN 12" CONCRETE ALL AROUND. TOP OF BOLLARD AT 4'-0" AFF. PRIME AND PAINT YELLOW.
- 08300.02 AUTOMATIC COILING OVERHEAD DOOR. SEE DOOR SCHEDULE.
- 10100.03 BUILDING I.D. LETTER. 18" HIGH LETTER WITH MINIMUM 3" STROKE. I.D. LETTER SHALL BE PURPLE COLOR.
- 13120.01 STEEL COLUMN. SEE PRE-ENGINEERED METAL BUILDING STRUCTURAL DESIGN DATA. PRIME AND PAINT.
- 13120.02 REVERSE TAPERED STEEL COLUMN. SEE PRE-ENGINEERED METAL BUILDING STRUCTURAL DESIGN DATA. PRIME AND PAINT.
- 13120.03 STEEL BEAM. PART OF PRE-ENGINEERED METAL BUILDING. PRIME AND PAINT.
- 13120.16 STANDING SEAM ROOF PANELS. BASIS OF DESIGN: VARCO PRUDEN "SLR II", SILVER METALLIC COLOR.
- 13120.17 RAKE TRIM - METAL BUILDING MANUFACTURER'S STANDARD TRIM. SILVER METALLIC COLOR.
- 13120.18 HIGH EAVE TRIM - METAL BUILDING MANUFACTURER'S STANDARD TRIM. SILVER METALLIC COLOR.
- 13120.19 METAL WALL PANELS. BASIS OF DESIGN: VARCO PRUDEN "PANEL RIB". SILVER METALLIC COLOR. REFER TO DETAILS ON SHEET A-521 AND METAL BUILDING MANUFACTURER'S REQUIREMENTS.
- 13120.20 TRANSLUCENT WALL PANEL: VARCO PRUDEN "PANEL RIB WALLITE".
- 13120.22 PROVIDE AND INSTALL METAL BUILDING MANUFACTURER'S STANDARD TRIM AT PENETRATION THROUGH WALL. SEAL ALL SIDES OF PENETRATION.
- 13120.27 WALL CORNER TRIM - METAL BUILDING MANUFACTURER'S STANDARD TRIM. SILVER METALLIC COLOR.
- 13120.44 GALVANIZED METAL DOWN LEADER PIPE ATTACHED TO WALL. SEE DETAILS ON SHEET A-196.
- 13120.45 LOW EAVE TRIM AND GUTTER ATTACHED PER METAL BUILDING MANUFACTURER'S REQUIREMENTS. SEE DETAILS ON SHEET A-196. SILVER METALLIC COLOR.
- 22400.02 FROST PROOF WALL HYDRANT. SEE PLUMBING.
- 22500.03 PLUMBING VENT STACK. INSTALL THROUGH WALL. DO NOT PENETRATE ROOF. SEE PLUMBING.
- 23300.12 EVAPORATIVE COOLER SUPPLY DUCT. SEE MECHANICAL.
- 23300.17 AIR INTAKE FOR COMPRESSOR. SEE MECHANICAL.
- 23300.21 SUPPLY DUCT PENETRATES METAL PANEL. INSTALL FLASHING AND SEAL ALL AROUND WALL OPENING. SEE MECHANICAL.
- 23300.23 HEATER EXHAUST OUTLET TUBES. SEE MECHANICAL.
- 23400.08 SIDEWALL EXHAUST VENTILATOR. SEE MECHANICAL.
- 23400.11 PAD MOUNTED TOP DRAFT EVAPORATIVE COOLER. SEE MECHANICAL.
- 26200.01 ELECTRIC SERVICE AND METER. SEE ELECTRICAL.
- 26800.02 WALL MOUNTED LIGHT FIXTURE. 20'-0" MAX. ABOVE FINISHED GRADE. SEE ELECTRICAL.
- 26800.09 WALL MOUNTED EMERGENCY LIGHT FIXTURE. SEE ELECTRICAL.
- 26800.10 WALL MOUNTED LIGHT FIXTURE. SEE ELECTRICAL. MOUNT AT BOTTOM OF TRANSLUCENT PANEL.



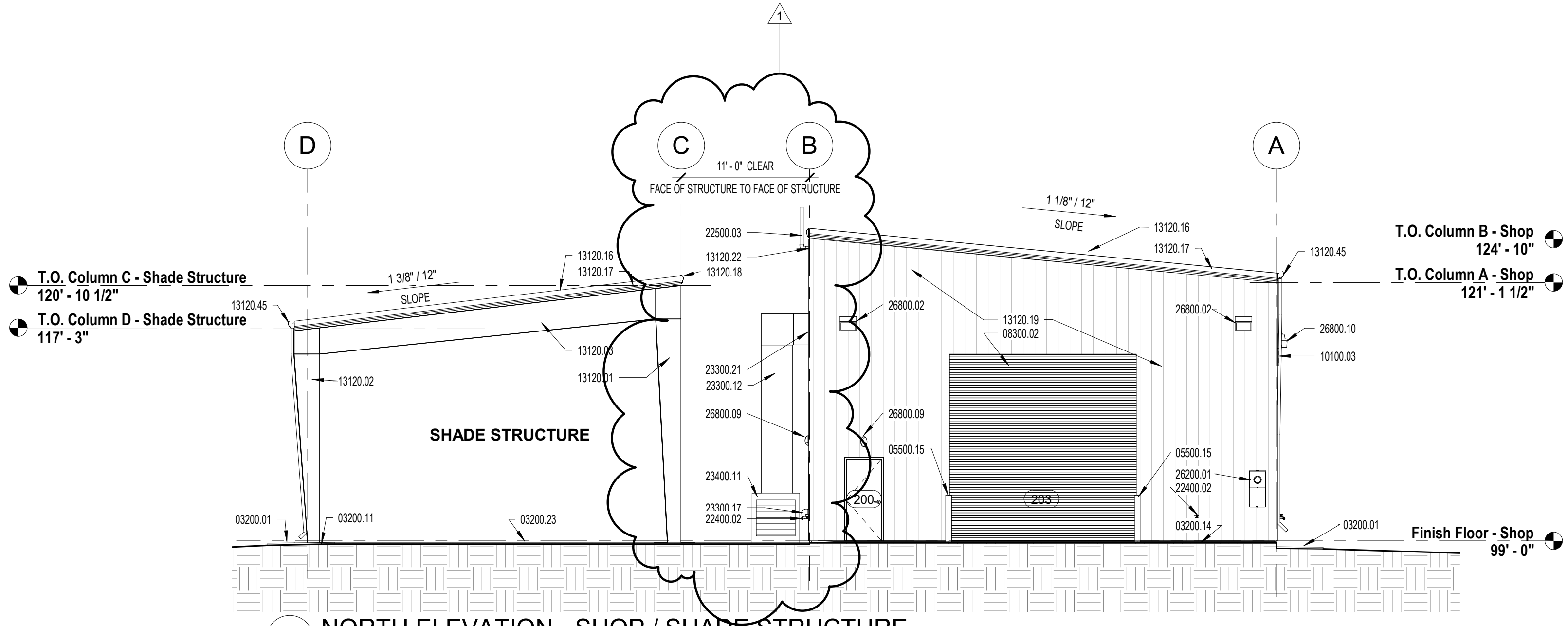
1 WEST ELEVATION - SHOP
1/8" = 1'-0"

PROPOSED CHANGES PER THE MINOR AMENDMENT TO SITE DEVELOPMENT PLAN INDICATED BY THIS SHEET

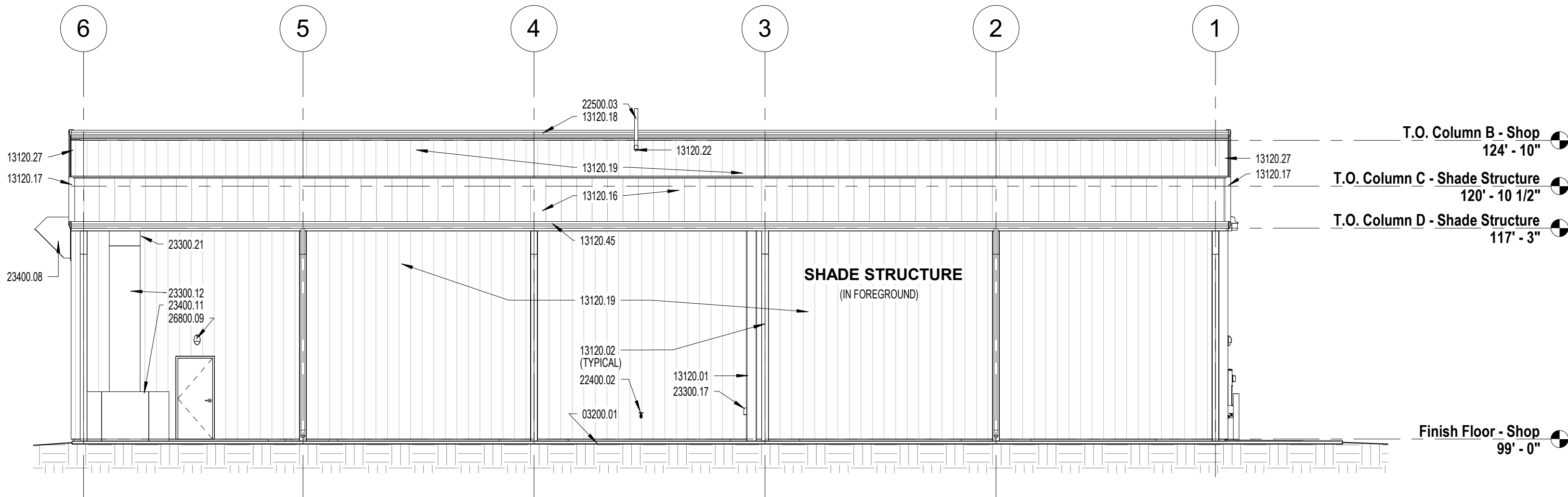
1. THE SHADE STRUCTURE IS A SEPARATE STRUCTURE FROM THE SHOP BUILDING PER THE APPROVED BUILDING PERMIT SET.



2 SOUTH ELEVATION - SHOP / SHADE STRUCTURE
1/8" = 1'-0"



3 NORTH ELEVATION - SHOP / SHADE STRUCTURE
1/8" = 1'-0"



4 EAST ELEVATION - SHOP / SHADE STRUCTURE
1/8" = 1'-0"

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PROJECT ARCHITECT: LEE GAMELSKY, AIA
Project #: 22 APRIL 2021
Date:

MINOR AMENDMENT TO SITE PLAN / ADMINISTRATIVE
AMENDMENT
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.: 1011638

BUILDING ELEVATIONS - SHOP / SHADE
STRUCTURE

By: WTB
Sheet: Of:
A-200.1

LANDSCAPE REQUIREMENTS PER
MINOR AMENDMENT TO SITE PLAN /
SITE PLAN AMENDMENT

REQUIRED: MINIMUM OF 15% OF NET LOT AREA

NET LOT AREA COMPUTATION:

GROSS LOT AREA: 1.6706 ACRES = 72,771 SF
MINUS BUILDING AREA: 10,137 SF
SUBTOTAL: 62,634 SF

MINUS R.O.W. LANDSCAPE AREA: 1,673 SF
SUBTOTAL: 60,961 SF

NET LOT AREA = 60,961 SF

REQUIRED LANDSCAPE AREA = 15% X 60,961 SF = 9,144 SF

REQUIRED VEGETATIVE COVER: 75% OF TOTAL LANDSCAPED AREA
75% X 9,144 SF = 6,858 SF

REQUIRED GROUND LEVEL PLANT COVERAGE: 30% OF VEGETATIVE COVERAGE
30% X 6,858 SF = 2,057 SF

LANDSCAPE AREA PROVIDED =
R.O.W. LANDSCAPE AREA = 1,673 SF
GRAY GRAVEL (1/2" DIA) = 9,470 SF
ASSORTED FLOWERS = 379 SF
VEGETATIVE COVER (TREE AND PLANT COVERAGE) = 41,056 SF
TOTAL = 52,578 SF

VEGETATIVE COVERAGE PROVIDED = 41,056 SF

GROUND LEVEL PLANT COVERAGE PROVIDED = 2,162 SF

LANDSCAPE REQUIREMENTS PER THE PREVIOUSLY
APPROVED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

REQUIRED LANDSCAPE AREA = 15% X 60,735 SF = 9,110.25 SF

REQUIRED VEGETATIVE COVER: 75% OF TOTAL LANDSCAPED AREA
75% X 9,110.25 SF = 6,833 SF

REQUIRED GROUND LEVEL PLANT COVERAGE: 30% OF VEGETATIVE COVERAGE
30% X 6,833 SF = 2,050 SF

LANDSCAPE AREA PROVIDED = 48,376 SF

VEGETATIVE COVERAGE PROVIDED = 41,056 SF

GROUND LEVEL PLANT COVERAGE PROVIDED = 2,162 SF

LANDSCAPE BUFFER REQUIREMENTS

REQUIRED FRONT BUFFER: 10'
PROVIDED FRONT BUFFER: 10'

REQUIRED SIDE BUFFER (WHERE ABUTS FRONTS A STREET): 8'
PROVIDED SIDE BUFFER (WHERE ABUTS FRONTS A STREET): 10'

SPECIAL BUFFER LANDSCAPING / SCREENING REQUIREMENT:
- THE SITE DOES NOT ABUT A RESIDENTIAL ZONE THEREFORE N/A.

LANDSCAPE STANDARDS/REQUIREMENTS

1. OFF STREET PARKING AREA LANDSCAPING REQUIREMENTS:

A. ONE TREE PER 10 PARKING SPACES
(13) PARKING SPACES PLUS (1) MOTORCYCLE / 10 = 1.4 TREES
NUMBER OF TREES PROVIDED = 6 TREES

B. ALL PARKING SPACES ARE WITHIN 100' OF A TREE TRUNK.

C. REQUIRED: 75% OF PARKING AREA TREES TO BE DECIDUOUS
PROVIDED: ALL TREES ARE DECIDUOUS CANOPY TYPE TREES.

D. STREET TREES:
REQUIREMENTS: STREET TREES AT 25' O.C. MAX. ALONG STREET FRONTS
PROVIDED: (13) TREES ALONG 94TH STREET AND (7) TREES ALONG VOLCANO ROAD AT 25' O.C.
STREET TREES ARE PLANTED WITHIN THE 3'-6" WIDE PLANTING STRIP BETWEEN THE CURB AND SIDEWALK AND 2'-0" BACK FROM THE CURB.

ALL PROVIDED TREES ARE DECIDUOUS CANOPY TYPE TREES.

LANDSCAPE NOTES

- A. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
B. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE PLANTING RESTRICTION APPROACH.
C. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE NOR DOES IT IMPLY EXEMPTION FROM WASTE WATER PROVISIONS OF THE WATER CONSERVATION LANDSCAPING WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
D. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS. (14-16-3-10).
E. ALL LANDSCAPE MATERIAL SHALL BE WATERED BY A FULLY AUTOMATED IRRIGATION SYSTEM.
F. CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. ALL SIGNS, FENCING, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE LOCATED WITHIN THIS AREA.

LEGEND

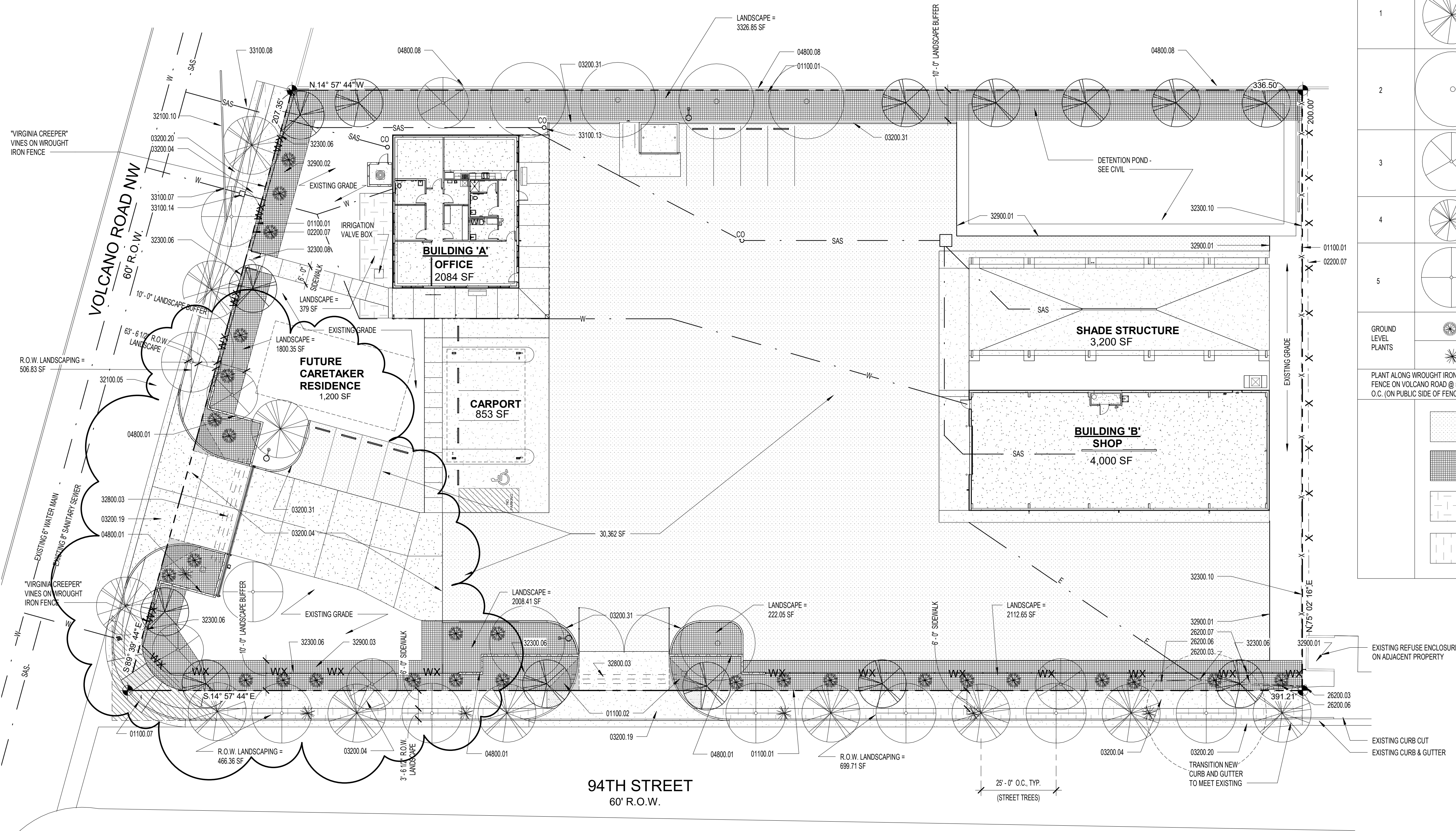
— E —	UNDERGROUND ELECTRICAL POWER LINE
— SAS —	SANITARY SEWER LINE
— W —	WATER LINE
CO	CLEAN OUT
O	CLEAN OUT

KEYED NOTES:

01100.01	PROPERTY LINE
01100.02	HATCHED AREA INDICATES 11' MINI CLEAR SIGHT TRIANGLE
01100.07	INTERSECTION CLEAR SIGHT DISTANCE PER CITY OF ALBUQUERQUE TRAFFIC CODE, SECTION 8-2-2-15.
02200.07	REMOVE EXISTING CHAIN LINK FENCE
03200.04	NEW CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG. 2430. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
03200.19	NEW CONCRETE CURB CUT / ENTRANCE DRIVE. PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. REFER TO STANDARD DETAIL DWG 2426. INSTALL TRUNCATED DOMES AT SIDEWALK CROSSING. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
03200.20	NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE SPECIFICATIONS. REFER TO CITY STANDARD DETAIL DWG 2415. THIS WORK TO BE CONTRACTED UNDER A SEPARATE CONTRACT PER COA WORK ORDER.
03200.31	6" WIDE CONCRETE HEADER CURB, TYPICAL. SEE DETAIL A44S-101.1.
03200.44	8" THICK 4,000 PSI AIR-ENTRAINED CONCRETE SLAB WITH #4 REBAR EACH WAY AT 12" O.C., CENTERED IN SLAB.
04800.01	NEW 6" HIGH CMU WALL. 8"X8"X16" CMU BLOCK WITH 4" X 8" X 16" CAP BLOCK. DARK GRAY COLOR (PETRO BLACK BY CREGO). GROUT ALL CELLS SOLID.
04800.08	EXISTING 4'-8" HIGH CMU WALL. RAISE TO 6'-0" HIGH. MATCH STYLE AND COLOR OF EXISTING CMU.
26200.03	EXISTING POWER POLE GUY WIRE TO REMAIN.
26200.06	EXISTING OVERHEAD POWER LINE
32100.05	NEW ASPHALT PAVING PER COA STANDARD SPECIFICATIONS. WORK WITHIN THE CITY RIGHT-OF-WAY TO BE CONSTRUCTED UNDER A SEPARATE CONTRACT, PER COA WORK ORDER.
32100.10	EXISTING ASPHALT CURB.
32300.06	6" HIGH BLACK WROUGHT IRON METAL FENCE.
32300.08	(2) 3'-0" WIDE SWING GATES IN WROUGHT IRON FENCE WITH DROP BOLTS, HEAVY DUTY SELF-SEALED BALL HINGES, SLIDE BOLT LOCK, PADLOCK HASP AND HARDENED STEEL PADLOCK GUARD.
32300.10	NEW 4'-0" HIGH STEEL T-POST FENCE WITH 14 GA. WIRE STRANDS AT 1'-0" O.C., INSTALL T-POSTS AT 8'-0" O.C. INSTALL FENCE FROM NEW WROUGHT IRON FENCE, ALONG SOUTH PROPERTY LINE, EXTENDING TO EXISTING CMU WALL AT EAST PROPERTY LINE.
32800.03	PROVIDE (3) 2" DIA. SCHEDULE 40 PIPE SLEEVES. EXTEND OUT AT LEAST 5'-0" PAST EDGE OF CONCRETE DRIVE EACH SIDE.
32900.01	4" HIGH METAL EDGING, CONTINUOUS. TOP OF EDGING FLUSH WITH TOP OF ABC.
32900.02	GRAVEL (2" THICK) OVER GEOTEXTILE FILTER FABRIC/ WEED BARRIER.
32900.03	1/2" DIA. MAXIMUM SIZE GRAVEL. 3" THICK OVER GEOTEXTILE FILTER FABRIC/WEED BARRIER.
33100.07	NEW METERED WATER SERVICE.
33100.08	NEW 4" DIA. SEWER SERVICE.
33100.13	CLEAN OUT.
33100.14	NEW WATER METER VALVE BOX.

LANDSCAPE LEGEND / SCHEDULE

TREE SPECIES NUMBER	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	APPROX. MATURE SIZE	QTY	VEGETATIVE COVER
1		RAYWOOD ASH	FRAXINUS OXYCARPA	2" DIA.	35' H X 25'W	11	5,399 SF
2		LONDON PLANE TREE	PLATANUS ACERFOLIA	2" DIA.	70' H X 50'W	6	11,781 SF
3		WESTERN SOAPBERRY	SAPINUS DRUMMOND	2" DIA.	30' H X 30'W	5	3,534 SF
4		DESERT WILLOW	CHILOPSIS LINEARIS	2" (COMBINED TRUNK)	20' H X 25'W	14	6,870 SF
5		CHINQUAPIN OAK	QUERCUS MUHLBERGII	2" DIA.	40' H X 40'W	9	11,310 SF
GROUND LEVEL PLANTS		FOUNTAIN BUTTERFLY BUSH	BUDDLEJACEAE ALTERNIFOLIA	1 GALLON	12' H X 10'W	27	2,120 SF
		AUTUMN SAGE	SALVIA GREGGII	1 GALLON	3' H X 3'W	6	42 SF
PLANT ALONG WROUGHT IRON FENCE ON VOLCANO ROAD @ 5'-0" O.C. (ON PUBLIC SIDE OF FENCE)		VIRGINIA CREEPER	PARTHENOCISSUS INSERTA	1 GALLON		37	
		AGGREGATE BASE COURSE (ABC) 8" THICK OVER COMPACTED GRADE TO 95% MINIMUM		30,362 SF			TOTAL VEGETATIVE COVERAGE: 41,056 SF
		GRAVEL (COLOR: GRAY), 1/2" MAXIMUM SIZE, 3" THICK OVER GEOTEXTILE FILTER FABRIC/ WEED BARRIER		9,470 SF			TOTAL GROUND LEVEL PLANT COVERAGE: 2,162 SF
		ASSORTED FLOWERS ANNUALS AND PERENNIALS		379 SF			
		R.O.W. LANDSCAPE: GRAVEL (COLOR: GRAY), 1/2" MAXIMUM SIZE, 3" THICK OVER GEOTEXTILE FILTER FABRIC/ WEED BARRIER		1,673 SF			



1 Landscape Plan
1" = 20'-0"

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PROJECT ARCHITECT:
LEE GAMESKY, AIA

Project #:
Date: 22 APRIL 2021

MINOR AMENDMENT TO SITE PLAN / ADMINISTRATIVE
AMENDMENT
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB PROJECT NO.: 1011638

LANDSCAPING PLAN

By: WTB

Sheet: Of:
L-100.1



CITY OF ALBUQUERQUE INVOICE

LEE GAMELSKY

2412 MILES RD SE

Reference NO: SI-2021-00615

Customer NO: CU-31751264

Date	Description	Amount
5/03/21	Application Fee (Manual)	\$50.00

Due Date: **5/03/21**

Total due for this invoice:

\$50.00

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 5/03/21
Amount Due: \$50.00
Reference NO: SI-2021-00615
Payment Code: 130
Customer NO: CU-31751264

LEE GAMELSKY
2412 MILES RD SE
ALBUQUERQUE, NM 87106



130 0000SI2021006150009935511337485500000000000000050000CU31751264