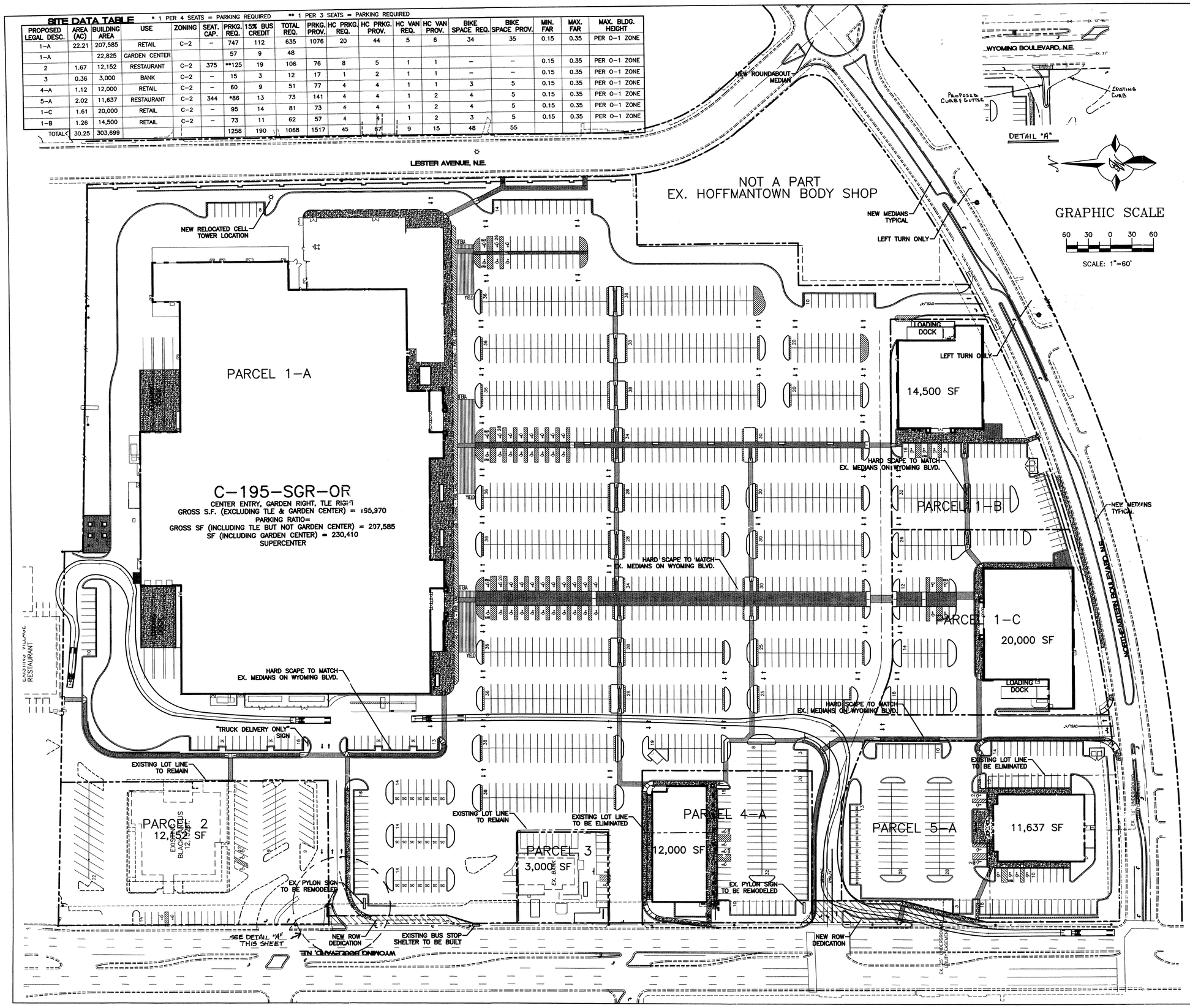
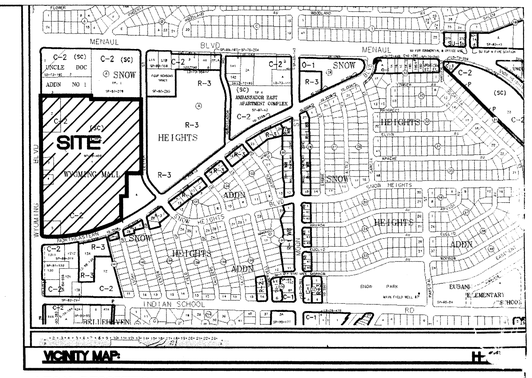
## SITE DATA TABLE

* 1 PER 4 SEATS = PARKING REQUIRED  ** 1 PER 3 SEATS = PARKING REQUIRED

| PROPOSED LEGAL DESC. | AREA (AC) | BUILDING AREA | USE | ZONING | SEAT. CAP. | PRKG. REQ. | 15% BUS CREDIT | TOTAL REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACE REQ. | BIKE SPACE PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 1–A | 22.21 | 207,585 | RETAIL | C–2 | – | 747 | 112 | 635 | 1076 | 20 | 44 | 5 | 6 | 34 | 35 | 0.15 | 0.35 | PER O–1 ZONE |
| 1–A | | 22,825 | GARDEN CENTER | | | 57 | 9 | 48 | | | | | | | | | | |
| 2 | 1.67 | 12,152 | RESTAURANT | C–2 | 375 | **125 | 19 | 106 | 76 | 8 | 5 | 1 | 1 | – | – | 0.15 | 0.35 | PER O–1 ZONE |
| 3 | 0.36 | 3,000 | BANK | C–2 | – | 15 | 3 | 12 | 17 | 1 | 2 | 1 | 1 | – | – | 0.15 | 0.35 | PER O–1 ZONE |
| 4–A | 1.12 | 12,000 | RETAIL | C–2 | – | 60 | 9 | 51 | 77 | 4 | 4 | 1 | 1 | 3 | 5 | 0.15 | 0.35 | PER O–1 ZONE |
| 5–A | 2.02 | 11,637 | RESTAURANT | C–2 | 344 | *86 | 13 | 73 | 141 | 4 | 4 | 1 | 2 | 4 | 5 | 0.15 | 0.35 | PER O–1 ZONE |
| 1–C | 1.61 | 20,000 | RETAIL | C–2 | – | 95 | 14 | 81 | 73 | 4 | 4 | 1 | 2 | 4 | 5 | 0.15 | 0.35 | PER O–1 ZONE |
| 1–B | 1.26 | 14,500 | RETAIL | C–2 | – | 73 | 11 | 62 | 57 | 4 | 5 | 1 | 2 | 3 | 5 | 0.15 | 0.35 | PER O–1 ZONE |
| TOTAL | 30.25 | 303,699 | | | | 1258 | 190 | 1068 | 1517 | 45 | 67 | 9 | 15 | 48 | 55 | | | |




VICINITY MAP:

**LEGAL DESCRIPTION:**

PARCELS 1, 4, AND 5 OF THE WYOMING MALL SUMMARY PLAT, BEING A PORTION OF BLOCK A, SNOW HEIGHT ADDITION

COMMON STORM DRAINAGE, PEDESTRIAN, PARKING, AND VEHICULAR ACCESS ACROSS ALL PARCELS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.

**INDEX TO DRAWINGS**


1. SITE PLAN FOR SUNDIVISION
1A. EXISTING APPROVED SITE PLAN
2. SITE PLAN FOR BUILDING PERMIT – A
3. SITE PLAN FOR BUILDING PERMIT – B
4. LANDSCAPE PLAN – A
4A. LANDSCAPE PLAN – B
5. GRADING AND DRAINAGE PLAN – A
6. GRADING AND DRAINAGE PLAN – B
7. MASTER UTILITY PLAN – A
8. MASTER UTILITY PLAN – B
9. ELEVATIONS – FURR'S
10. ELEVATIONS – PETSMART
11. ELEVATIONS – DOLLAR TREE
12 . ELEVATIONS – 12K BUILDING
12A. ELEVATIONS – WAL–MART
12B. ELEVATIONS – WAL–MART
12C. ELEVATIONS – WAL–MART
12D. ELEVATIONS – WAL–MART


**PURPOSE STATEMENT:**

THE PURPOSE IS TO REDEVELOP THE SHOPPING CENTER FROM 299,160 SF OF EXISTING STORES TO 288,547 SF OF NEW STORES. DEMOLISHING THOSE STORES AND CREATING NEW STORES WITH THE EXISTING RESTAURANT, AND BANK BUILDING TO REMAIN. USES WILL BE RESTAURANT AND RETAIL.

**PROJECT NUMBER:** 1003747

**APPLICATION NUMBER:** 05DRB-01550

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

| | |
|---|---|
| Traffic Engineer, Transportation Division | 11-9-05 Date |
| Utilities Development | 11/9/05 Date |
| Parks & Recreation Department | 11/9/05 Date |
| City Engineer | 11/9/05 Date |
| Environmental Health Department (conditional) | N/A Date |
| Solid Waste Management | N/A Date |
| DRB Chairperson, Planning Department | 11/09/05 3/20/06 Date |

| | | |
|---|---|---|
| ENGINEER'S SEAL | ALBUQUERQUE WAL-MART NM: 5491-00 | DRAWN BY BDG |
| | | DATE 11/08/05 |
| | SITE PLAN FOR SUBDIVISION | 2292SPSB.DWG |
| | TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | SHEET # 1 |
| RONALD R. BOHANNAN P.E. #7868 | | JOB # 24047 |

1003747

# WYOMING MALL

WEINGARTEN REALTY

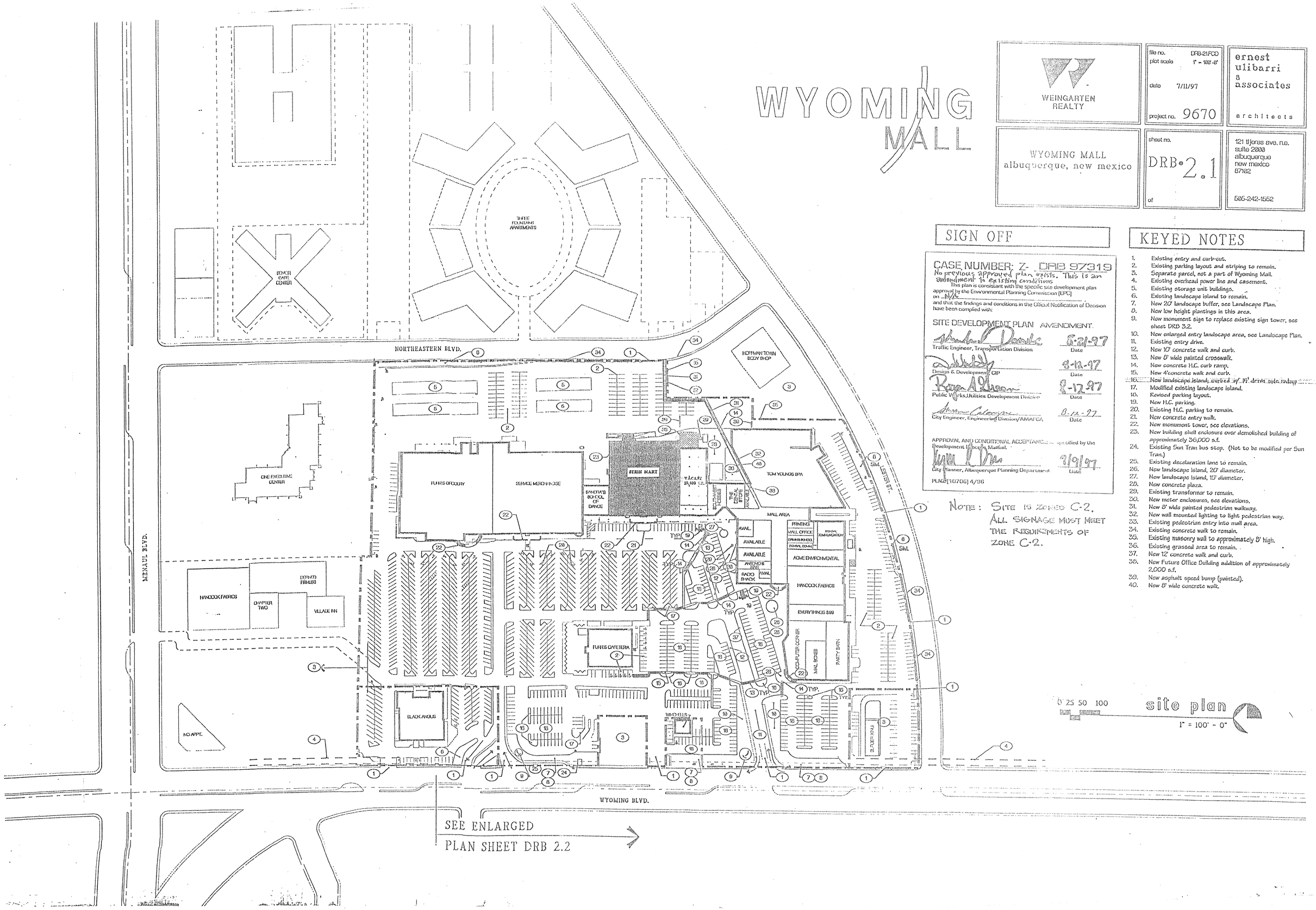
WYOMING MALL
albuquerque, new mexico

| | |
|---|---|
| file no. | DRB-21/CD |
| plot scale | 1" = 100'-0" |
| date | 7/11/97 |
| project no. | 9670 |
| sheet no. | DRB•2.1 |
| of | |


ernest ulibarri & associates
architects

121 tijeras ave. n.e.
suite 2000
albuquerque
new mexico
87102

505-242-1552


## SIGN OFF

CASE NUMBER: Z- DRB 97319
No previous approved plan exists. This is an amendment to existing conditions
This plan is consistent with the specific site development plan approval by the Environmental Planning Commission [EPC] on N/A
and that the findings and conditions in the Official Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN AMENDMENT.

| | |
|---|---|
| Traffic Engineer, Transportation Division | 8-21-97 Date |
| Design & Development, CIP | 8-12-97 Date |
| Public Works, Utilities Development Division | 8-12-97 Date |
| City Engineer, Engineering Division/AMAFCA | 8-12-97 Date |

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Development Review Board.

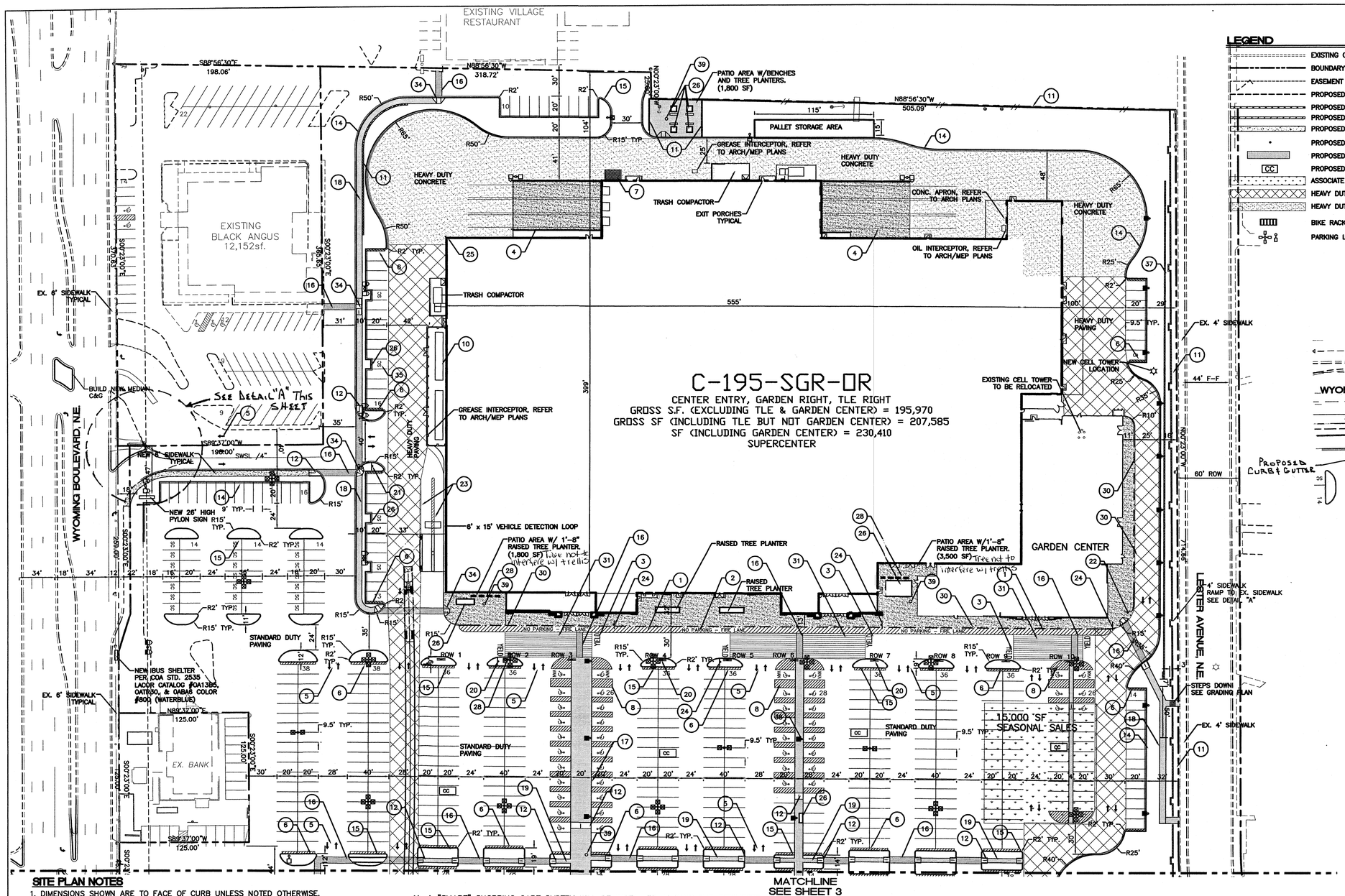
| | |
|---|---|
| City Planner, Albuquerque Planning Department | 8/9/97 Date |

PLN2 (10706) 4/96

NOTE: SITE IS ZONED C-2. ALL SIGNAGE MUST MEET THE REQUIREMENTS OF ZONE C-2.

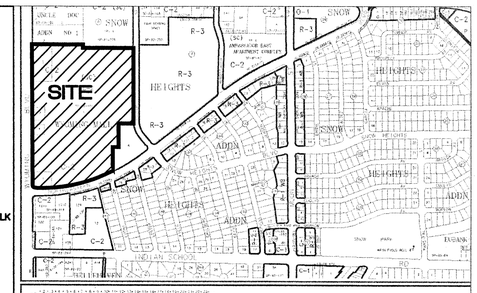
## KEYED NOTES

1. Existing entry and curb-cut.
2. Existing parking layout and striping to remain.
3. Separate parcel, not a part of Wyoming Mall.
4. Existing overhead power line and easement.
5. Existing storage unit buildings.
6. Existing landscape island to remain.
7. New 20' landscape buffer, see Landscape Plan.
8. New low height plantings in this area.
9. New monument sign to replace existing sign tower, see sheet DRB 3.2.
10. New enlarged entry landscape area, see Landscape Plan.
11. Existing entry drive.
12. New 10' concrete walk and curb.
13. New 8' wide painted crosswalk.
14. New concrete H.C. curb ramp.
15. New 4'concrete walk and curb.
16. New landscape island, curbed w/ 18' drive aisle radius.
17. Modified existing landscape island.
18. Revised parking layout.
19. New H.C. parking.
20. Existing H.C. parking to remain.
21. New concrete entry walk.
22. New monument tower, see elevations.
23. New building shell enclosure over demolished building of approximately 36,000 s.f.
24. Existing Sun Tran bus stop. (Not to be modified per Sun Tran.)
25. Existing deceleration lane to remain.
26. New landscape island, 20' diameter.
27. New landscape island, 15' diameter.
28. New concrete plaza.
29. Existing transformer to remain.
30. New meter enclosures, see elevations.
31. New 8' wide painted pedestrian walkway.
32. New wall mounted lighting to light pedestrian way.
33. Existing pedestrian entry into mall area.
34. Existing concrete walk to remain.
35. Existing masonry wall to approximately 8' high.
36. Existing grassed area to remain.
37. New 12' concrete walk and curb.
38. New Future Office Building addition of approximately 2,000 s.f.
39. New asphalt speed bump (painted).
40. New 8' wide concrete walk.




## LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED TEXTURED COLORED SIDEWALK
- CC — PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- HEAVY DUTY PAVING
- HEAVY DUTY CONCRETE
- BIKE RACK
- PARKING LOT LIGHTING



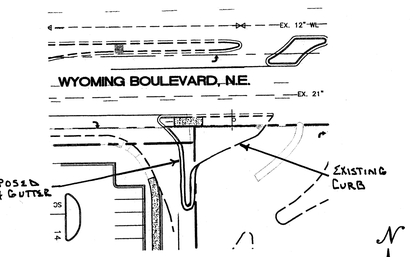

**VICINITY MAP:** H-20-Z

**LEGAL DESCRIPTION:**

PARCELS 1, 4, AND 5 OF THE WYOMING MALL SUMMARY PLAT, BEING A PORTION OF BLOCK A, SNOW HEIGHT ADDITION

**NOTE:**

SEE SHEET 3 FOR SITE DATA KEYED NOTES




DETAIL "A"

GRAPHIC SCALE

50 25 0 25 50

SCALE: 1"=50'

**PROJECT NUMBER:** 1003747

**APPLICATION NUMBER:** 05DRB-01551

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

| | |
|---|---|
| Traffic Engineer, Transportation Division | Date 3-24-06 |
| Water Utility Development | Date 11/9/05 |
| Parks & Recreation Department | Date 11/9/05 |
| City Engineer | Date 3/20/06 |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date 3/23/06 |
| DRB Chairperson, Planning Department | Date 11/09/05 |

* Environmental Health, if necessary

## SITE PLAN NOTES

1. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
2. NEW AND REPLACEMENT LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
3. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
4. 20' HIGH LIGHTING POLES SHALL BE PLACED ALONG MAIN PEDESTRIAN WALKWAY AREAS AND 30' HIGH LIGHTING ELSEWHERE WITHIN THE PARKING AREA. MAX. 16' POLE HEIGHT IF WITHIN 100' OF RESIDENTIAL ZONE. FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE SHEET 13 FOR LIGHT POLE BASE DETAILS.
5. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
6. BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
7. EXISTING BUS ROUTE IS ON WYOMING BOULEVARD.
8. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
9. ALL WALLS WILL BE BUILT IN ACCORDANCE WITH THE WALL DESIGN REGULATIONS, SECTION 14-16-3-19 OF THE ZONE CODE.
10. TOTAL CART CORRALS = 21 SPACES
11. A "SMART" SHOPPING CART SYSTEM WILL BE INSTALLED AROUND THE PERIMETER OF THE SITE THAT PREVENTS SHOPPING CARTS BEING EASILY REMOVED FROM THE CENTER.
12. EMPLOYEE LOCKERS AND SHOWERS FOR BICYCLE COMMUTERS SHALL BE PROVIDED AS FOLLOWS:
    A. 34 CUSTOMER BICYCLE SPACES
    B. 15 PERSONAL EFFECTS LOCKERS SHALL BE PROVIDED FOR EMPLOYEES
    C. 2 SHOWERS FOR BICYCLING EMPLOYEES SHALL BE PROVIDED WITHIN THE STORE
13. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
14. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
15. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
16. PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING ALL OUTDOOR PUBLIC SPACES.
17. NO RV OR SEMI-TRUCK PARKING ALLOWED IN CENTER.
18. TRUCK DELIVERIES SHALL BE RESTRICTED BETWEEN THE HOURS OF 10PM TO 5AM.
19. SEE SHEET 3 FOR LIGHTING SCHEDULE.
20. TRASH RECEPTACLES WILL BE LOCATED AT THE MAIN ENTRANCES TO ALL BUILDINGS.

## PAINT STRIPING LEGEND

SWSL/4" – SINGLE WHITE SOLID LINE / 4" WIDE
SYSL/4" – SINGLE YELLOW SOLID LINE / 4" WIDE EACH
DYSL/4" – DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
SYSL/10" – SINGLE YELLOW SOLID LINE / 10" WIDE
SWDL/4" – SINGLE WHITE DASHED LINE / 4" WIDE
SWSL/24" – SINGLE WHITE SOLID LINE / 24" WIDE

## SITE DATA TABLE

* 1 PER 4 SEATS = PARKING REQUIRED ** 1 PER 3 SEATS = PARKING REQUIRED

| PROPOSED LEGAL DESC. | AREA (AC) | BUILDING AREA | USE | ZONING | SEAT. CAP. | PRKG. REQ. | 15% BUS CREDIT | TOTAL REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACE REQ. | BIKE SPACE PROV. |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 1-A | 22.21 | 207,585 | RETAIL | C-2 | – | 747 | 112 | 635 | 1076 | 20 | 44 | 5 | 6 | 34 | 35 |
| 1-A | | 22,825 | GARDEN CENTER | | | 57 | 9 | 48 | | | | | | | |
| 2 | 1.67 | 12,152 | RESTAURANT | C-2 | 375 | **125 | 19 | 106 | 76 | 8 | 5 | 1 | 1 | – | – |
| 3 | 0.36 | 3,000 | BANK | C-2 | – | 15 | 3 | 12 | 17 | 1 | 2 | 1 | 1 | – | – |
| 4-A | 1.12 | 12,000 | RETAIL | C-2 | – | 60 | 9 | 51 | 77 | 4 | 4 | 1 | 1 | 3 | 5 |
| 5-A | 2.02 | 11,637 | RESTAURANT | C-2 | 344 | *86 | 13 | 73 | 141 | 4 | 4 | 1 | 2 | 4 | 5 |
| 1-C | 1.61 | 20,000 | RETAIL | C-2 | – | 95 | 14 | 81 | 73 | 4 | 4 | 1 | 2 | 4 | 5 |
| 1-B | 1.26 | 14,500 | RETAIL | C-2 | – | 73 | 11 | 62 | 57 | 4 | 4 | 1 | 2 | 3 | 5 |
| TOTAL | 30.25 | 303,699 | | | | 1258 | 190 | 1068 | 1517 | 45 | 67 | 9 | 15 | 48 | 55 |

ENGINEER'S SEAL — REGISTERED RONALD RAY BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER

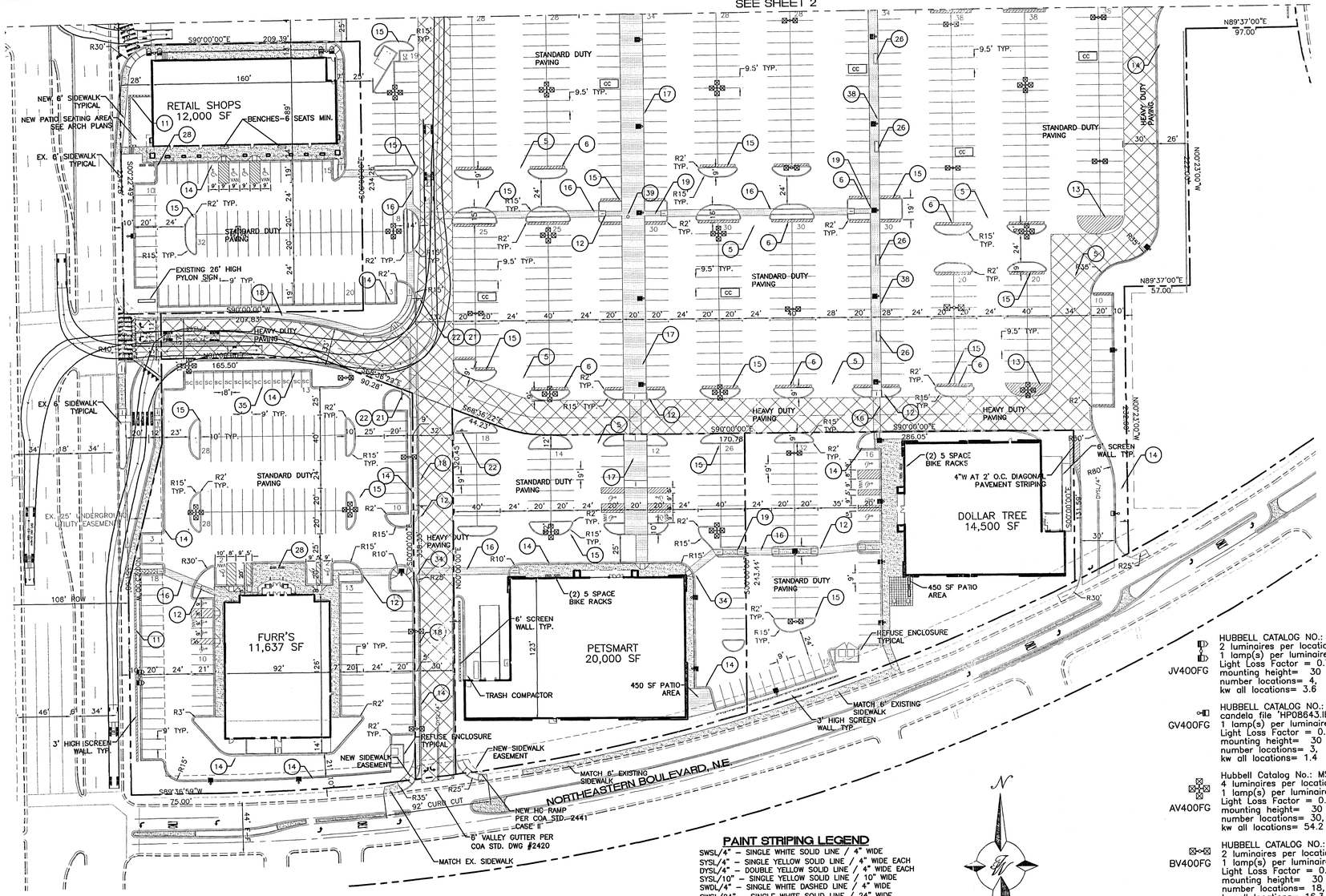
RONALD R. BOHANNAN P.E. #7868

**ALBUQUERQUE WAL-MART NM: 5491-00**

**SITE PLAN FOR BUILDING PERMIT - A**

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDG
DATE 11/08/05
SHEET # 2
JOB # 220092



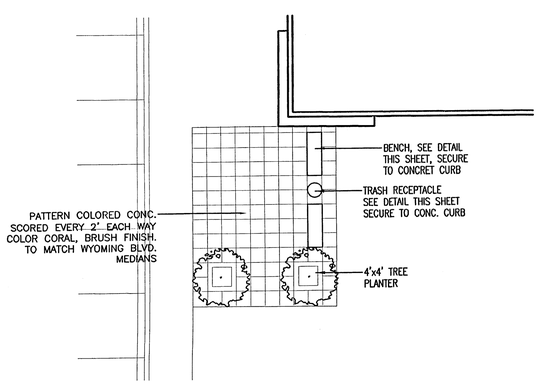

## PAINT STRIPING LEGEND

SWSL/4" – SINGLE WHITE SOLID LINE / 4" WIDE
SYSL/4" – SINGLE YELLOW SOLID LINE / 4" WIDE EACH
DYSL/4" – DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
SYSL/10" – SINGLE YELLOW SOLID LINE / 10" WIDE
SWDL/4" – SINGLE WHITE DASHED LINE / 4" WIDE
SWSL/24" – SINGLE WHITE SOLID LINE / 24" WIDE

GRAPHIC SCALE

50 25 0 25 50

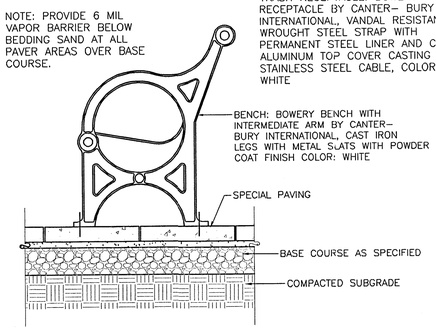
SCALE: 1"=50'



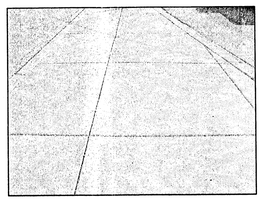

TYPICAL PATIO AREA DETAIL

NOTE: PROVIDE 6 MIL VAPOR BARRIER BELOW BEDDING SAND AT ALL PAVER AREAS OVER BASE COURSE.

TRASH RECEPTACLE: BOWERY TRASH RECEPTACLE BY CANTER- BURY INTERNATIONAL, VANDAL RESISTANT, WROUGHT STEEL STRAP WITH PERMANENT STEEL LINER AND CAST ALUMINUM TOP COVER CASTING WITH STAINLESS STEEL CABLE, COLOR: WHITE




BENCH AND RECEPTACLE CONC. CONNECTION
NTS



SAMPLE IMAGE OF PATTERN COLORED CONC.

## SITE LEGEND

1. 6' WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL. CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS.
2. "NO PARKING–FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'–0" TALL.
3. "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL.
4. PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
5. PAINTED DIRECTIONAL ARROW TYPICAL.
6. 2'–0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'–0" O.C. PERPENDICULAR TO PARKING SPACE.
7. 10' X 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'–0" O.C. AT JB CRANE LOCATION. SEE ARCH. PLANS
8. ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"–INDICATES VAN ACCESSIBLE SPACE).
9. RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
10. ROOF MOUNTED 16'x119' COMPRESSOR UNITS. REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
11. 4' HIGH SCREEN WALL PER ARCH. PLANS
12. UNIDIRECTIONAL HC RAMP.
13. PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'–0" O.C. PERPENDICULAR TO THE PARKING SPACE.
14. 6" CONCRETE CURB AND GUTTER TYPICAL.
15. 6" CONCRETE HEADER CURB TYPICAL.
16. 6' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8 )
17. 6' WIDE RAISED TEXTURED COLORED CONCRETE SIDEWALK TYPICAL.
18. 6' TEXTURED COLORED CONCRETE SIDEWALK TYPICAL.
19. 4' TEXTURED COLORED CONCRETE SIDEWALK TYPICAL.
20. AISLE INDICATOR SIGNS TYPICAL
21. "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
22. "STOP" SIGN. SEE PLAN FOR LOCATION.
23. 4" STRIPE AT DRIVE THROUGH PHARMACY LANE. EXTEND 54" OUT FROM EDGE OF PHARMACY CONCRETE PAD
24. PEDESTRIAN CROSSING SIGN W11q–2 AND W11q–2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
25. 6" DIA. PIPE BOLLARD TYPICAL.
26. TREE PLANTER, SIZE VARIES
27. 6'x6' TREE PLANTER TYPICAL.
28. (3) 5 SPACE BIKE RACK TYPICAL.
29. NOT USED
30. ZERO CURB PER ARCH. SECTIONS
31. PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'–0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
32. PROPOSED LIGHTING.
33. CART CORRALS TYPICAL.
34. PROPOSED HC RAMP.
35. SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
36. WROUGHT IRON PARK BENCHES, TYPICAL
37. RETAINING WALL TYPICAL.
38. 10' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8 )
39. TRASH BIN

JV400FG — HUBBELL CATALOG NO.: MSVA400P–FPxxARGS
2 luminaires per location, candela file 'HP08643.IES'
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 4, number luminaires= 8
kw all locations= 3.6

GV400FG — HUBBELL CATALOG NO.: MSVA400P–FPxxARGS
candela file 'HP08643.IES'
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 3, number luminaires= 3
kw all locations= 1.4

AV400FG — Hubbell Catalog No.: MSVA0400H–FWxxAR
4 luminaires per location, candela file 'HP08645.IES'
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 30, number luminaires= 120
kw all locations= 54.2

BV400FG — HUBBELL CATALOG NO.: MSVA400P–FWxxAR
2 luminaires per location, candela file 'HP08645.IES'
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 18, number luminaires= 36
kw all locations= 16.3

CV400FG — Hubbell Catalog No.: MSVA0400H–FWxxAR
candela file 'HP08645.IES'
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 1, number luminaires= 1
kw all locations= 0.5

NKP1P1520 — SPAULDING LIGHTING NK1–P15–V5–F
lamp(s): M150PS/BU/MED
candela file 'L9492NKP.ies'
1 lamp(s) per luminaire, 14000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 189
Outreach (from mounting axis to photometric center)= 17 in
mounting height= 20 ft
number locations= 23, number luminaires= 23
kw all locations= 4.3

NK1P1516 — SPAULDING LIGHTING NK1–P15–H3–F–HS
lamp(s): M150PS/U/ED28
candela file 'L9421NKP.ies'
1 lamp(s) per luminaire, 12600 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 189
Outreach (from mounting axis to photometric center)= 17 in
mounting height= 16 ft
number locations= 15, number luminaires= 15
kw all locations= 2.8

FV400FG — HUBBELL CATALOG NO.: MSVA400P–FPxxAR
candela file 'HP08644.IES'
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 1, number luminaires= 1
kw all locations= 0.5

EV400FG — HUBBELL CATALOG NO.: MSVA400P–FPxxAR
2 luminaires per location, candela file 'HP08644.IES'
1 lamp(s) per luminaire, 44000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 452
mounting height= 30 ft
number locations= 6, number luminaires= 12
kw all locations= 5.4

## LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- CC — PROPOSED CART CORRALS
- ASSOCIATE PARKING AREA
- BIKE RACK
- BIKE LOCKER

ENGINEER'S SEAL

RONALD R. BOHANNAN P.E. #7868

# ALBUQUERQUE WAL-MART
NM: 5491-00

## SITE PLAN FOR BUILDING PERMIT - B

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

| | |
|---|---|
| DRAWN BY | BDG |
| DATE | 11/08/05 |
| 2292SPB.DWG | |
| SHEET # | 3 |
| JOB # | 220092 |

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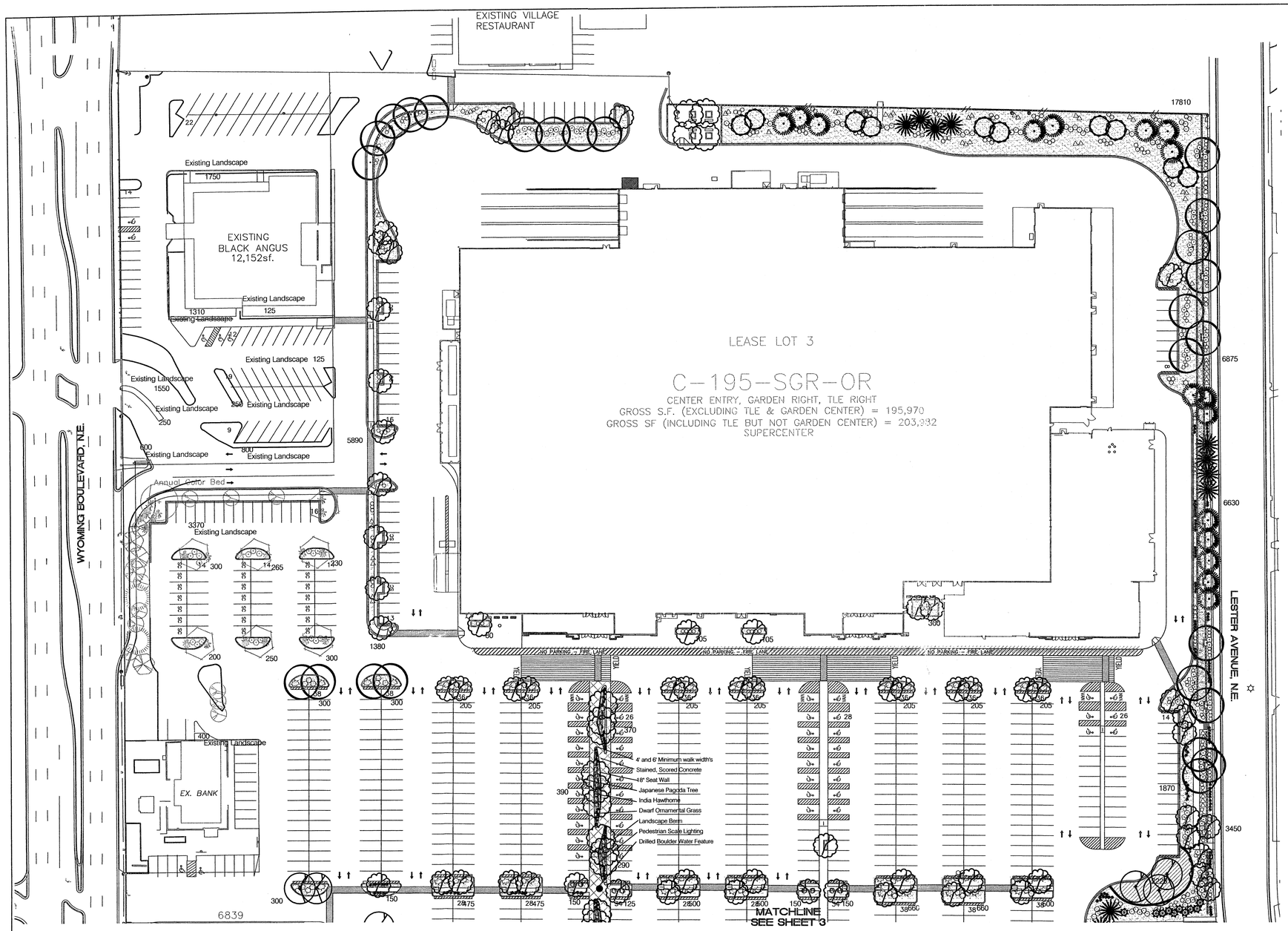



## LANDSCAPE LEGEND

| | QTY | SIZE | COMMON/BOTANICAL | H2O USE |
|---|---|---|---|---|
| | 27 | 2" cal | Ash *Fraxinus pennsylvanica* | M+ |
| | 70 | 2" cal | Honey Locust *Gleditsia triacanthos* | M |
| Note: All site perimeter trees shall be 3" cal. minimum. Interior site trees shall be size as indicated in legend | | | | |
| | 39 | 6 - 8' | Austrian Pine *Pinus nigra* | M |
| | 18 | 6 - 8' | Blue Spruce *Picea pungen* | M |
| | 31 | 10-12' | Japanese Pagoda *Sophora japonica* | M |
| | 113 | 10-12' | Chitalpa *Chitalpa x tashkenensis* | M |
| | 9 | 4 - 6' | Washington Hawthorne *Crataegus phaenoopyrum* | M |
| | 10 | 2" cal | Desert Willow *Chilopsis linearis* | L |
| | 36 | 2" cal | Spartan juniper ( female species ) *Juniperus chinensis "Spartan"* | L |
| | 186 | 5 Gal | Wintergreen Barberry *Berberis julianae* | M |
| | 118 | 5 Gal | India Hawthorne *Raphiolepis indica* | M |
| | 175 | 5 Gal | Honeysuckle *Lonicera japonica* | M |
| | 79 | 5 Gal | Dwarf Butterfly Bush *Buddleia davidii nanhoensis* | M |
| | 385 | 5 Gal | Dwarf Feathertop *Pennisetum villosum* | M |
| | 117 | 5 Gal | Cherry Sage *Salvia greggii* | M |
| | 153 | 5 Gal | Rosemary *Rosemary officianalis* | M |
| | 288 | 5 Gal | English Lavendar *Lavendula angustifolia* | L |
| | 95 | 5 Gal | Apache Plume *Fallugia paradoxa* | L |

Santa Fe Brown Crusher Fines

Sod Lawn: Less than 20% of Provided Landscape Area

Commercial Grade Steel Edging

## LANDSCAPE NOTES

Owner is responsible for maintenance of Irrigation System, Landscape Plantings, and Landscape Mulch. Landscape Plant material which dies shall be replaced by the owner no later than 60 days after notification.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned seperately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

Landscape contractor shall submit an irrigation plan to the Landscape Architect, prior to construction for approval and prepared by a certified irrigation consultant or a Landscape Architect.

All landscape areas shall be covered in 2-3" of landscape gravel, fines, bark mulch or other landscape mulch and commercial grade weed barrier fabric approved by the Landscape Architect.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines. In case of a discrepancy between utilities indicated on plan and actual field verification, contractor shall cease work and notify Landscape Architect immediately for directions on how to proceed.

Any damage to utility lines resulting from the negligence of the abutting landowner, his agents or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the growth of plant materials which have been approved by the applicable public utility as part of a plan for landscpaing on the public right-of-way, shall be the responsibilility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.

Landscaping shall be installed according to the approved plan: Installation shall be completed wihtin 60 days of the related building's occupancy.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

## LANDSCAPE CALCULATIONS

| | | |
|---|---|---|
| TOTAL LOT AREA 30.42 x 43560= (sf) | | 1,325,095 |
| TOTAL BUILDING AREA (sf) | — | 306,033 |
| NET LOT AREA (sf) | | 1,019,062 |
| LANDSCAPE REQUIREMENT (%) | X | .15 |
| TOTAL LANDSCAPE REQUIRED (sf) | | 152,860 |
| TOTAL SOD PROVIDED (sf) 8.3% | | 6865.00 |
| TOTAL XERISCAPE PROVIDED (sf) | | 136385 |
| TOTAL EXISITING LANDSCAPE TO REMAIN | | 19230 |
| TOTAL LANDSCAPE PROVIDED (sf) | | 162480.00 |

NORTH

0 25 50 75 100 125

SCALE: 1" = 50'-0"

# LANDSCAPE PLAN

Mitchell Associates, LLC
Landscape Architects
3200 Carlisle NE Suite #124
Albuquerque,NM 87110
(505) 830-6096
danny@mitchellassociatesllc.com

LANDSCAPE ARCHITECTS SEAL

STATE OF NEW MEXICO
DANNY D. MITCHELL
239
REGISTERED LANDSCAPE ARCHITECT

DANNY D. MITCHELL
R.L.A. #239

**ALBUQUERQUE WAL-MART**
**NM: 5491-00**

**LANDSCAPING PLAN - A**

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY DDM

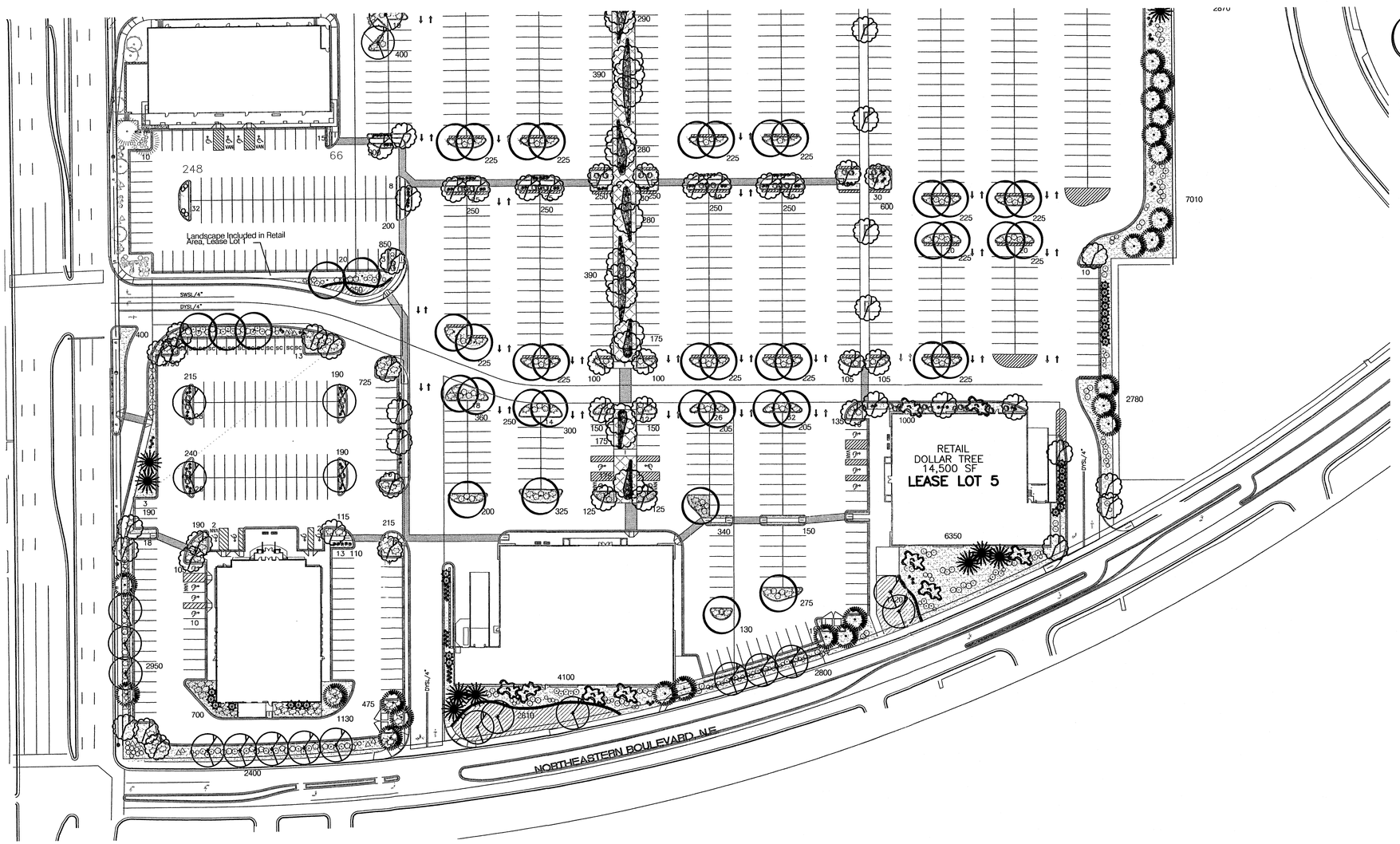
DATE 10/18/2005

2292LS-12-27-04X

SHEET # 4

JOB # 220092

MATCHLINE
SEE SHEET 2

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NORTH

0 25 50 75 100 125
SCALE: 1" = 50'-0"

# LANDSCAPE PLAN


Mitchell Associates, LLC
Landscape Architects
3200 Carlisle NE Suite #124
Albuquerque,NM 87110
(505) 830–6096
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LANDSCAPE ARCHITECT SEAL

STATE OF NEW MEXICO
DANNY D. MITCHELL
239
REGISTERED LANDSCAPE ARCHITECT

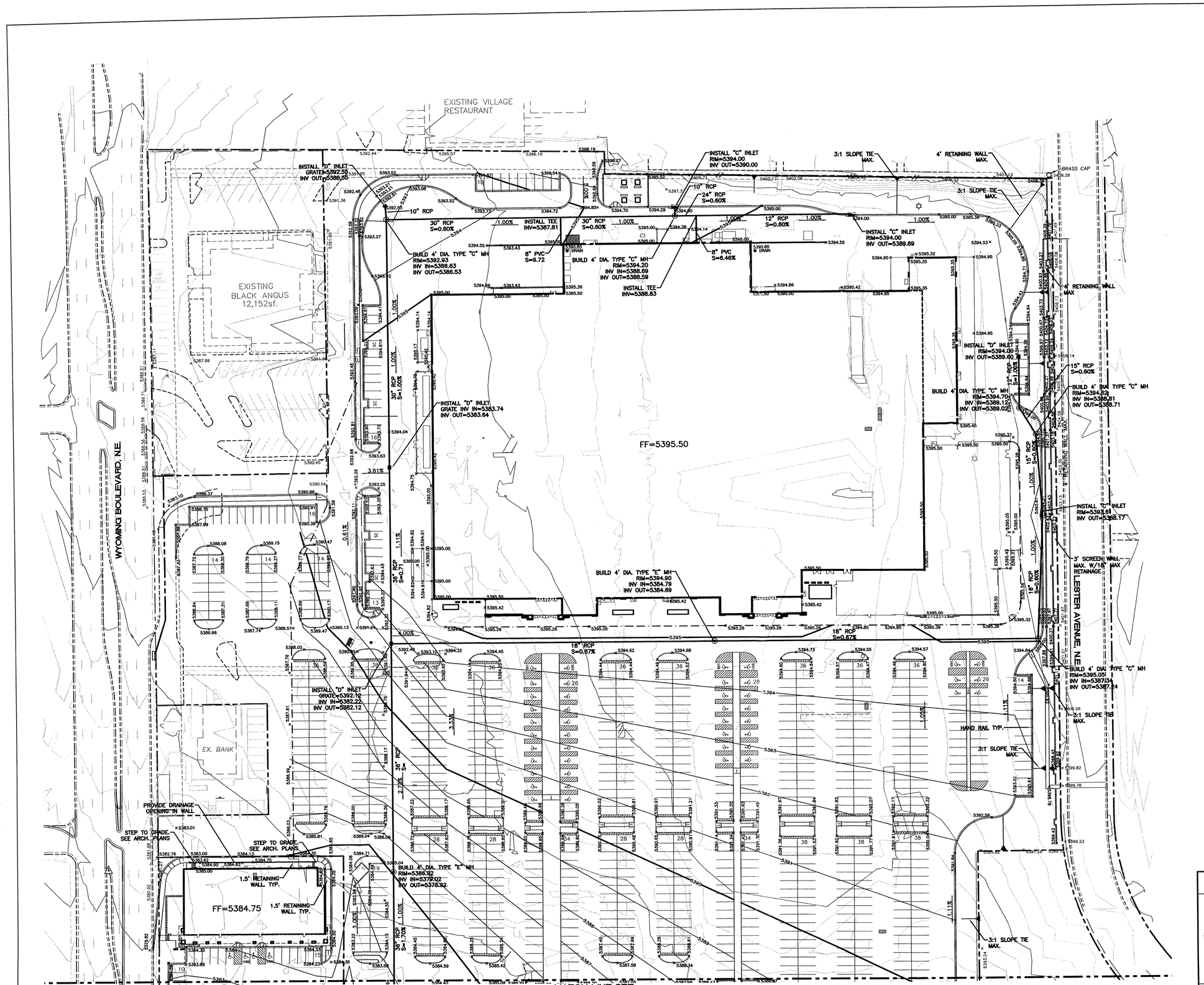
DANNY D. MITCHELL
RLA #239

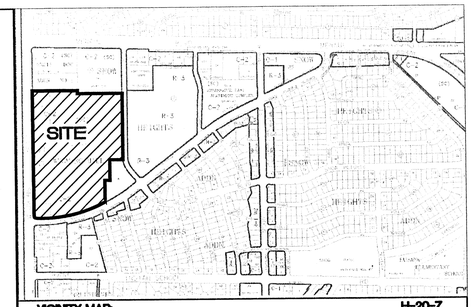
**ALBUQUERQUE WAL-MART**
**NM: 5491-00**

**LANDSCAPE PLAN - B**

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858–3100

DRAWN BY DDM
DATE 10/18/2005
2292LS–12–27–04X
SHEET # 4A
JOB # 220092




VICINITY MAP: H-20-Z

FIRM MAP: 35001C0351

## LEGEND

| | |
|---|---|
| | EXISTING CURB |
| | FUTURE IMPROVEMENTS |
| | EXISTING BUILDING |
| | PROPOSED EXPANSION |
| | PROPOSED CURB |
| | BOUNDARY LINE |
| | GRADE CHANGE |
| ×5257.73 | PROPOSED GRADE ELEVATION |
| ×5257.18 | EXISTING GRADE ELEVATION |

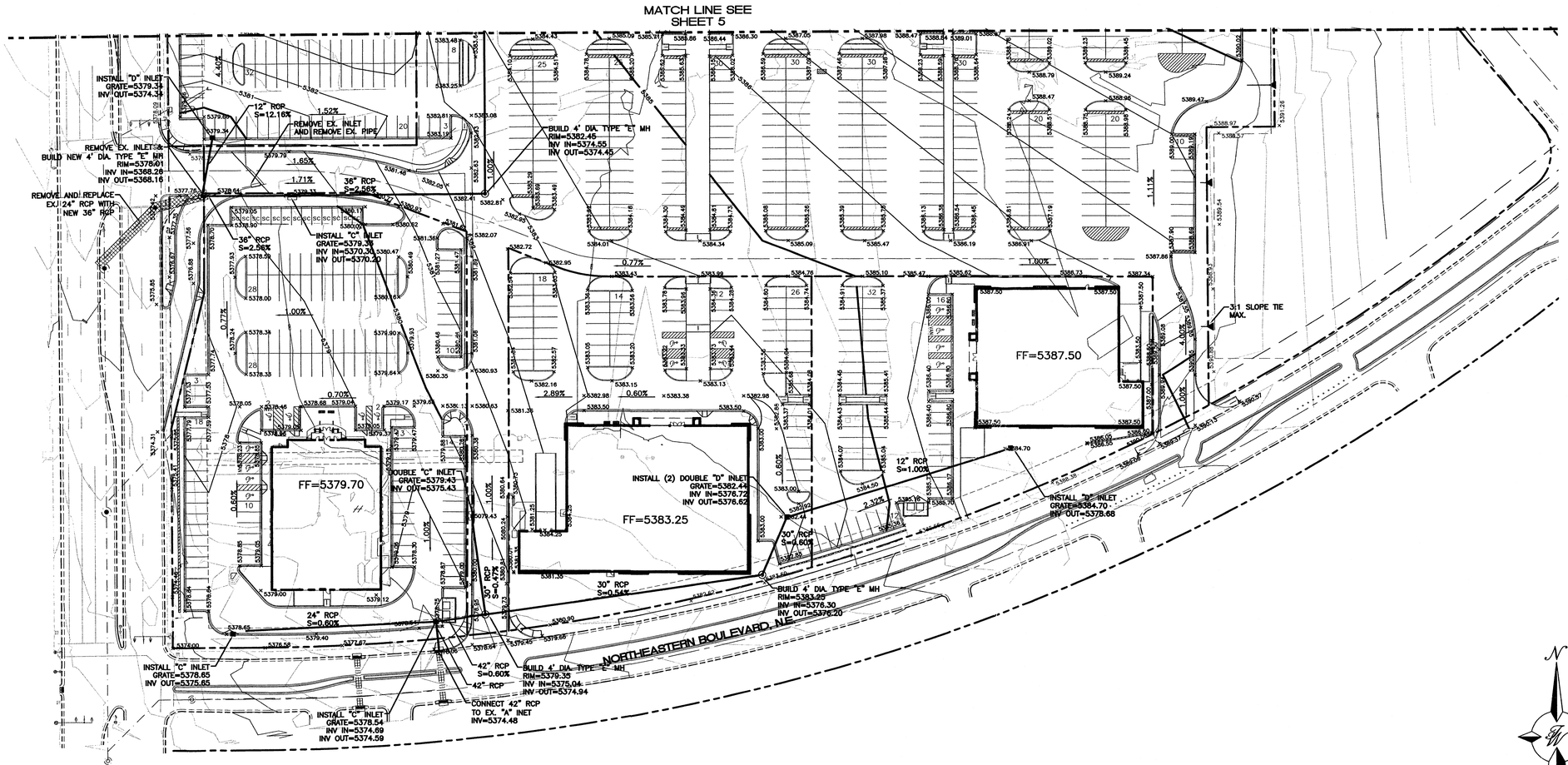
N

GRAPHIC SCALE

50 25 0 25 50

SCALE: 1"=50'

| | | |
|---|---|---|
| ENGINEER'S SEAL | ALBUQUERQUE WAL-MART NM: 5491-00 | DRAWN BY BDG |
| | | DATE 9/08/05 |
| | GRADING AND DRAINAGE PLAN - A | 2292GRE-2-15-05X |
| | | SHEET # 5 |
| RONALD R. BOHANNAN P.E. #7868 | TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | JOB # 220092 |




**CAUTION:**
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

N

GRAPHIC SCALE

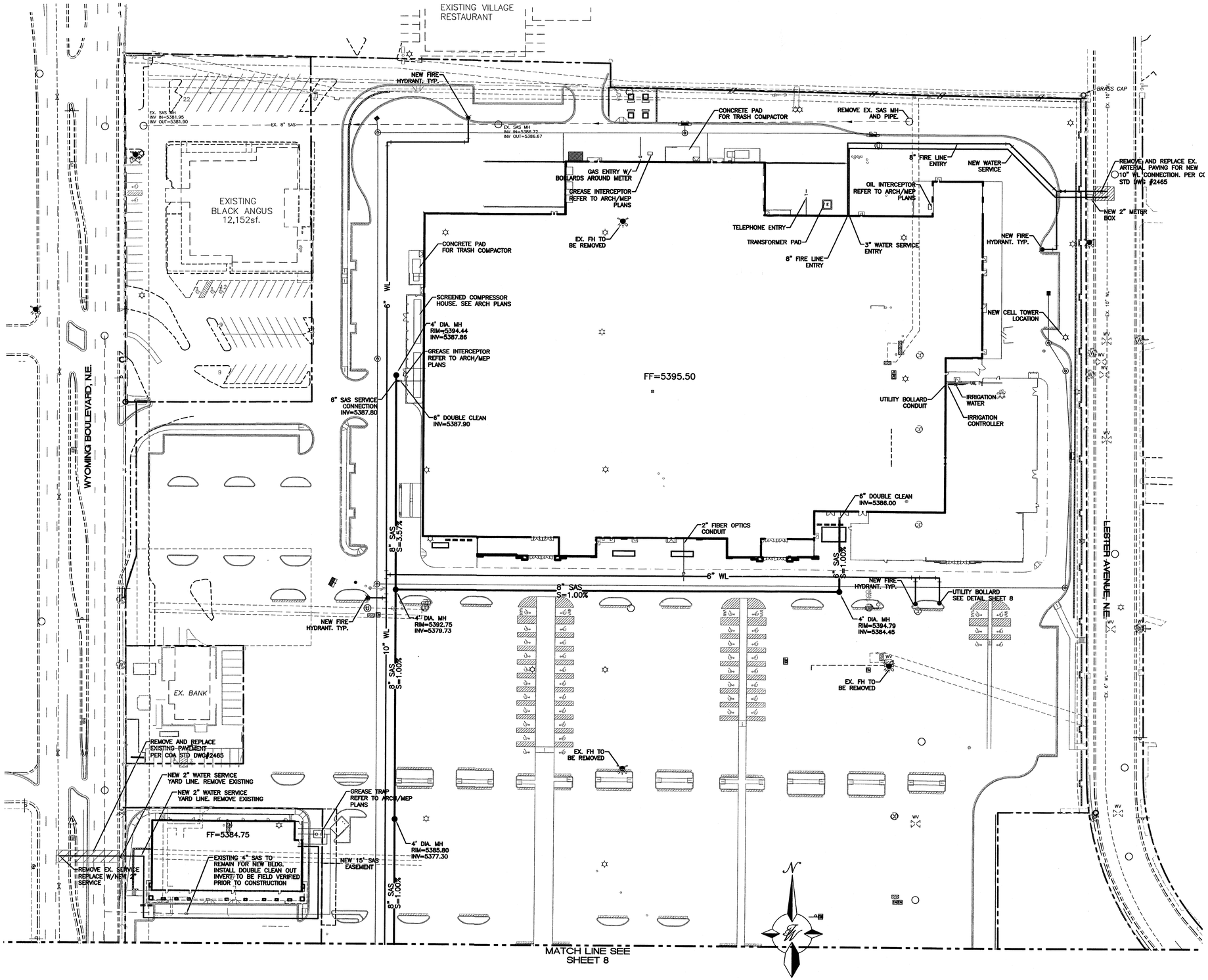
50 25 0 25 50

SCALE: 1"=50'

**LEGEND**

- EXISTING CURB
- FUTURE IMPROVEMENTS
- EXISTING BUILDING
- PROPOSED EXPANSION
- PROPOSED CURB
- BOUNDARY LINE
- GRADE CHANGE
- ×5257.73 PROPOSED GRADE ELEVATION
- ×5257.18 EXISTING GRADE ELEVATION

| | | |
|---|---|---|
| ENGINEER'S SEAL<br>RONALD R. BOHANNAN<br>P.E. #7868 | ALBUQUERQUE WAL-MART<br>NM: 5491-00<br>GRADING AND<br>DRAINAGE PLAN - B | DRAWN BY BDG<br>DATE 9/08/05<br>2292GRE-2-15-05X |
| | TIERRA WEST, LLC<br>8509 JEFFERSON NE<br>ALBUQUERQUE, NEW MEXICO 87113<br>(505)858-3100 | SHEET #<br>6<br>JOB #<br>220092 |




## SITE UTILITY NOTES

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. SEE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
3. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. SANITARY SEWER PIPE AND MANHOLE SHALL BE AS FOLLOWS:
   - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
   - 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
   - 6" PVC SCHEDULE 40
   - DUCTILE IRON PIPE PER AWWA C150
   - MANHOLES SHALL BE PRECAST CONCRETE W/BOOTS (TRAFFIC MODEL RING & COVER)
6. WATERLINES SHALL BE AS FOLLOWS:
   A. 4" AND LARGER SHALL BE C-900 CLASS 150 PVC PER ASTM 2241. VALVES SHALL BE M&H RESILIENT SEAT AND M.J. GATE VALVES.
   B. ALL FIRE HYDRANTS SHALL BE M&H MODEL 129 (3 WAY)(BRASS SEAT) 5 1/4" VALVE OPENING, 4' BURY, M.J. FOOT, 2-2 1/2 HOSE NOZZLES, 1-4 1/2" STEAMER NOZZLE.
7. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
8. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.)
9. CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
10. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
11. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
12. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS WITH WATER TIGHT LIDS.
13. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
14. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
15. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
16. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
17. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (CITY OF ALBUQUERQUE) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
18. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
19. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
21. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
22. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
23. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
24. THE INSTALLATION OR REPAIR OF ANY UNDERGROUND FACILITIES OR PIPING WHICH CONNECTS TO OR FURNISHES WATER FOR THE FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PERFORMED ONLY BY A LICENSED UTILITY CONTRACTOR, FIRE PROTECTION SPRINKLER CONTRACTOR, OR LICENSED PLUMBER. SEE O.C.G.A. TITLE 25-11-7-(q). A COPY OF THE LICENSE OR CERTIFICATE OF COMPETENCY SHALL BE PROVIDED TO THE INSPECTOR AT THE FINAL INSPECTION.
25. UTILITY WORK TO BE DONE IN FRONT OF STORE TO BE COORDINATED WITH WAL-MART CONSTRUCTION MANAGER. FRONT UTILITY WORK WILL BE DONE AT NIGHT IF NOT LOCATED BEHIND CONSTRUCTION FENCE.
26. CONTRACTOR TO RELOCATE LIGHT POLE AND REPLACE LUMINAIRES AS INDICATED. CONTRACTOR TO BUILD NEW POLE BASE AND STUB WIRE AS NEEDED.
27. REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
28. REFER TO SHEET 12 FOR SERVICE STATION UTILITIES.
29. BACKFLOW PREVENTOR SHALL BE LOCATED INSIDE THE BUILDING.
30. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.

### DRY UTILITY NOTES:

1. PNM IS RESPONSIBLE FOR RELOCATION AND/OR ABANDONMENT OF THEIR LINES AND PULL BOXES AS SHOWN.
2. GAS COMPANY IS RESPONSIBLE FOR RELOCATION OF THEIR LINES AS SHOWN.
3. COMCAST IS RESPONSIBLE FOR RELOCATION OF THEIR LINES AND MANHOLES AS SHOWN.
4. ALL FIRE HYDRANTS TO BE 4' MIN BURY AND BUILT PER COA STD DWG 2340 AND 2347 FULLY RESTRAINED

| NO. | DATE | REMARKS | BY |
|---|---|---|---|
| | | | |
| | | | |
| | | | |
| | | | |

REVISIONS

ENGINEER'S SEAL

RONALD RAY BOHANNAN NEW MEXICO 7868 REGISTERED PROFESSIONAL ENGINEER

RONALD R. BOHANNAN
P.E. #7868

**ALBUQUERQUE WAL-MART**
**NM: 5491-00**

**MASTER UTILITY PLAN - A**

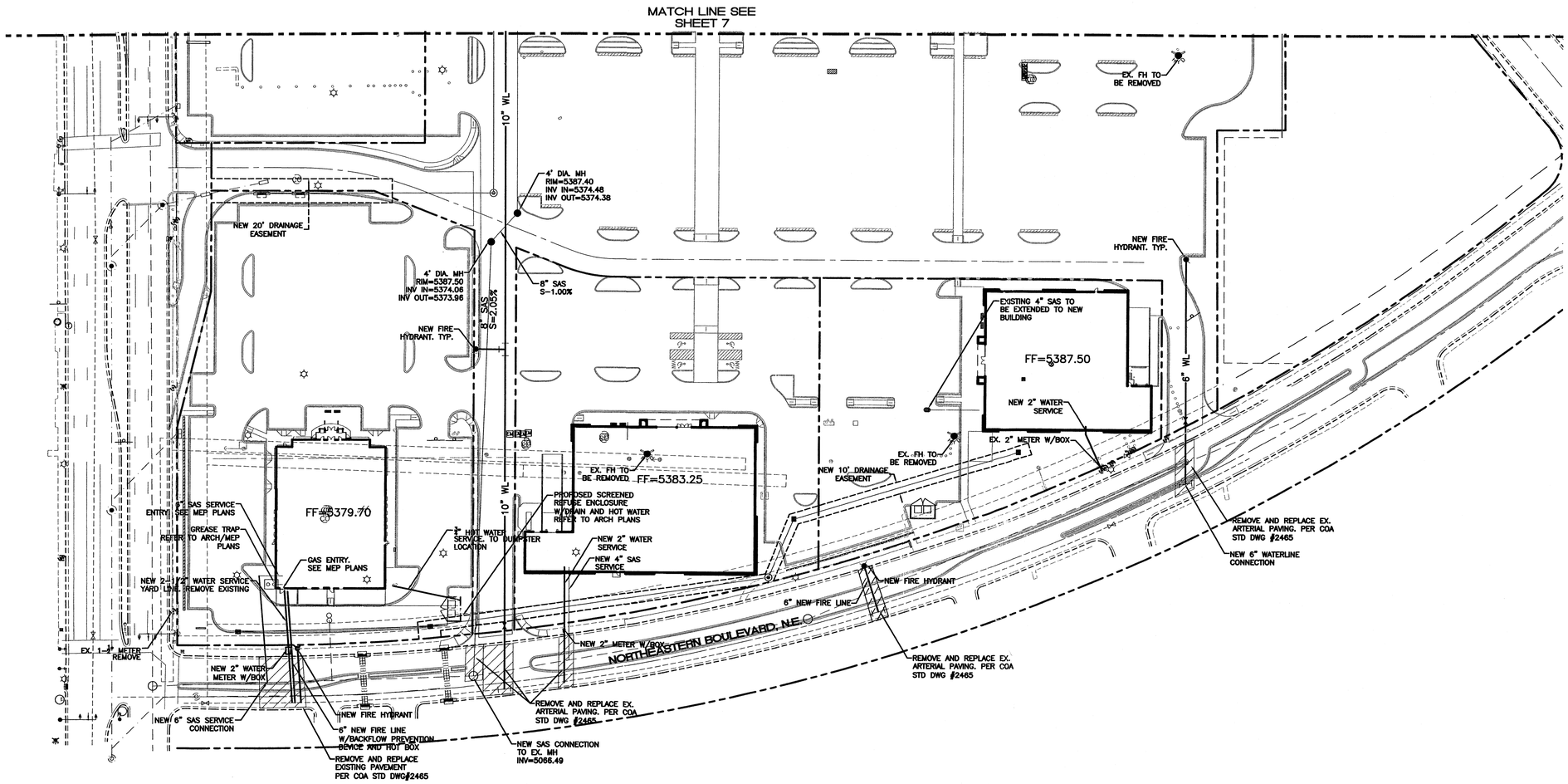
TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDG

DATE 10-13-05

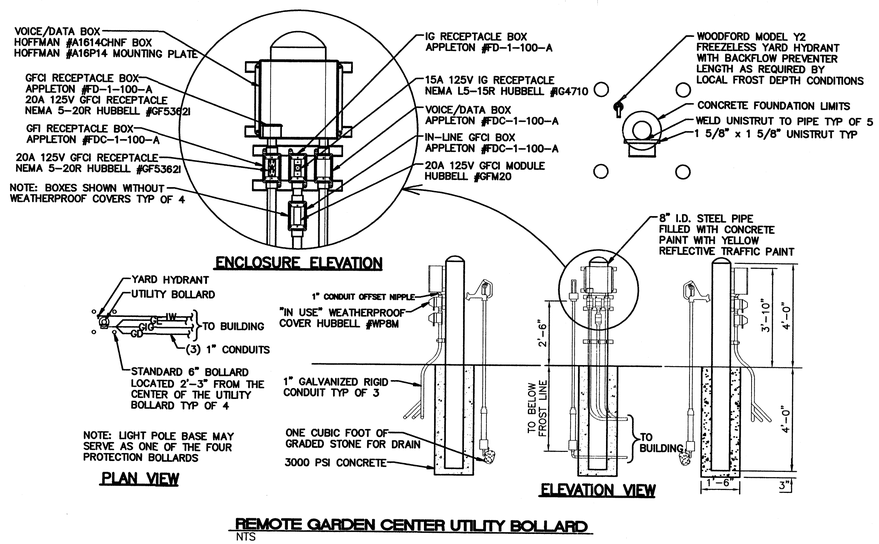
SHEET # 7

JOB # 220092




## LEGEND

| | |
|---|---|
| | EXISTING SD MANHOLE |
| | EXISTING INLET |
| | EXISTING SAS MANHOLE |
| | EXISTING METER |
| | EXISTING VALVE W/BOX |
| | EXISTING FIRE HYDRANT |
| | EXISTING PEDESTAL |
| | EXISTING POWER POLE WITH FEED |
| | EXISTING POWER POLE |
| | EXISTING PULL BOX |
| | EXISTING GAS VALVE |
| | EXISTING BOLLARD |
| | EXISTING PARKING LOT LIGHT |
| | PROPOSED PARKING LOT LIGHT |
| | PROPOSED CLEAN OUT |
| | PROPOSED DOUBLE CLEAN OUT |
| EX. OHE | EXISTING OVERHEAD UTILITIES |
| EX. UGE | EXISTING UNDERGROUND UTILITIES |
| EX. 2" GAS | EXISTING GAS |
| EX. 8" SAS | EXISTING SANITARY SEWER LINE |
| EX. 10" WL | EXISTING WATER LINE |
| EX. 18" RCP | EXISTING STORM SEWER LINE |
| | EXISTING CURB & GUTTER |
| 36" SD | PROPOSED STORM SEWER LINE |
| 8" SAS | PROPOSED SANITARY SEWER LINE |
| | PROPOSED FIRE HYDRANT |
| 6" WL | PROPOSED WATERLINE |
| | BOUNDARY LINE |
| | EASEMENT |




REMOTE GARDEN CENTER UTILITY BOLLARD
NTS

| NO. | DATE | REMARKS | BY |
|---|---|---|---|
| | | | |

REVISIONS

ENGINEER'S SEAL

RONALD R. BOHANNAN P.E. #7868

**ALBUQUERQUE WAL-MART**
**NM: 5491-00**

**MASTER UTILITY PLAN - B**

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDG
DATE 10-13-05
2292MUB.DWG
SHEET # 8
JOB # 220092

# Exterior Finish Schedule (XX)

## EXTERIOR ROOFING

Note: G.C. to submit samples of all Materials prior to Construction.

| NO. | MATERIAL | PRODUCT NO. / SPECIFICATION | MANUFACTURER |
|---|---|---|---|
| R-1 | STANDING SEAM MTL. ROOF | BERRIDGE "ZEE-LOCK" STANDING SEAM MTL. ROOFING SYSTEM (DEEP RED FACTORY COLOR) | BERRIDGE |
| R-2 | CORRUGATED MTL. AWNING | 7/8" DECK 24 GA. STRUCT. MTL. SHEATHING W/ KYNAR 500 (DEEP RED FACTORY COLOR) | BERRIDGE |

## EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)

| NO. | MATERIAL | PRODUCT NO. / SPECIFICATION | MANUFACTURER |
|---|---|---|---|
| E-1 | EXTERIOR INSULATION FINISH SYSTEM | CUSTOM COLOR TO MATCH (BENJAMINE MOORE #HC-9), SANDPEBBLE FIN. | DRY-VIT |
| E-2 | EXTERIOR INSULATION FINISH SYSTEM | CUSTOM COLOR TO MATCH (BENJAMINE MOORE #AC-42), SANDPEBBLE FIN. | DRY-VIT |
| E-3 | EXTERIOR INSULATION FINISH SYSTEM | CUSTOM COLOR TO MATCH (BENJAMINE MOORE #HC-92), SANDPEBBLE FIN. | DRY-VIT |
| E-4 | EXTERIOR INSULATION FINISH SYSTEM | INTREGAL COLOR (#356 – RED CLAY), SANDPEBBLE FIN. | DRY-VIT |

## PAINT/STAIN

| NO. | PRODUCT NO. / SPECIFICATION | MANUFACTURER | REMARKS |
|---|---|---|---|
| EP-1 | #HC-92, "WHEELING NEUTRAL," (SEMI-GLOSS) | BENJAMIN MOORE | PRIME ALL SURFACES TO RECIEVE PAINT, EXTERIOR PAINT 2 COATS |
| EP-2 | #S6, "MONTANA AGATE" (SEMI-GLOSS) | BENJAMIN MOORE | PRIME ALL SURFACES TO RECIEVE PAINT, EXTERIOR PAINT 2 COATS |
| EP-3 | #SW1014 – HEMATITE (SEMI-GLOSS) | SHERWIN WILLIAMS | PRIME ALL SURFACES TO RECIEVE PAINT, EXTERIOR PAINT 2 COATS |
| EP-4 | #HC-9, "CHESTERTOWN BUFF" (SEMI-GLOSS) | BENJAMIN MOORE | PRIME ALL SURFACES TO RECIEVE PAINT, EXTERIOR PAINT 2 COATS |
| ES-1 | #DP-530 (SEMI-TRANSPARENT STAIN) | BEHR | FOLLOW MANUF. RECOMMENDED APPLICATION PROCEDURES |

## WALL TILE

Note:
1. EPOXY/WHITE grout at ALL EXTERIOR Wall Tile.

| NO. | MATERIAL | PRODUCT NO. / SPECIFICATION | MANUFACTURER |
|---|---|---|---|
| ET-1 | CERAMIC WALL TILE | K-165 – ALMOND (6"X6") – GLOSS | DAL-TILE |
| ET-2 | CERAMIC WALL TILE | K-111 – BLACK (6"X6") – GLOSS | DAL-TILE |
| ET-3 | CERAMIC WALL TILE | DM12 – MUSTARD (6"X6") – GLOSS | DAL-TILE |
| ET-4 | CERAMIC WALL TILE | ODM1– VERMILLION (6"X6") – GLOSS | DAL-TILE |
| ET-5 | CERAMIC WALL TILE | Q181 – COTTO (6"X6") – GLOSS | DAL-TILE |
| ET-6 | CERAMIC WALL TILE | Q179 – BOTTLE GREEN (6"X6") – GLOSS | DAL-TILE |

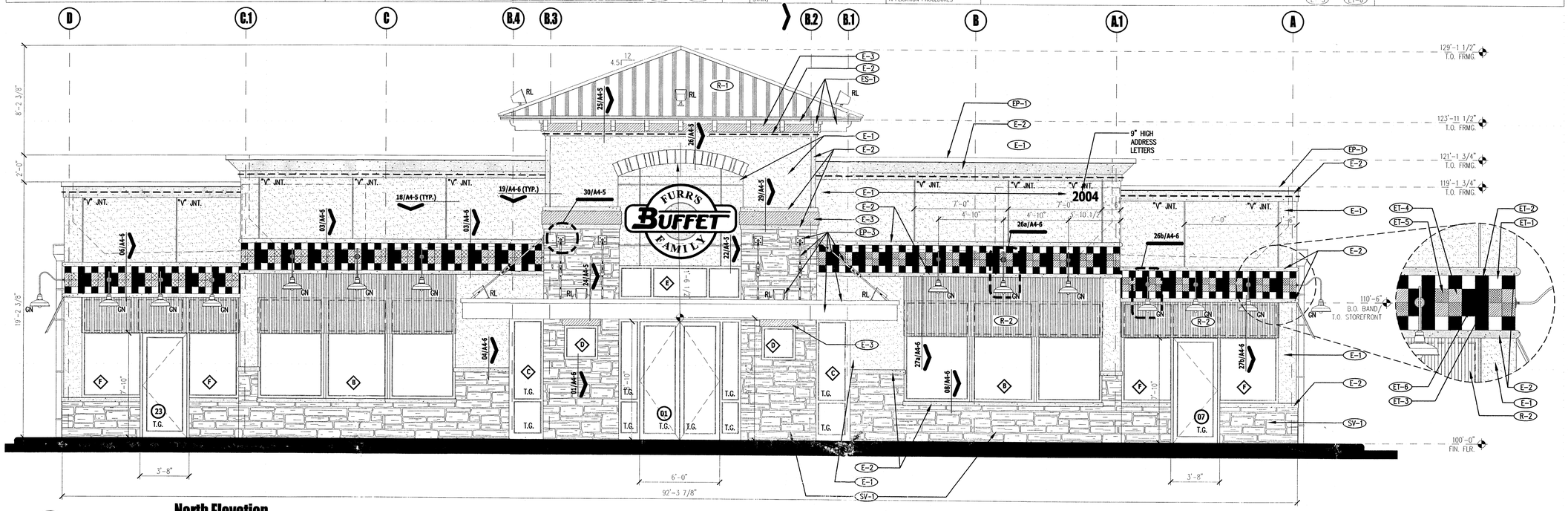
## STONE VENEER

| NO. | MATERIAL |
|---|---|
| SV-1 | EXTERIOR STONE VENEER |

| PRODUCT NO. / SPECIFICATION |
|---|
| HILL COUNTRY CHALK |

| MANUFACTURER |
|---|
| ELDARADO STONE |


GHA
Architecture / Development
Parkway Plaza I
14110 Dallas Parkway
Suite 100
Dallas Texas 75240
Ph: (972) 239-8884
Fax: (972) 239-5054


## 01 North Elevation

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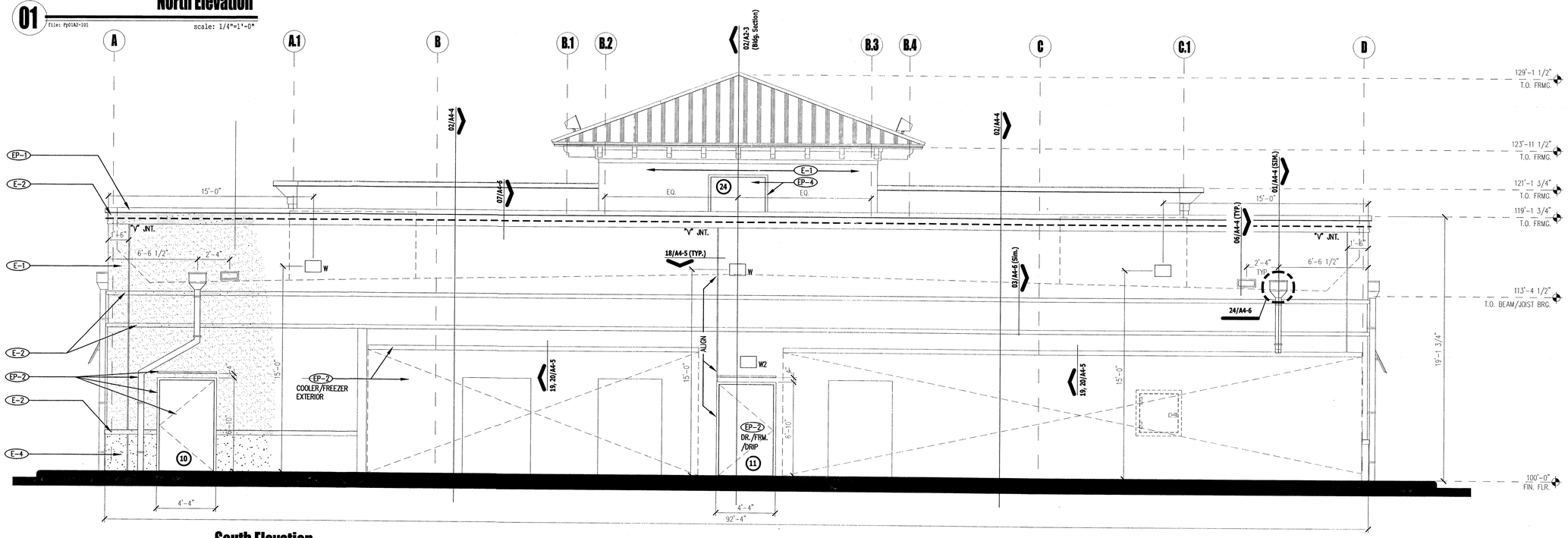



## 02 South Elevation

file: Fp01A2-102 scale: 1/4"=1'-0"

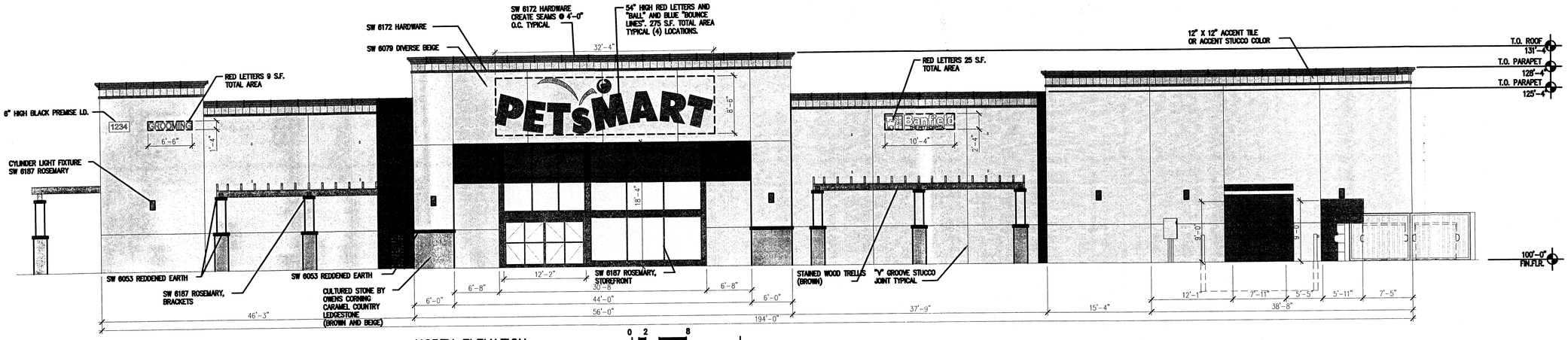
**Furr's Family Buffet - Freestanding Prototype**
**2004 Wyoming Boulevard, NE**
**ALBUQUERQUE, NEW MEXICO**

Project #:
**041646.007**

Seal:

Revisions/Addendum:

Sheet #:




1 NORTH ELEVATION
SCALE: 1/8"=1'-0"

## MATERIALS LEGEND

- STUCCO, MATCH SW 6172 HARDWARE (GRAY/GREEN)
- STUCCO, MATCH SW 6053 REDDENED EARTH (REDISH/BROWN)
- STUCCO, MATCH SW 6079 DIVERSE BEIGE (BEIGE)
- ACCENT CULTURED STONE CARAMEL COUNTRY LEDGESTONE (BROWN AND BEIGE)
- 12" X 12" SLATE TILE COPPER GRAY COLOR

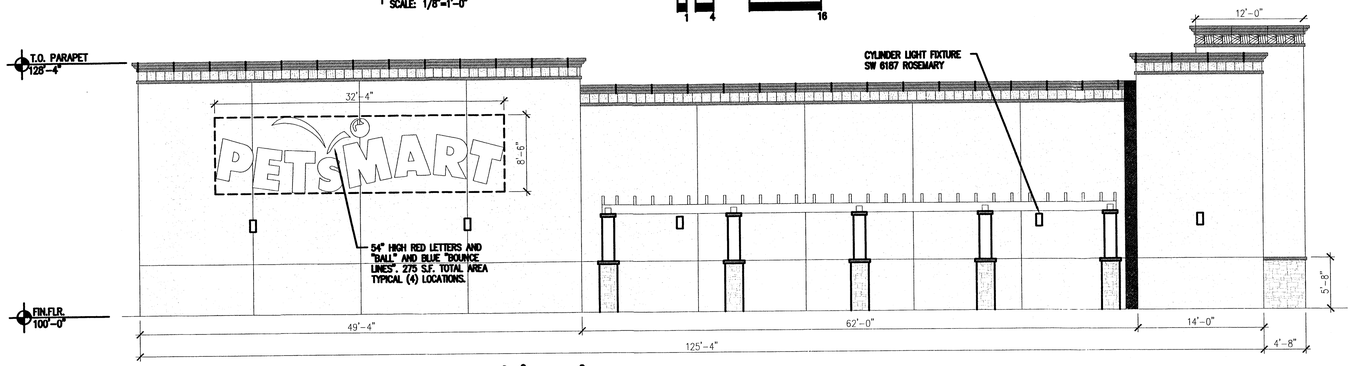
## GENERAL BUILDING SIGNAGE NOTES

A. ALL BUILDING MOUNTED SIGNAGE SHALL BE INDIVIDUAL ILLUMINATED CHANNEL LETTERS, ACRYLIC OR LEXAN FACED OR REVERSE CHANNEL WITH CLEAR LEXAN FACE. HOUSING SHALL BE ALUMINUM OR STEEL AND MATCH THE COLOR OF LETTER OR LOGO. COLORS FOR ALL LETTERS AND LOGOS SHALL BE IN ACCORDANCE WITH TENANTS STANDARD CORPORATE IDENTIFICATION SPECIFICATIONS. SIGNS SHALL BE INTERNALLY LIT NEON OR L.E.D.

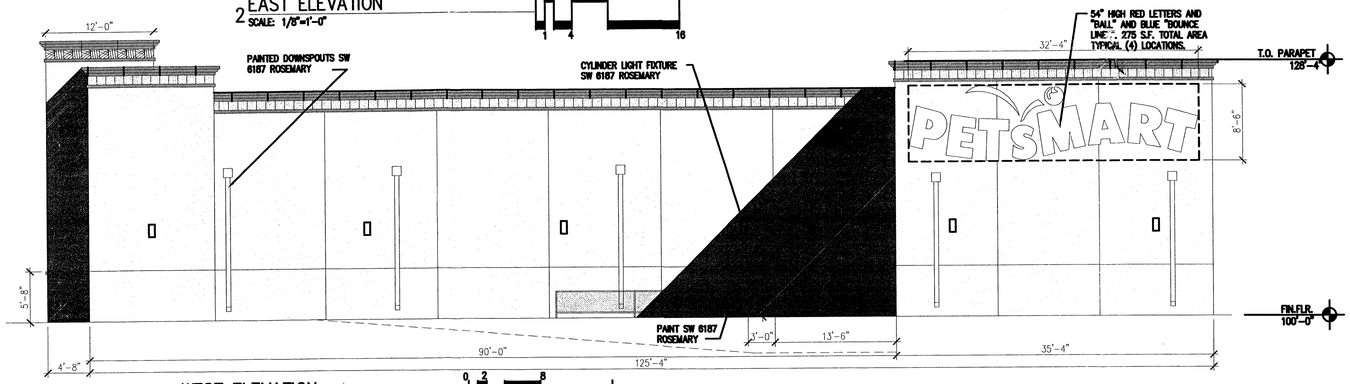
B. BUILDING MOUNTED SIGNAGE SHALL BE AS PER THE REGULATIONS SET FORTH IN THE ZONING CODE SECTION 14-16-2-17 "C-2 COMMUNITY COMMERCIAL ZONE".

C. THERE SHALL BE NO EXPOSED CONDUITS OR RACEWAYS.

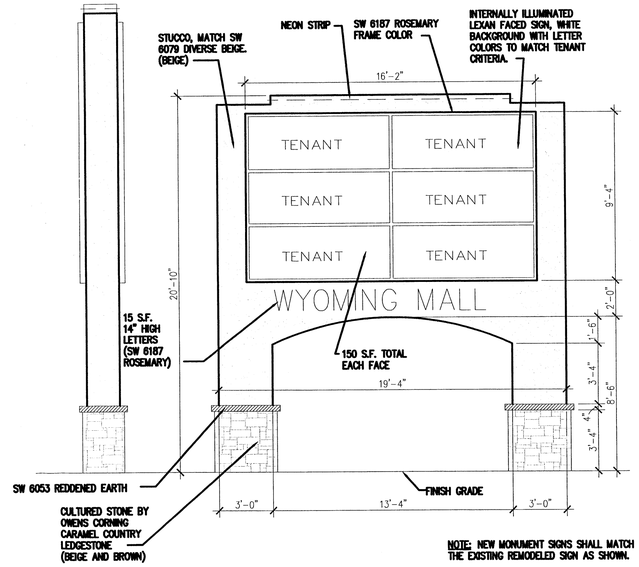
D. ALL SIGNAGE SHALL ALSO MEET THE REQUIREMENTS OF ZONING CODE SECTION 14-16-3-2 "SHOPPING CENTER REGULATIONS".




2 EAST ELEVATION
SCALE: 1/8"=1'-0"

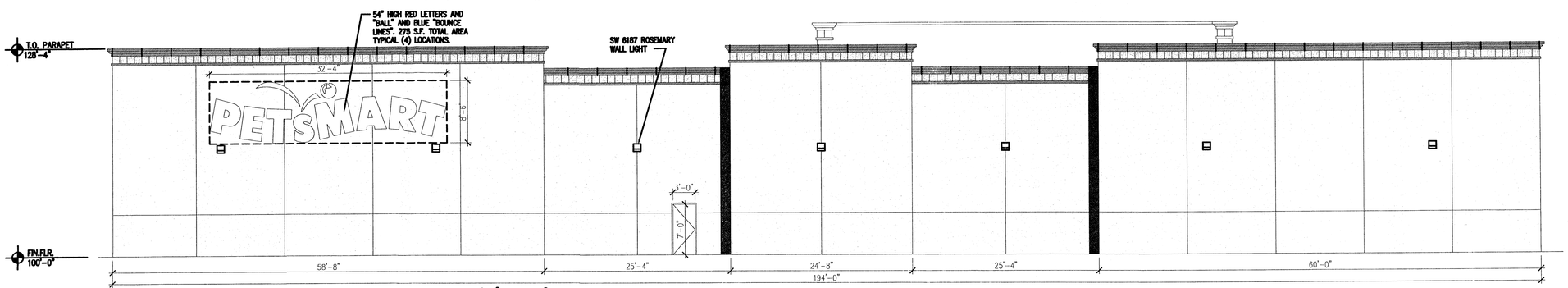



3 WEST ELEVATION
SCALE: 1/8"=1'-0"




NOTE: NEW MONUMENT SIGNS SHALL MATCH THE EXISTING REMODELED SIGN AS SHOWN.

MONUMENT SIGN - NEW (3)
SCALE: 1/4"=1'-0"

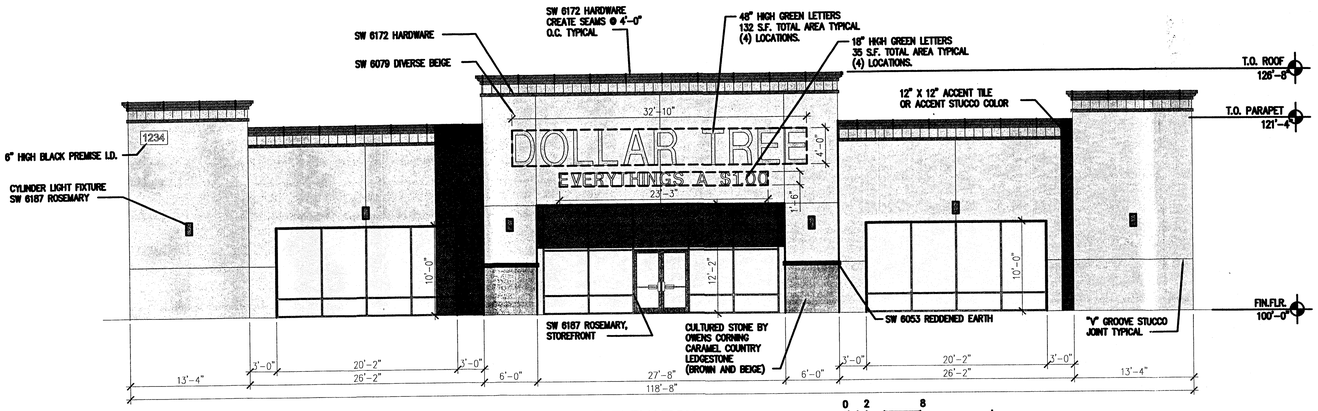



4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

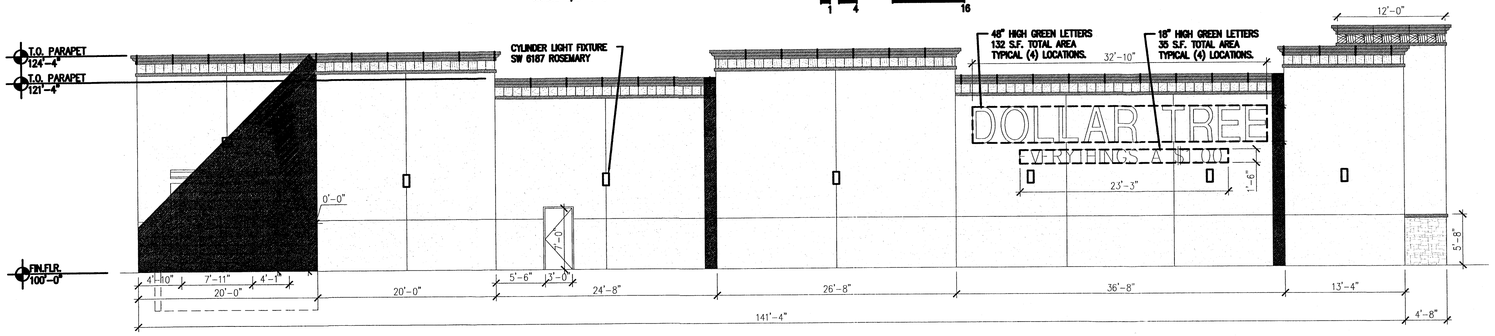
| revisions 2/2/05 | job title: PETSMART, WYOMING BLVD NE, ALBUQUERQUE, NEW MEXICO | | |
|---|---|---|---|
| | PROJECT MANAGER: NICK PIRRL | job no: 24031 | date: 1/11/05 |
| | sheet title: ELEVATIONS | | by: NAP |

de la torre architects, p.a. a/a
2400 louisiana blvd ne
building 3 / suite 110
albuquerque nm 87110 / 505 · 883 · 7918

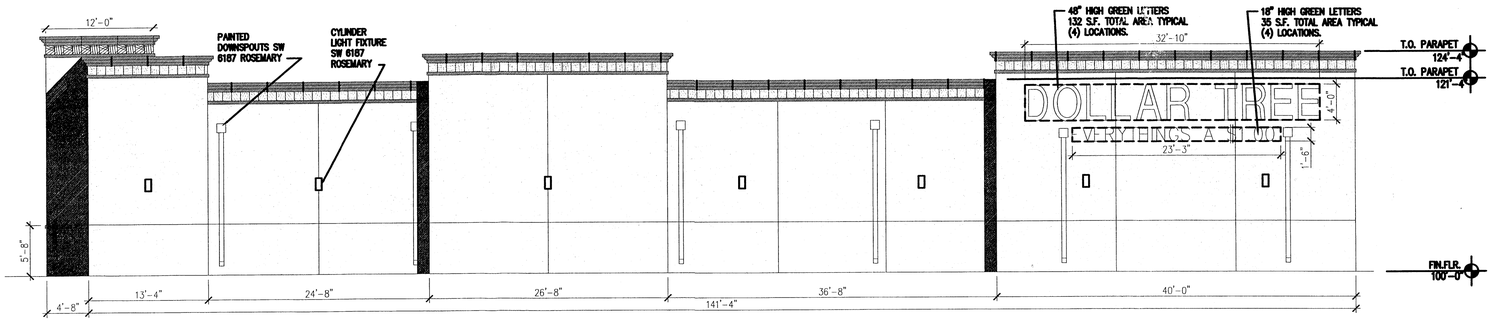
sheet- 10 of-



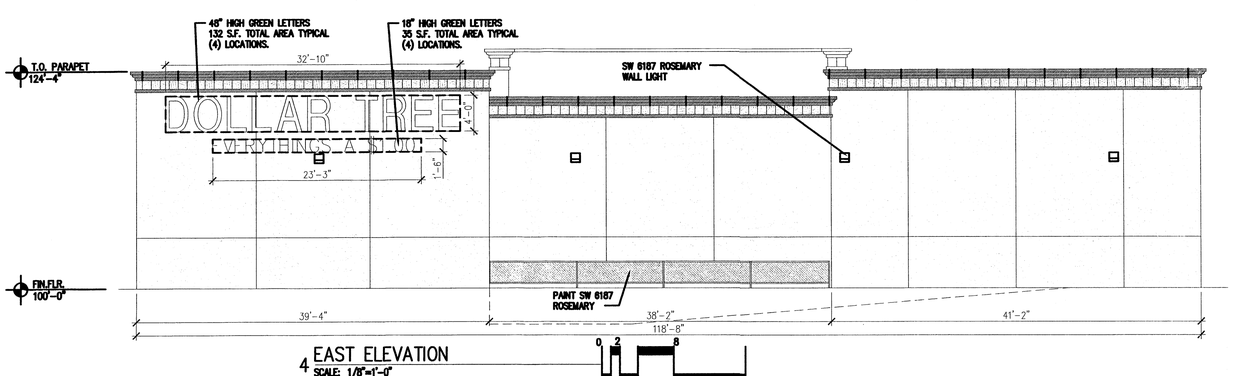

1 WEST ELEVATION
SCALE: 1/8"=1'-0"




2 NORTH ELEVATION
SCALE: 1/8"=1'-0"




3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"




4 EAST ELEVATION
SCALE: 1/8"=1'-0"

## MATERIALS LEGEND

- STUCCO, MATCH SW 6172 HARDWARE (GRAY/GREEN)
- STUCCO, MATCH SW 6053 REDDENED EARTH (REDISH/BROWN)
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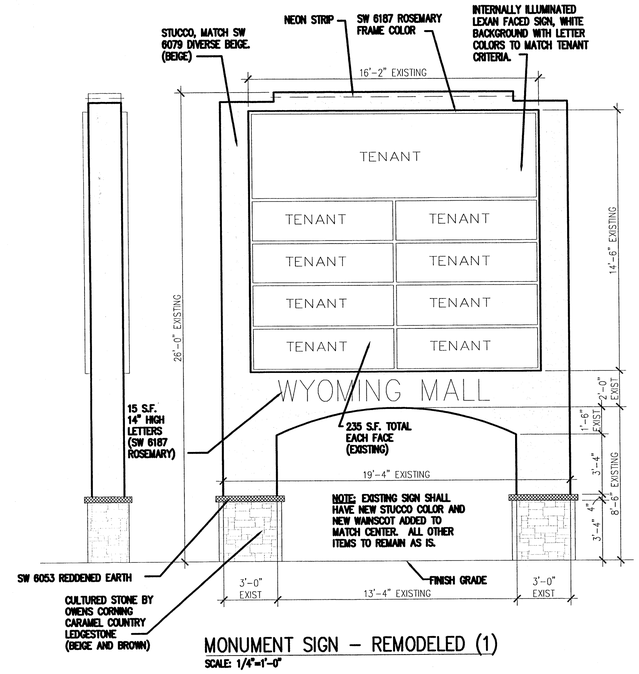
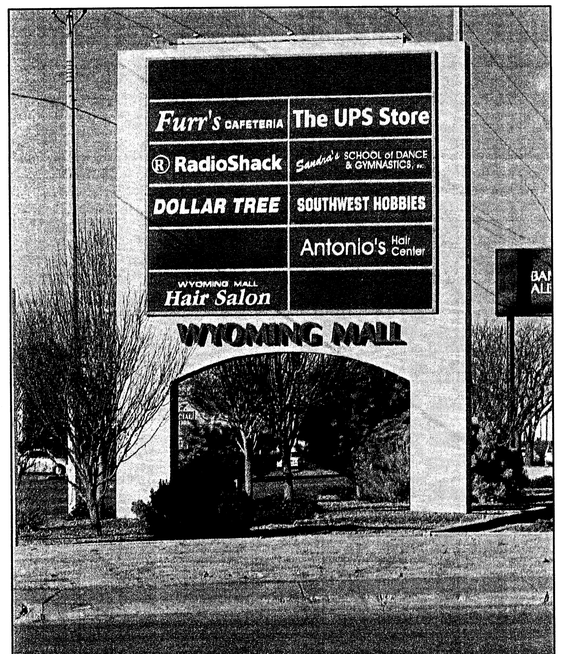



MONUMENT SIGN – REMODELED (1)
SCALE: 1/4"=1'-0"




EXISTING MONUMENT SIGN
SCALE: 1/4"=1'-0"±

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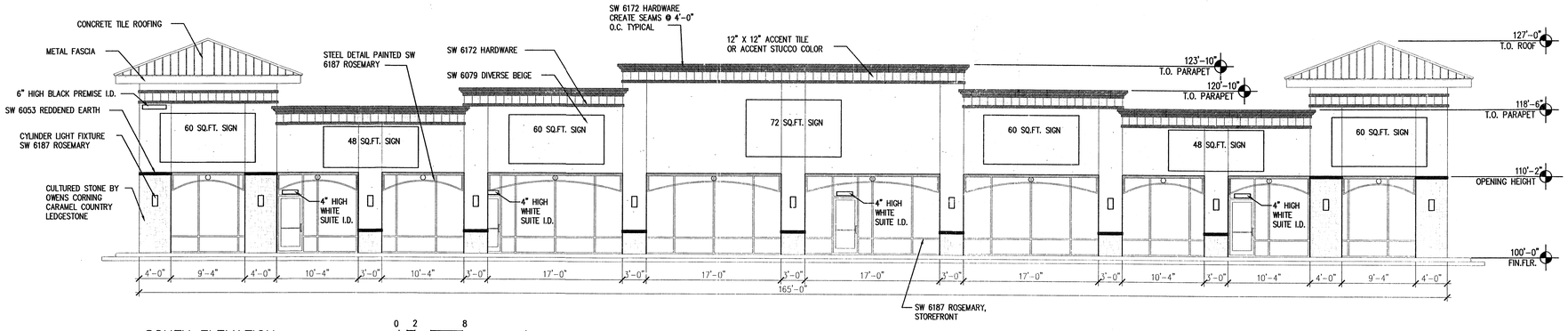
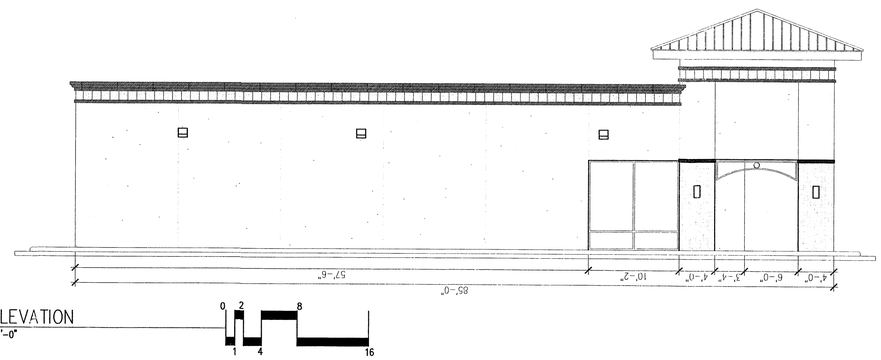
| revisions | job title | | |
|---|---|---|---|
| 2/2/05 | DOLLAR TREE<br>WYOMING BLVD NE<br>ALBUQUERQUE, NEW MEXICO | | |
| | PROJECT MANAGER<br>NICK PIRKL | job no<br>24031 | date<br>1/11/05 |
| | sheet title<br>ELEVATIONS | | by<br>NAP |

de la torre architecte, p.a. aia
2400 louisiana blvd ne
building 3 / suite 110
albuquerque nm 87110 / 505 · 883 · 7918

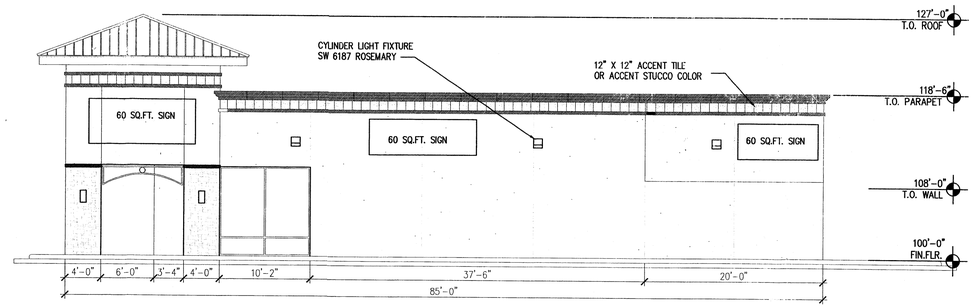
sheet– 11 of–



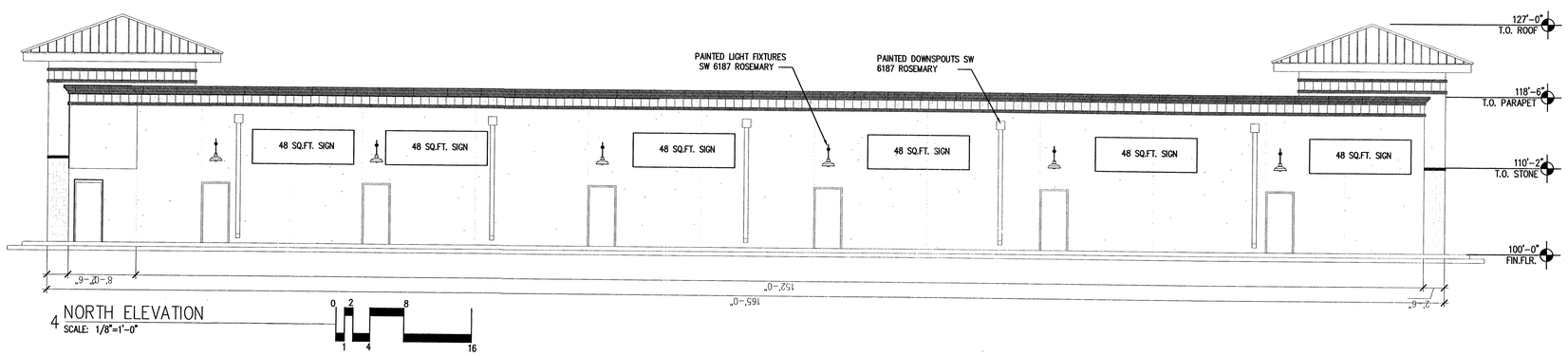

1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"




3 WEST ELEVATION
SCALE: 1/8"=1'-0"




2 EAST ELEVATION
SCALE: 1/8"=1'-0"




4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

## MATERIALS LEGEND

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- STUCCO, MATCH SW 6079 DIVERSE BEIGE (BEIGE)
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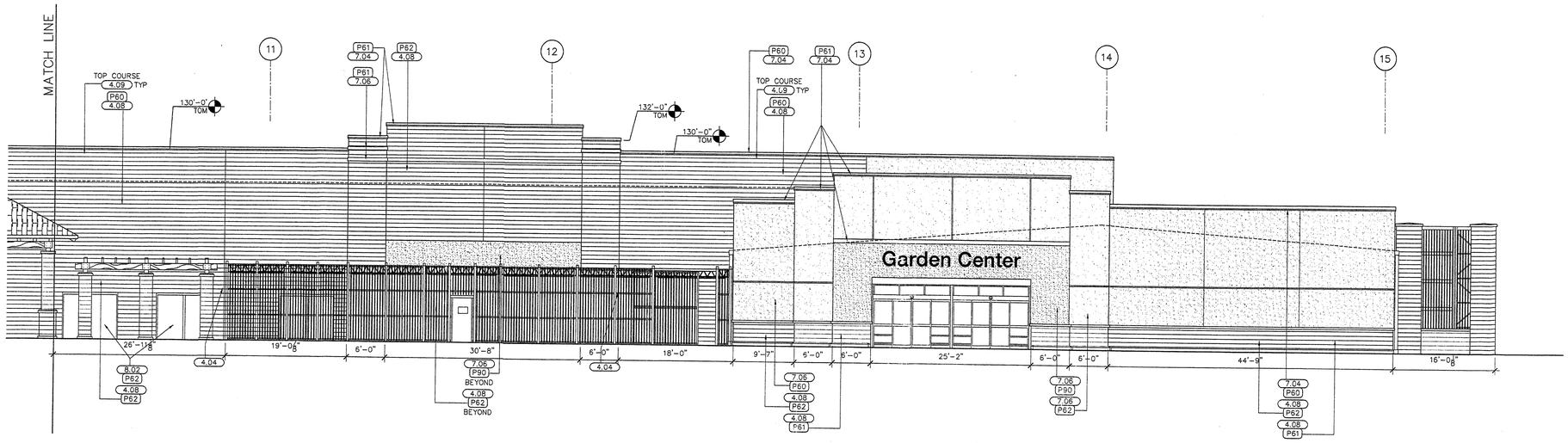
revisions
2/2/05

job title
12K PAD
WYOMING BLVD NE
ALBUQUERQUE, NEW MEXICO

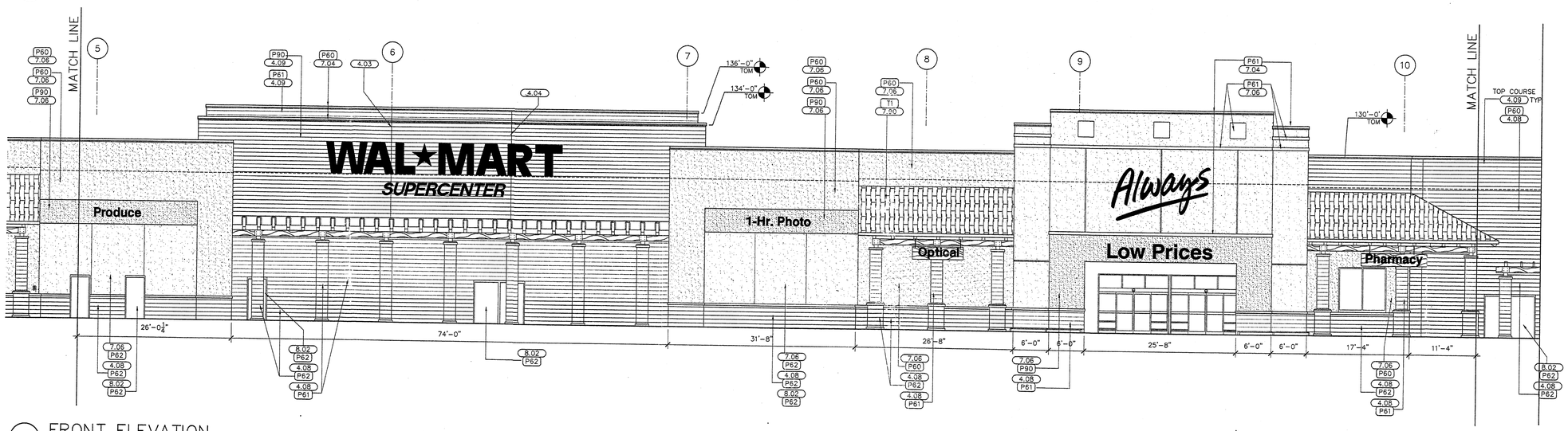
| PROJECT MANAGER | job no | date |
|---|---|---|
| NICK PIRKL | 24031 | 1/11/05 |
| sheet title: ELEVATIONS | | by: NAP |

de la torre architects, p.a. aia
2400 louisiana blvd n.e.
building 3 / suite 110
albuquerque n.m. 87110 / 505 · 883 · 7918

sheet- 12 of-




1C FRONT ELEVATION
1/8" = 1'-0" 012805 a020-001-f




1B FRONT ELEVATION
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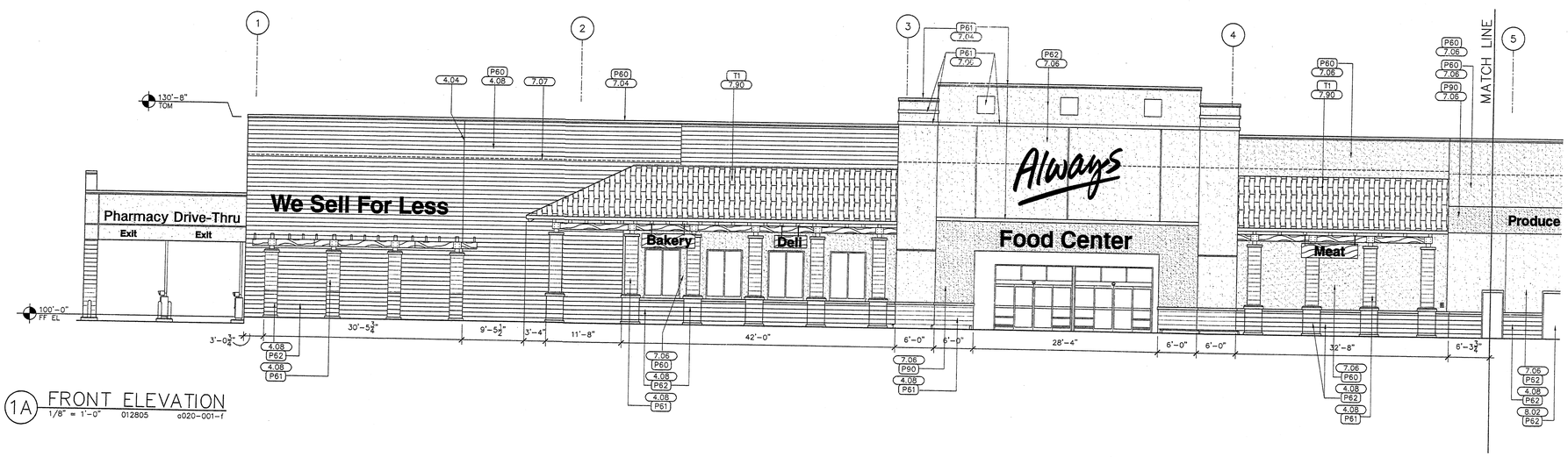


1A FRONT ELEVATION
1/8" = 1'-0" 012805 a020-001-f

## KEYNOTES

1.01 SIGNAGE
2.01 CHAIN LINK FENCING WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY
2.01 CHAIN LINK FENCING WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY
2.04 ORNAMENTAL METAL FENCING
3.11 PRECAST CONCRETE SILL
3.20 4" PRECAST CONCRETE CAP
4.03 EXPANSION JOINT
4.04 CONTROL JOINT, TYP, REF STRUCTURAL
4.05 40"x40" MASONRY OPENING AT TRASH COMPACTOR, AT BOTTOM OF OPENING IS 48" AFF
4.08 8" SPLIT FACE CMU
4.09 8" SMOOTH FACE CMU
4.15 4"x 16" QUIK BRIK MASONRY UNIT
4.17 4" SPLIT FACE CMU
4.21 24" x 24" MASONRY OPENING AT GENERATOR CABLE RACEWAY, BOTTOM OF RACEWAY AT 8" AFF. REF ELEC.
5.09 JIB CRANE HOIST ARM AND RAILING ASSEMBLY
6.18 ROUGH SAWN TIMBER
7.01 SHEET METAL DOOR HOOD (PAINTED)
7.03 METAL GUTTER PAINTED
7.04 METAL PARAPET COPING PREFINISHED
7.06 EXTERIOR INSULATION AND FINISH SYSTEM
7.07 ROOF LINE BEYOND
7.08 STANDING SEAM METAL ROOF
7.09 METAL DOWNSPOUT, PAINTED
7.19 SECONDARY OVERFLOW SCUPPER, LOCATE 16" FROM PRIMARY SCUPPER
7.23 HOOD PAINTED
8.01 SECTIONAL OVERHEAD DOOR TYP
8.02 HOLLOW METAL DOOR AND FRAME TYP PAINTED
8.05 ALUMINUM STOREFRONT
8.07 OVERHEAD COILING DOOR
8.09 AUTOMATIC SLIDING ENTRANCE DOORS
9.93 10' x 10' PAINT TEST AREA REFER SPECIFICATIONS
10.01 FLAGPOLE
10.02 FLAGPOLE CLEAT

## COLOR LEGEND

a020-CS

| | |
|---|---|
| P5 | SAFETY YELLOW |
| P60 | REDDEND EARTH SW6053 |
| P61 | DIVERSE BEIGE SW6079 |
| P62 | HARDWARE SW6172 |
| P90 | ROSEMARY SW6187 |
| T1 | LINCOLN GREEN C/T BY MONIER LIFETIME |

SIGNAGE SCHEDULE

| FRONT SIGNAGE | QTY | COLOR | INDIVIDUAL AREA | TOTAL AREA |
|---|---|---|---|---|
| WAL*MART | 1 | RED | 190.00 SF | 190.00 SF |
| SUPERCENTER | 1 | RED | 39.00 SF | 39.00 SF |
| Always | 2 | RED | 145.64 SF | 291.28 SF |
| Food Center | 1 | RED | 50.42 SF | 50.42 SF |
| Low Prices | 1 | RED | 44.38 SF | 44.38 SF |
| Garden Center | 1 | RED | 56.88 SF | 56.88 SF |
| Produce | 1 | RED | 11.88 SF | 11.88 SF |
| Meat | 1 | RED | 6.84 SF | 6.84 SF |
| Deli | 1 | RED | 5.30 SF | 5.30 SF |
| Bakery | 1 | RED | 10.25 SF | 10.25 SF |
| Optical | 1 | RED | 10.26 SF | 10.26 SF |
| Pharmacy | 1 | RED | 14.56 SF | 14.56 SF |
| 1-Hour Photo | 1 | RED | 16.50 SF | 16.50 SF |
| We Sell For Less | 1 | RED | 68.23 SF | 68.23 SF |
| Tire & Lube | 1 | WHITE | 47.71 SF | 47.71 SF |
| Express ==> | 1 | WHITE | 45.77 SF | 45.77 SF |
| TOTAL FRONT SIGNAGE | | | | 909.26 SF |
| DRIVE-THRU PHARMACY SIGNAGE | | | | |
| WAL*MART | 1 | BLUE | 48.20 SF | 48.20 SF |
| Pharmacy Drive-Thru | 2 | WHITE | 14.00 SF | 28.00 SF |
| Exit | 2 | BLUE | 2.42 SF | 4.84 SF |
| ENTER | 2 | BLUE | 3.25 SF | 6.50 SF |
| TOTAL DRIVE-THRU PHARMACY SIGNAGE | | | | 87.54 SF |
| AUTO CENTER SIGNAGE | | | | |
| WAL*MART | 1 | BLUE | 11.15 SF | 11.15 SF |
| TIRE & LUBE | 1 | WHITE | 26.25 SF | 26.25 SF |
| EXPRESS | 1 | WHITE | 39.71 SF | 39.71 SF |
| Tires | 2 | WHITE | 3.26 SF | 6.52 SF |
| Lube Express | 1 | WHITE | 8.96 SF | 8.96 SF |
| TOTAL AUTO CENTER SIGNAGE | | | | 92.59 SF |
| TOTAL BUILDING SIGNAGE | | | | 1089.39 SF |

**Main "Wal-Mart" sign is made of formed aluminum letters with acrylic formed face (internally illuminated)**

**All other signs are made of plastic, stud-mounted letters and are non-illuminated**


6100 MISSION PLAZA
SUITE 200
MERRIAM, KANSAS 66204
ARCHITECT OF RECORD:
CHRIS K. RIEA



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CONSULTANTS

WAL★MART
SUPERCENTER
ALBUQUERQUE (EC), NM
STORE NO. 05491

JOB NUMBER: 96100195 PROTO: 195

PROJECT ARCHITECT:
DESIGN ARCHITECT: MICHAEL Q.
DRAWN BY:

| REV. | CHECKED BY | DATE |
|---|---|---|

FILE NAME:
PROTO CYCLE: 072905
DOCUMENT DATE: 8-12-05

SHEET:
12A

Sep 15, 2005 - 5:00pm - USER michael q
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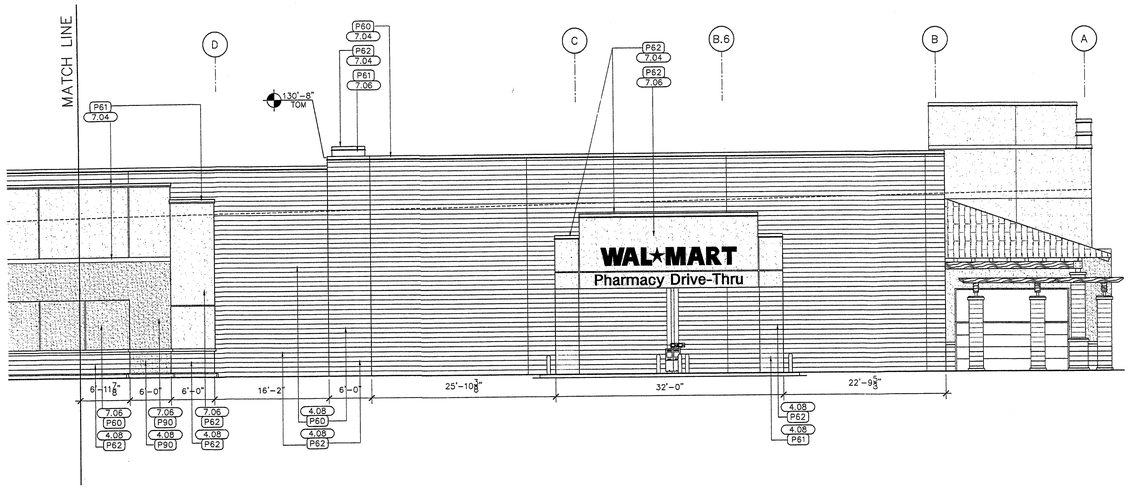
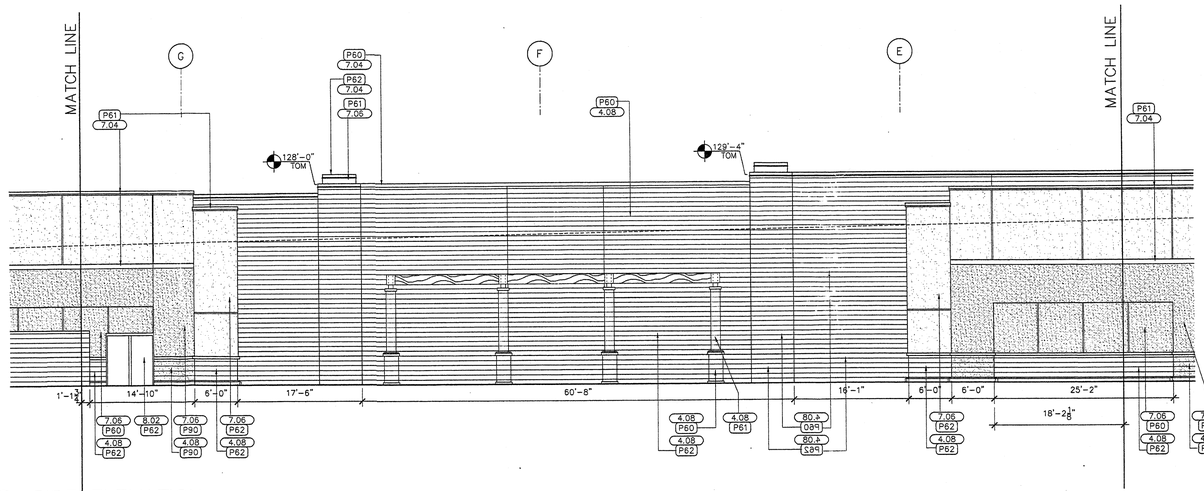
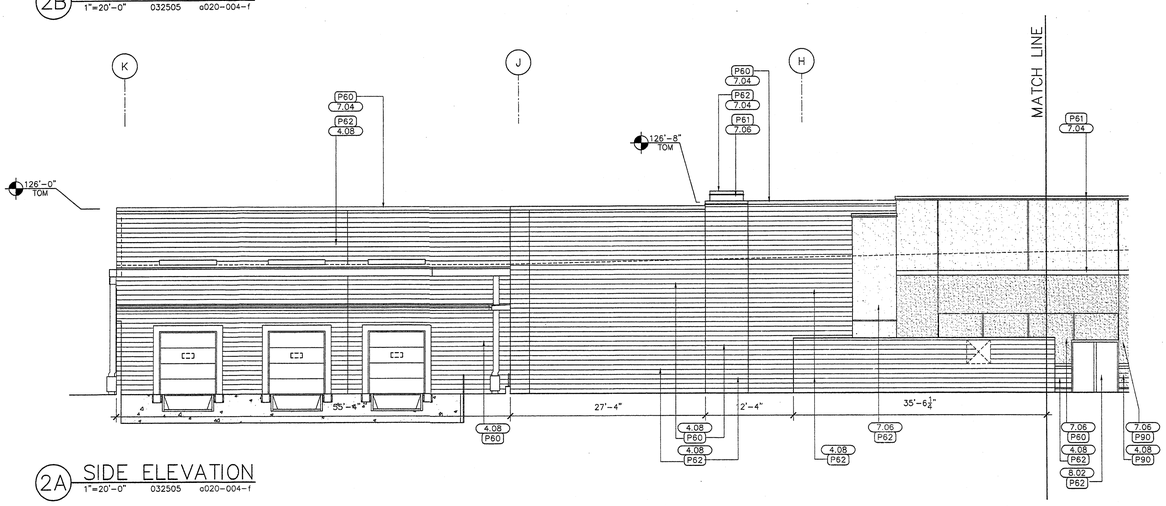



2C SIDE ELEVATION
1"=20'-0" 032505 a020-004-f




2B SIDE ELEVATION
1"=20'-0" 032505 a020-004-f




2A SIDE ELEVATION
1"=20'-0" 032505 a020-004-f

## KEYNOTES

1.01 SIGNAGE
2.01 CHAIN LINK FENCING WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY
2.01 CHAIN LINK FENCING WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY
2.04 ORNAMENTAL METAL FENCING
3.11 PRECAST CONCRETE SILL
3.20 4" PRECAST CONCRETE CAP
4.03 EXPANSION JOINT
4.04 CONTROL JOINT, TYP, REF STRUCTURAL
4.05 40"x40" MASONRY OPENING AT TRASH COMPACTOR, AT BOTTOM OF OPENING IS 48" AFF
4.08 8" SPLIT FACE CMU
4.09 8" SMOOTH FACE CMU
4.15 4"x 16" QUIK BRIK MASONRY UNIT
4.17 4" SPLIT FACE CMU
4.21 24" x 24" MASONRY OPENING AT GENERATOR CABLE RACEWAY, BOTTOM OF RACEWAY AT 8" AFF. REF ELEC.
5.09 JIB CRANE HOIST ARM AND RAILING ASSEMBLY
6.18 ROUGH SAWN TIMBER
7.01 SHEET METAL DOOR HOOD (PAINTED)
7.03 METAL GUTTER PAINTED
7.04 METAL PARAPET COPING PREFINISHED
7.06 EXTERIOR INSULATION AND FINISH SYSTEM
7.07 ROOF LINE BEYOND
7.08 STANDING SEAM METAL ROOF
7.09 METAL DOWNSPOUT, PAINTED
7.19 SECONDARY OVERFLOW SCUPPER, LOCATE 16" FROM PRIMARY SCUPPER
7.23 HOOD PAINTED
8.01 SECTIONAL OVERHEAD DOOR TYP
8.02 HOLLOW METAL DOOR AND FRAME TYP PAINTED
8.05 ALUMINUM STOREFRONT
8.07 OVERHEAD COILING DOOR
8.09 AUTOMATIC SLIDING ENTRANCE DOORS
9.93 10' x 10' PAINT TEST AREA REFER SPECIFICATIONS
10.01 FLAGPOLE
10.02 FLAGPOLE CLEAT

## COLOR LEGEND

a020-CS

| | |
|---|---|
| P5 | SAFETY YELLOW |
| P60 | REDDEND EARTH SW6053 |
| P61 | DIVERSE BEIGE SW6079 |
| P62 | HARDWARE SW6172 |
| P90 | ROSEMARY SW6187 |
| T1 | LINCOLN GREEN C/T BY MONIER LIFETIME |


6100 ANTIOCH PLAZA
SUITE 400
MERRIAM, KANSAS 66204
CHRIS TL. RICE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CONSULTANTS

WAL★MART
SUPERCENTER
ALBUQUERQUE (EC), NM
STORE NO. 05491
JOB NUMBER: 96100195 PROTO: 195

PROJECT ARCHITECT:
DESIGN ARCHITECT: MICHAEL Q.
DRAWN BY:

| REV. | CHECKED BY | DATE |
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| | | |

FILE NAME:
PROTO CYCLE: 072905
DOCUMENT DATE: 8-12-05

SHEET:
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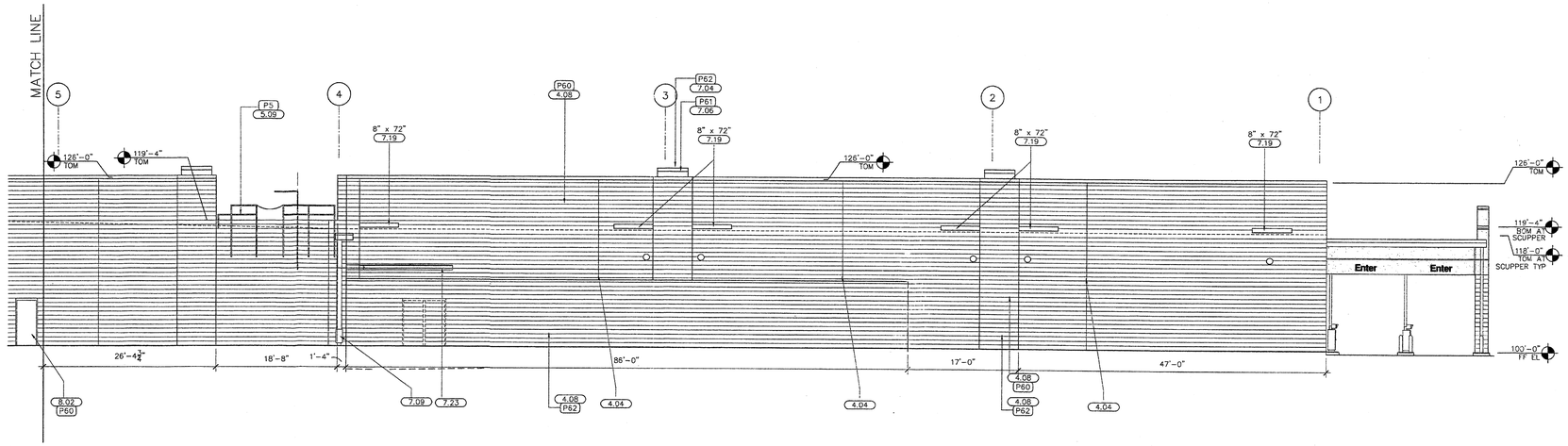
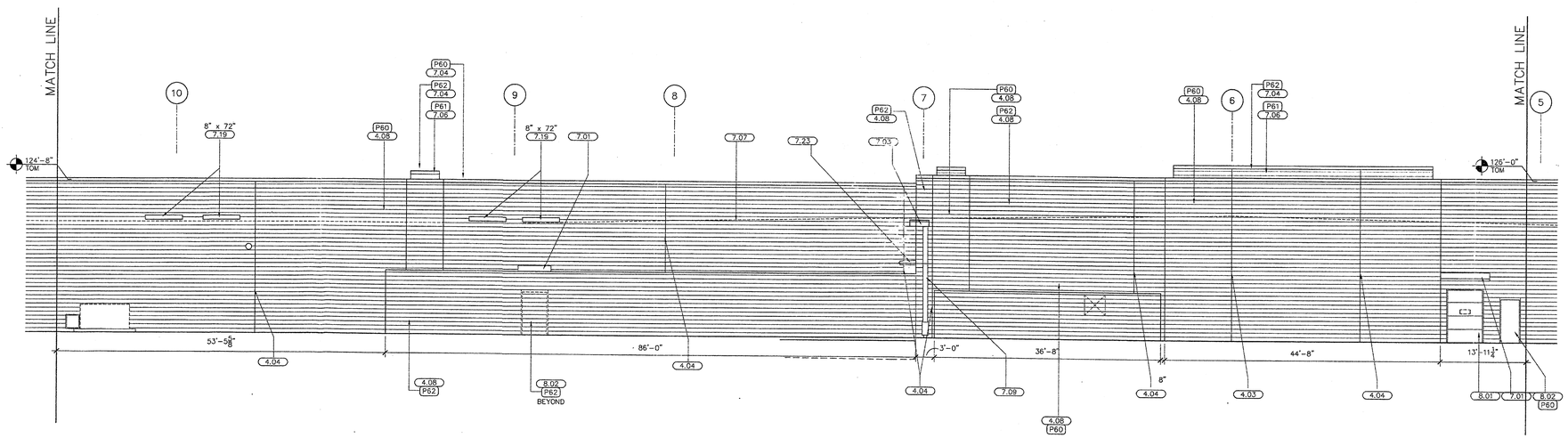
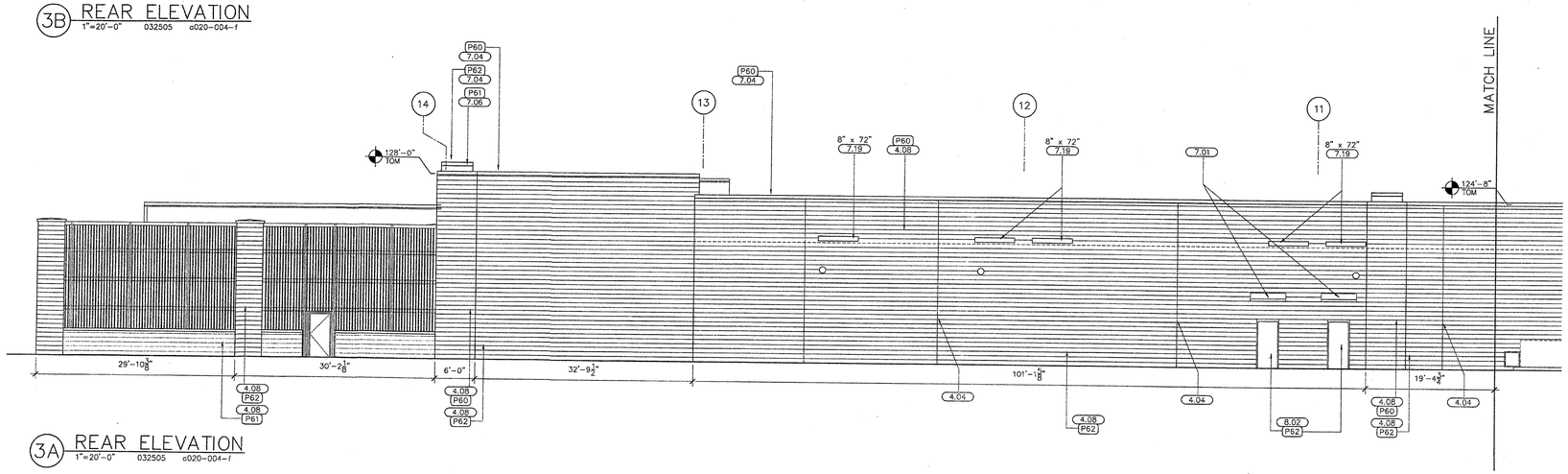



3C REAR ELEVATION
1"=20'-0" 032505 a020-004-f




3B REAR ELEVATION
1"=20'-0" 032505 a020-004-f




3A REAR ELEVATION
1"=20'-0" 032505 a020-004-f

## KEYNOTES

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## COLOR LEGEND

a020-CS

| | |
|---|---|
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| P62 | HARDWARE SW6172 |
| P90 | ROSEMARY SW6187 |
| T1 | LINCOLN GREEN C/T BY MONIER LIFETIME |


6700 WYOMING PL.N.E.
SUITE 200
ALBUQUERQUE, NM 87109
ARCHITECT OF RECORD


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CONSULTANTS

# WAL★MART SUPERCENTER
ALBUQUERQUE (EC), NM
STORE NO. 06101

PROJECT ARCHITECT:
DESIGN ARCHITECT: MICHA
DRAWN BY:

| REV. | CHECKED BY | D |
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FILE NAME:
PROTO CYCLE: 07
DOCUMENT DATE: 8-1

SHEET: 12C

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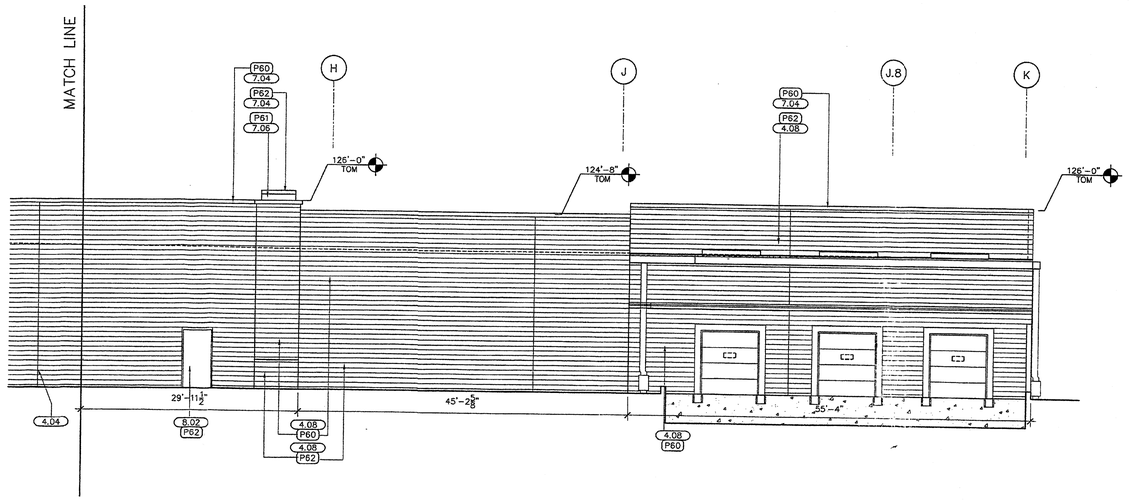
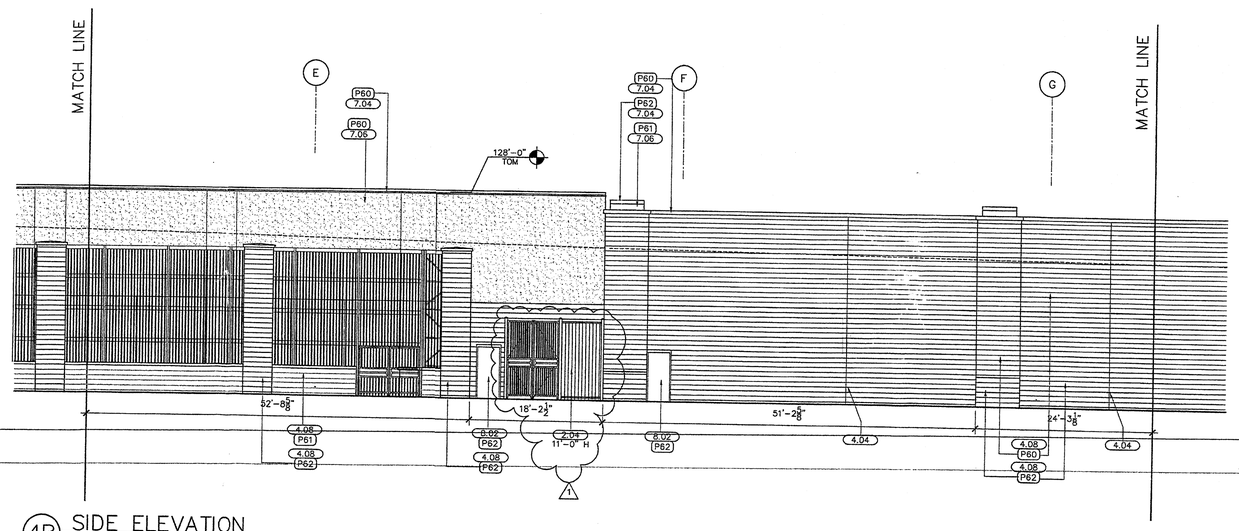



4C SIDE ELEVATION
1/8" = 1'-0" 022505 a020-005-f




4B SIDE ELEVATION
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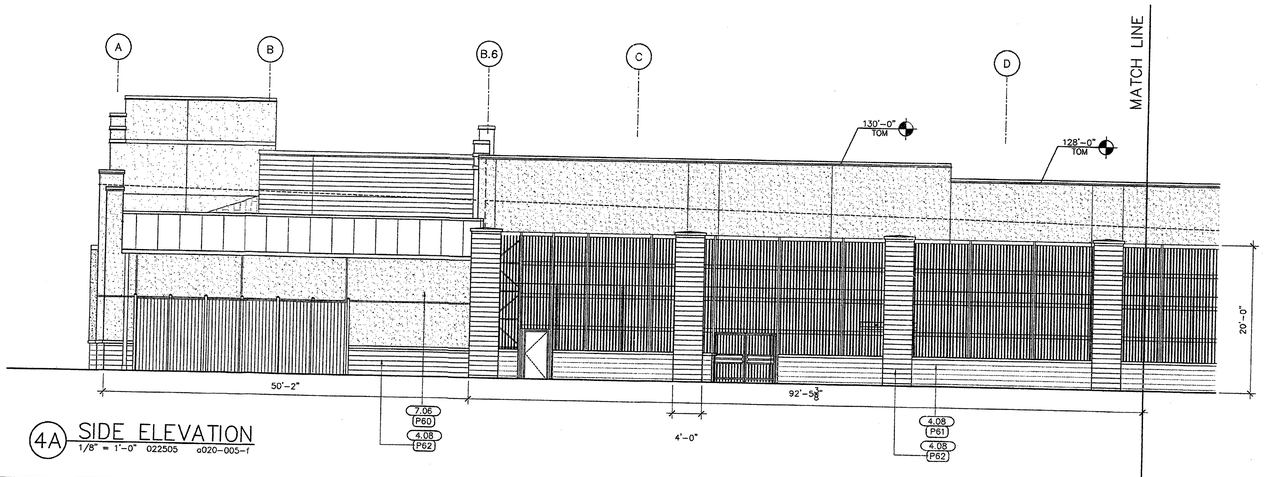


4A SIDE ELEVATION
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a020-CS

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| P90 | ROSEMARY SW6187 |
| T1 | LINCOLN GREEN C/T BY MONIER LIFETIME |

SITE PATCH PLAZA
SITE, NM

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CONSULTANTS

WAL★MART
SUPERCENTER
ALBUQUERQUE (EC) NM

PROJECT ARCHITECT:
DESIGN ARCHITECT: MI
DRAWN BY:

| REV. | CHECKED BY |
|---|---|
| 1 | MICHAEL Q. |

FILE NAME:
PROTO CYCLE:
DOCUMENT DATE: 8-

SHEET:
12D

Nov 08, 2005 - 11:06am - USER michael q
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