

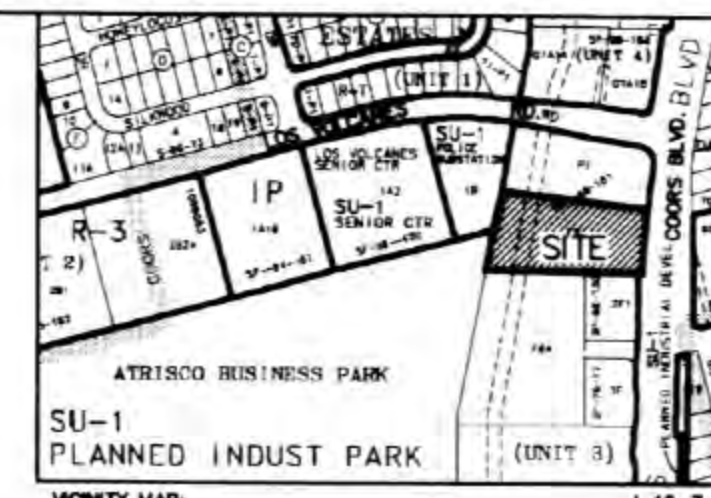
ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

PROJECT 1003293



COMUNITY MAP: J-10-Z

LEGAL DESCRIPTION:
TRACT F-7-A, ATRISCO BUSINESS PARK, UNIT 3
CONTAINING 2.1267 ACRE (92,642.11 SQUARE FEET)
MORE OR LESS.

- SHEET INDEX**
1. SITE PLAN
 2. LANDSCAPING PLAN
 3. GRADING AND DRAINAGE PLAN
 4. ELEVATION PLAN

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD
C1	189.85	5789.58	01°52'44"	94.93	189.84

LINE TABLE		
LINE	LENGTH	BEARING
L1	22.51	N74°29'58"E

PROJECT NUMBER: 1003293
APPLICATION NUMBER: 04DRB-01963

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE COMMUNITY PLANNING COMMISSION (EPC), DATED 10/27/86, AND THE PLANNING AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? (YES) (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	9/29/04
CHRISTINA SANDORAL	DATE
PARKS AND RECREATION DEPARTMENT	9/29/04
BRIAN D. BUGHAN	DATE
CITY ENGINEER	9/29/04
MICHAEL HILTON	DATE
SOLID WASTE MANAGEMENT	9-29-04
SHARAN NATION	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	9/29/04



SHARAN BIAZAR
P.E. #13479
4416 ANAHEIM AVE. NE
ALBUQUERQUE, NEW MEXICO 87113
(505) 899-5578

TRACT F-7-A, ATRISCO BUSINESS PARK
SITE PLAN FOR BUILDING PERMIT

DRAWING	DRAWN BY	DATE	SHEET #
200406-SITE.DWG	SHN	07-22-2004	1 OF 4

SITE DATA

PROPOSED USAGE: RETAIL
EXISTING LOT AREA: 92,642.11 SQ. FT. (2.1267 AC.)
GROSS BUILDING AREA: 22,616.50 SQ. FT.
ZONING: SU-1 FOR O-1 AND C-2
CONSTRUCTION TYPE: II N

LANDSCAPE CALCULATIONS:

NET LOT AREA: 70,025.61 SQ. FT. ±
LANDSCAPING REQUIRED: 14,005.00 SQ. FT. ±
20% OF 70,025.00 SQ. FT.
LANDSCAPE PROVIDED: 17,334.00 SQ. FT. ±

PARKING CALCULATIONS:

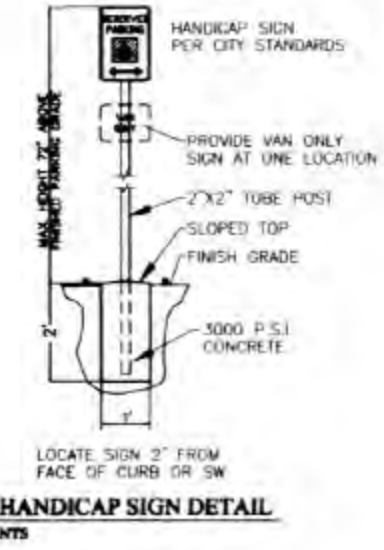
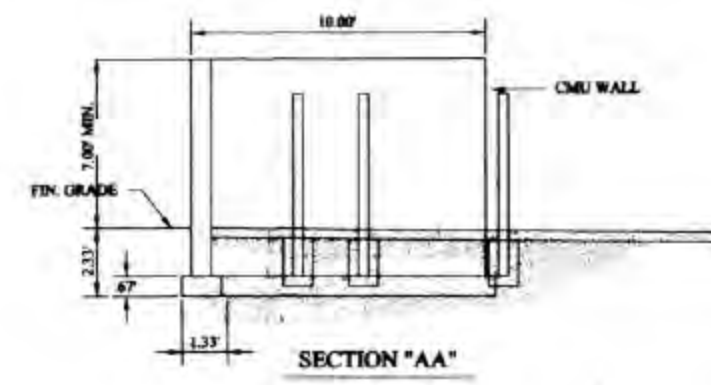
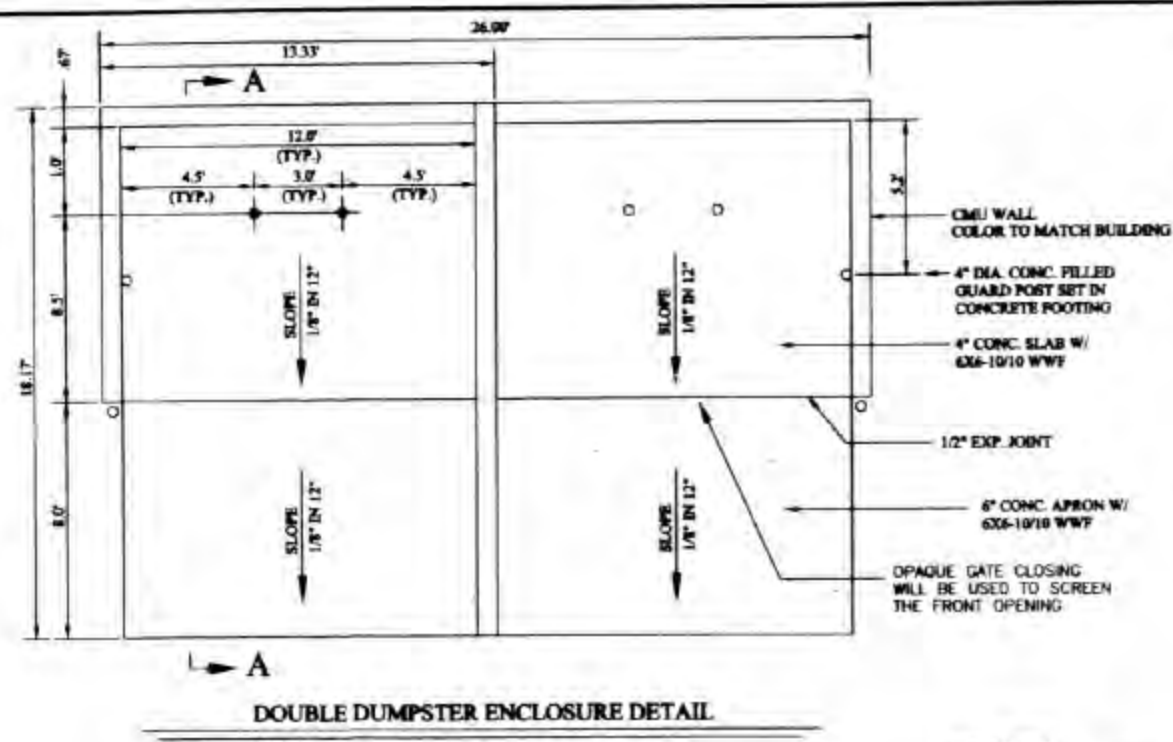
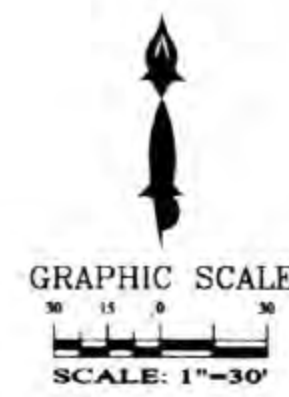
PARKING REQUIRED:
COMMERCIAL AREA: 22,616.50 GSF / 200 GSF 113 SPACES

PARKING CREDIT:
10% WITHIN 300' OF TRANSIT SYSTEM (ROUTE COORS 90) BUS STOP ±100' FROM PROPERTY 11 SPACES
TOTAL PARKING REQUIRED: 102 SPACES
TOTAL PARKING PROVIDED: 102 SPACES
HC PARKING REQUIRED: 8 SPACES
HC PARKING PROVIDED: 8 SPACES

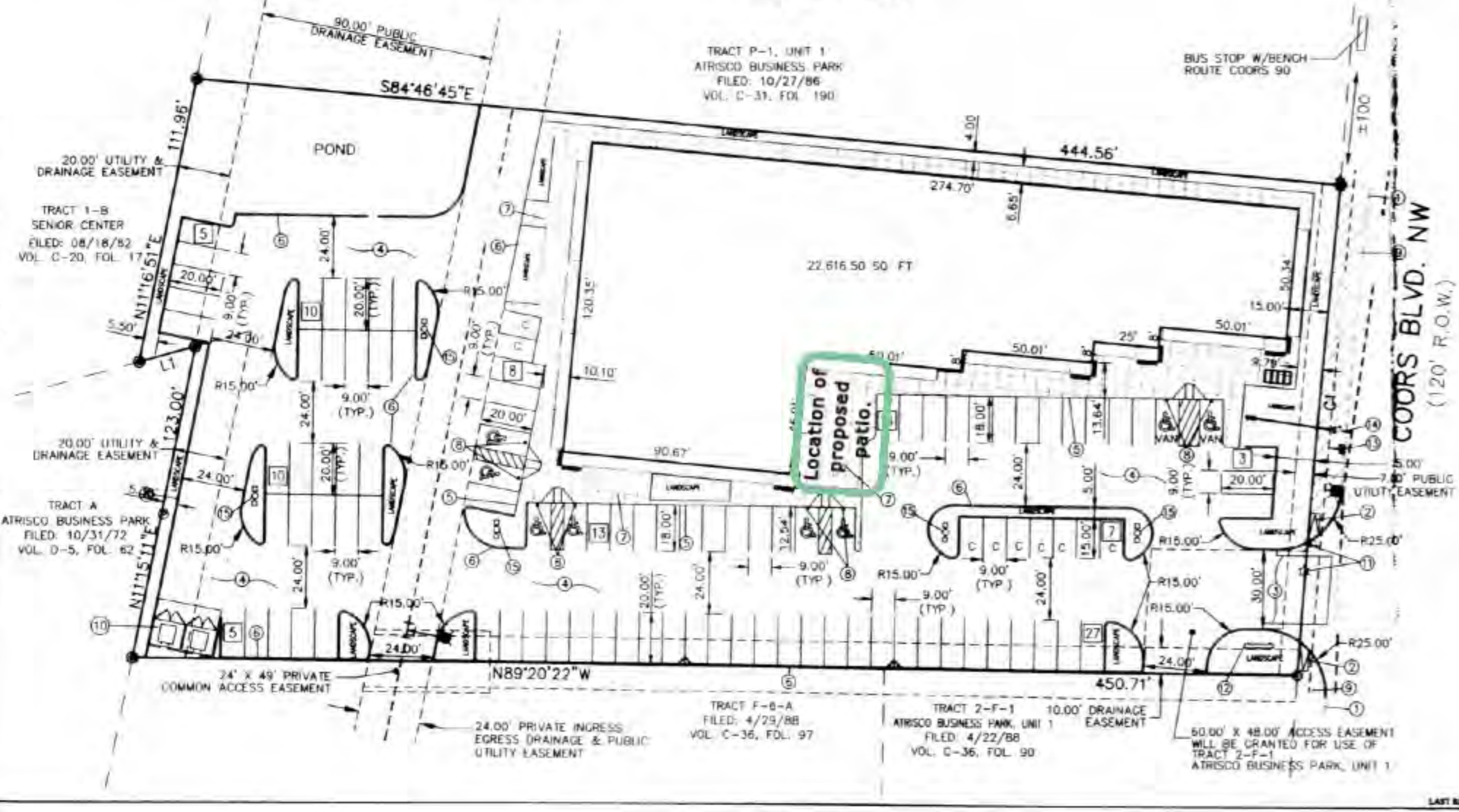
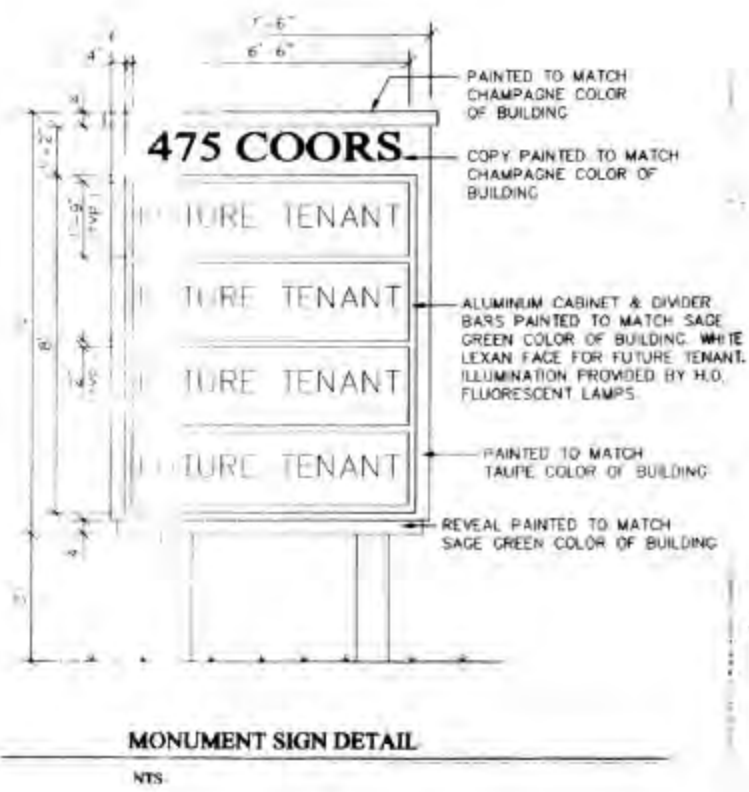
BICYCLE SPACES REQUIRED: 4 SPACES
BICYCLE SPACES PROVIDED: 4 SPACES

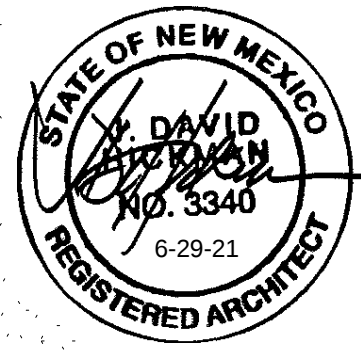
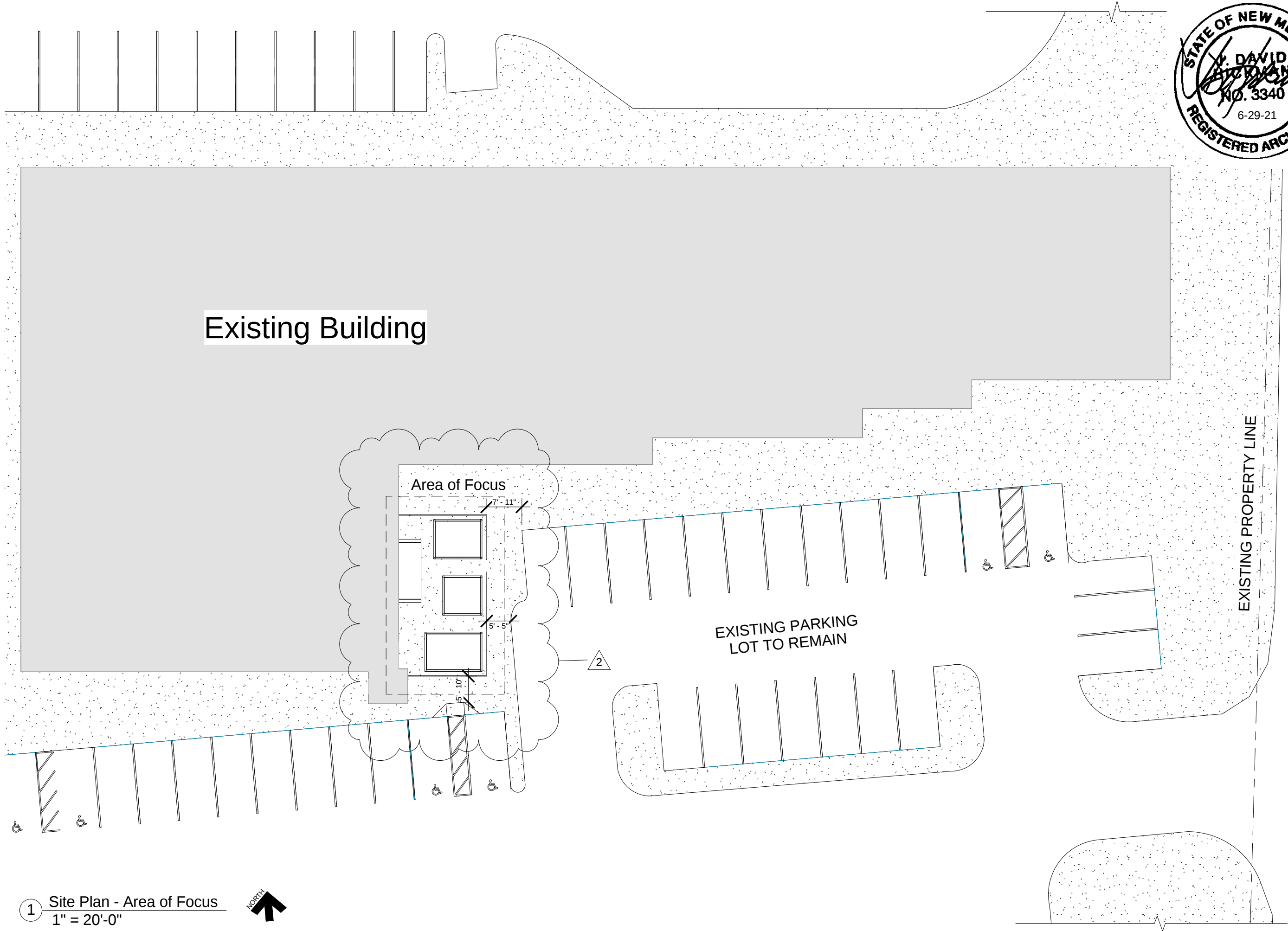
- NOTES:**
1. EXISTING CURB AND GUTTER.
 2. NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2425.
 3. NEW ENTRANCE PER COA STANDARD DRAWING #2426.
 4. NEW ASPHALT PAVING AREA.
 5. NEW TURNDOWN SIDEWALK.
 6. NEW MOUNTABLE CURB PER COA STANDARD DRAWING #2415.
 7. NEW SIDEWALKS PER COA STANDARD DRAWING #2430.
 8. INSTALL HANDICAP SIGN, SEE DETAIL THIS SHEET.
 9. EXISTING SIDEWALK.
 10. INSTALL DOUBLE TRASH ENCLOSURE.
 11. EXISTING FH AND STREET LIGHT TO BE RELOCATED.
 12. MONUMENT SIGN, SEE THIS SHEET FOR DETAIL.
 13. INSTALL SINGLE 1" WATER LINE SERVICE.
 14. INSTALL 6" SAS SERVICE.
 15. NEW 400W METAL HALIDE SITE LIGHTING, SEE DETAIL THIS SHEET.

- LEGEND**
- BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - EXISTING SIDEWALK
 - BUILDING
 - PROPOSED POND
 - PROPOSED MOUNTABLE CURB
 - PROPOSED TURNDOWN SIDEWALK
 - PROPOSED RETAINING WALL
 - EXISTING CURB & GUTTER
 - EXISTING STREET LIGHT
 - EXISTING POWER POLE
 - PROPOSED BIKE RACK
 - PROPOSED MONUMENT SIGN
 - CLEAN OUT
 - NEW WATER SERVICE
 - NEW SAS SERVICE
 - SINGLE SERVICE METER
 - EXISTING SAS MANHOLE
 - NEW FIRE HYDRANT
 - INSTALL TEE
 - COMPACT PARKING
 - LIGHT



POLE LIGHT DETAIL- TYP.
NTS





Coors Blvd NW



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505.797.1318
www.jeebsandzuzu.com

Job No:	21-028
DRAWN:	IG
CHECKED:	J&Z
DATE:	06/29/2021

Site Plan - Area of Focus	IG - 09/02/2021
EL BO TANERO DE GUAYMAS	475 COORS BLVD NW ALBUQUERQUE, NM 87121
Sheet no:	AJJ

EL BOTANERO DE GUAYMAS

475 Coors Blvd NW

ALBUQUERQUE, NEW MEXICO



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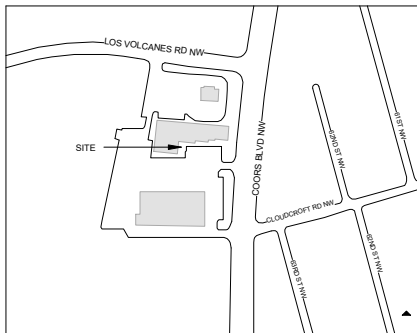
Job No: 21-028
DRAWN: JG
CHECKED: J&Z
DATE: 06/29/2021

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475 COORS BLVD NW
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Cover Sheet
sheet no: 0-CRV

VICINITY MAP



ZONE ATLAS



GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH 2015 IRC, 2015 UPC, 2015 UMC, AND 2017 NEC REQUIREMENTS. IN ADDITION, CONSTRUCTION SHALL CONFORM WITH 2008 NEW MEXICO RESIDENTIAL BUILDING CODE AND LOCAL PERMITTING REQUIREMENTS.
- ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED, FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES.

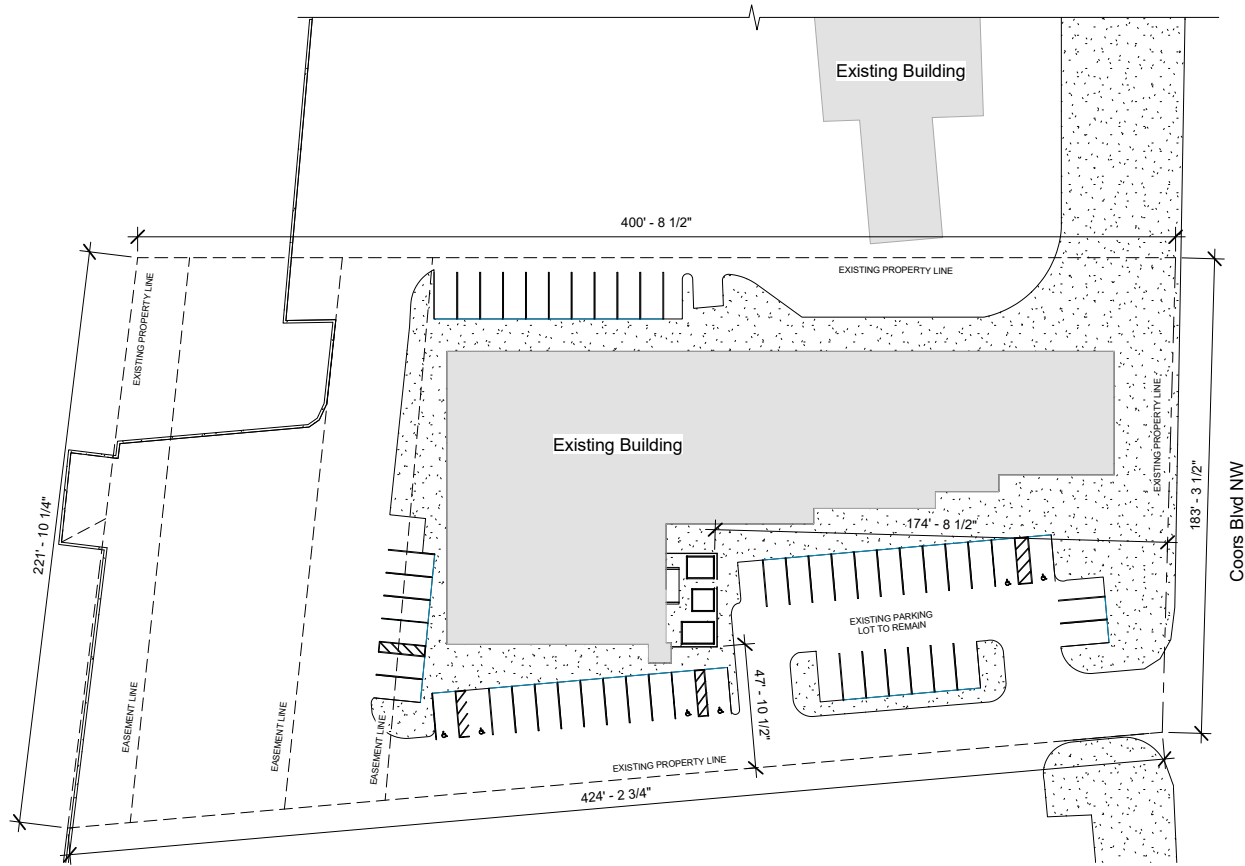
DESIGN CRITERIA

A. ZONING DESIGN CRITERIA	
1. LEGAL DESCRIPTION.....	UPC: 101005847410540807 LOT: F7A BLOCK: 0000 TR F-7-A PLAT OF TRACT F-7-A ATRISCO BUSINESS PARK UNIT PIN: ABO127516 ACRES: 2.13
2. ZONING CLASSIFICATION.....	NR-BP
3. PERMITTED AND ACTUAL USE.....	BUSINESS PARK
B. ARCHITECTURAL DESIGN CRITERIA	
1. OCCUPANCY GROUP.....	A-2
2. FLOOR AREAS.....	
COVERED PATIO FOCUSED AREA.....	710 SF
3. PATIO OCCUPANCY LOAD.....	710 / 15 = 47 PEOPLE UNCONCENTRATED TABLES & CHAIRS

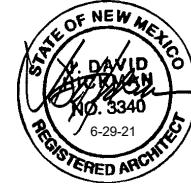
DRAWING INDEX

CVR	COVER SHEET
A1.0	SITE PLAN - PROPERTY LINE
A1.1	SITE PLAN - AREA OF FOCUS
A2.0	FLOOR PLAN
A3.0	BUILDING ELEVATIONS
A4.0	BUILDING SECTIONS
A4.1	DETAILS
A5.0	REFLECTIVE CEILING PLAN
A6.0	ROOF PLAN





① Site Plan - Existing Property Lines
1" = 40'-0"

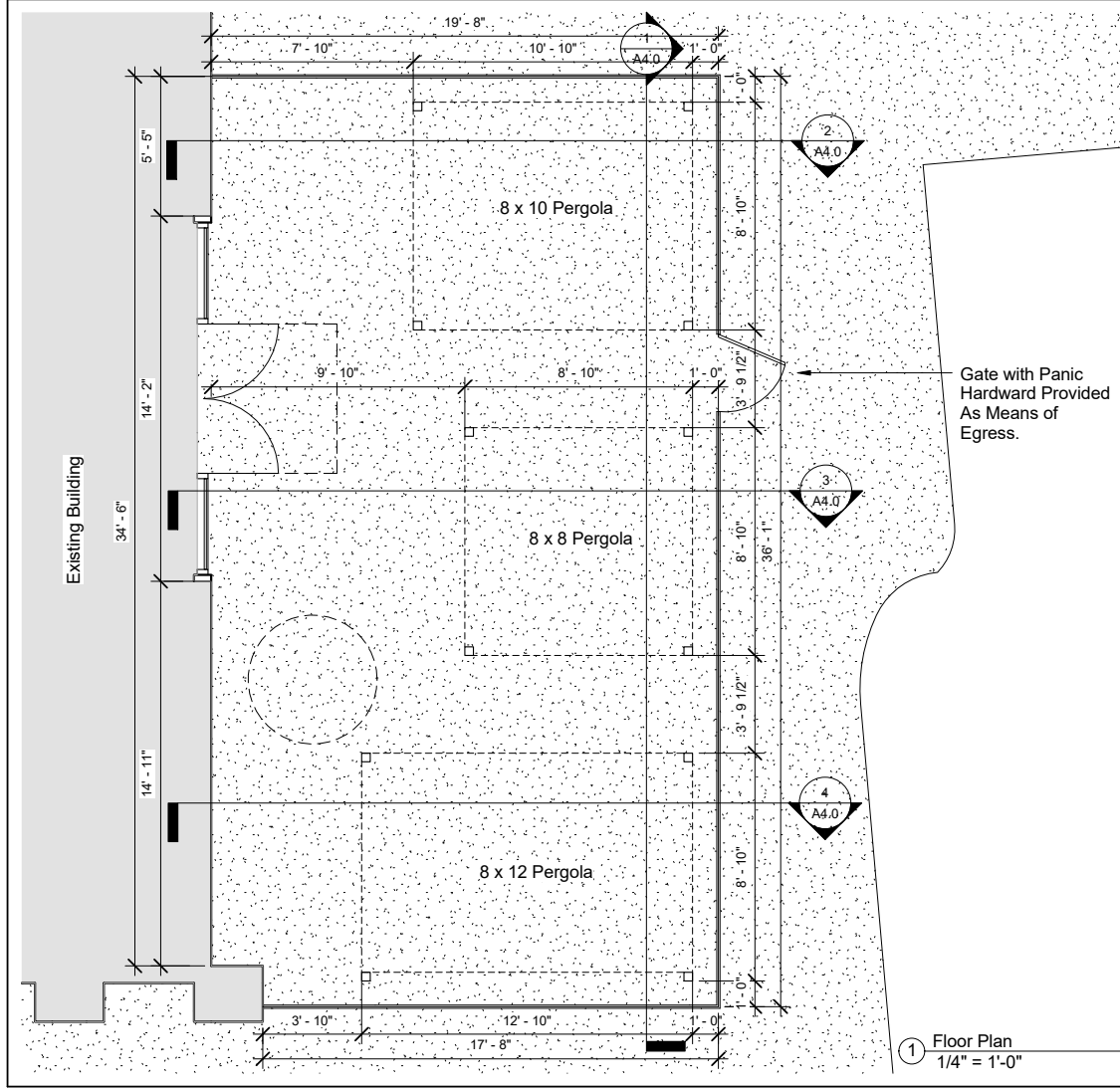


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DATE: 06/29/2021

Site Plan - Property Lines
sheet no: A10
EL BO TANERQ DE GUAYMALA
475 COORS BLVD NW
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Sheet no: A2.0

1 Floor Plan
1/4" = 1'-0"



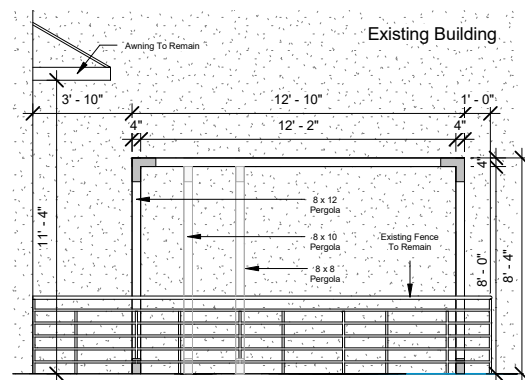
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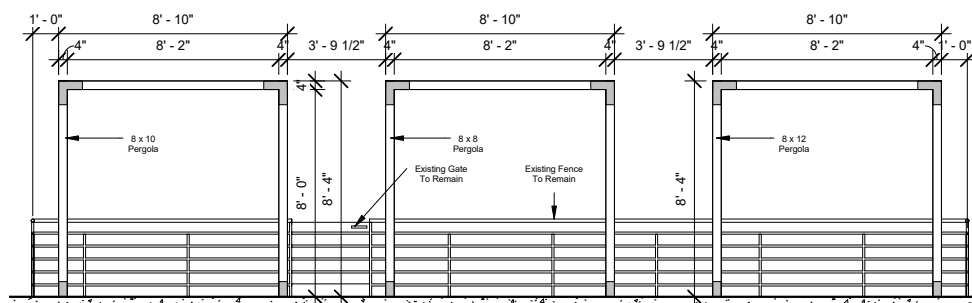
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 DATE: 06/29/2021

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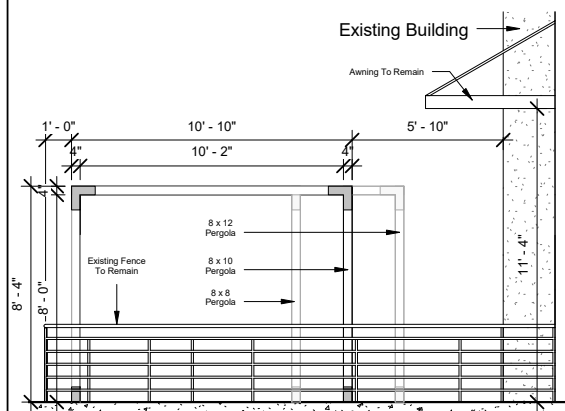
Elevations sheet no: A3.0



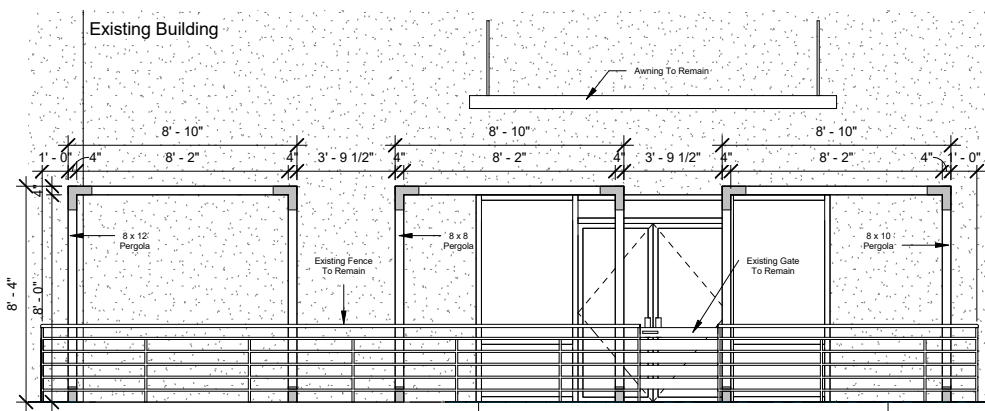
③ South
 1/4" = 1'-0"



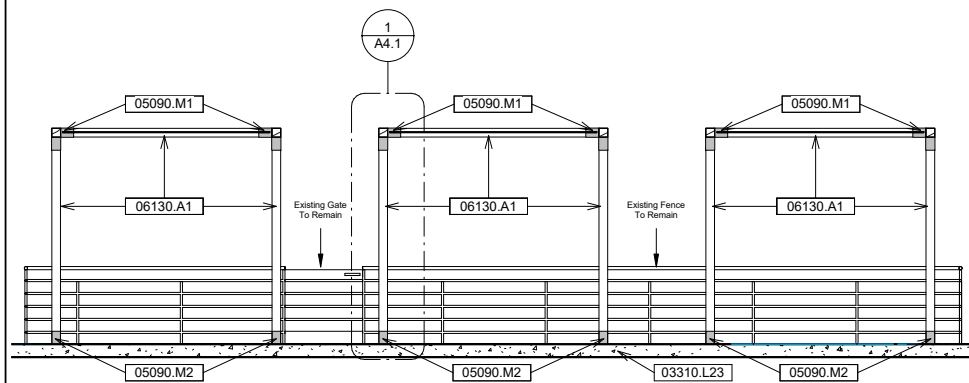
④ West
 1/4" = 1'-0"



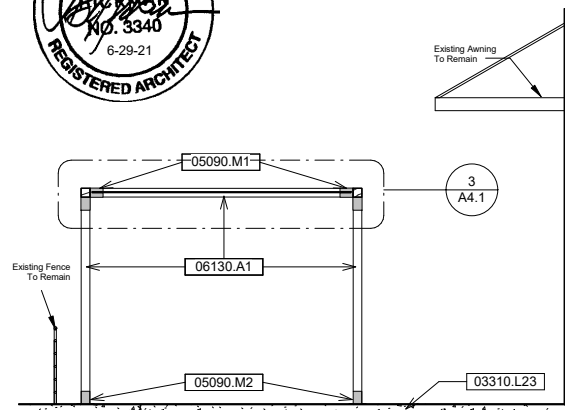
① North
 1/4" = 1'-0"



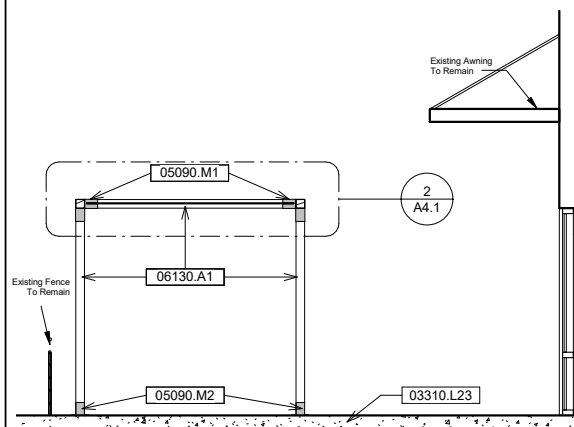
② East
 1/4" = 1'-0"



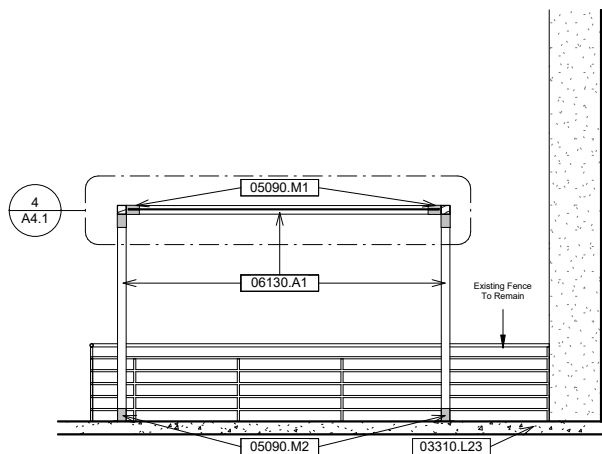
① Section 1 - All
1/4" = 1'-0"



② Section 2 - 8x10 Pergula
1/4" = 1'-0"



③ Section 3 - 8x8 Pergula
1/4" = 1'-0"



④ Section 4 - 8x12 Pergula
1/4" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
03310.L23	Existing Concrete Sidewalk/ Slab to Remain
05090.M1	TRIO Corner Bracket
05090.M2	SOLO Base Bracket
06130.A1	4x4 Heavy Timber

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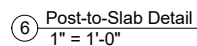
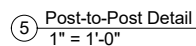
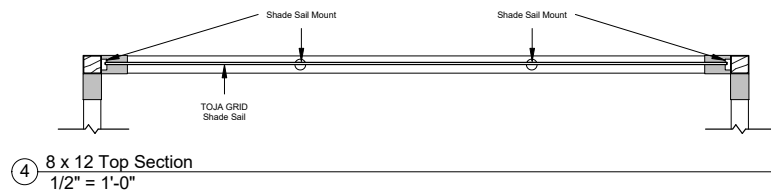
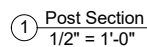
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Sections
Sheet no: A10



Keynote Legend	
Key Value	Keynote Text
03310.L23	Existing Concrete Sidewalk/ Slab to Remain
05090.M1	TRIO Corner Bracket
05090.M2	SOLO Base Bracket
06130.A1	4x4 Heavy Timber



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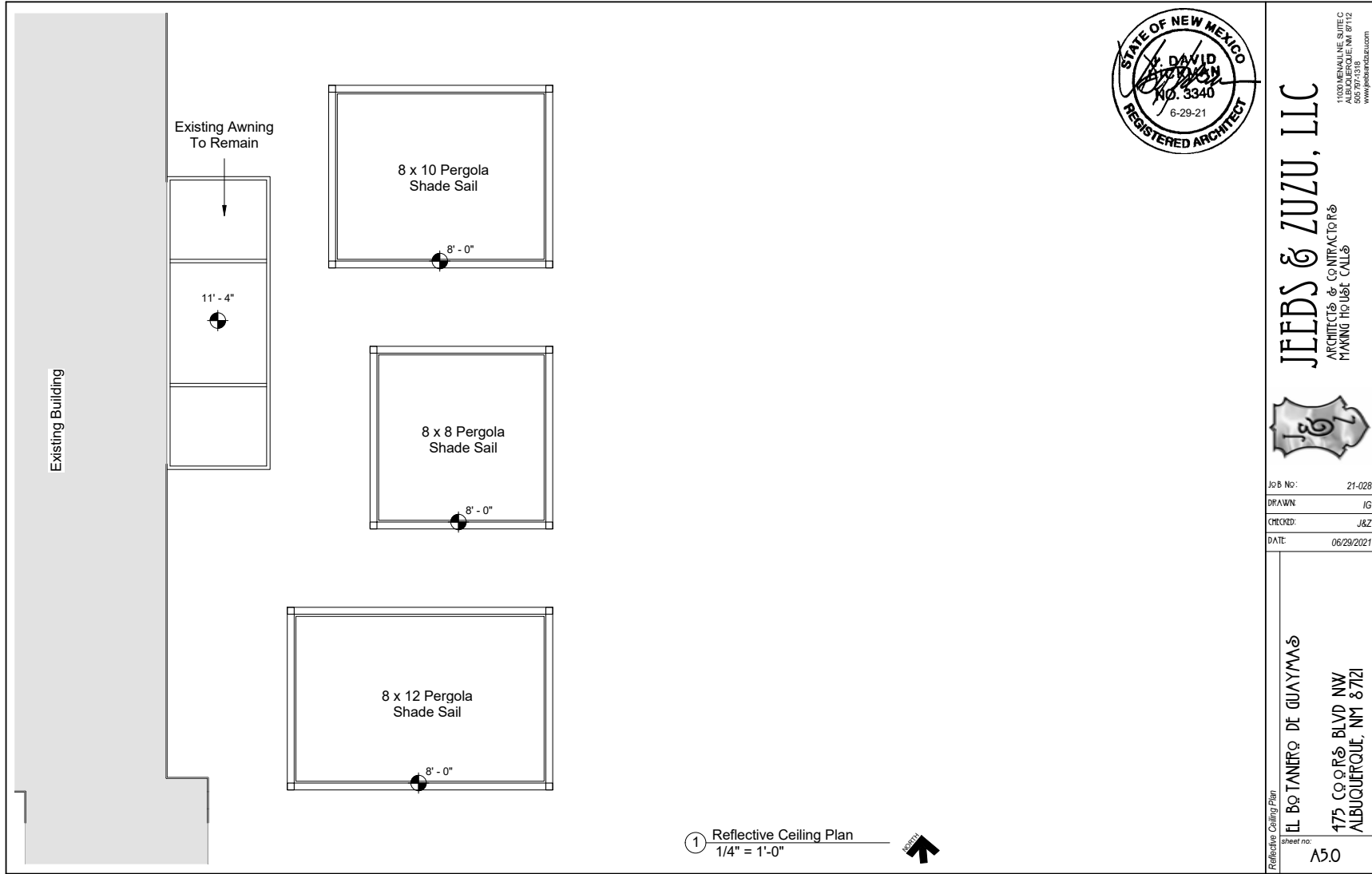
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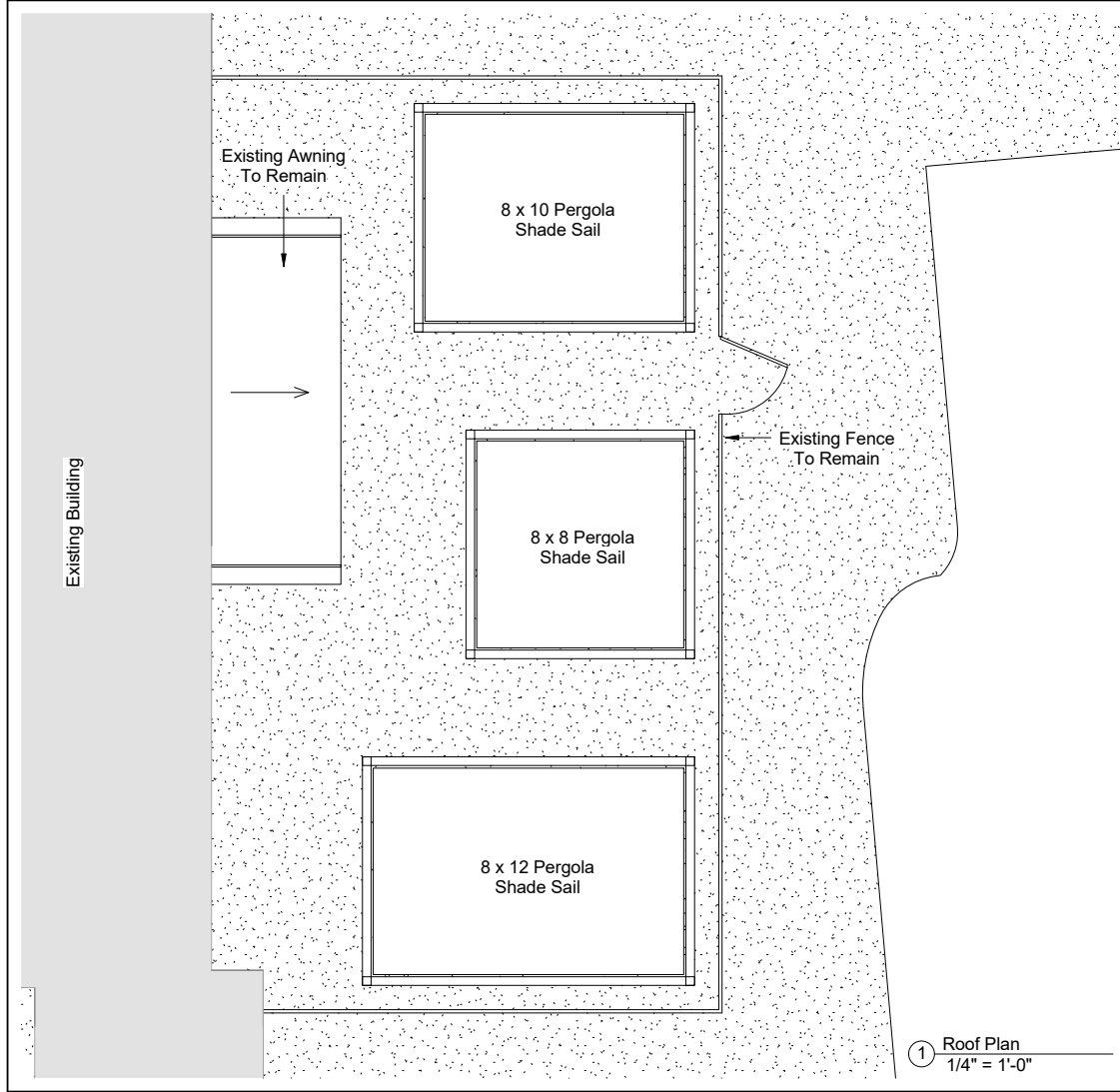
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DATE: 06/29/2021

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sheet no: A5.0



1 Roof Plan
1/4" = 1'-0"




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Roof Plan sheet no: A6.0

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